

**THE HIGHLAND COUNCIL**  
**CAITHNESS, SUTHERLAND & EASTER ROSS PLANNING**  
**APPLICATIONS AND REVIEW COMMITTEE**  
**23 OCTOBER 2007**

Agenda Item	4.5
Report No	28/07

**07/00217/FULSU – Alteration and extension of hotel building. Demolition and alteration of outbuildings. Erection of spa, 9No. bedroom hotel wing, 9No. hotel bedrooms and 11No. ‘fractional’ apartments. Formation of car parking. Alteration of entrance gates and boundary walls. Installation of oil heating storage tank and flagpole. Provision of new hard and soft landscaping. (As Amended)**

**Report by Area Planning and Building Standards Manager**

**SUMMARY**

The proposal is in detail for the erection of a 9No. bedroom hotel wing, 9No. hotel bedrooms and 11No. ‘fractional’ apartments, plus car parking, landscaping and ancillary buildings and works. The site is not specifically allocated for tourism use by the South and East Sutherland Local Plan and lies to the south of Grange Road.

**The recommendation is to GRANT planning permission subject to conditions and following the prior conclusion of a s75 agreement to limit use of the development to tourist accommodation linked to the hotel; or to the payment of a commuted sum for the provision of affordable housing.**

Ward Number 5 – East Sutherland and Edderton

Applicant – Havana West Ltd

**1. PROPOSAL**

1.1 The Hotel is located in a prominent location within Dornoch and has a mix of residential, commercial and recreational uses surrounding it. The site lies to the south of Grange Road and to the east of Kennedy Avenue. There is a large garden area to the west of the hotel, with an overgrown tennis court to the west side of Kennedy Avenue. The tennis court is within the Dornoch Conservation Area with the boundary of the Conservation Area running along the southern boundary adjacent to Links House. The Hotel is in a prominent location overlooking the Golf Course and Dornoch Beach. It was originally built as a private house and dates from 1896 and is a mix of two and three storeys. The walls are of local buff coloured dressed sandstone with two projecting semi-circular stone bays to the west with a slate roof. The south elevation has a large glass fronted dining room overlooking the golf course. The north elevation has an unsympathetic flat roof timber clad extension. Whilst the hotel is a large prominent building of local interest, it is not Listed. The hotel and the gardens extend to approximately 0.7ha,

with buildings occupying approximately 17% of this. The disused tennis court is approximately 0.15ha.

- 1.2 The western boundary of the main hotel garden is defined by the tree lined Kennedy Avenue. There are also significant trees along the southern boundary of the site with Links House and the Royal Dornoch Golf clubhouse, and to the north on Argyle Street / Grange Road.
- 1.3 The proposal is in detail and involves a significant programme of upgrading, modernisation and extension of the Royal Golf Hotel. The main works comprise:

### **Main hotel building**

Erection of 2 storey hotel wing to the north east elevation of the main hotel to provide a total of 24 suites in the modernised hotel.

### **New buildings**

1. Erection of a 9 bedroom wing in a detached 2 storey block to the west side of the main hotel building and car park running north to south
2. Erection of 11 apartments, 'fractionals', to the west side of the garden and hotel in a 'C' shaped courtyard. To take account of the slope of the gardens from north east to south west, these range from 1¾ to 2¾ storeys, with a pend and a new pedestrian opening to Kennedy Avenue. Seven types of unit are proposed:
  - 3No. type 1 – 2 floors, 2 American sized double bedrooms, 1¾ storey, 111sqm
  - 2No. type 2 – 2 floors, 2 American sized double bedrooms, 1¾ storey, 111sqm, similar to type 1
  - 2No. type 3 – 3 floors, 3 American sized double bedrooms, 2¾ storey, 162sqm
  - 1No. type 4 – 2 floors, 2 American sized double bedrooms, 1¾ storey, 121sqm
  - 1No. type 5 – 3 floors, 3 American sized double bedrooms, 2¾ storey, 200sqm
  - 1No. type 6 – 3 floors, 3 American sized double bedrooms, 2¾ storeys, 214sqm
  - 1No. type 7 – 2 floors, 2 American sized double bedrooms, 1¾ storeys, 169sqm

All the 'fractionals' are to have en-suite facilities, kitchen, sitting room and dining rooms, the larger units having additional spaces.

External finishes of the external bedroom wing and 'fractionals' are to be a combination of sandstone details and dry dash rendered blockwork with a natural slate roof.

### **Grounds**

- Redevelopment of the gardens and terrace to the south and south east of the main hotel building overlooking the golf course
- Car park - redevelopment, resurfacing and upgrading of car parking area with 33 parking spaces. The car park will be surfaced in a gravel type finish.

- Formation of a 25 space staff car park on the former tennis court to the west of Kennedy Avenue. A pedestrian crossing / traffic calming road hump across Kennedy Avenue will help to provide access through a new gate in the west side of the railing and wall at Kennedy Avenue for access through a pend to the garden area and 'fractionals'.
- Re-alignment of the junction at Kennedy Avenue with Argyle Street, with the existing wall being re-positioned to improve visibility splays. Footpath along eastern side of Kennedy Avenue from new pedestrian crossing to Argyle Street junction.
- Re-modelling and re-location and setback of main entrance gates from Grange Road. The gates are to open automatically on the approach of any vehicle. Two matching pedestrian gates are also proposed, recognising the existing pedestrian use from the golf club house to Argyle Street / Grange Road.

#### **Other works**

- Modernisation of existing staff accommodation block to north side of main hotel
- Demolition of existing dining room extension and erect new timber and glass conservatory on same footprint
- Remodelling of sun lounge overlooking golf course, re-cladding and re-glazing it
- Demolition and alteration of outbuildings
- Erection of spa treatment and gym buildings to north side of main hotel
- Erection of smoking cabana to the south of the main hotel
- Replacement of existing flagpole with a 10m tall yardarm pole in the south east corner of the site adjacent to the golf course.
- Replacement of boundary signage (subject of a separate, yet to be received application)

1.4 The redevelopment of the existing hotel and the additional buildings would give a total of 24 hotel bedrooms, plus 9 external suites, and 11 'fractionals'. The total developed footprint of the hotel and its garden ground is approximately 33% of the available land.

