

THE HIGHLAND COUNCIL
ADULT & CHILDREN SERVICES COMMITTEE
22nd MAY 2013

Agenda Item	10.
Report No	ACS/49/13

New Primary School north of the River Wick

Report by Director of Education, Culture and Sport

Summary

This report provides details of the contractual process to be followed as a result of the new Primary School north of the River Wick being built on a design and build basis by Hub North Scotland Limited and seeks approval for the proposed Capital affordability cap figure.

This report contributes towards delivering the following outcomes in **Working Together for the Highlands**:

- The Council will work with the Scottish Government to continue to develop an ambitious 10-year capital programme to provide modern schools in the Highlands. We are determined to ensure the completion of the current school buildings programme.
- The Council will ensure that all new school buildings will act as a community-hub. We will investigate new and innovative ways to deliver more community access to existing buildings as part of the review of the schools estate.

1. BACKGROUND

- 1.1 As previously reported to this Committee the Council is procuring the new Wick High School and East Caithness Community Facilities campus project through a contract with Hub North Scotland Limited (HNSL).
- 1.2 The Caithness Sustainable School Estate Review (SSER) included recommendations that the 4 existing Primary Schools in Wick should be replaced by 2 new amalgamated Primary Schools. Following a statutory consultation during 2011 it was agreed that the 2 Primary Schools south of the River Wick (Pulteneytown Academy PS and South PS) would close and would amalgamate in a new Primary School on the new Wick High School and East Caithness Community Facilities campus. In addition, it was agreed that the 2 Primary Schools north of the River Wick (Hillhead PS and North PS) would close and amalgamate in a new Primary School on the site of the existing North Primary School.
- 1.4 On the basis that the new Wick High School and East Caithness Community Facilities will be constructed by HNSL it was agreed that economies of scale and best value could be achieved by allowing HNSL to construct both new Primary Schools in Wick on a design and build basis. As a result, HNSL will be responsible for delivering completely new education provision in Wick by August 2015. The

Committee agreed the procurement of the new Primary Schools on the Wick High school campus in January 2013 and the purpose of this report is to outline the contractual implications and seek approval for the proposed affordability cap for the new Primary School north of the River Wick.

2.0 THE NEW 'NORTH' PRIMARY SCHOOL

- 2.1 The new 'North' Primary School will have capacity to accommodate wraparound childcare facilities, 120 Pre School pupils and 387 Primary pupils. The education brief, accommodation schedule and initial design have been progressed by the in-house project team in close collaboration with local stakeholders, primarily the Area ECS Management team, the Head Teachers staff and Parent Councils of the existing Primary Schools.
- 2.2 The initial design agreed with stakeholders is appended at **Appendix 1** and provides Members with an indication of the layout of the new Primary School campus.
- 2.3 The construction of the new 'North' Primary School will be funded wholly from Council borrowing. There is budget provision for new Primary School provision in Wick included within the Capital programme for the next 3 financial years approved by the Council in December 2012. The approved funding within the capital programme for the Sustainable School Estate Review is £29.766M.
- 2.4 The new 'North' Primary School will be built on a design and build basis by HNSL. There will be **no** on-going contractual arrangement with HNSL in relation to the Primary School after the school is built and handed over to the Council in 2015. However, the normal HNSL process of New Project Request document, Stage 1, Stage 2 leading to award of contract applies.

3.0 THE NEW PROJECT REQUEST DOCUMENT

- 3.1 The New Project Request (NPR) document for the new 'North' Primary School is attached at **Appendix 2**. As this is a design and build contract with HNSL this document differs from the corresponding document produced for Wick High School and instead contains only the following information:
 - The Council's Capital affordability cap figure for the design and build contract is £14.5M. This cost is based on Council estimates, whereas the actual costs will be based on HNSL's response during Stage 1 in the contractual process;
 - The project brief and details of the preparatory work carried out so far by the in-house team in relation to the campus layout and design.
- 3.2 There will be other Capital costs incurred by the Council, for example provision of ICT networks and equipment, that will sit out the design and build contract. The current estimate of the Capital costs that will sit out-with the design and build contract is £1.3M. This figure includes £0.316M for the demolition of Hillhead Primary School.

- 3.3 The total estimated Capital cost for the new Primary School north of the River Wick is therefore £15.8M which, when added to the £12.4M for the new Primary School within the Community Campus approved at the January Adult & Children Services Committee, is within the total Sustainable School Estate Review allocation within the Capital programme.
- 3.4 In contrast to the DBFM contract with HNSL for the provision of the new Wick High School and East Caithness Community Facilities there are no Revenue costs included within the design and build contract. This is on the basis that there is no on-going contractual agreement with HNSL beyond the construction of the new Primary School. As a result the Council will assume responsibility for all Life Cycle maintenance costs and any other on-going operational costs associated with a school building.
- 3.5 The on-going Revenue costs relating to the Primary School will therefore be managed and controlled directly by the Council.
- 3.6 Approval is therefore sought for the NPR document as detailed in **Appendix 2** and this approval will allow the project to progress to the next stage in the contractual process. The next stage will be HNSL's formal confirmation that it can deliver the project, as specified in the NPR, within the approved Capital affordability cap figure. There have been detailed discussions with HNSL during the preparation of the NPR document and also details of the initial Primary School design have been shared with them.
- 3.7 On the basis that HNSL's confirmation that it can deliver the project within the approved Council affordability caps, the Committee is asked to agree that the approval of the related Stage 1 submission from HNSL can be approved under delegated powers by the Depute Chief Executive/Director of Housing and Property Services, the Director of Education Culture & Sport and the Director of Finance.

4.0 IMPLICATIONS

- 4.1 **Resource implications** – the total Capital funding required for this project, based on current estimates, is £15.8M. This figure is within the approved Capital budget for the project. After the detailed construction programme has been finalised with HNSL, the capital programme will be reviewed to ascertain if the current planned phasing of expenditure requires to be amended in any way.
- 4.1.1 The Revenue implications of closing 2 existing Primary Schools, Hillhead and North Primary Schools, and replacing them with a single new school building have not yet been calculated in detail. However, there is an expectation that the on-going Revenue costs associated with a purpose built energy efficient Primary School building will be considerably lower than the costs of existing Primary School provision in the area north of the River Wick. These savings will be counter-balanced by the increased Rateable Value associated with a new building which will result in higher on-going Rates payments than those of the existing Primary Schools.
- 4.2 **Legal implications** – there are no specific legal complexities associated with a design and build contract. However, on the basis that this is first time that a

contract of this nature is being progressed with HNSL the appropriate specialist legal advice will be sought as and when required.

- 4.3 **Equality implications** – the new school building will be designed in full compliance with current Equalities legislation.
- 4.4 **Climate change implications** – the creation of an energy efficient school design that will be powered by sustainable energy sources will result in the Council's carbon foot-print being significantly reduced in comparison with current Primary School provision in Wick.
- 4.5 **Risk implications** – the major risk associated with this project is capacity of HNSL to deliver 3 new schools simultaneously in Wick. There have been extensive discussions with HNSL on this issue and assurances have been provided that there is sufficient capacity and expertise within their supply chain to deliver all 3 projects on time and within budget.

5.0 Recommendations

5.1 The Committee is asked to:

- Approve the New Project Request document as detailed in **Appendix 2**;
- Agree that the approval of the related Stage 1 submission from HNSL can be approved under delegated powers by the Depute Chief Executive/Director of Housing and Property Services, the Director of Education Culture & Sport and the Director of Finance on the basis that the affordability cap figure approved within the New Project Request document is not exceeded.

