

THE HIGHLAND COUNCIL

**CAITHNESS, SUTHERLAND AND EASTER ROSS PLANNING
APPLICATIONS COMMITTEE – 22 September 2009**

Agenda Item	4.2
Report No	43/09

**09/00104/LBCCA: Messrs Coghill
East Wing, Stemster House, Halkirk, KW12 6UX**

Report by Area Planning and Building Standards Manager

SUMMARY

Description : Repairs and internal alterations

Recommendation - Grant subject to conditions

Ward : 4 – Landward Caithness

Development category : Local Development

Pre-determination hearing : not required

Reason not delegated : Local Member, Robert Coghill, is a partner in the company making the application.

1. PROPOSAL

- 1.1 The application seeks listed building consent for external repairs and internal alterations to the east wing of the grade B listed Stemster House. The east wing of this listed building is currently disused and the repair/alteration work would allow this part of the building to be brought back into active use.

The external works include repairs to the stonework and slate roof and a replacement entrance door between the east wing and rear courtyard. There is a large area adjacent to the north-east corner where the external ground level is approximately 700mm higher than the internal floor level. This is to be removed with the stone steps reconstructed at a new location.

The internal alterations to the ground floor include the removal of a partition wall between the existing sitting room and hall. An existing stairway is to be relocated to the location of the current pantry and a utility/shower room provided in its place. The internal alterations to the first floor include the new stairway which replaces an existing bathroom. A new bathroom is proposed in the location of the existing stairway.

2. SITE DESCRIPTION

- 2.1 The site is the east wing of the grade B listed, mid to late 19th Century, Stemster House. Stemster House is two and a half storeys, symmetrically fronted and comprises of a central core flanked by an east and west wing. The east wing is currently disused.

3. PLANNING HISTORY

- 3.1 None relevant to the consideration of the proposal.

4. PUBLIC PARTICIPATION

- 4.1 Advertised : Listed Building (expired 22 May 2009)

Representation deadline : 22 May 2009

Timeous representations : For - No Against - No Neutral - No

Late representations : For - No Against - No Neutral - No

5. CONSULTATIONS

- 5.1 **Historic Scotland:** No objections. Content with the internal alterations and the re-use of the east wing is welcomed. Externally there appears to be little change, other than a replacement entrance door within the rear courtyard. Advised that the Council should seek further details on the construction and finish of the door and the flue for the kitchen.
- 5.2 **SNH:** No objections. Initial response raised concerns regarding the presence of bats in the building. This concern was resolved following discussion with the agent and SNH confirmed that they were satisfied that due to the limited impact on the roof space, bats would not be significantly affected by the development.

6. POLICY

- 6.1 The following policies are relevant to the assessment of the proposal

Highland Structure Plan 2001

G6 Conservation and promotion of the Highland heritage

Caithness Local Plan

PP1 Primary Policy 1 – The Council will encourage development subject to detailed site factors.

7. PLANNING APPRAISAL

7.1 Determining issues - Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

7.2 Proposals require to be assessed against the appropriate policies of the Development Plan, supplementary guidance and National Planning Policy and Guidelines as referred to in the Policy section. Proposals require detailed assessment of the following fundamental issues, where relevant:

- whether the principle of development is appropriate in terms of policy
- whether the layout of development is appropriate
- the impact on the amenity of the area and residents

7.3 Key issues

The proposed works to the grade B listed building will bring the east wing back into use and prevent further external and internal decline. The external consultees detailed in paragraphs 5.1 and 5.2 above have no objections to the proposed works. Acting on the advice from Historic Scotland, details on the construction and finish of the new door which leads from the east wing to the rear courtyard were requested. The dimensions of the door frame will remain exactly the same as present, however, the door itself will now have glass in its upper section instead of being completely timber. Although not a like for like replacement, the door is to be traditional in form and is therefore considered sympathetic to the character of the listed building.

The proposed works do not comprise a significant alteration to the fabric of the east wing which has undergone alterations in the past. The staircase which is to be removed has suffered from rot due to water ingress. The change in position of the staircase facilitates the re-use of the building whilst addressing the rot issue. The proposal is not considered to be detrimental to the character or appearance of the listed building and is therefore considered to accord with the Highland Structure Plan and Local Plan policies noted in paragraph 6.1 above.

8. CONCLUSION

8.1 The proposal is considered to accord with the relevant policies noted in paragraph 6.1 above. The works to the grade B listed building are considered to be sympathetic to its character and appearance.

RECOMMENDATION

Action required before decision issued Y

Notification to Scottish Ministers N

Notification to Historic Scotland Y

Conclusion of Section 75 Agreement N

Revocation of previous permission N

Reason: As works are to grade B listed building, Historic Scotland must be notified of intention to grant listed building consent.

It is recommended that the application be **granted subject to the following conditions** and note to applicant.

1. Except as otherwise provided by the terms of this permission, the developer shall construct and operate the development in accordance with the plans and supporting information submitted with the application and docketed as relative hereto with no deviation therefrom unless otherwise approved in writing by the Planning Authority.

Reason : In order to clarify the terms of the permission hereby granted and to ensure that the development is implemented as approved.

2. The work to which this Listed Building Consent relates must commence within FIVE YEARS of the date of this decision notice.

Reason : In order to accord with the statutory requirements of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997.