## **2. PLANNING HISTORY**

1. 00/00008/FULSU - Erection of entrance porch. Approved 16.02.2000.
2. 03/00307/OUTSU - Demolition of existing timber chalets and erection of self catering lodges (In Outline). Approved 21.11.2003.

## **3. PUBLIC PARTICIPATION**

3.1 The application was originally submitted on 31 May 2007. Following the receipt of representations and consideration of technical issues, the agent submitted an amended application on 29 August. This removed 2 of the 'fractionals' (reducing the number from 13 to 11), thus moving the 'fractional' building further to the east and away from the tree lined Kennedy Avenue. The application was advertised for 21 days on 8 June, 14 September and 28 September as Development in the

Conservation Area, and Affecting the Setting of a Listed Building. Contributions from third parties highlight the following:

- Welcome renovation of dilapidated building
- Additional beds being provided
- Increased employment and economic impact on community
- Loss of trees, including Weeping Elm within garden of hotel
- Impact on trees on boundary of site with Kennedy Avenue and Links House
- Impact on Kennedy Avenue
- Exclusive market being targeted, not what regular visitors want
- Loss of privacy
- Over-development of site
- Development out of character for Dornoch
- Additional traffic on Kennedy Avenue, Golf Road and Argyle Street / Grange Road
- Height and appearance of buildings
- Reduction in property value

3.2 The letters of representation are available in the Area office and will be available at the Committee meeting.

#### **4. CONSULTATIONS**

##### **4.1 Dornoch Community Council**

14 August 2007 – Prepared to support this application provided all planning regulations are met. The new layout means that the ‘fractionals’ are reduced from 13 to 11 lessening the impact on contiguous owners. It is hoped that the Weeping Elm can be saved in situ but if not replanted or cuttings taken. All other trees within the grounds and externally in Kennedy Avenue to be preserved where possible to retain the character of the area. It is hoped that renovation of the main building be commenced at an early date to preserve the building and alleviate the dire shortage of hotel accommodation within the town.

10 September 2007 – The alterations are as presented at the last Community Council meeting and were supported by members to allow the application to proceed. We note that discussions are in progress with reference to various trees and await a satisfactory outcome.

##### **4.2 Internal Consultees**

**TEC Services** – No objections. Road Construction Consent is required for junction works at Kennedy Avenue / Argyle Street, traffic calming and footpath works.

**Contaminated Land Unit** - The site may have had a previously contaminative use from fuel tanks. A contaminated land condition is recommended.

**Archaeology** – This application will affect the outbuildings of the Royal Golf Hotel. The outbuildings to the north of the main hotel building are contemporary with the construction of the building (originally as a house) in 1896, with the remainder of the

outbuildings to the east and north-east being built around the 1960's/early 1970's. All outbuildings affected by this application are of interest as they constitute part of the history and development of the building. Therefore, although the outbuildings may have since been altered both internally and externally, demolition and alteration should not be undertaken without a visual record first being made. Please attach an ARC 3 condition (photographic record) to any consent issued.

**Property and Housing Service** – We consider that the completed properties may be intended for holiday use and as such there would be no requirement for affordable housing to be provided. We also appreciate that the developer is not likely to want affordable housing on site. There is a difficulty if the developer may change their mind and sell these properties outwith the hotel and therefore 'get round' the policy. On balance, we would propose that the developer enters into a s75 agreement which limits use as holiday homes linked to the hotel or enters a s75 agreement requiring a payment of a commuted sum.

**Forestry Officer** – (11 September 2007) The relocated 'fractionals' are within the Root Protection Area identified of 13.6m in the Arboricultural Impact Assessment and well within the normal separation recommended between existing trees of this size and new development. The amended plans show increased separation of the development from Kennedy Avenue. The proposed development will have an impact on the existing trees, many of which are under separate ownership. The loss of one or possibly two more units from the 'fractionals' may be enough to enable the long term retention of these important boundary trees and this is considered a reasonable compromise given the scale of the development. If Committee are minded to approve, then they should be aware that there will be a considerable and longer term impact beyond that identified in the application. It may be possible to relocate the Weeping Elm with a large tree spade. This will be an expensive operation, but not unreasonable given the scale of the development and the importance of the tree.

**Conservation Architect** – (29 June 2007) The Hotel is set in large grounds bounded by walls with many trees. The 'fractionals' would have to be reduced significantly in scale to reduce its impact on the trees and on the established character of the surrounding area, where the scale and grain of the existing development is more modest and less dense.

The proposed replacement extension to the Hotel should be finished in a sandstone coloured wet harl (fine aggregate or finished texture similar to a Tyrolean) rather than the proposed dry dash. Any non-traditional windows which appear to be relatively modern inappropriate tilt and turn PVCu should be replaced with timber windows to match the remainder of the windows. New windows and doors should have matching stone surrounds. Lime mortar should be used for the boundary wall alterations.

#### 4.3 **External Consultees**

**SEPA** – No objections. The surface water drainage proposal outlined in the Drainage Impact Assessment by the developer dated 29 May 2007 is acceptable in terms of water quality.

**Scottish Water** – Londornoch Water Treatment Works currently has sufficient capacity to service the proposed development. There may be issues within the water network. Dornoch Waste Water Treatment Works currently has sufficient capacity to service the proposed development. There may be issues within the waste water network.

## 5. POLICY

5.1 The following policies are relevant to the assessment of the proposal

### **Highland Structure Plan (2001):**

- G2 Design for Sustainability
- H5 Affordable Housing
- H8 Access arrangements for new and existing development
- T2 Tourism Developments
- T3 Self catering tourist accommodation
- BC5 Listed buildings and Conservation Areas

**Highland Council's Supplementary Development Plan Policy Guidance – Affordable Housing** – this states that all new housing developments in the private sector of 10 or more homes in areas of identified housing stress must contain 25% affordable homes.

