

THE HIGHLAND COUNCIL

CAITHNESS SUTHERLAND & EASTER ROSS PLANNING APPLICATIONS COMMITTEE – 9 November 2010

Agenda Item	4.6
Report No	PLC/046/10

**10/02078/FUL : Assynt Community Council
Royal National Mission to Deep Sea Fishermen, Culag Road, Lochinver**

Report by Area Planning and Building Standards Manager

SUMMARY

Description : Alterations to former Fishermen's Mission including change of use to create café, bunkhouse and additional visitor facilities.

Recommendation - GRANT

Ward : 01 - North, West and Central Sutherland

Development category : Local

Pre-determination hearing : None

Reason referred to Committee : Highland Council owns the building and part of the field which would be used for car parking for the proposal.

1. PROPOSED DEVELOPMENT

- 1.1 The proposal is to alter the existing Mission building to provide a café, bunkhouse and visitor facilities, with a new car park to the west side of the building in the playing field.
- 1.2 Brief discussions with Planning Authority indicated that the principle of the development would be supportable.
- 1.3 Existing site infrastructure.
- 1.4 Design/Supporting statement submitted with application. This indicates that the building will incorporate a lobster hatchery, marine archive and touch pools to teach visitors about marine life. In addition a café and on-site bunkhouse accommodation will enable researchers, youth groups and tourists to stay at the facility.
- 1.5 Adjustment to the site boundary to extend the proposed car parking area.

2. SITE DESCRIPTION

- 2.1 The existing Mission building is set to the south end of the playing fields adjacent to the Culag Hotel.

3. PLANNING HISTORY

3.1 The building has been altered and extended at various points in the past.

4. PUBLIC PARTICIPATION

4.1 Advertised : Neighbours , Schedule 3, 11.06.2010 & 17.09.2010

Representation deadline : 25.06.2010 & 01.10.2010

Timeous representations : 2

Late representations : 0

4.2 Material considerations raised are summarised as follows:

- Parking provision
- Signage for residents' parking
- Access to Culag Square should not be compromised

4.3 All letters of representation can be viewed online www.highland.gov.uk, at the Area Planning Office and for Councillors, will be available for inspection immediately prior to the Committee Meeting.

5. CONSULTATIONS

5.1 **TECS** : no objections subject to increased car parking provision.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Structure Plan 2001

G2 Design for Sustainability

6.2 Sutherland Local Plan

Policy 1 Settlement Development Area

7. OTHER MATERIAL CONSIDERATIONS

7.1 Draft Development Plan

Not applicable

7.2 Highland Council Supplementary Planning Policy Guidance

Not applicable

7.3 Scottish Government Planning Policy and Guidance

Not applicable

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

8.3 Development Plan Policy Assessment

The proposal is considered to accord with policy.

8.4 Material Considerations

Representations relate to the following matters:

- Parking provision – The developer has amended the planning application to increase the size of the car parking area by taking in more of the existing playing field immediately to the west of the Mission building. This has increased the number of spaces from 5 to 11.
- Signage for residents' parking – Members will note that additional signage denoting residents' parking could be conditioned.
- Access to Culag Square should not be compromised – Signage could assist this. Any parking difficulties are a matter for Police enforcement if necessary.

8.5 The application is being reported to Committee as the Highland Council owns the building and part of the field which would be used for car parking for the proposal. There are no difficulties with the proposal and it is considered to be an acceptable re-use and further development of an existing building which will provide facilities for both visitors to and residents of the area.

8.6 Other Considerations – not material

None

8.7 Matters to be secured by Section 75 Agreement

None

9. CONCLUSION

9.1 The proposal accords with policy and approval is recommended.

10. RECOMMENDATION

Action required before decision issued	n
Notification to Scottish Ministers	n
Notification to Historic Scotland	n
Conclusion of Section 75 Agreement	n
Revocation of previous permission	n

Subject to the above, it is recommended the application be **Granted** subject to the following conditions:

(1.) The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice.

Reason: In order to accord with the statutory requirements of the Town and Country Planning (Scotland) Acts.

(2.) No development shall start on site until the completed Notice of Initiation of Development (NID) form attached to this decision notice has been submitted to and acknowledged by the Planning Authority. From the date of acknowledgement, the Site Notice attached to it shall be posted in a publicly accessible part of the site until the development is completed.

Reason: In order to accord with the statutory requirements of the Town and Country Planning (Scotland) Acts.