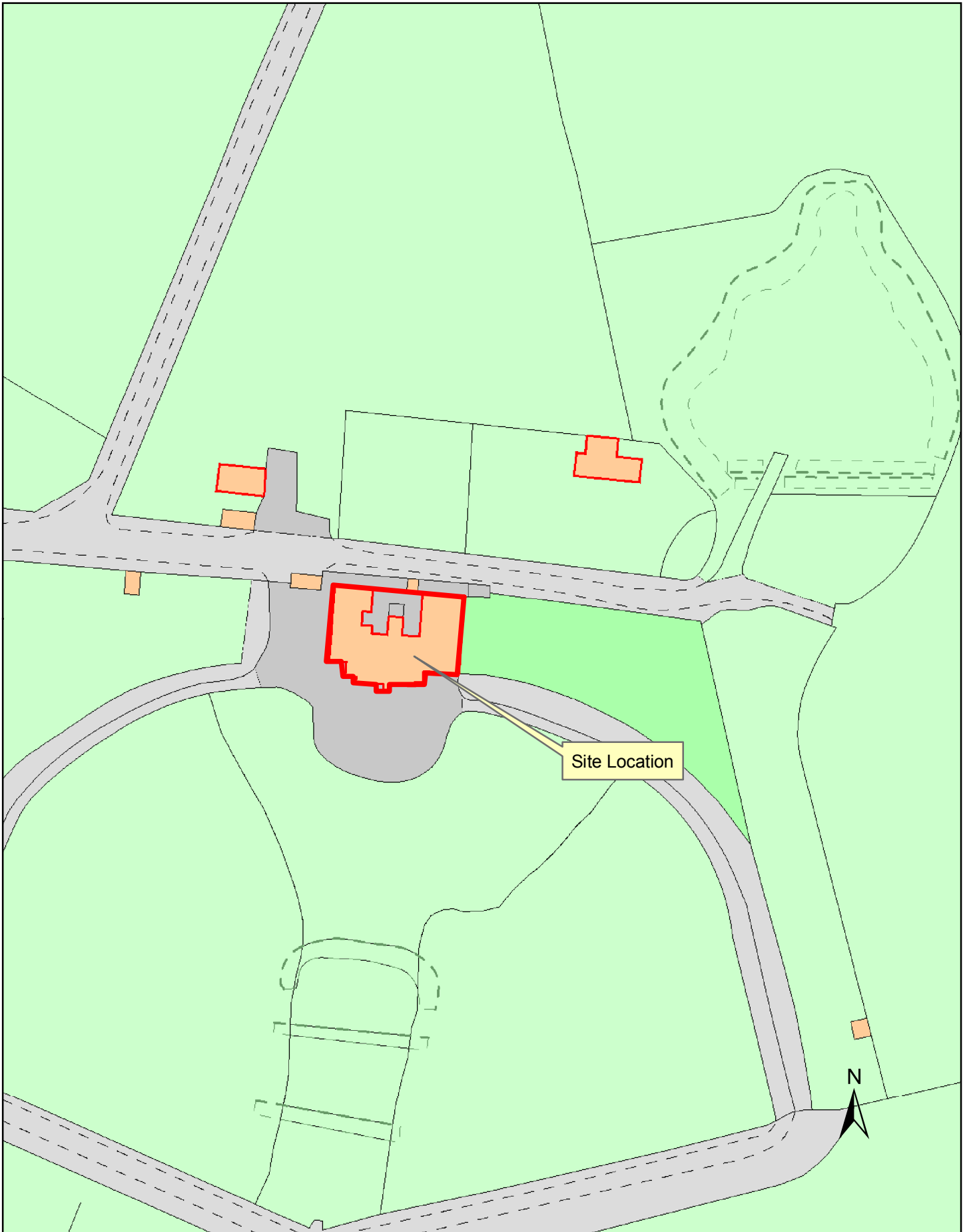
Note to Applicant

Conditions: Your attention is drawn to the conditions attached to this permission. Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to meet these conditions may invalidate your permission or result in formal enforcement action.

Signature: Allan J Todd
Designation: Area Planning & Building Standards Manager (CS&ER)
Author: Rebecca Scott
Designation: Graduate Planner
Report Date: 8 September 2009

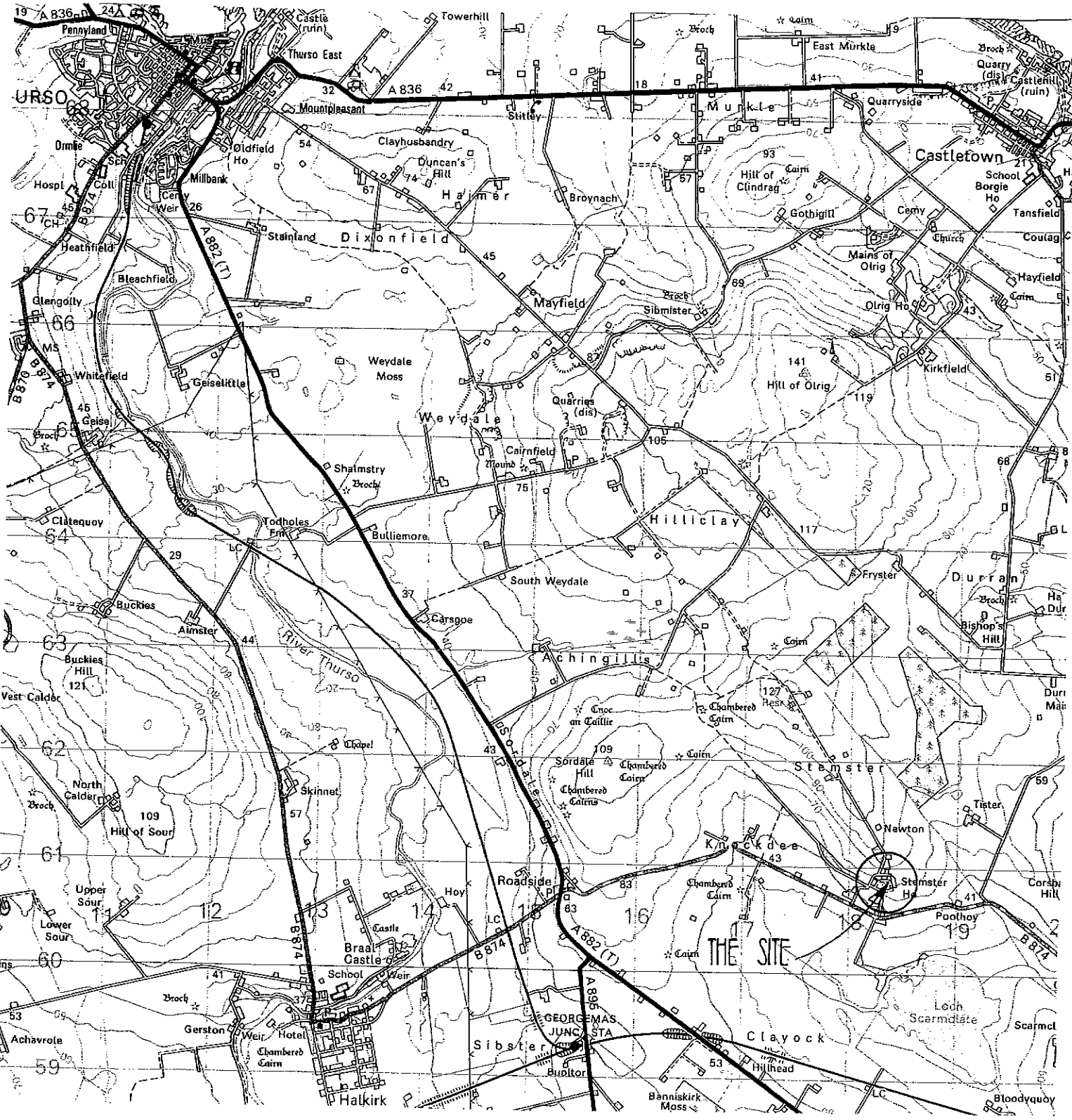
Background Papers: Highland Structure Plan (2001)
Caithness Local Plan