Signature:

Designation: Director of Education, Culture and Sport

Date: 13th May 2013

Authors: Ron MacKenzie, Head of Support Services, ECS

Michael Fraser, Finance Manager, Partnerships and Joint Ventures

Background Papers

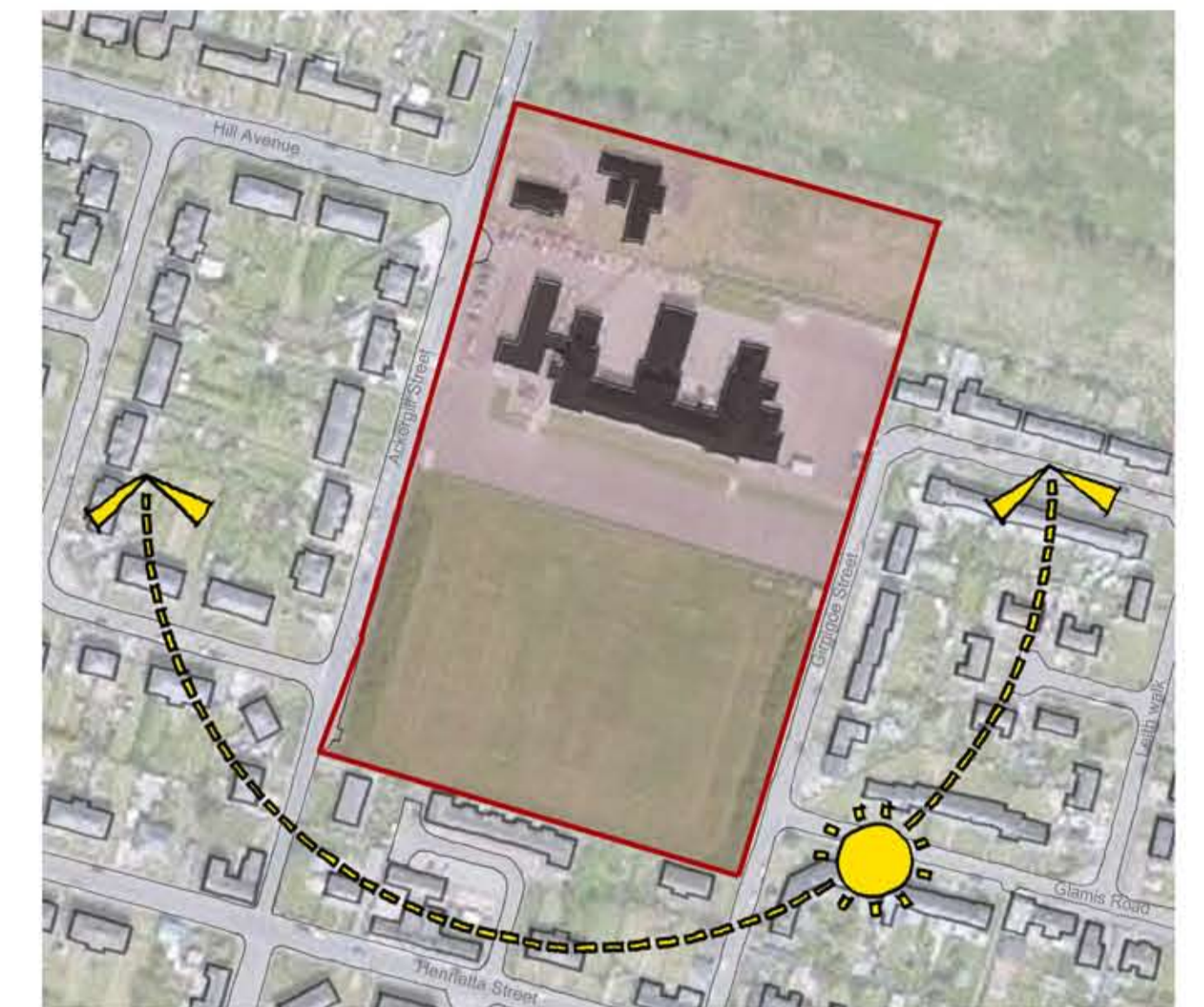
Appendix 1 – the initial design for the new Primary School campus

Appendix 2 – the New Project Request document for the new Primary School north of the River Wick