(3.) Upon completion of the development the completed Notice of Completion form attached to this decision notice shall be submitted to the Planning Authority.

Reason: In order to accord with the statutory requirements of the Town and Country Planning (Scotland) Acts.

(4.) Except as otherwise provided by the terms of this permission, the developer shall construct and operate the development in accordance with the plans and supporting information submitted with the application and docketted as relative hereto with no deviation therefrom unless otherwise approved in writing by the Planning Authority.

Reason: In order to clarify the terms of the permission hereby granted and to ensure that the development is implemented as approved.

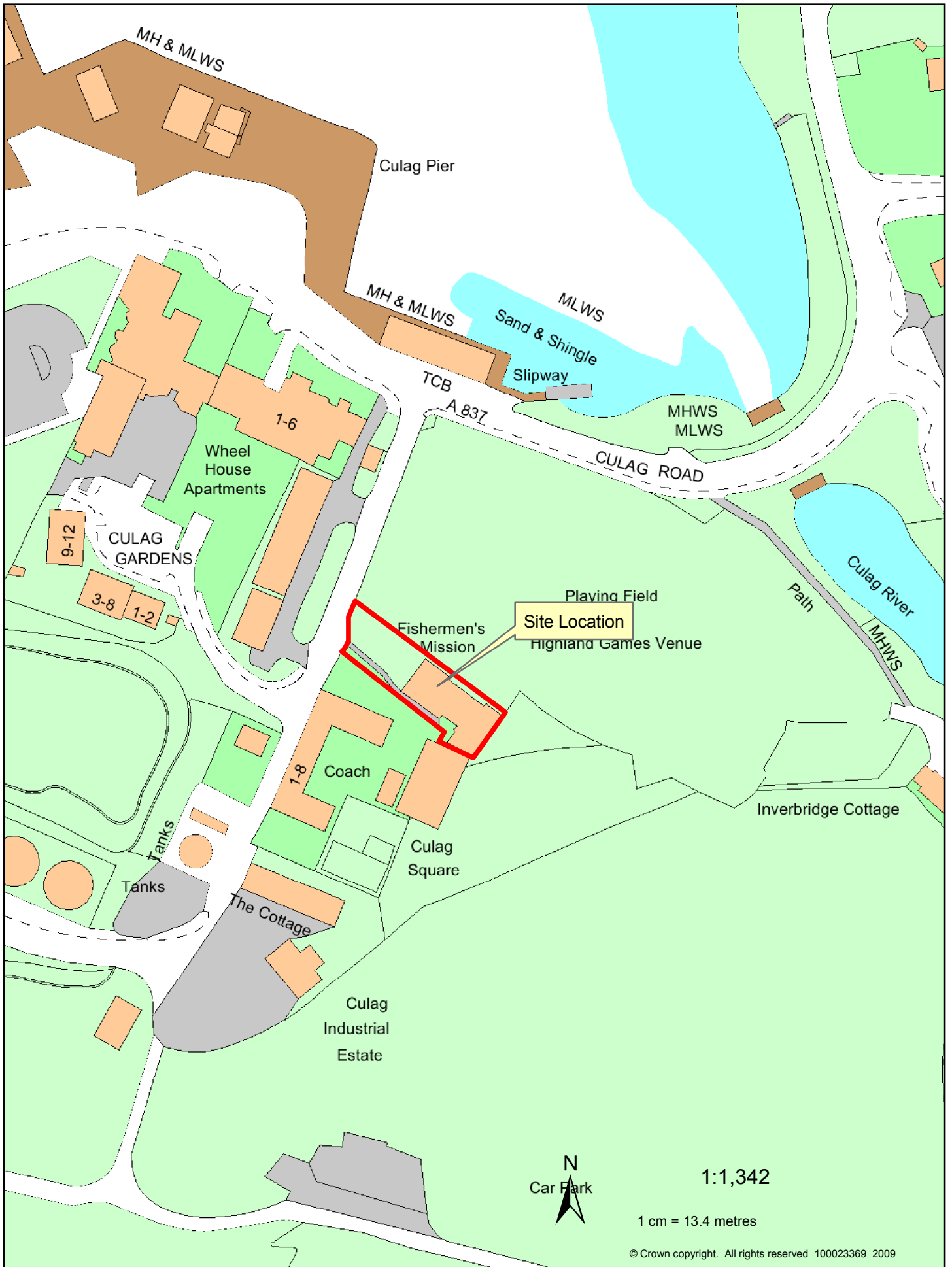
(5.) The parking spaces identified on the Parking Plan, drawing no 127/003, shall be provided to the satisfaction of the Planning Authority in consultation with TEC Services prior to the first use of the building as a café and bunkhouse with associated facilities.