Relevant Plans: Plan 1 – Location/site plan – Drg No: 07/021/011
Plan 2 – Ground floor plan existing – Drg No: 07/021/001
Plan 3 – Upper floor plan existing – Drg No: 07/021/002
Plan 4 - Ground floor plan proposed – Drg No: 07/021/003
Plan 5 – Upper floor plan proposed – Drg No: 07/021/004/A
Plan 6 – Ground Floor plan proposed (detailed spec) – Drg No:
07/021/003/A
Plan 7 – Upper floor plan proposed (detailed spec) – Drg No: 07/021/004/A
Plan 8 – Site plan – Drg No: 07/021/011

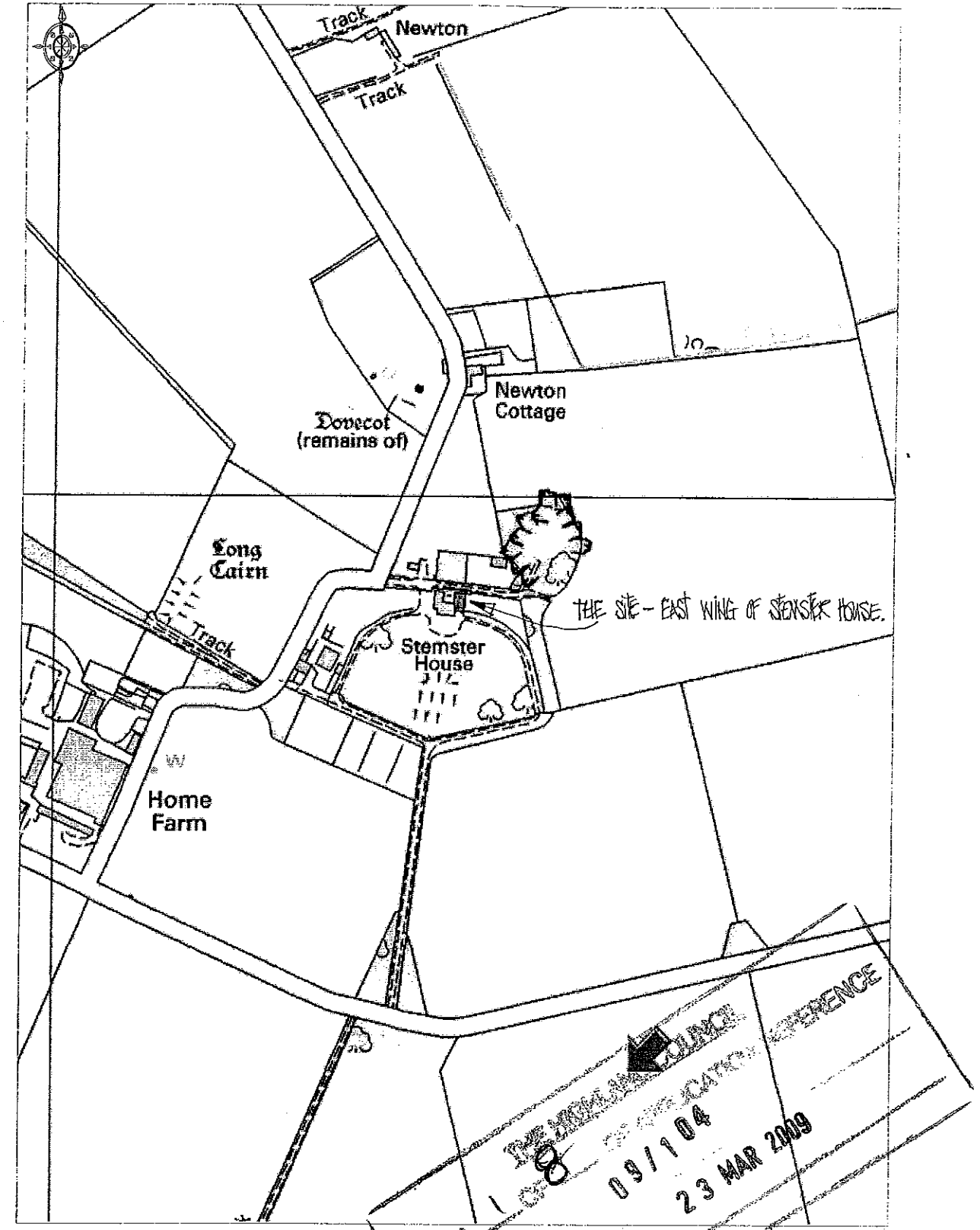
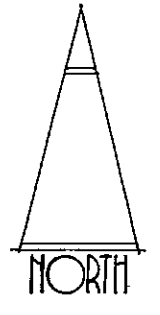


09/00104/LBCCA
Repairs and internal alterations at
East Wing Stemster House, Halkirk.

Messrs Coghill
Per Macdonald Associates
Wetherhill
Dornoch



LOCATION PLAN 1:50,000.



SITE PLAN 1:5,000.