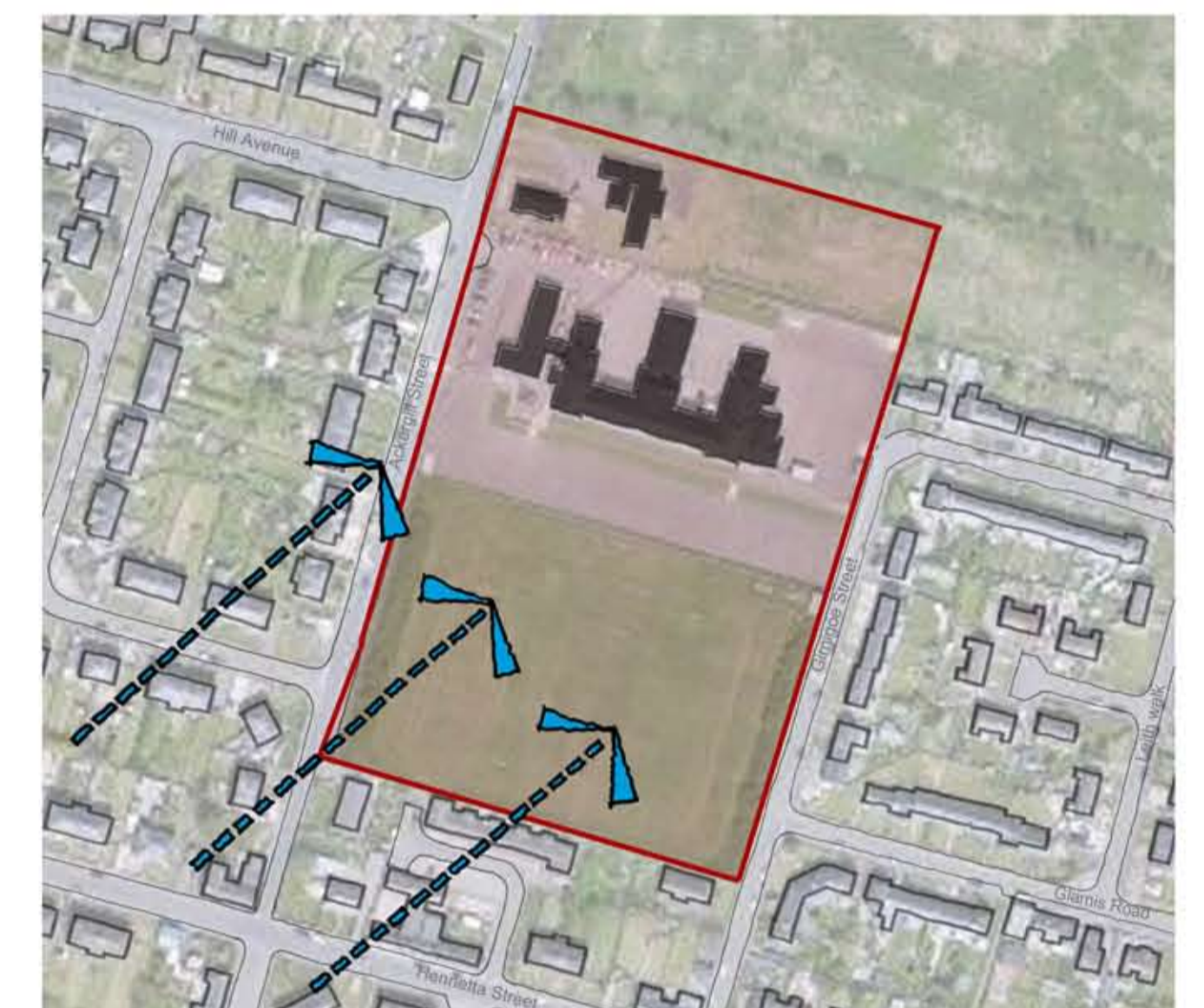


SITE CONTAMINATION
 GEOTECHNICAL
 FLOOD RISK ASSESSMENT
 HABITAT AND ECOLOGY
 ARCHEAOLOGICAL
 TRANSPORT ASSESSMENT

LOCATION PLAN



SUN PATH



PREVAILING WIND

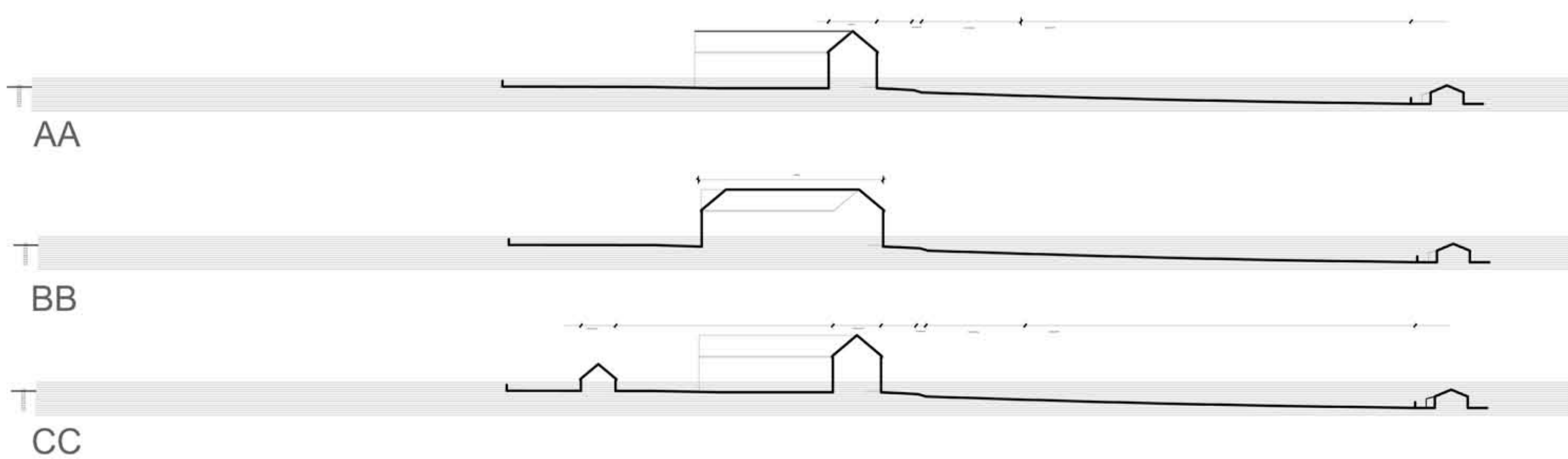


SITE LEVELS

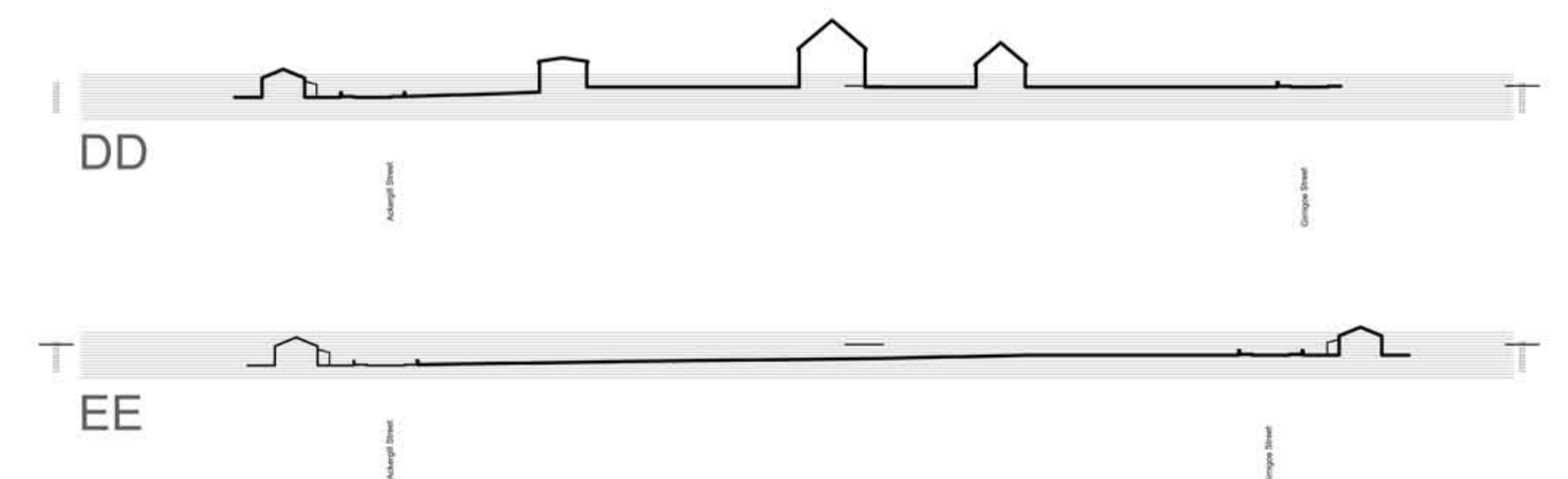
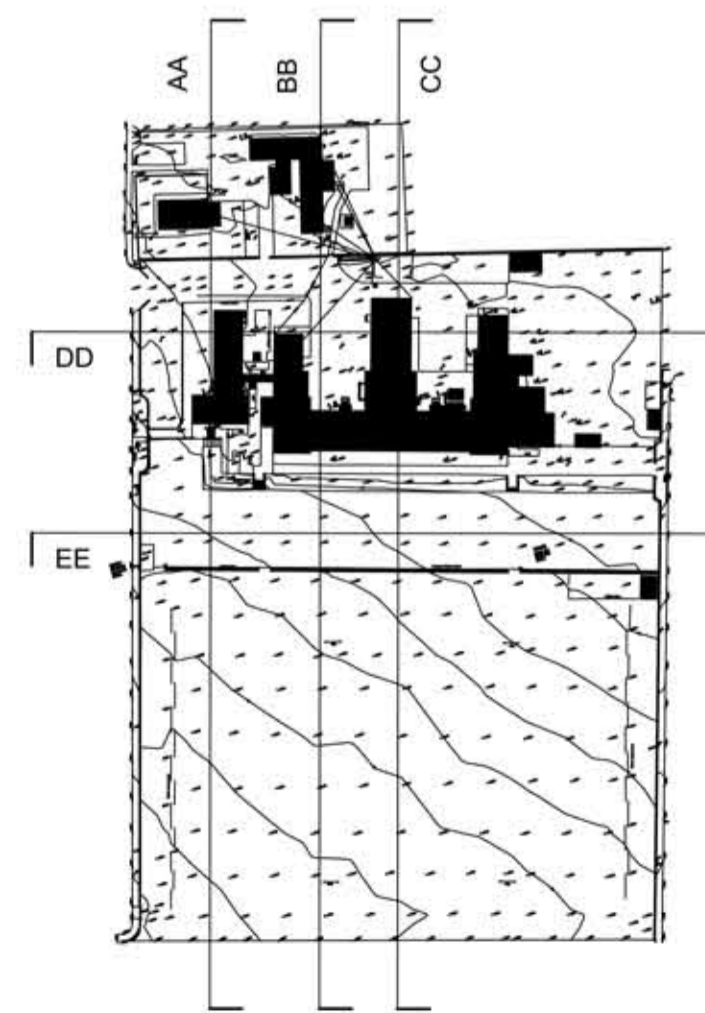