### **South and East Sutherland Local Plan:**

- Environment policy ENV1 applies to the hotel and grounds – The Council encourages development subject to detailed site factors.
- Environment policy ENV2 applies to the tennis court area and Kennedy Avenue - The Council will favour development unless this would significantly affect important local features.

5.2 The proposal also requires to be assessed against the following relevant Scottish Planning Policies (SPP); National Planning Policy Guidelines (NPPG), and Planning Advice Notes (PAN).

- SPP1 – The Planning System
- SPP3 - Planning for Housing NPPG
- NPPG 18 - Planning and the Historic Environment
- PAN 52 - Planning and Small Towns

## 6. PLANNING APPRAISAL

6.1 **Determining issues** – Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

6.2 The proposal requires to be assessed against both the appropriate policies of the Development Plan, supplementary guidance and National Planning Policy and

Guidelines as referred to in the Policy section. In particular, the proposal requires details assessment of the following fundamental issues:

- whether the principle of development is appropriate in terms of policy
- whether the layout of development is appropriate
- the impact on the amenity of the area and residents
- other material issues raised by the objectors

- 6.3 **Policy** – The site is not specifically allocated by the Local Plan for further development as proposed, although policies ENV1 and ENV2 generally favour development in the area.
- 6.4 The **proposal** is considered to be acceptable in terms of its impact on water and sewerage servicing, drainage and road and access provision, as required by Policy G2. TEC Services have indicated that the proposal is acceptable, with the re-alignment of the junction at Kennedy Avenue / Argyle Street and traffic calming / pedestrian access required as part of the development. The proposal therefore accords with the road servicing requirements of Policy G2 and Policy H8.
- 6.5 The proposal will have an impact on the existing individual and community residential amenity of the area. The additional buildings, particularly the ‘fractionals’, will be a significant change to the garden area to the west of the hotel. These are 1¾ to 2¾ storeys to take advantage of the slope of the site. The buildings will be set back 15.75m from 7 Argyle Street to the north and 22.3m from Links House to the south. These existing properties are screened by a wall (to be set back and over 2m high towards Argyle Street) and high trees on the boundary with Links House. The amended proposal has repositioned the ‘fractionals’ to be at least 8.4m from the stone wall and metal railing fence on the western boundary of the garden adjacent to Kennedy Avenue, reducing their impact on the existing trees. Due to the taper in the line of buildings relative to the site boundary, this separation increases more towards Links House. Members should however recognise that the southern edge of the ‘fractionals’ does lie very close at between 5.4m and 7m from the boundary and mature screen of trees at Links House. At this point, the buildings would be 1¾ to 2¾ storeys when viewed from east to west from Links House. Additionally, when the trees are not in leaf, there are different amenity, overlooking and day lighting implications for this elevation.
- 6.6 The developer has undertaken an **Arboricultural Survey** of the site as part of the planning application. This has identified a number of trees within, on the edge and surrounding the site. The amended proposal gives a separation of approximately 10m from the Category A Elm tree and other mature trees along Kennedy Avenue to the ‘fractionals’. This is still within the Root Protection Area identified of 13.6m and well within the normal separation recommended between existing trees of this size and new development. The loss of one or possibly two more ‘fractionals’ may be enough to enable the long term retention of the important boundary trees. **Members should be aware that if they are minded to approve the proposal, then it is considered that there will be considerable and longer term impact beyond that identified in the application on the existing trees around and within the site.**

- 6.7 The agent has suggested that a return to pollarding the row of sycamores and elm on the boundary with Links House would increase light incidence within the proposed development, although points out that the 'fractionals' will only provide temporary accommodation. Furthermore they have indicated that a holly or yew hedge could be provided along this boundary to increase the level of privacy between properties.
- 6.8 The **materials** proposed for the extension to the hotel, plus those for the 9No. bedrooms and 11 'fractionals' and smaller ancillary buildings are stone, slate and harling. These and the design of the buildings are judged to be appropriate and they are considered to be acceptable with respect to the setting of the built development on the edge of the Conservation Area. The design is judged to be in keeping with local character and historic environment and in making use of appropriate materials and therefore accords with Policies G2 and BC5.
- 6.9 **Property and Housing Services** have indicated that the proposal may require to be assessed against the Council's Affordable Housing Policy H5. Members will note that there are active discussions with the developer on the use of the 'fractionals'. In order to meet the requirements of the Policy, I would advise Members that the developer enters into a s75 agreement limiting the use of the 'fractionals' to holiday homes linked to the hotel, or the entering of a s75 agreement requiring payment of a commuted sum. Furthermore, in order to meet the terms of Policy T3, an appropriate occupancy condition is required, limiting the occupancy of the 'fractionals' to ensure that they are not used as the sole place of residence by any individual.
- 6.10 Policy G2 also requires the proposal to be assessed on the extent to which it will contribute to the economic and social development of the community. Members will acknowledge that the hotel requires a considerable degree of investment in order to bring it up to a modern standard. The agent has indicated that much of the existing hotel requires total refurbishment including the following:
- Windows and glazing
  - Rhones and downpipes
  - Roofing slates to repair and replace
  - Poor sanitary ware
  - Noisy and ineffective mechanical ventilation
  - Inadequate hot water capacity
  - Inadequate water supply and pressure
  - Corrosion of pipework
  - Overloaded electrical circuits
  - Exterior and interior paintwork poor
  - Poor quality construction and insulation of timber extensions
  - Sub-standard bedroom accommodation
- 6.11 The agent has suggested that following assessment of the remedial works required, the type of accommodation required for the target market and the management and running costs on completion, a minimum of 33 double bedrooms are required. There are currently 26 bedrooms in the hotel. Appraisal of the 26 bedrooms and



the existing space within the hotel by the agent has suggested that the existing building can provide 18 bedrooms of varying sizes, quality and outlook. The construction of the hotel does not lend itself to easy upgrading and consolidation. The addition of an extension to the north east side of the existing hotel building will give a total 24 bedrooms within the modernised hotel. The additional accommodation in the existing garden to the west of the hotel is claimed to be required in order to achieve the minimum of 33 bedrooms, and to generate additional income to finance the upgrading and extension of the main building.