RECEIVED
 THE ARCHITECTS' REFERENCE
 09/104
 23 MAR 2009

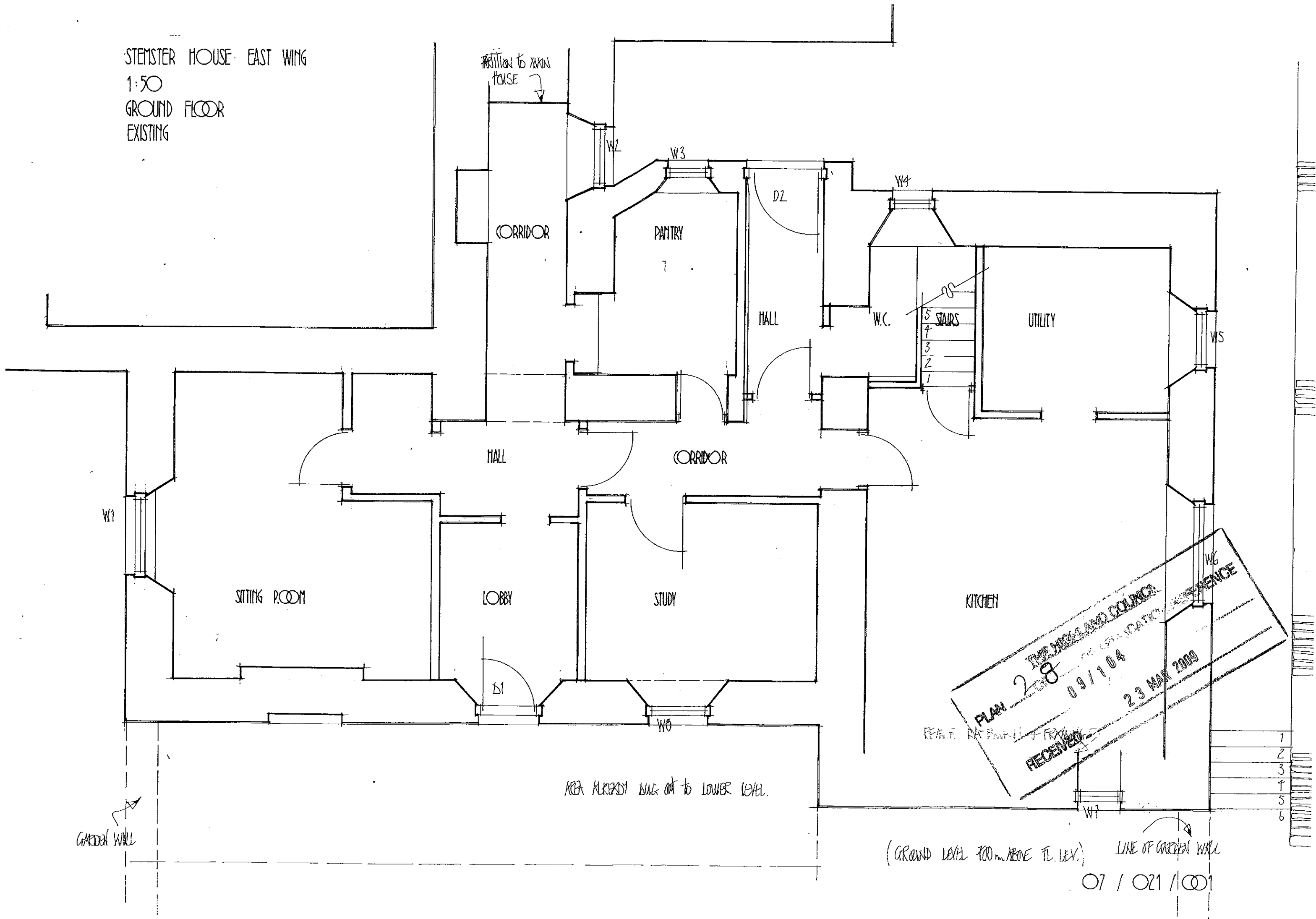
**MACDONALD
 ASSOCIATES
 DORNOCH**

ARCHITECTURE: LANDSCAPE + DESIGN
 WETHERHILL, DORNOCH, SUTHERLAND, SCOTLAND IV25 3JH
 TEL/FAX: 01862 810765, E: archi.mac@btconnect.com

PROPOSED UPGRADING OF EAST
 WING: STEMSTER HOUSE HALKIRK
 KW12 6UX

07 021 010

STEMSTER HOUSE - EAST WING
1:50
