




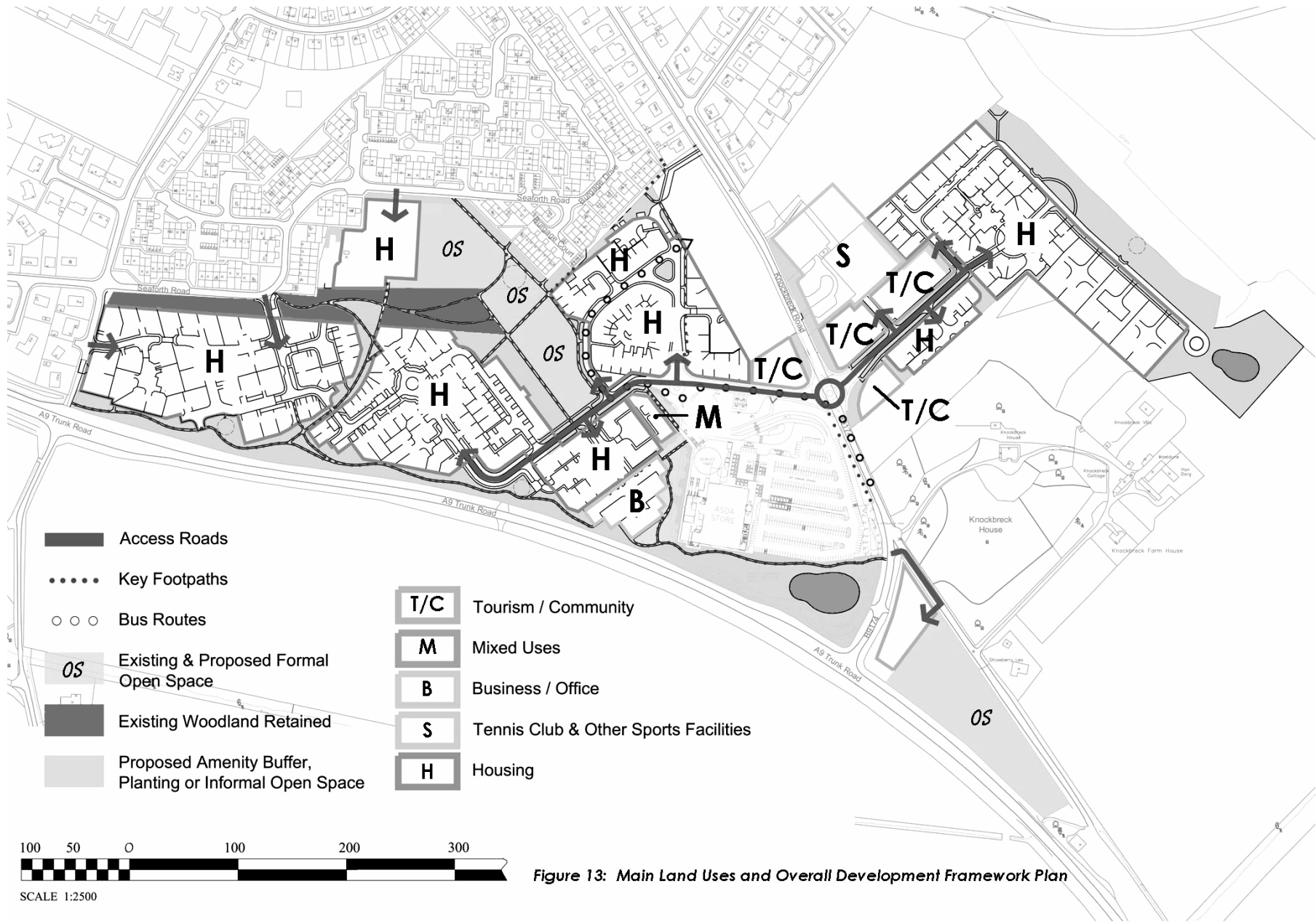
© Crown copyright. All rights reserved 2010 100023369.












 <p><b>The Highland Council</b> Comhairle na Gàidhealtachd</p>	<p>PLANNING &amp; DEVELOPMENT SERVICE</p>
	<p>Stuart Black Director of Planning &amp; Development</p>
<p>1 centimetre = 80 metres      <b>1:8,000</b></p>  <p>0    80    160    240    320    400 metres</p>	
	

**Ref:** 10/02217/PIP

**PROPOSAL:**  
MIXED USE DEVELOPMENT  
BKB PROPERTY MASTER PLAN

**ADDRESS:**  
KNOCKBRECK AND  
BURGAGE FARM, TAIN



-  Access Roads
-  Key Footpaths
-  Bus Routes
-  OS Existing & Proposed Formal Open Space
-  Existing Woodland Retained
-  Proposed Amenity Buffer, Planting or Informal Open Space
-  T/C Tourism / Community
-  M Mixed Uses
-  B Business / Office
-  S Tennis Club & Other Sports Facilities
-  H Housing

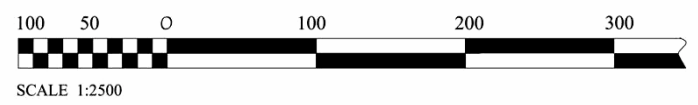


Figure 13: Main Land Uses and Overall Development Framework Plan

reviewed in relation to changes in the market and local needs.