#### **6.12 Representations** have been received and these are set out at para 3.1

- Impact on Kennedy Avenue – Following the submission of the amended application, with the ‘fractionals’ being moved east and further from Kennedy Avenue, and the re-location of the pond and access to the car park further down the slope towards Links House, it is considered that the proposal will have a significantly lower impact on Kennedy Avenue than originally anticipated.
- Impact on trees on boundary of site with Kennedy Avenue and Links House and loss of Weeping Elm – The amended scheme will have a lower impact on the trees in Kennedy Avenue. The Weeping Elm within the grounds of the hotel will be removed from the site. Whilst the agent appreciates the sentimental impact that this tree has to many in the community, its retention is not considered possible if the number of ‘fractionals’ is to be retained. The agent has indicated that the client is currently looking at the possibility of using specialist machinery to re-locate the tree to another site in the area.
- Exclusive market being targeted, not what regular visitors want – This is not a material planning consideration and is for the commercial market to decide.
- Additional traffic on Kennedy Avenue, Golf Road and Argyle Street / Grange Road – TEC Services has indicated that the proposal is acceptable. Junction improvements are to be undertaken with the relocation of the high wall to the east by the developer making the Kennedy Avenue / Argyle Street junction much safer.
- Height and appearance of buildings – The design and materials proposed are considered to be acceptable taking into account the slope of the site. The area has a mix of heights of building, with Ross House, Links House, the golf club and hotel being larger properties. Lower single, 1½ and 2 storey houses are found on Argyle Street and streets to the north and vary considerably in overall height.
- Development out of character for Dornoch – The design of buildings proposed is considered to be acceptable for the site. They complement the existing larger commercial and non-residential buildings found in the area.
- Over-development of site – The developer has indicated that the buildings currently occupy approximately 17% of the hotel site, and that the development would occupy approximately 33% of the hotel site. I do not consider that this constitutes over-development.
- Loss of privacy – There will be a degree of reduction in the privacy currently enjoyed by neighbouring properties, particularly towards Links House to the south. However, it is considered that due to the 22.3m horizontal separation between the ‘fractionals’ and Links House, this separation is acceptable.
- Reduction in property value – This is not a material planning consideration.

6.13 Members will recognise that there is a significant financial investment required to bring the hotel back up to a good standard. In my view the proposal must be welcomed from an economic and social perspective, helping to bring back into use a much needed hotel and provide additional bed spaces in Dornoch. There will undoubtedly be spin-off benefits during construction works and over the longer term with employment and ancillary services. These will help in consolidating tourism in the area and will contribute to the economic and social development of the community as required by Policy G2. However, this considerable economic benefit must be balanced against the impact that the development will have on the character of the area, and in particular with respect to the streetscape and trees. These will be affected both in the short and long term. Given the importance of the development to the area, I consider that the amended proposal submitted by the developers, which has moved the 'fractionals' further away from the trees on Kennedy Avenue, is a reasonable compromise between the existing trees and their importance to the quality of urban streetscape, and the economic importance of the development for longer term growth and consolidation of business, tourism and employment to Dornoch. The proposal is therefore, on balance, judged to be acceptable.

## **7. CONCLUSION**

- 7.1 I consider that the proposal accords with the development plan policy. It is my view that the proposal is, on balance, acceptable, and that it will be a considerable benefit to the local economy.
- 7.2 I recommend to Members that the developer enters into an appropriate legal agreement either to confirm that the 'fractionals' will only be occupied for holiday use, or to secure affordable housing in accordance with Council Policy. Discussions with the developer in this regard are ongoing and a verbal update will be provided at Committee.

## **RECOMMENDATION**

### **Grant planning permission subject to conditions and following the prior conclusion of an appropriate legal agreement (see 7.2):**

- 1 Except as otherwise provided by the terms of this permission, the developer shall construct and operate the development in accordance with the plans and supporting information submitted with the application and docketed hereto with no deviation there from unless otherwise approved in writing by the Planning Authority.

Reason: In order to clarify the terms other permission hereby granted and to ensure that the development is implemented as approved.

- 2 Prior to the commencement of development, detailed proposals for the disposal of surface water from the site, which shall require to follow the principles of Sustainable Drainage Systems (SuDS) shall be submitted to and require the approval in writing of the Planning Authority in consultation with the Roads Authority

and SEPA. All proposals thereby approved shall be implemented prior to occupation of the houses.

Reason: In order to ensure that the site is properly drained, as no details have been provided and for the avoidance of doubt.

- 3 Prior to any development commencing on site, a scheme to deal with potential contamination on site shall be submitted to and require the approval in writing of the Planning Authority in consultation with the Council's Contaminated Land Unit, and the approved scheme shall be implemented thereafter in full to the satisfaction of the Planning Authority in consultation with the Council's Contaminated Land Unit.

The scheme, which may be undertaken on a phased and progressive basis, shall contain details of proposals to deal with potential contamination and shall include:-

- (a) An assessment of the nature, extent and type of contamination on site, identification of pollutant linkages and assessment of risk. The scope and method of this assessment shall be agreed in advance with the Planning Authority in consultation with the Council's Contaminated Land Unit and shall be undertaken in accordance with PAN 33(2000) and BS10175:2001.
- (b) A Remedial Strategy (if required) to treat/remove contamination to ensure that the site is fit for the use(s) proposed. This shall include a method statement, programme of works, proposed verification plan and proposals for the ongoing monitoring of the condition of the site.
- (c) A Validation Report (should remedial action be required) by a competent person who will validate and verify the completion of works to a satisfactory standard as agreed with the Planning Authority in consultation with the Council's Contaminated Land Unit.

Written confirmation from the Planning Authority in consultation with the Council's Contaminated Land Unit that the approved scheme has been satisfactorily implemented and completed, and that, if appropriate, monitoring measures are satisfactorily in place, shall be required by the developer before any development hereby approved commences on site.

Reason: In order to ascertain that there is no land contamination on the site, for the avoidance of doubt and as no details have been provided.