GROUND FLOOR
EXISTING



PROVISION TO MAIN HOUSE

W2

W3

D2

W4

CORRIDOR

PANTRY

HALL

W.C.

5 STAIRS
4
3
2
1

UTILITY

W5

HALL

CORRIDOR

W1

SITTING ROOM

LOBBY

STUDY

KITCHEN

W6

D1

W6

AREA ALREADY BUILT OUT TO LOWER LEVEL.

PLAN 28
THE ARCHITECTS
09/1/04
RECEIVED
23 MAR 2009

GARDEN WALL

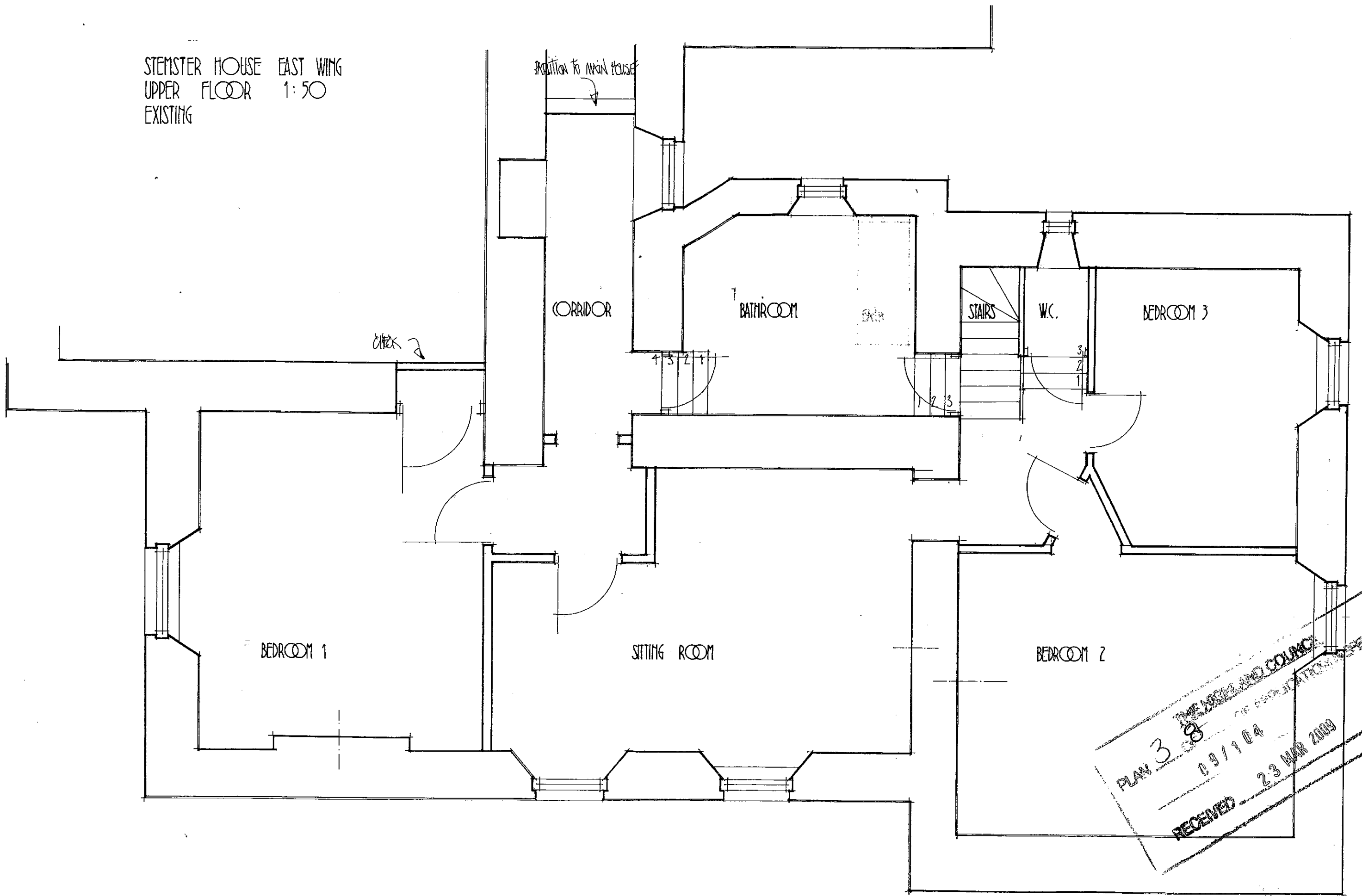
(GROUND LEVEL 700m ABOVE F.L. LEVEL)