VIEWS FROM ACKERGILL STREET

VIEWS FROM GIRNIGOE STREET



SITE SECTIONS





VEHICULAR APPROACH

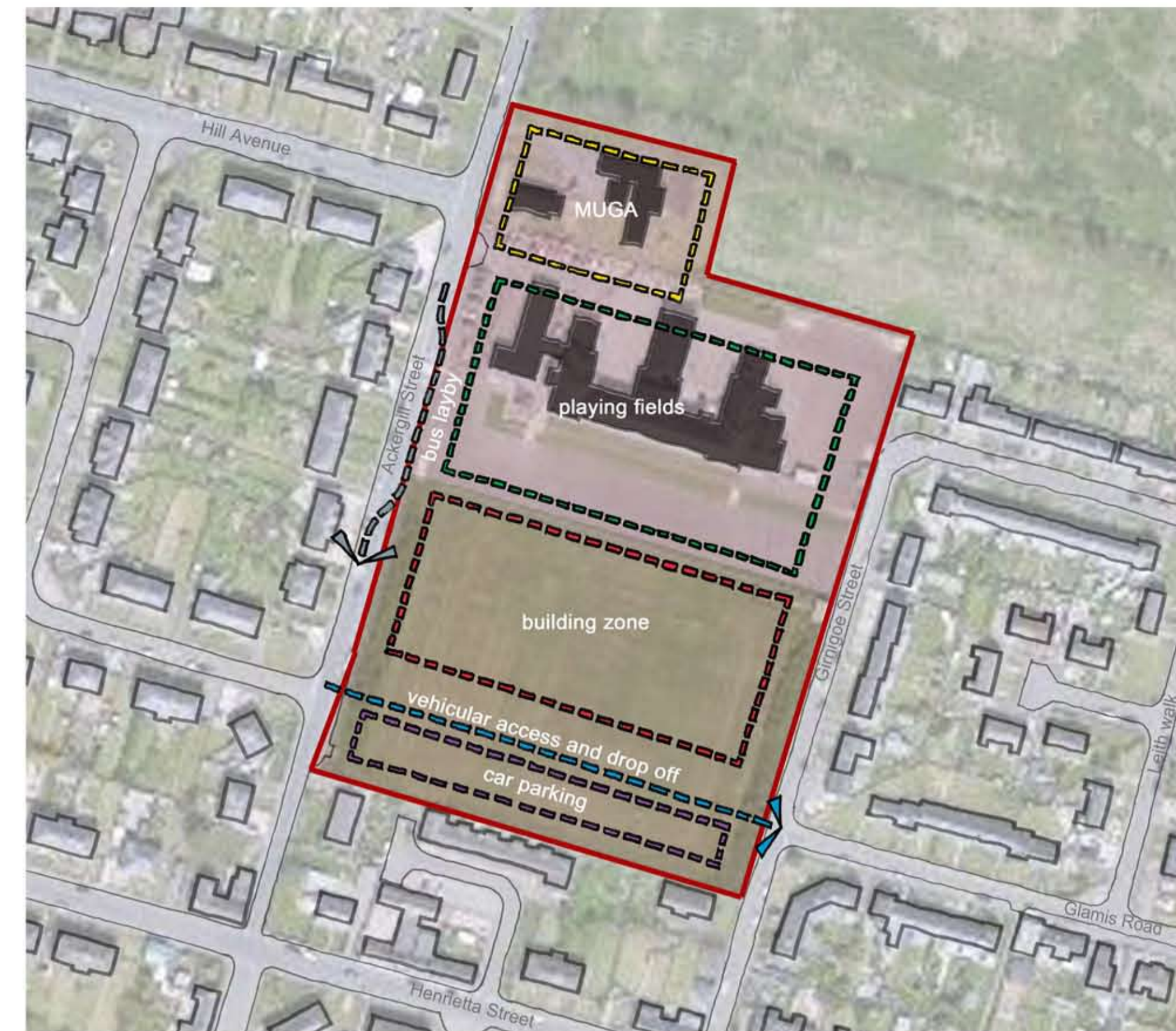


PEDESTRIAN APPROACH

- PRIMARY VEHICLE ROUTES - - - - -
- SECONDARY VEHICULAR ROUTES - - - - -
- SAFER ROUTES TO SCHOOL
CONSULTATION ON
MODAL SHIFT PATTERNS
- CONSULTATION WITH TECS (ROADS)