- 4 Prior to the commencement of development the developer shall provide full written details of the materials, finishes and colours of the individual houses for the approval in writing of the Planning Authority. For the avoidance of doubt the roofs shall be finished in grey slate. The external wall finishes shall incorporate natural and random cut stone features, and dry dash render.

Reason: In the interests of residential amenity, as exact details have not been provided, and for the avoidance of doubt.

- 5 All drainage arrangements shall be provided to the satisfaction of the Planning Authority, in consultation with the Scottish Environment Protection Agency, the Water Authority and Building Standards Authority. For the avoidance of doubt, foul

drainage shall be by means of a connection to the public sewer. All proposals thereby approved shall be implemented prior to occupation of the hotel or 'fractionals'.

Reason: In order to ensure that the site is properly drained, as no details have been provided and for the avoidance of doubt.

- 6 All access arrangements shall be provided to the satisfaction of the Planning Authority in accordance with the Roads Authority. For the avoidance of doubt, all roads and footpaths shall be constructed to the adoptive standards of the Roads Authority and no buildings shall be constructed until such time as Road Construction Consent has been granted for the works. Prior to the commencement of development the junction improvements and footpath extensions and upgrading identified on plan 07009/011/F shall be undertaken by the developers and at their expense to the satisfaction of the Planning Authority in consultation with the Roads Authority, and shall include the widening and reconstruction of the Kennedy Avenue junction with Argyle Street, with associated footpath and traffic calming measures.

Reason: In the interests of road safety and for the avoidance of doubt.

- 7 Unless otherwise approved in writing by the Planning Authority, hours of operation on the site shall be restricted to 7.30am to 7.00pm Monday to Friday, 7.30am to 1pm on Saturdays, with no Sunday working.

Reason: In the interests of residential amenity, in order to avoid disturbance and nuisance, and for the avoidance of doubt.

- 8 Prior to the commencement of development, a photographic record shall be made of the remains of old buildings and / or other features affected by the proposed development, in accordance with the attached specification, and shall thereafter be submitted to the Planning Authority. No site clearance work shall take place until confirmation in writing has been received from the Planning Authority that the record made has been lodged and is satisfactory.

Reason: To protect the historic interest of the site

- 9 The 11No. 'fractionals' and 9No. hotel bedrooms hereby approved shall be used for holiday purposes only and shall not be occupied at any time as the sole or main place of residence of any occupant.

Reason: In order to ensure that the 11No. 'fractionals' and 9No. hotel bedrooms are occupied for holiday purposes only and not as permanent residential accommodation, and for the avoidance of doubt.

- 10 Prior to the commencement of development on the 'fractionals' or hotel bedrooms to the west of the main hotel building, a fully detailed scheme of landscaping for the site, including a scheme of maintenance, shall be submitted to and require the approval in writing of the Planning Authority. All planting thereby approved shall be undertaken in the first planting season following completion of the development and shall thereafter be maintained in accordance with the approved scheme of

maintenance. Any plants which, within a period of five years from the completion of the development die, are removed, or become seriously damaged or diseased, shall be replaced in the immediately following planting season with others of a similar size and species.

Reason: In the interests of amenity and in order to ensure that the development is adequately screened.

- 11 With effect from the date of this permission, no trees within the site shall be lopped, topped, felled or otherwise damaged unless otherwise approved in writing by the Planning Authority.

Reason: In order to ensure the protection of existing trees within the site.

- 12 Within 3 months from the commencement of development, or such other period of time as may be agreed, the developer shall identify an alternative site on which to relocate the Weeping Elm Tree and shall provide a Method Statement and plan detailing its relocation to this new site for the agreement in writing of the Planning Authority. The developer shall thereafter re-locate the tree to the new site in accordance with a timetable to be agreed in writing with the Planning Authority.

Reason: In the interests of amenity and as no details have been provided.

- 13 The re-aligned boundary wall and gate piers shall be constructed using a lime mortar.

Reason: In the interests of amenity and for the avoidance of doubt.

- 14 All new windows in the extension to the hotel shall be timber to match the original windows in the hotel and shall have stone surrounds.

Reason: In the interests of amenity and for the avoidance of doubt.

- 15 The proposed replacement extension to the Hotel should be finished in a sandstone coloured wet harl (fine aggregate or finished texture similar to a Tyrolean).

Reason: In the interests of amenity and for the avoidance of doubt.

- 16 The hotel car park shall be surfaced in tarmac finished with a gravel finish.

Reason: In the interests of amenity and for the avoidance of doubt.

### **Informatives**

The applicant must make a separate application to Scottish Water Planning & Development Services team for permission to connect to the public wastewater system and/or water network at the appropriate time. It is important to note that the granting of planning consent does not guarantee a connection to Scottish Water's assets. The applicant must contact Scottish Water Operations Technical Support Team to ascertain what measures are to be taken to protect this apparatus. A

connection to the public sewer network system is dependent on the spare capacity at the time of application for a sewer connection. A supply from the public water network is dependent on spare capacity at the time of application for a water connection.

Alan J. Todd.

Signature:

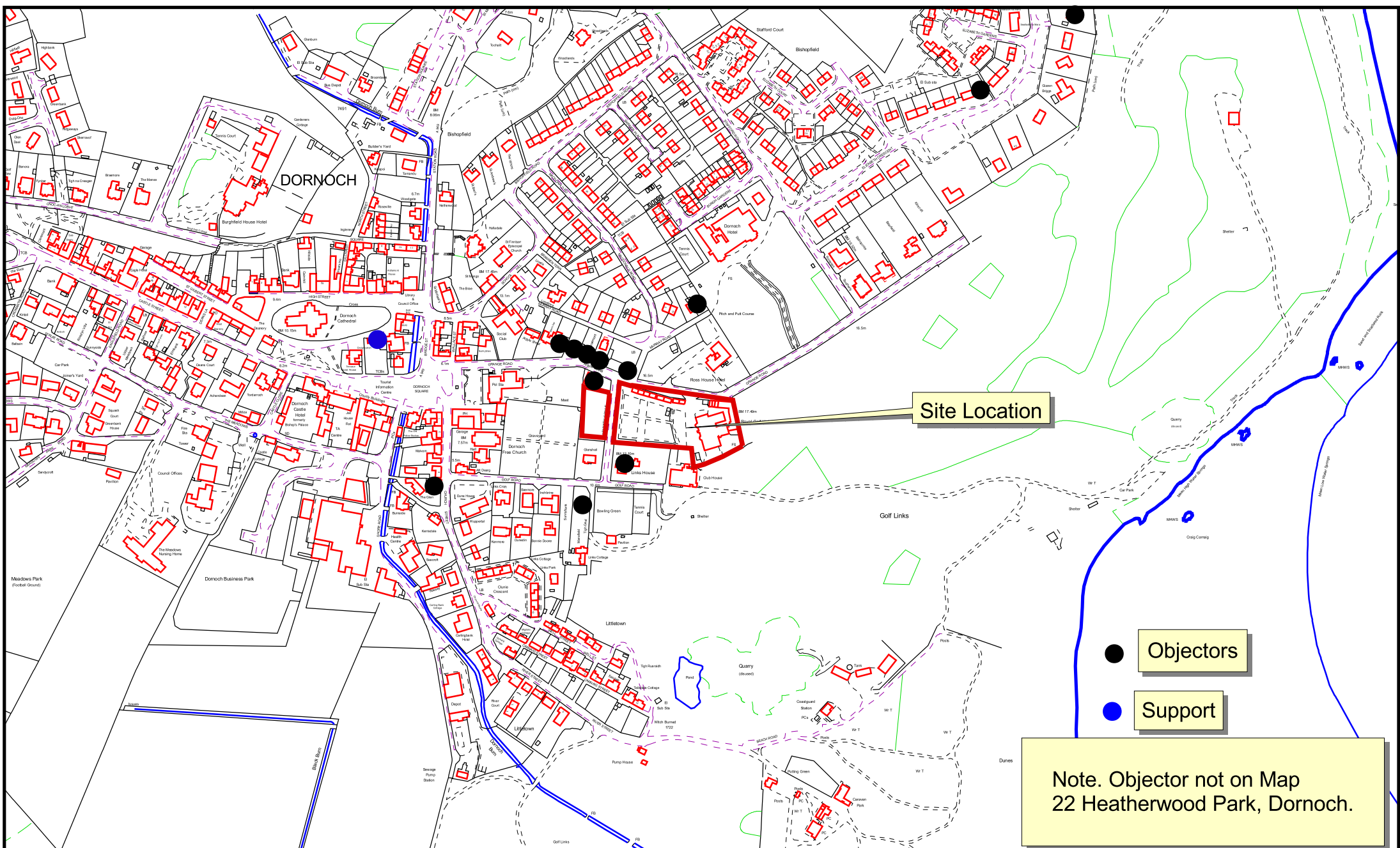


Designation: Area Planning & Building Standards Manager

Author: Bob Robertson 01862 812044

Background Papers: As referred to in the report above and case file reference number 07/00217/FULSU

Date: 10 October 2007



Site Location

- Objectors
- Support

Note. Objector not on Map  
22 Heatherwood Park, Dornoch.



07/00217/FULSU  
 Alteration and extension of hotel building. Demolition and alteration of outbuildings. Erection of spa, 9 bedroomed hotel wing and 13 apartments.  
 Formation of car parking. Alteration of entrance gates and boundary walls. Installation of oil heating storage tank and flagpole.  
 Provision of new hard and soft landscaping at Royal Golf Hotel, Dornoch.

Havana West Ltd  
 per Maxwell & Co.  
 26 Huntly Street  
 Inverness.

Date: 26 July 2007

**SUPPLIED BY THE HIGHLAND COUNCIL**  
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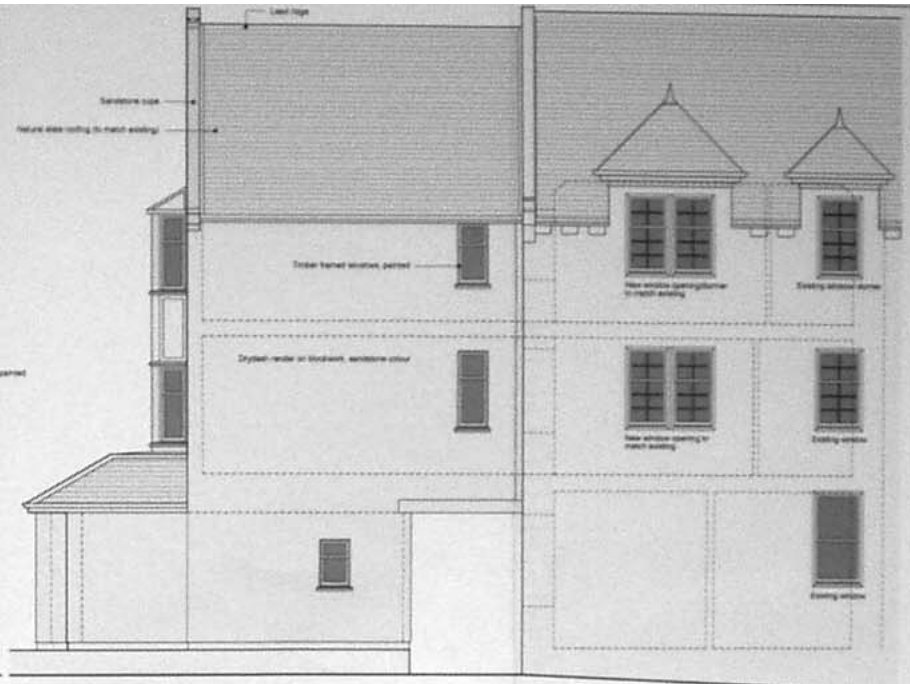
Road Demarcation  
 Course 10 Farway