LINE OF GARDEN WALL

07 / 021 / 001

1
2
3
4
5
6

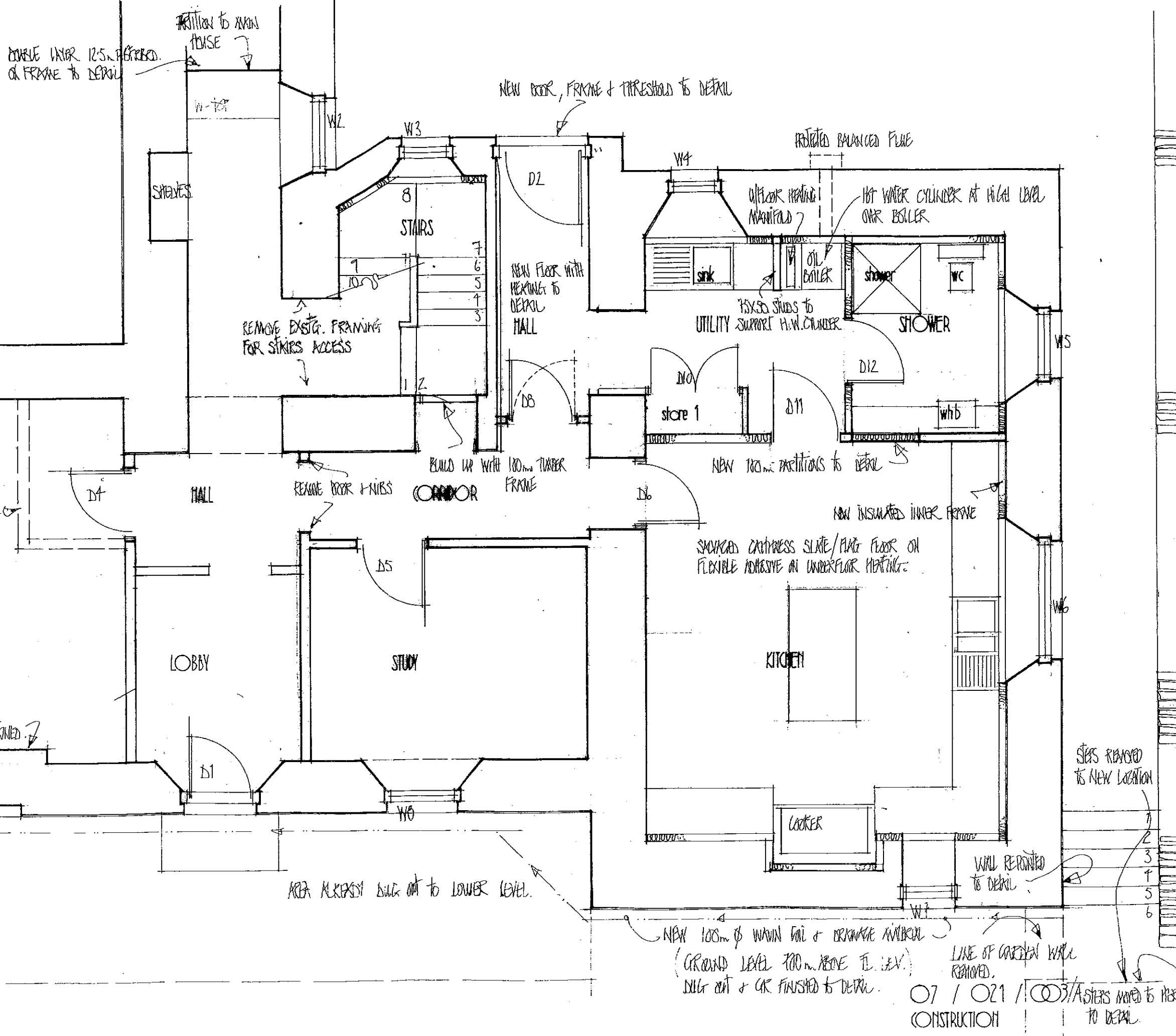
STEMSTER HOUSE EAST WING
UPPER FLOOR 1:50
EXISTING



PLAN 3 8
RECEIVED 09/104
23 MAR 2009
THE DISTRICT COUNCIL OF SOUTHAMPTON
PLANNING REFERENCE

STEMSTER HOUSE EAST WING
 1:50
 GROUND FLOOR
 PROPOSED ALTERATIONS

RECEIVED 23 MAR 2009
 09/104
 PLAN 8
 THE ARCHITECTS
 OF 100 COLTON STREET
 LONDON WC1A 3BS

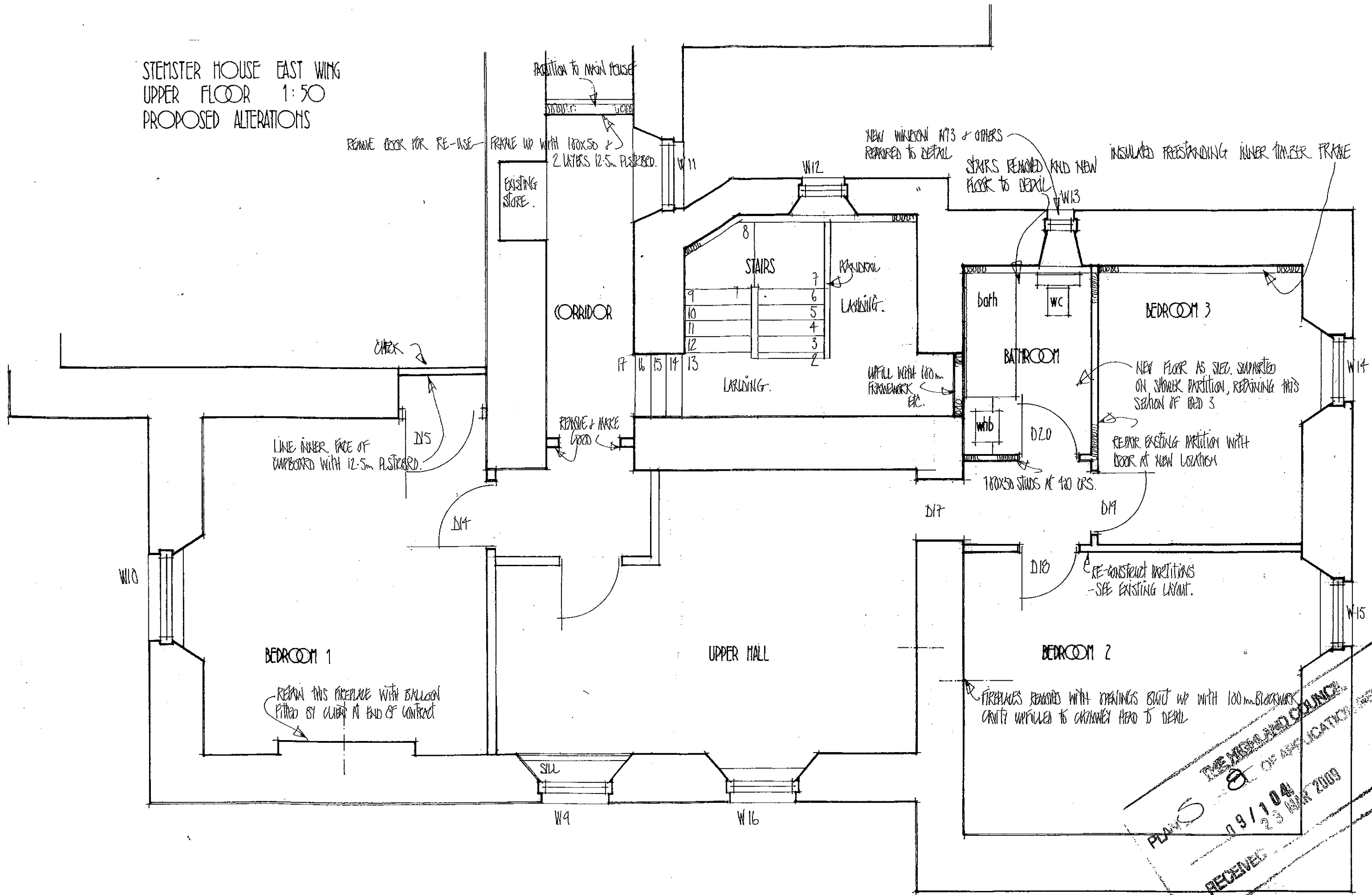


EXISTING STONE
 BUILT DRAIN
 GARDEN WALL

AREA ALREADY DUG OUT TO LOWER LEVEL.

NEW 100mm Ø MAIN FILL & BRANDED MATERIAL
 (GROUND LEVEL 700mm ABOVE F.L. LVL.)
 DUG OUT & GR. FINISHED TO DETAIL.
 LINE OF GARDEN WALL
 REMOVED.
 07 / 021 / 003/A STAIRS MOVED TO NEW
 CONSTRUCTION TO DETAIL.