SITE ZONING OPT 1



SITE ZONING OPT 2

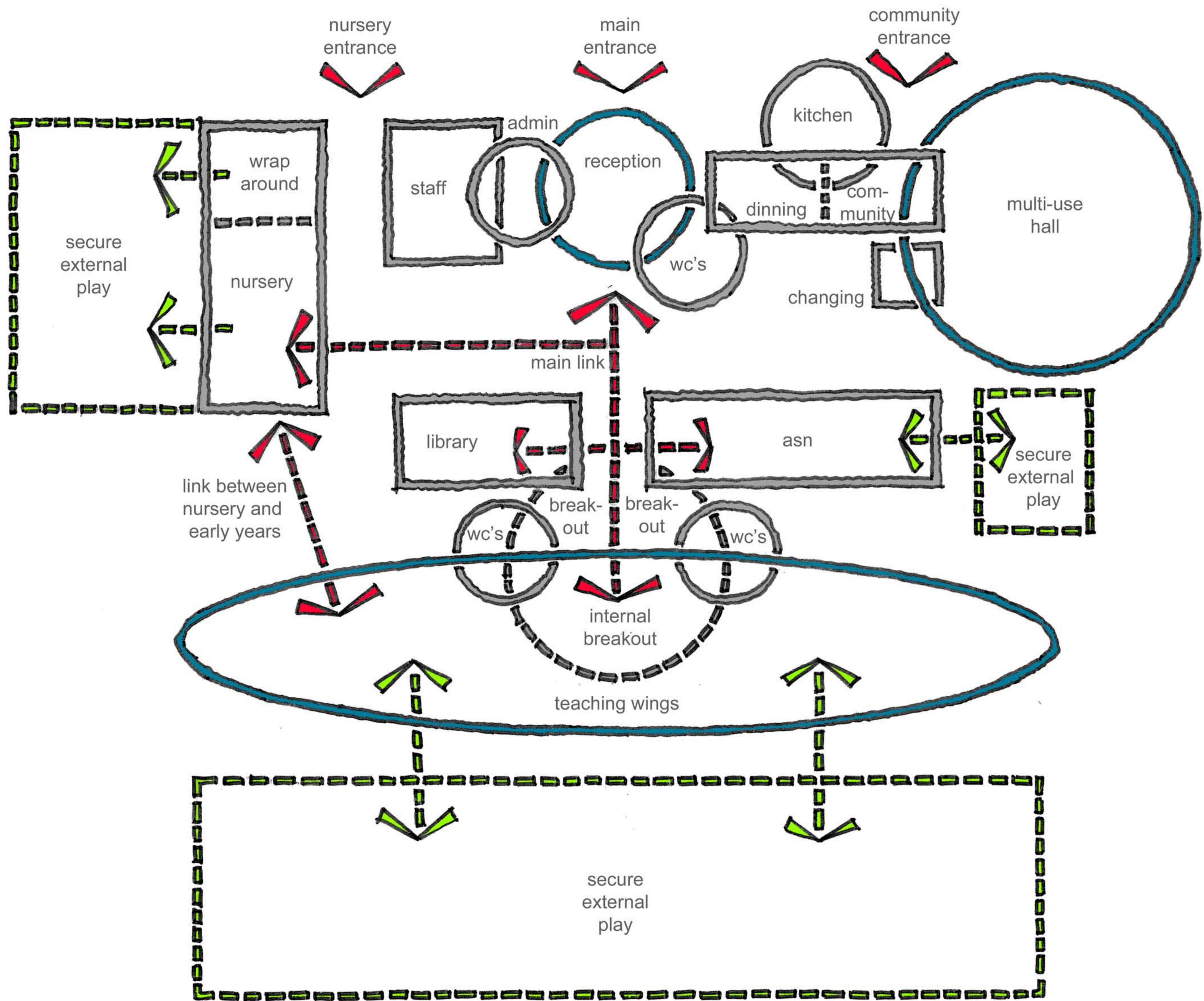


SITE ZONING OPT 3

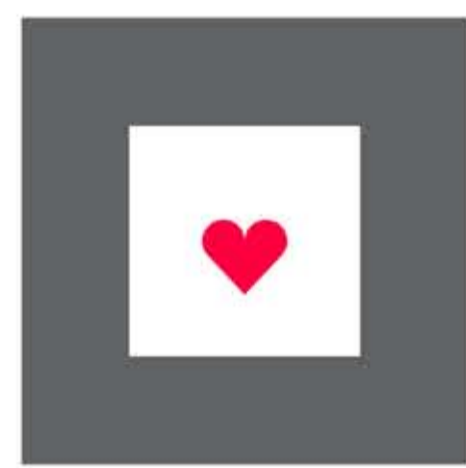


SITE ZONING OPT 4

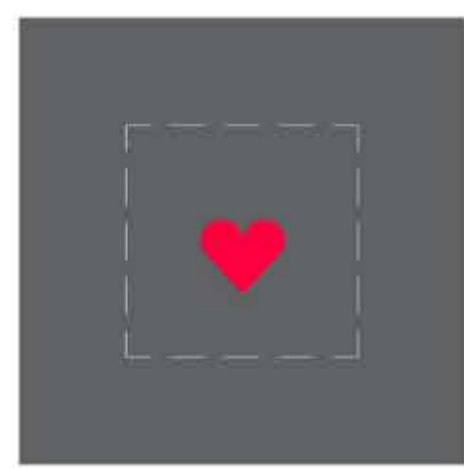
KEY BRIEF RELATIONSHIPS



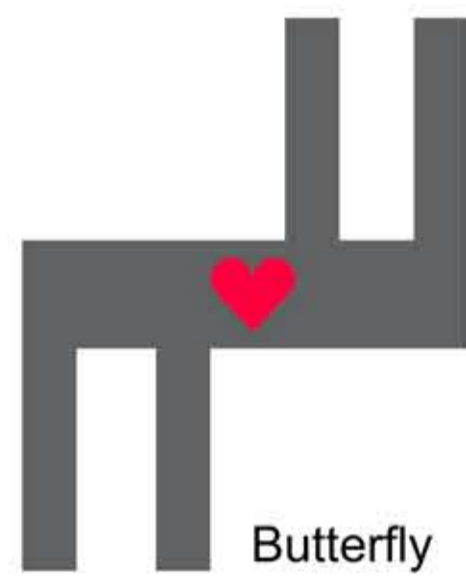
SCHOOL TYPOLOGIES



Courtyard



Atrium



Butterfly



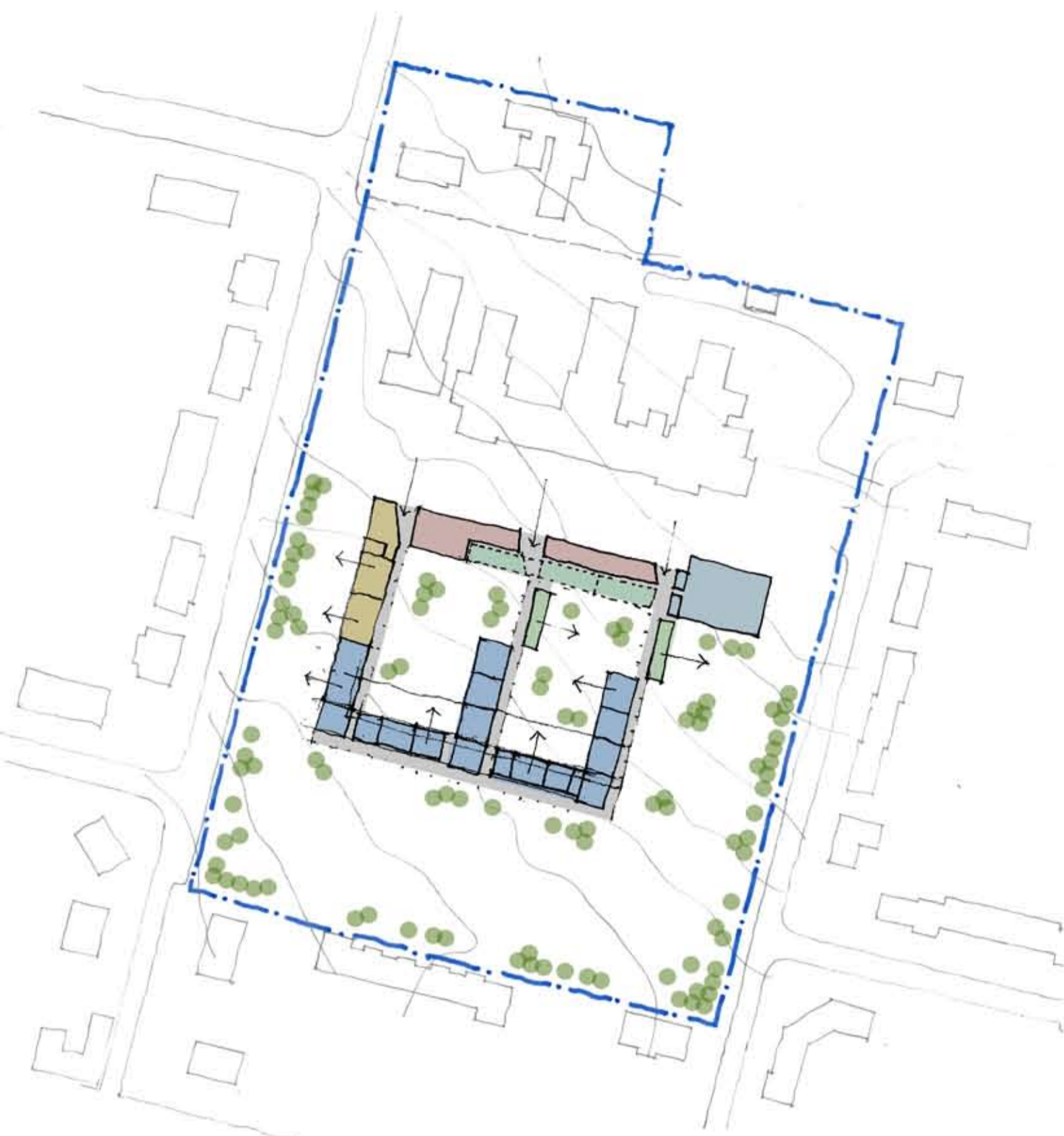
Street



Comb



Village



COURTYARD



WINGS - NORTH SOUTH ORIENTATION



WINGS - EAST WEST ORIENTATION



WINGS - STAGGERED

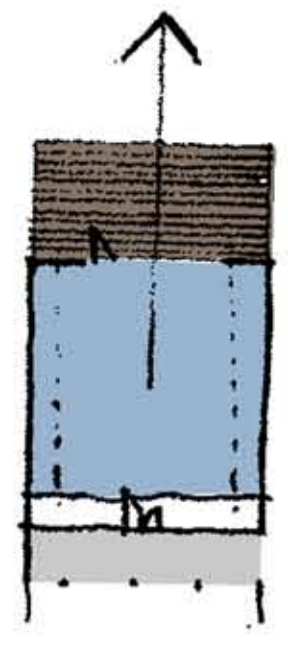


OPTION DEVELOPED FOR SITE CONTEXT

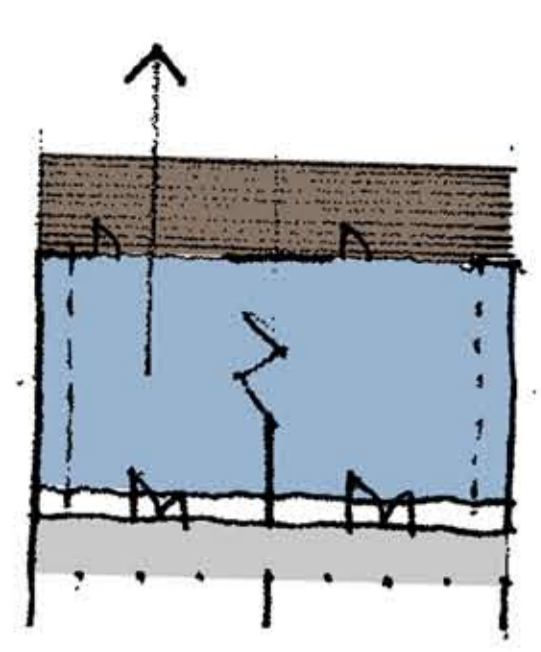
EXTERNAL BREAKOUT

INTERNAL TEACHING

CIRCULATION
SHELTER



SINGLE














DOUBLE

FLOOR PLAN DEVELOPMENT