Royal Dornoch  
 Golf Club





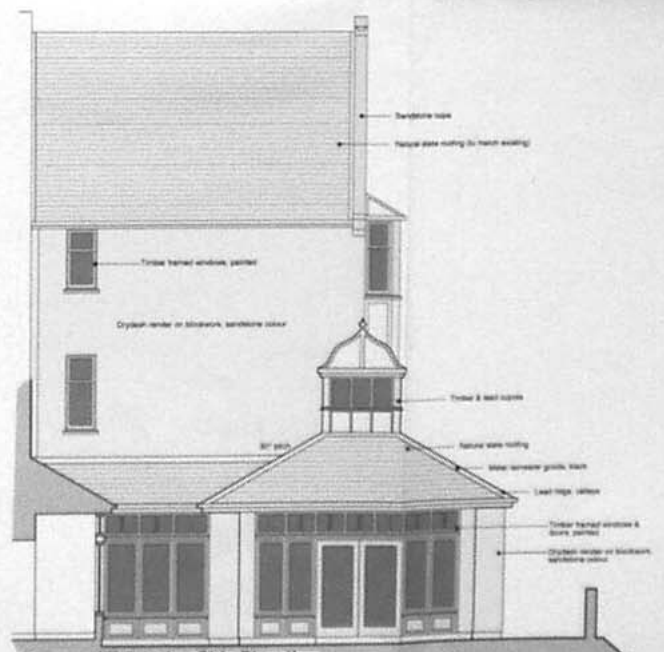
Proposed Extension Front Elevation  
(Scale 1:50)



Proposed Extension Side Elevation  
(Scale 1:50)



Side Elevation - Proposed Door Openings to Existing  
(Scale 1:50)



Proposed Extension Side Elevation  
(Scale 1:50)

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Proposed Apartments North Elevation 1  
(Scale 1:100)



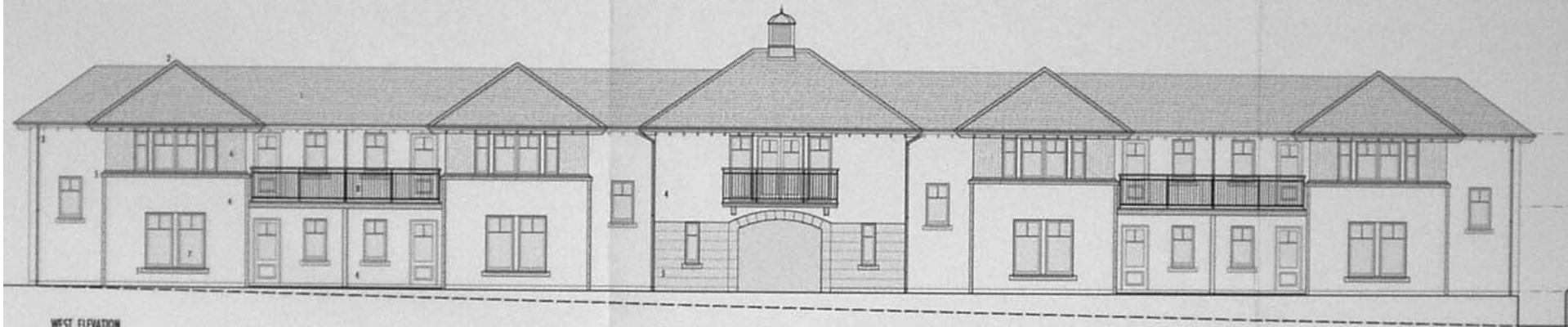
Proposed Apartments West Elevation 2  
(Scale 1:100)



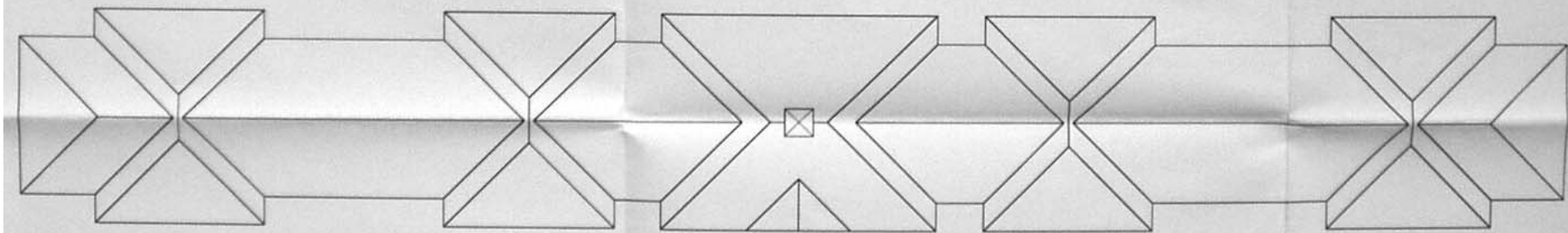
Proposed Apartments South Elevation 3  
(Scale 1:100)