Apart from the land for proposed expansion of the Tennis Club the potential uses and locations for the other community and commercial development are not fixed at this Planning in Principle stage. As such, the Master Plan Concept Layout only gives an indication of the potential non-residential uses that may be suitable for the areas outlined.

Figure 15: Residential Development Phasing Table

Residential Development					
Plan key phase ref.	Location of Site/Phase	density*	Indicative capacity	tenure	Combined affordable housing requirement
<b>Years 1 to 5</b>					
H1	East of Hartfield Gardens & South of Seaforth Road	low	24	mix	18
H2	South of Seaforth Road (Albyn HS land)	low/med	18	mix	
H3	West of Knockbreck Road	med	30	mix	
Sub-total		-	72	-	
<b>Years 6 to 10</b>					
H4	South of Seaforth Road	low	12	mix	22
H5	South east of Burgage Drive/Court	med/high	30	private	
H6	West of supermarket site	high	12	mix	
H7	North east of Knockbreck Road	med/high	33	mix	
Sub-total		-	87	-	
<b>Years 11 +</b>					
H8	West of supermarket site	med/high	38	mix	23
H9	South of Seaforth Road woodland and park	med	24	mix	
H10	North east of Knockbreck Road	med	21	mix	
H11	North east of Knockbreck Road	low	8	private	
Sub-total		-	91	-	
<b>Grand Total</b>		-	<b>250</b>	-	63

*Residential densities for purpose of this Master Plan	
low	< 15/ha
low/medium	
medium	15 - 25/ha
medium/high	
high	> 25/ha

Figure 16: Non-Residential Development Phasing Table

Non-residential development		
Plan key ref	Location	Proposed/potential use
<b>Years 1 to 5</b>		
C1	North east of Knockbreck Road	Community/tourism - pub/ restaurant or health care.
C2	North east of Knockbreck Road	Tain Tennis Club expansion to provide indoor tennis, catering & changing facilities.
C3	North east of Knockbreck Road	Community/tourism - travel hotel or indoor sports.
C4	North east of Knockbreck Road	Tourist information/café.
A1	South of supermarket site, east of Hartfield Gardens & north of A9(T) Road	Landscape buffer to A9 road & surface water drainage measures. In conjunction with H1.
A2	South of Seaforth Road	Improve recreation facilities - kick pitch, major play area, planting/ landscaping & woodland. In conjunction with H1 & H2.
A3	Knockbreck Road	Remote footpath connection upgrade to Knockbreck Road. In conjunction with H3 & H5.
A4	North east of Knockbreck Road	Foul and surface water drainage measures. In conjunction with C1 to C4 and in advance of H7, H10 & H11.
A5	South of Burgage Court	New park. In conjunction with H3.
A6	South of Knockbreck House	Allotment gardens/horticulture (Phase I) & surface water drainage measures.
<b>Years 6 to 10</b>		
C5	West of supermarket site	Office pavilions
C6	West of supermarket site	Mix of smaller community/ commercial units, e.g. club rooms, dental surgery, hairdresser, offices.
C7	North of supermarket site	Community - e.g. meeting space/hall, church, health care. Access and parking via land to north.
C8	South of Knockbreck House	Tourist information/café, footpath along Knockbreck Road.
A7	South west of supermarket site & north of A9(T) Road	Landscape buffer to A9 road and between commercial uses. In conjunction with C5 & C6.
A8	North east of Knockbreck Road	Part of open space/viewpoint above raised beach. In conjunction with H7.
A9	South of Knockbreck House	Allotment gardens/horticulture (Phase II) & surface water drainage measures.
<b>Years 11 +</b>		
A10	North east of Knockbreck Road	Part of open space/viewpoint above raised beach. In conjunction with H10.
A11	North east of Knockbreck Road	Part of open space/viewpoint above raised beach. In conjunction with H11.
A12	West of supermarket site & north of A9(T) Road	Landscape buffer to A9 road. In conjunction with H8.