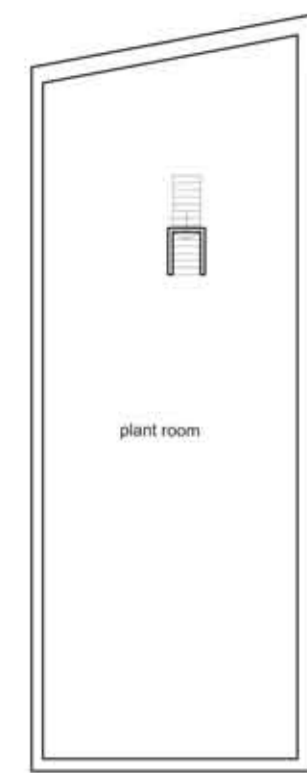


by housing and property services
for education, culture and sport
hillhead and north primary school

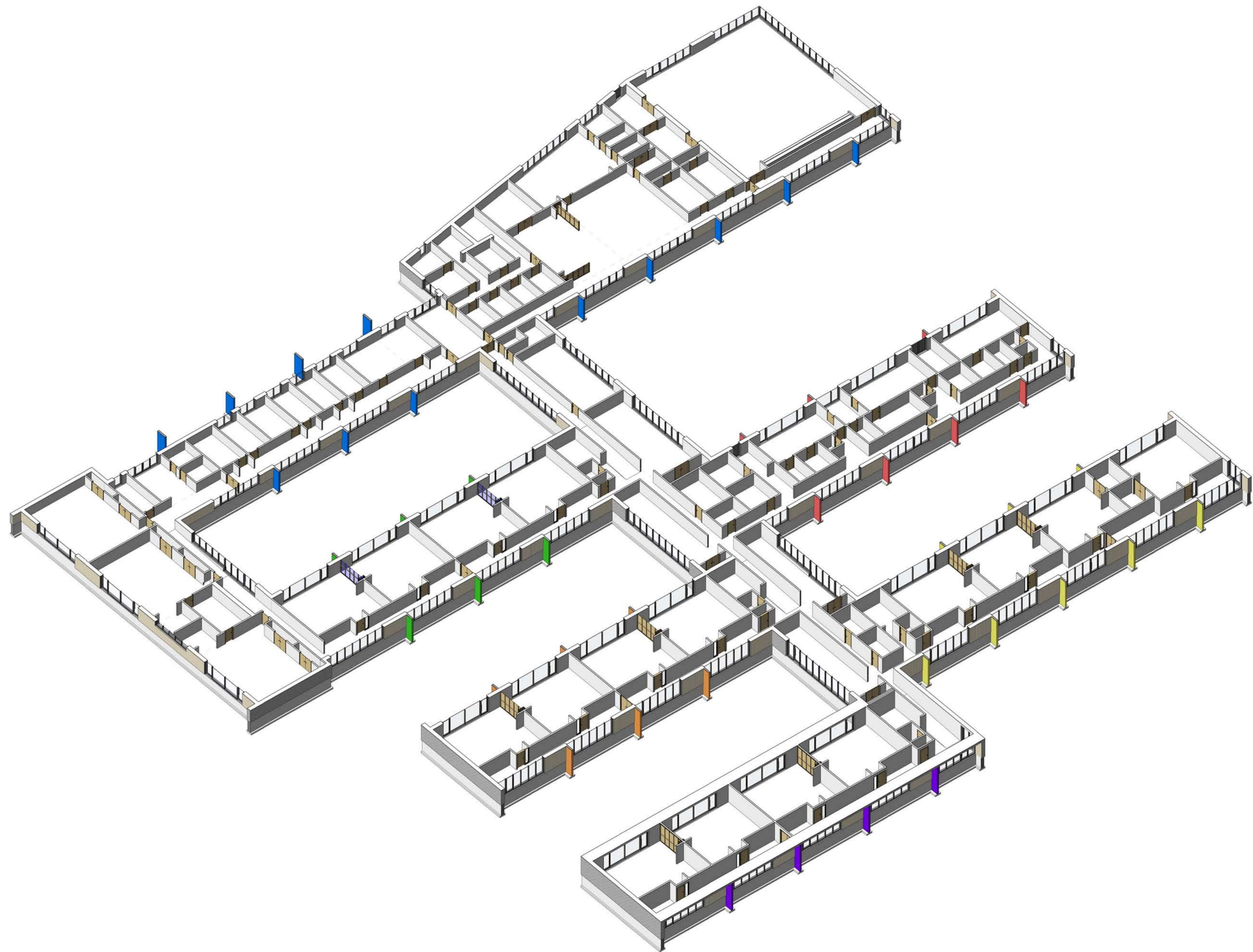
building layout

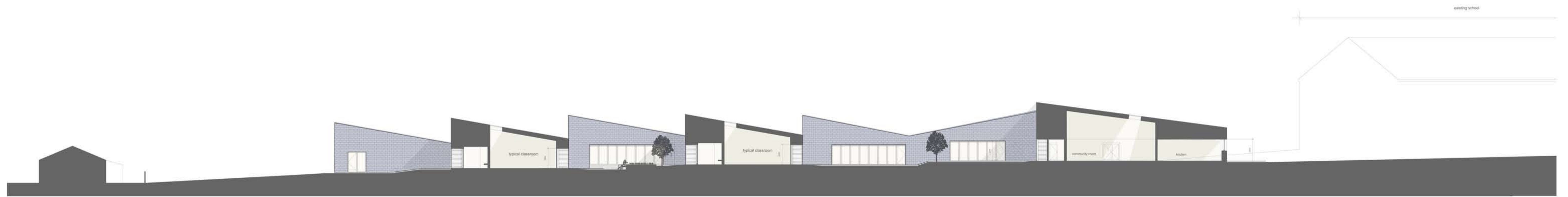
- Legend
-  EHS tree
 -  EHS tree in grille
 -  Native feathered trees
 -  Native woodland mix underplanted with woodland meadow seed mix
 -  Shrub/groundcover planting
 -  Grass
 -  Wetland seed mix
 -  Pre-cast concrete paving - light grey & buff
 -  Caithness slab paving
 -  Resin bound gravel
 -  Asphalt
 -  Caithness masonry walls max. 1m high
 -  5m high ballstop sports fence
 -  1.8m high security weldmesh fence
 -  Seating
 -  31.00 + Proposed spot heights