Reason: In order to ensure that the development is adequately serviced.

(6.) No development shall take place until the developer has provided Residents' Parking signs, where appropriate, for the Culag Square/Culag Gardens area, or as may otherwise be agreed in writing with the Planning Authority in consultation with TEC Services. The agreed signage shall be erected by the developer, at his expense, to the satisfaction of the Planning Authority in consultation with TEC Services prior to the first use of the building as a café and bunkhouse with associated facilities.

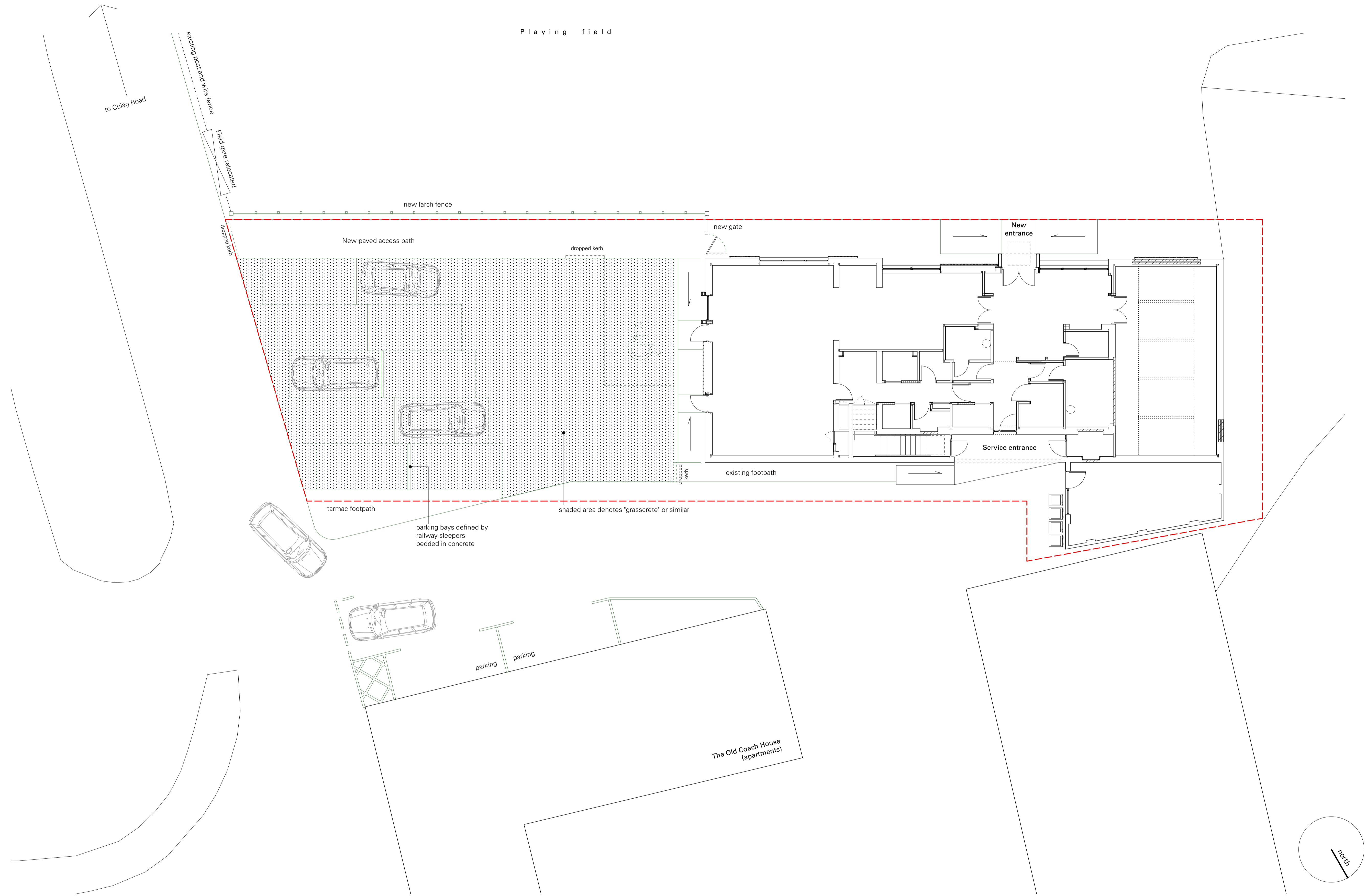
Reason: In the interests of residential amenity.