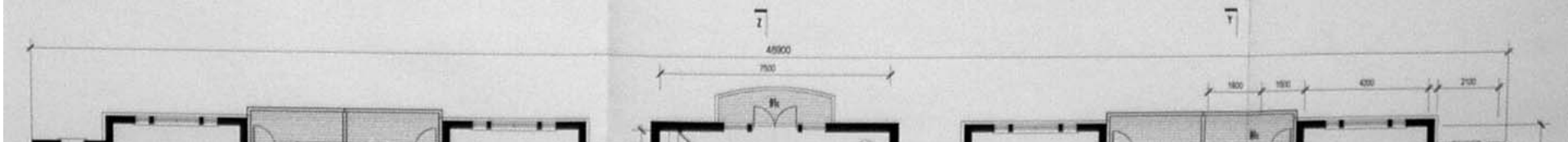
EAST ELEVATION



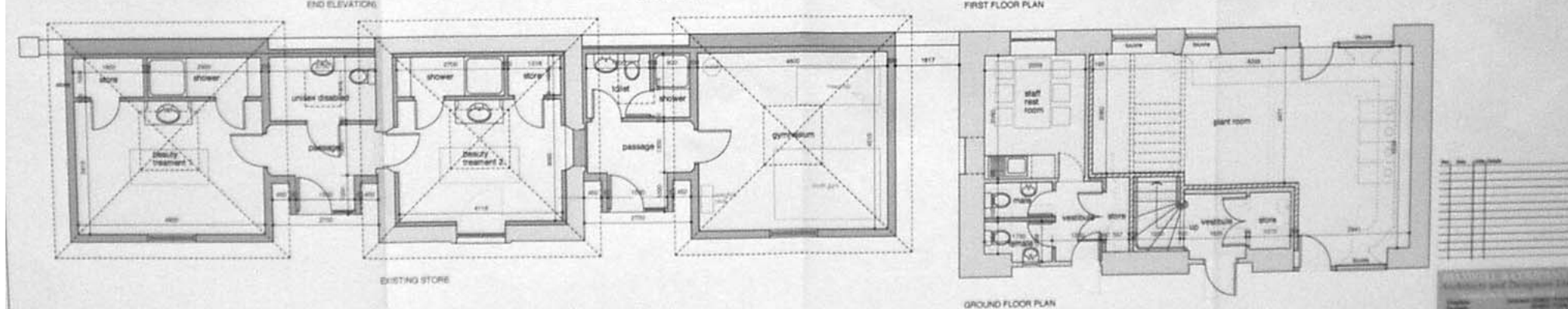
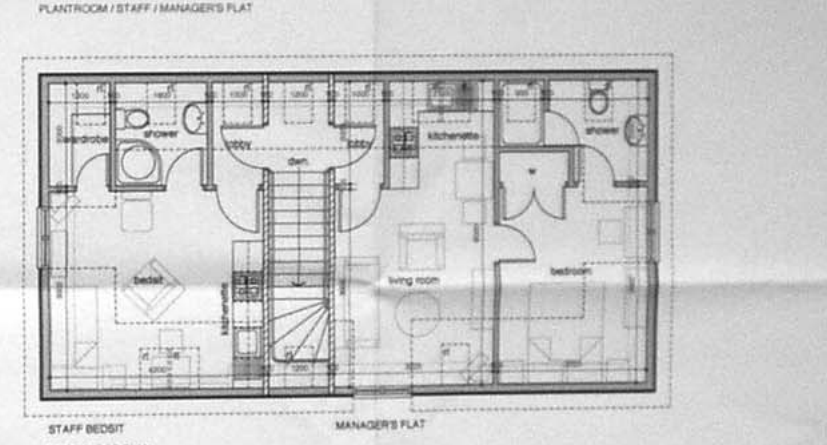
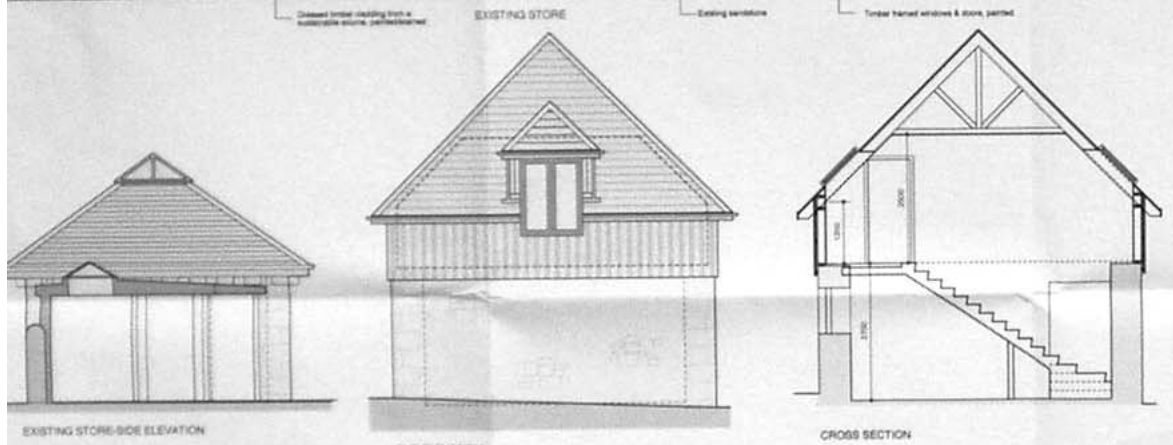
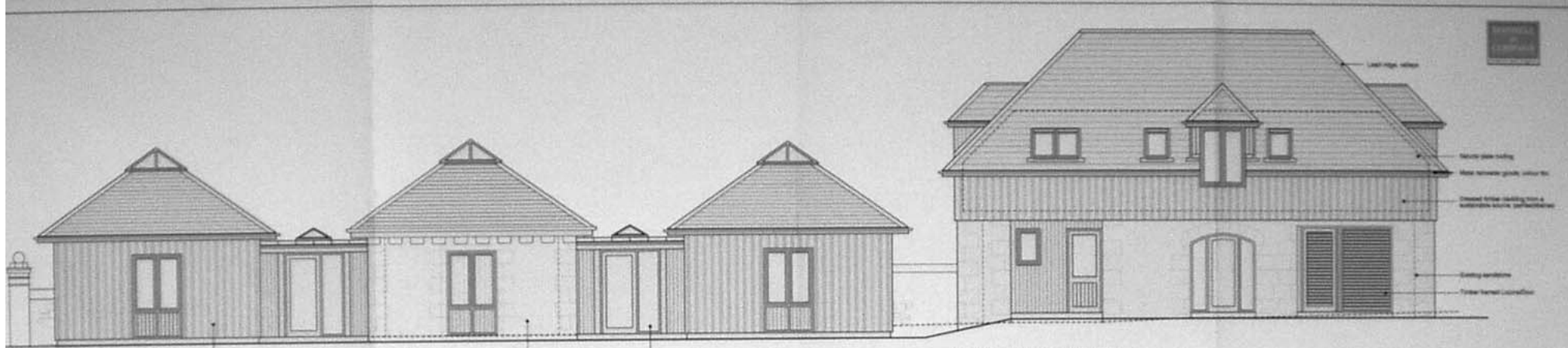
WEST ELEVATION



ROOF PLAN







Architect and Designer Ltd	
Project:	Stations for
Client:	The Royal Docklands Development
Drawn:	Michael Thompson, BA
Scale:	1:100
Date:	10/10/07
07009 017 A	