**Figure 17: Broad Development Timescale**

- 1 to 5 Years
- 6 to 10 Years
- 11 Years +



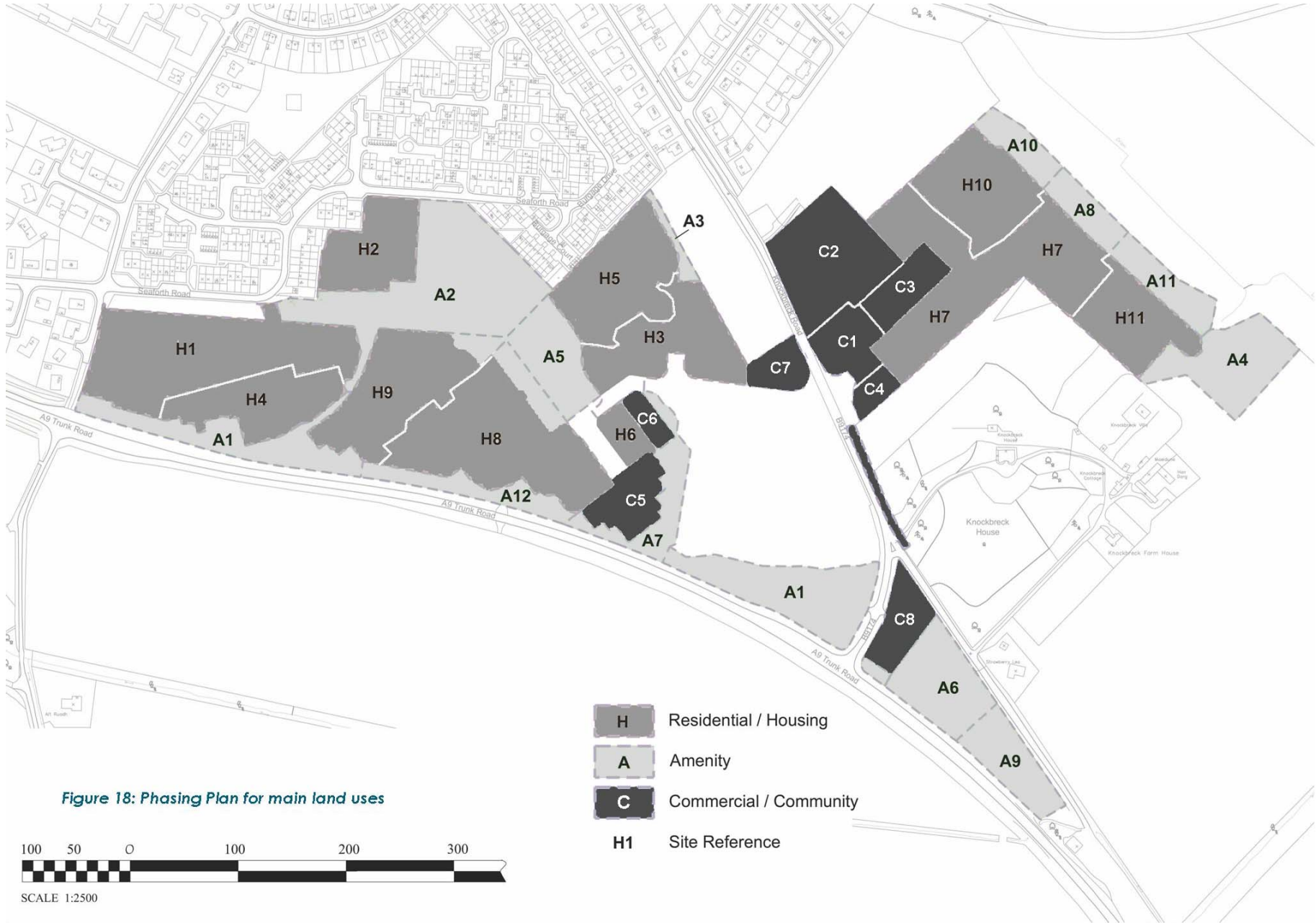


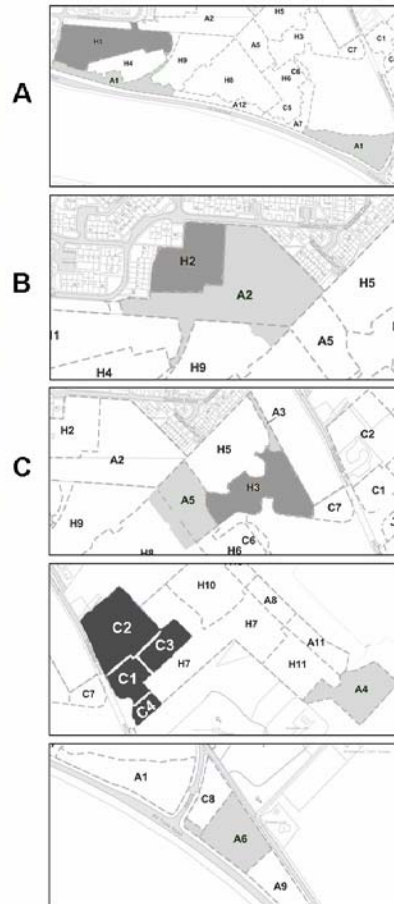
Figure 18: Phasing Plan for main land uses



MASTER PLAN FOR KNOCKBRECK AND BURGAGE FARM, TAIN

Figure 18a: Phasing Plan for Main Land Uses — Insets

YEARS 1 to 5



YEARS 6 to 10



YEARS 11 +