Signature: Allan J Todd
Designation: Area Planning & Building Standards Manager
Caithness, Sutherland and Easter Ross
Author: Bob Robertson
Background Papers: Documents referred to in report and in case file.
Relevant Plans: 127/002 VISUAL INFORMATION A4
127/101 FLOOR PLAN A4
127/102 FLOOR PLAN A4
127/103 FLOOR PLAN PROPOSED A4
127/104 FLOOR PLAN PROPOSED A4
127/111 01 ELEVATIONS EXISTING A4
127/112 02 ELEVATIONS EXISTING A4
127/113 01 ELEVATIONS PROPOSED A4
127/114 02 ELEVATIONS PROPOSED A4
127/121 SECTIONS EXISTING A4
127/122 SECTIONS A4
127/003 LOCATION / GENERAL (PARKING) PLAN (A1)



10/02078/FUL
 Alterations to former Fishermen's Mission including change of use to create cafe, bunkhouse and additional visitor facilities at Royal National Mission to Deep Sea Fishermen, Culag Road, Lochinver.

Mr A Johnston (Assynt Community Council)
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do not scale drawing, if in doubt seek clarification from architect

revisions & notes

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Client
Lochinver Community Group

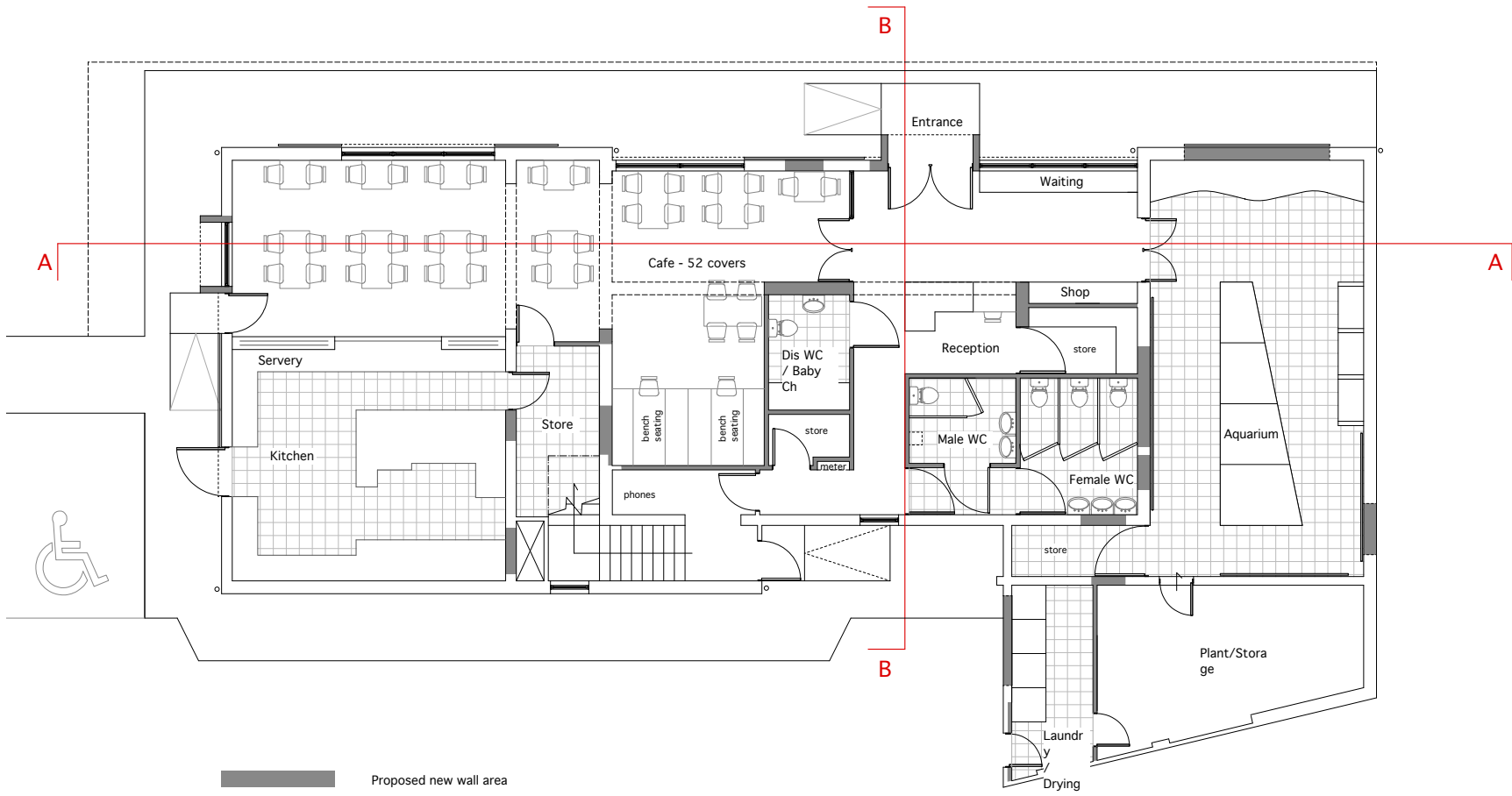
Project
Lochinver Mission House

Orig No.
127/003

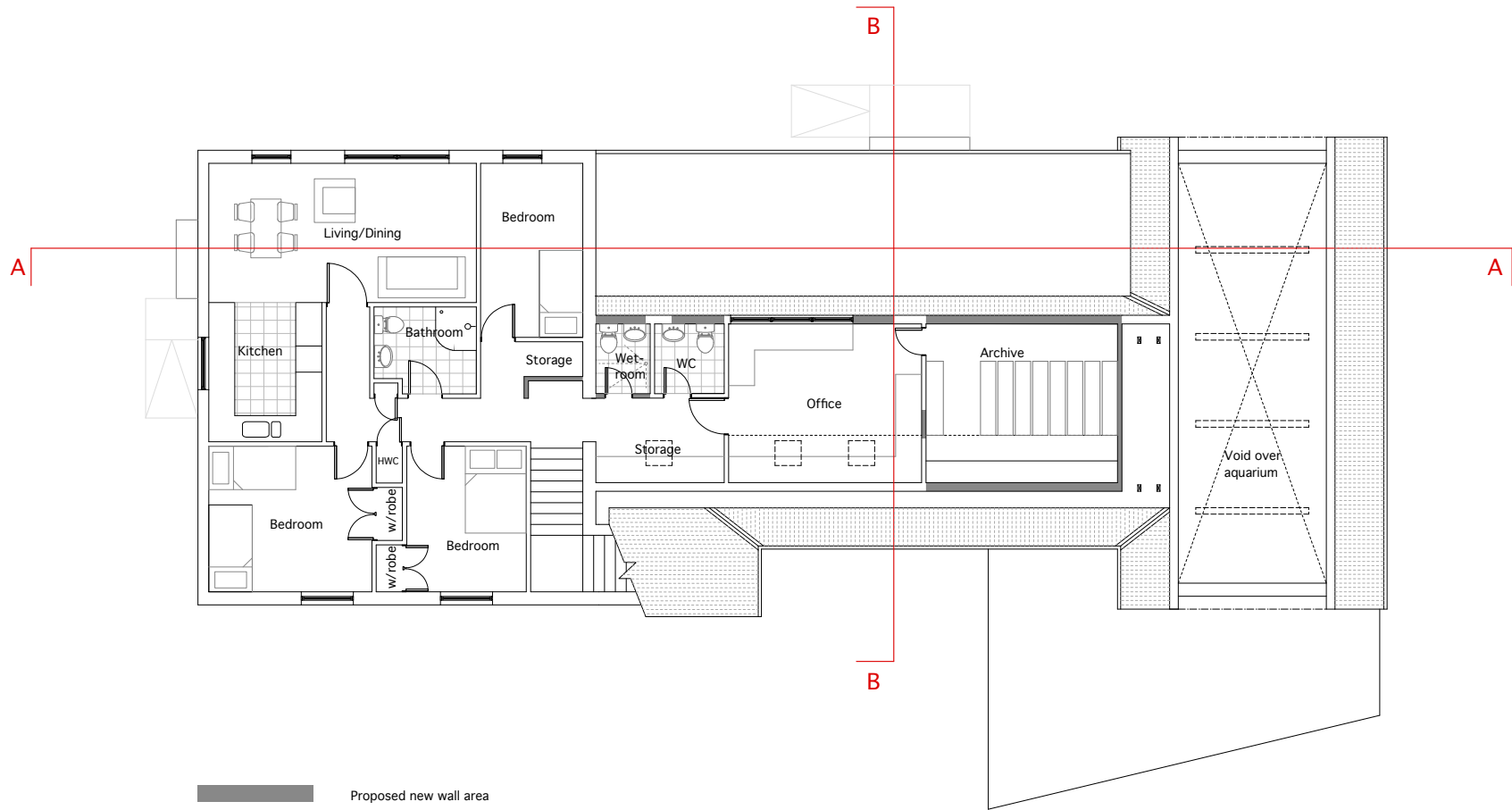
Status
Revised
Planning

Drawing Title
Parking Plan

Scale Date Drawn
1:100 Aug 10 MM



Proposed new wall area



Proposed new wall area



Proposed South Elevation



Proposed West Elevation

Notes:

- New timber windows throughout
- Shutters & panels vertical Larch boarding
- Existing render to be repaired & repainted
- Concrete tile roof finish to be replaced with profiled sheeting, incorporating sarking repairs and new roof membrane
- Replacement of flat roofs with single ply membrane (Alwitra or similar)
- New rainwater goods (Lindab or similar)

do not scale drawing, if in doubt seek clarification from architect