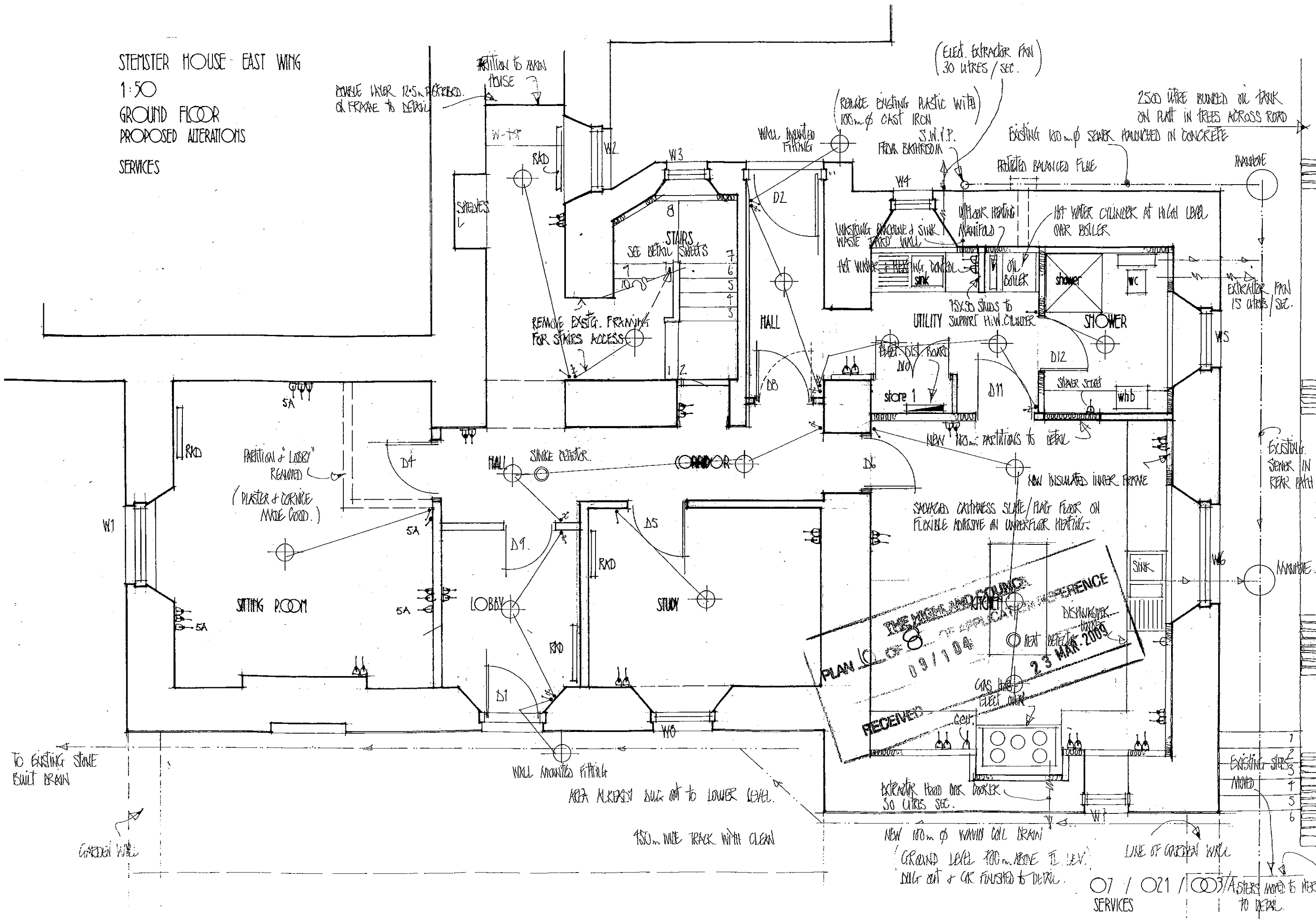
STEMSTER HOUSE EAST WING
 UPPER FLOOR 1:50
 PROPOSED ALTERATIONS



RECEIVED
 09/104
 23 MAR 2009
 OF APPLICATION
 THE ARCHITECT
 PLANS
 REFERENCE

CONSTRUCTION
 07 / 021 / 004/A

STEMSTER HOUSE - EAST WING
 1:50
 GROUND FLOOR
 PROPOSED ALTERATIONS
 SERVICES



DOUBLE WATER 12.5mm PIPES
 OR FRAME TO DETAIL

(ELECT. EXTRACTOR FAN)
 30 LITRES / SEC.

2500 WIRE BUNDLED OIL TANK
 ON PLOT IN TREES ACROSS ROAD

(REMOVE EXISTING PLASTER WITH)
 100mm Ø CAST IRON
 FROM BATHROOM

EXISTING 100mm Ø SEWER MANHOLE IN CONCRETE

PROTECTED BALANCED FLUE

REMOVE EXISTG. FRAMING
 FOR STAIRS ACCESS

UTILITY SURFACE P.W. CYLINDER

HOT WATER CYLINDER AT HIGH LEVEL
 OVER BOILER

PARTITION & LOBBY
 REMOVED
 (PLASTER & CORNICE
 MAKE GOOD.)

SHOWERS ON BRASS SLATE / PLATE FLOOR ON
 FLEXIBLE ADHESIVE AN UNDERFLOOR HEATING.

THE MECHANICAL SOUNDENCE
 PLAN 10 OF 10
 09/11/04
 RECEIVED 23 MAR 2009

TO EXISTING STONE
 BUILT BRAIN

AREA ALREADY DIG OUT TO LOWER LEVEL.

EXTRACTOR HOOD OVER COOKER
 30 LITRES SEC.

150mm WIRE TRACK WITH CABLE

NEW 100mm Ø WOUND COIL DRAIN
 (GROUND LEVEL 100mm ABOVE F.L. LEV.)
 DIG OUT & CR FINISHED TO DETAIL.