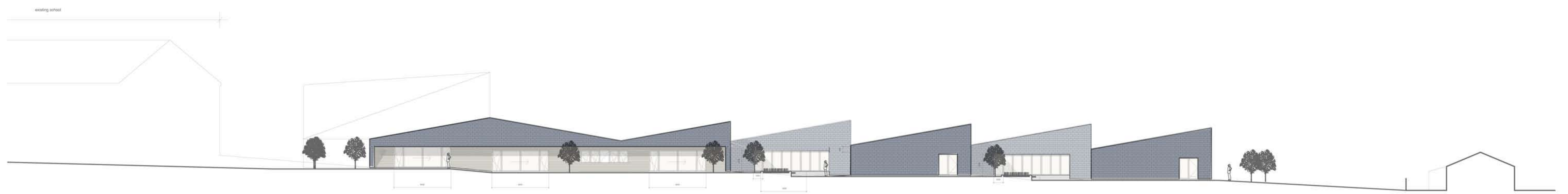


- Games hall/changing
- ASN unit
- classrooms general
- library/staff room
- community facility
- FM manager
- kitchen
- break out
- admin/offices
- toilets
- nursery

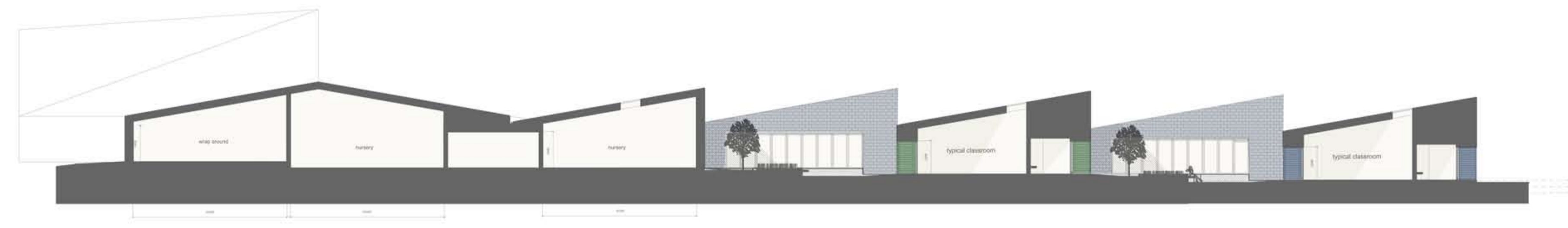








Section through dining area

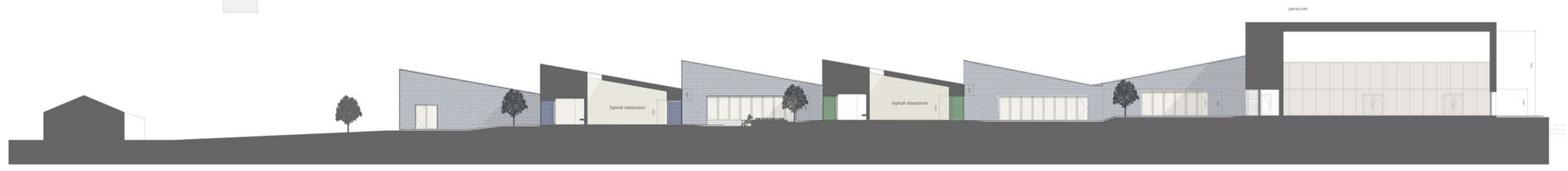


West Elevation

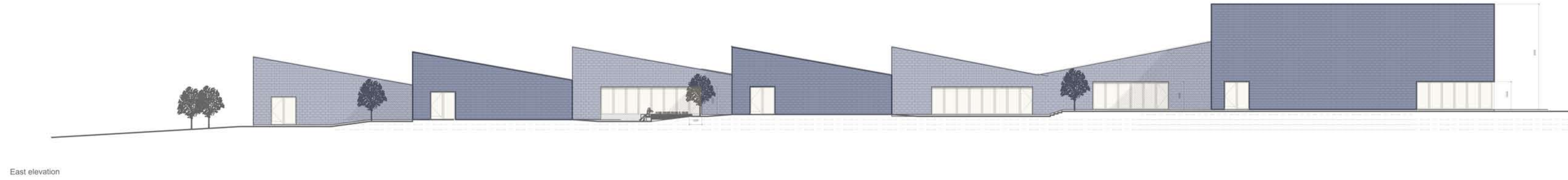


section through nursery

- 
 Marley Eternit fibre cement board.
 Dark grey/black brick laid on horizontal timber battens
- 
 Open horizontal timber board cladding.
 Siberian larch to be untreated in natural colour
 unless otherwise profile F100314,
 where coloured water-based semi-transparent stain is to be applied on site
- 
 Upriser stainless steel roof cladding.
 Matt finish with standing seam.
 To be constructed as per manufacturer details
- 
 Blue-grey engineered board course to
 underside of cladding



Section through main hall



East elevation

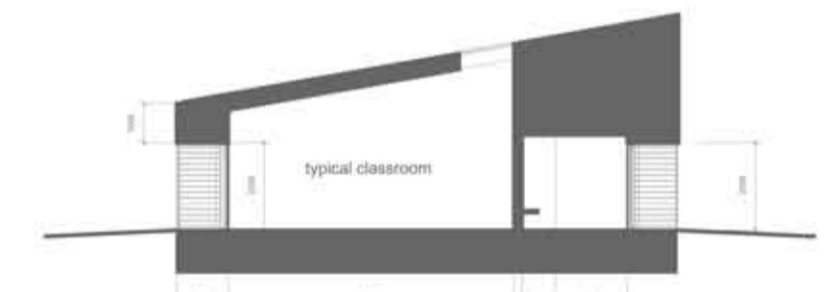
- Marley Eternit fibre cement board
Dark grey/black finish laid on horizontal timber battens
- Open horizontal timber board cladding
Siberian larch to be untreated in natural colour
profile risswood profile R0014,
where coloured water-based semi-transparent stain to be applied on site
- Uprise stainless steel roof cladding
Matt finish with standing seam.
To be constructed as per manufacture details
- Blue-grey engineered based course to
underside of cladding



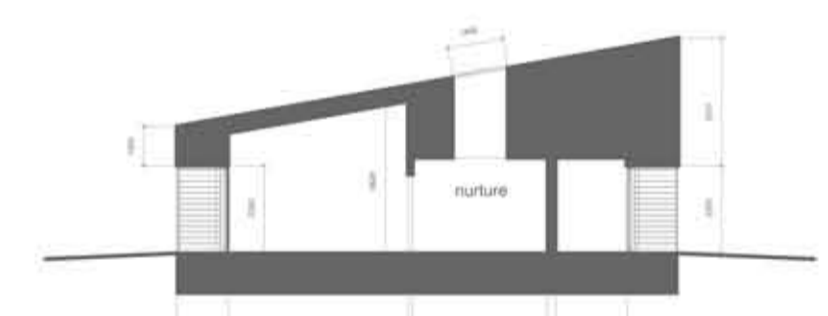
section through nusery courtyard north view



section AA



section BB



section CC



North elevation



section through nusery courtyard



INFANT AND NURSERY COURTYARD

PRECEDENTS



MAIN ENTRANCE APPROACH

SOUTH ELEVATION



NEW PROJECT REQUEST – Wick north of the river Primary School
Revision 0 13-05-13

This New Project Request is issued under the terms of the Territory Partnering Agreement (TPA) entered into by hub North Scotland Ltd and the Relevant Participant dated 28 January, 3, 4, 8, 9, 10, 11, 15, 22, 24 February and 17 March 2011.