missions & notes

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Client

Lochinver Community Group

Project

Lochinver Mission House

Drawn

127/114

Date

Planning

Drawing Title

Proposed Elevations (02) 1:50

Scale

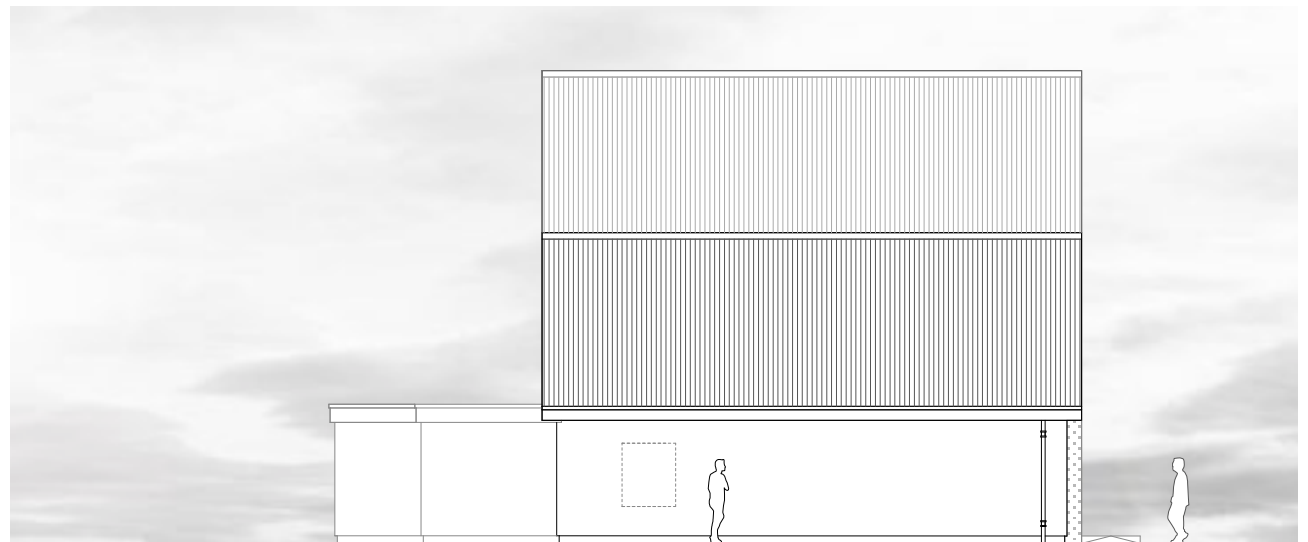
Date

Feb, 10 KRB

Drawn



Proposed North Elevation



Proposed East Elevation

Notes:

- New timber windows throughout
- Shutters & panels vertical Larch boarding
- Existing render to be repaired & repainted
- Concrete tile roof finish to be replaced with profiled sheeting, incorporating sarking repairs and new roof membrane
- Replacement of flat roofs with single ply membrane (Alwitra or similar)
- New rainwater goods (Lindab or similar)

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Client	Lochinver Community Group	Subject	Lochinver Mission House
Drawing No.	127/113	Scale	1:50
Discipline	Planning	Date	Feb, 10
		Drawn By	KRB