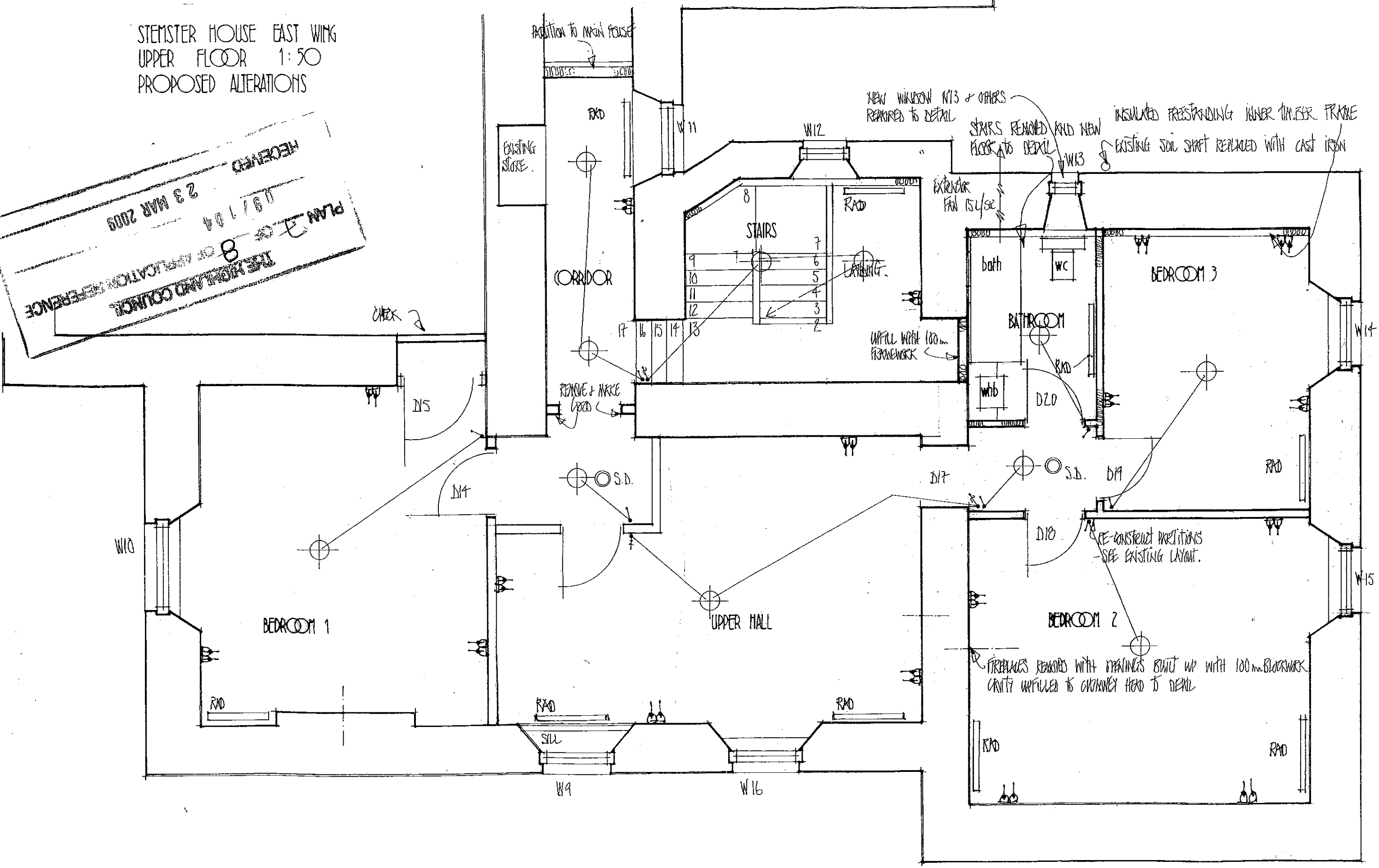
LINE OF GARDEN WALL

07 / 021 / 003 / STAIRS MOVED TO HERE
 SERVICES TO DETAIL.

- 1
 - 2
 - 3
 - 4
 - 5
 - 6
- EXISTING STAIRS
 MOVED

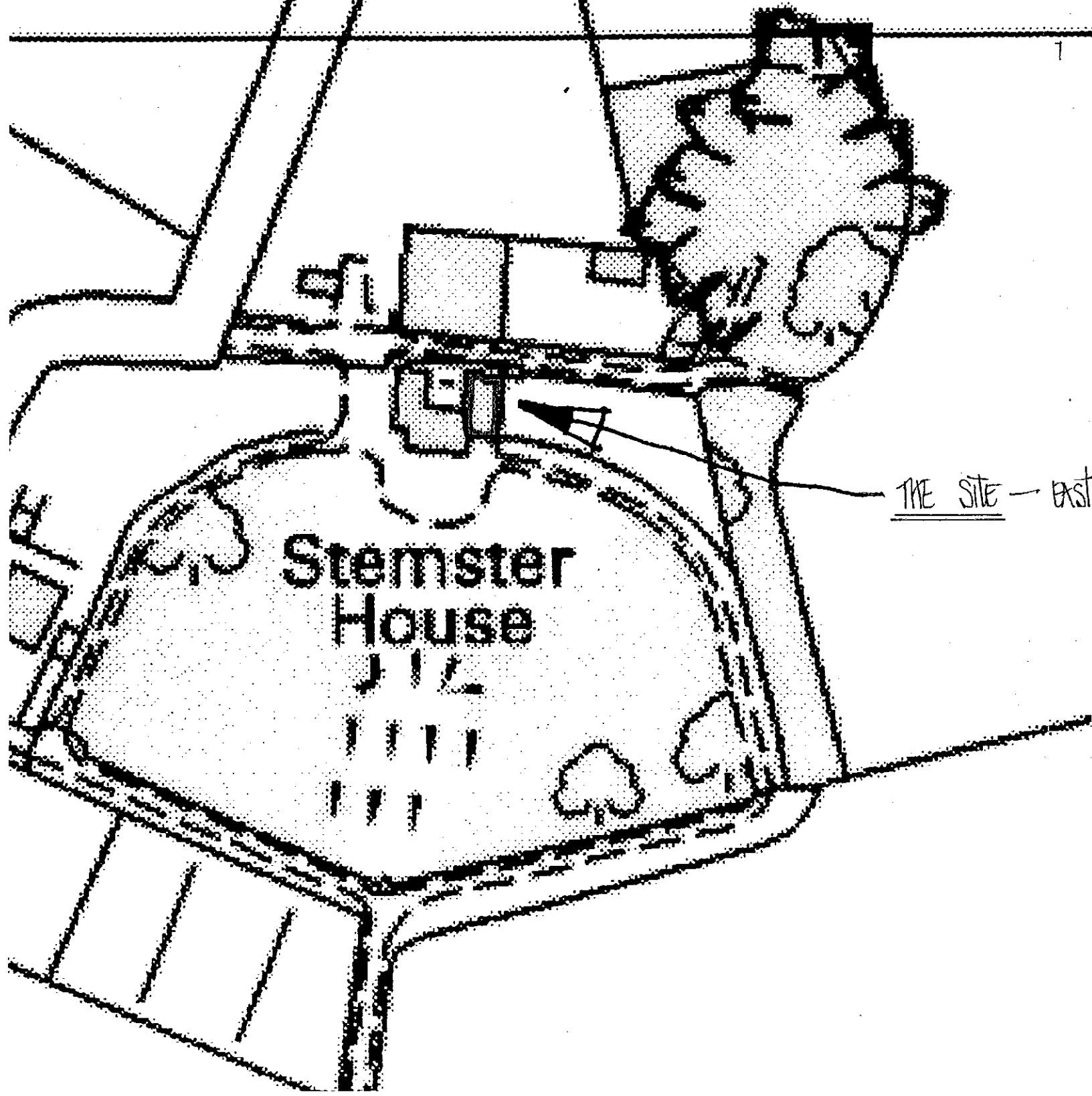
STEMSTER HOUSE EAST WING
 UPPER FLOOR 1:50
 PROPOSED ALTERATIONS

RECEIVED
 23 MAR 2009
 19/1/04
 PLAN 8
 THE HIGHLAND COUNCIL
 OF APPLICATION REFERENCE



object
mains of)

Newton
Cottage



THE SITE - EAST WING OF STEMSTER HOUSE

PLAN 8

09/104

RECEIVED 22/4/09

THE HIGHWAY COUNCIL

COMMUNICATIONS DEPARTMENT

PROPOSED UPGRADING OF EAST WING,
STEMSTER HOUSE, HALKIRK, KW12 6UX
FOR STEMSTER MAINS.

07 / 021 / 011