Section	Requirement
1. Relevant Participant:	The Highland Council
2. Project name:	New Primary School for Wick north of the river
3. The maximum Unitary Charge which can be committed to the New Project (the 'Affordability Cap'):	Total Capital Cost: £14.5m including inflation, design team and statutory fees, Hubco management fee and Hubco portion but Hubco will be responsible for securing planning consent. The construction cost has a base date of 1 st Quarter 2014.
4. A project brief is provided	<p>A new Primary School is to be provided to replace Wick North Primary School and Hillhead Primary School. The new school will be located on the Wick North Primary School site, which is to remain operational during the construction period. Accordingly, construction of the school will need to be phased.</p> <p>The new Primary School will have a maximum projected roll of 387 primary pupils. It will provide 16 classrooms for primary pupils and two Nursery Rooms, providing 120 half day places for nursery age children. In addition the new School will provide education for pupils with significant additional support needs.</p> <p>The development is to achieve a BREEAM Excellent rating and an Energy Performance Certificate of A after renewables.</p> <p>One synthetic turf multi-use games area and one grass playing fields is to be provided.</p> <p>The existing Wick North Primary School and all existing outbuildings and hardstandings are to be demolished as</p>

NEW PROJECT REQUEST – Wick north of the river Primary School
Revision 0 13-05-13

	<p>part of this contract, with the area used as parking and vehicle access.</p> <p>The documents listed in Appendix 1 form the Authority Requirements.</p> <p>Note that HubCo is to provide all furniture, fittings and equipment with the exception of:</p> <ul style="list-style-type: none"> - computers, printers/copiers, telephones, hubs and switches - smartboards - fire-fighting equipment - televisions <p>The Highland Council will be responsible for the decant from the existing schools to the new school.</p>
<p>5. Programme or other requirements comprise:</p>	<p>Master programme attached as Appendix 2. The handover date for the building is 12th June 2015. The proposed completion date for the landscaping works is 26th February 2016; this will be reviewed with Hubco during Stage 1.</p>
<p>6. Preparatory work already undertaken comprises:</p>	<p>Topographic survey Flood Risk Assessment Transport Assessment Technical Brief BREEAM specification Accommodation Schedule Education brief Consultation with staff, pupils and parents Stage C design Pre-planning application public consultation and consultation with statutory authorities.</p> <p>A Site Investigation exercise has been undertaken. The factual report is provided with this NPR. The interpretation report will be provided to Hubco by 30th June 2013.</p>

NEW PROJECT REQUEST – Wick north of the river Primary School
Revision 0 13-05-13

<p>7. Details of any designers/advisors currently retained:</p>	<p>Project Manager: Parsons Brinckerhoff Architect and Quantity Surveyor: The Highland Council Civil/Structural Engineer: Jacobs Building Services Engineer: Arup Fire Engineer: Arup CDM Co-ordinator: Parsons Brinckerhoff BREEAM Assessor/Adviser: EBBA Consultants* Landscape Architect: TGP</p> <p>*Note that EBBA Consultants will remain as BREEAM Assessor/Adviser for the duration of the project. They will be employed directly by The Highland Council.</p>
<p>8. Are any current designers/advisors able to be novated to hubco:</p>	<p>CDM-C</p>

NEW PROJECT REQUEST – Wick north of the river Primary School
Revision 0 13-05-13

A Stage 1 Submission shall be prepared and include in respect of Clause 4.2 of Schedule Part 5 of the TPA the following:	
9. A detailed option appraisal (4.2.1)	Not required
10. A value for money assessment (4.2.2)	A Value for Money Assessment is required in accordance with the requirements of the TPA (4.2.2) and supporting Method Statements
11. A description and outline design to RIBA stage C (4.2.3)	Required. Note that the Authority Requirements (AR's) have been developed to the end of Stage C. Hubco shall review the Stage C design and confirm that it can be achieved. Hubco shall provide details of any changes to the Council's Stage C design with the Stage 1 submission.
12. A desktop geotechnical/environmental study and where applicable (4.2.4):	Hubco shall review the available geotechnical information as part of stage 1 and undertake a gap analysis to advise any further investigations to be carried out by the Council or the HubCo.
a. Topographical survey	Hubco shall review the available geotechnical information as part of stage 1 and undertake a gap analysis to advise any further topographical information to be provided by the Council or the HubCo.
b. Site investigation Studies	Hubco shall review the available site investigation information as part of stage 1 and undertake a gap analysis to advise any further investigations to be carried out by the Council or the HubCo.
c. Geotechnical report	Hubco shall review the available site investigation information as part of stage 1 and undertake a gap analysis to advise any further investigations to be carried out by the Council or the HubCo.
d. Asbestos report	Hubco shall review the available site investigation information as part of stage 1 and undertake a gap analysis to advise any further investigations to be carried out by the Council or the HubCo.
e. Condition report	Not required
f. Traffic study	Hubco shall review the available traffic studies as part of Stage 1 and undertake a gap analysis and advise any further

NEW PROJECT REQUEST – Wick north of the river Primary School
Revision 0 13-05-13

	investigations to be carried out by the Council or the HubCo.
g. Environmental impact report	Not required
13. The transfer of properties by Participant(s) to Hubco or to Project Service Providers (details required) (4.2.5)	Not required
14. a schedule of material amendments/benefits required to the standard terms of the relevant Template Project Agreement (4.2.6)	Required
15. Names of the Participant(s) and/or other parties who will become Project Agreement Counterparties. Also tenants (4.2.7)	Not required
16. How the New Project fits into the service delivery strategy as set out in the TDP and evidence of how the New Project meets the Relevant Participant(s)' requirements including the Specific Requirements (4.2.8)	Required
17. The effect on any employees of the Relevant Participant(s) or relevant third party service providers, including any potential transfer of any such employees (TUPE) (4.2.9)	Not required
18. An equipment strategy and risk transfer assumptions (4.2.10)	Required
19. What land (including Participant land) is required and where appropriate, an indicative value of that land (4.2.11)	Not required
20. The appropriate contractual route to deliver the New Project (4.2.12)	Design and Build The project will be funded from The Highland Council's Capital Programme.
21. Evidence of planning permission in principle (outline) including a report on any conditions attached setting out Hubco's recommended strategy (4.2.13)	Not required. Hubco will be required to submit a full planning application during Stage 2 and will be responsible for securing planning consent.

NEW PROJECT REQUEST – Wick north of the river Primary School
Revision 0 13-05-13

<p>22. A maximum time period for submission of a Stage 2 Submission on the assumption that the New Project achieves Stage 1 Approval (and indicating alternative time periods to accommodate market testing if required) (4.2.14)</p>	<p>Required. The target date for the Stage 2 approval is as per the attached programme.</p>
<p>23. The proposed Project Development Fee referred to in paragraph 1.2 of schedule Part 4 (Partnering Services Costs) (4.2.15)</p>	<p>Required</p>
<p>24. A Site Waste Management Plan (incorporating design stage waste reduction actions). (4.2.16)</p>	<p>Not required. Note that this will be required at Stage 2.</p>
<p>25. Most recent Hubco Performance Report and confirmation whether or not the Track Record Test has been passed at the date of submission of the Stage 1 submission. (Not referenced)</p>	<p>Required. Stage 1 submission to set out proposed project-specific KPI's-</p>