

THE HIGHLAND COUNCIL

**SOUTH PLANNING APPLICATIONS COMMITTEE –
19 August 2014**

Agenda Item	6.4
Report No	PLS/058/14

**14/02502/FUL : Munro Construction (Highland) Ltd
38 Carsegate Road North, Inverness**

Report by Area Planning Manager – South

SUMMARY

Description : Change of use to waste transfer station – capacity 24,999 tonnes.

Recommendation - GRANT

Ward : 15 - Inverness Central

Development category : Local

Pre-determination hearing : N/A

Reason referred to Committee : 5 or more objections. Community Council objection.

1. PROPOSED DEVELOPMENT

1.1 The proposal involves a change of use of an existing storage facility at 36 Carsegate Road to a waste transfer station. The existing large shed will be used to store and process all received waste materials. Vehicles will enter the site from Carsegate Road, access the weighbridge and then proceed to enter the large shed where waste will be discharged for sorting. The building will be set out for delivery vehicles to enter and leave from one area and collection vehicles at the opposite side of the building.

The waste will all be stored within the building with no storage of any materials within the yard area. The waste materials received can be described as follows:

- Municipal household waste – non segregated
- Municipal household waste recyclates – cardboard, paper, tins, plastic, glass etc.

The waste is predominantly from Council general waste collections and skip waste collections operated by the applicants and their sub contractors. This translates as waste collected by the Council, predominantly from households and commercial businesses, and will include food waste as well as the range of segregated goods for recycling. Skip waste collected by the applicant may include inert building materials and general scrap.

The waste, once delivered to the waste facility, will be coarse sorted to separate the recyclable material from the waste. Once sorted, the recyclates will be stored in segregated storage areas for collection and onward transfer by collection vehicles to appropriate onward recycling facilities. This will include glass, paper, metals, wood, and inert materials such as builders debris and uncontaminated soils. Landfill waste will be transferred to Council sites. It is anticipated that there will be 15 refuse vehicles delivering waste on a daily basis with a further 8 bulk waste vehicles collecting waste also on a daily basis.

The applicant has indicated that a maximum of 1200 cubic metres of waste will be stored on site at any one time. The maximum amount of waste that can be received is also limited to 24,999 tonnes per annum of which 24,000 is household waste. This limit is crucial as at 25,000 tonnes the application is classed as a Major category of development for which the major applications procedure would be required.

Details of vermin and bird control are provided together with procedures for dust and noise control.

The site will also include facilities for staff parking and an existing smaller unit on site will provide additional storage and office facilities.

- 1.2 Pre-application consultation was not required as the application is a Local category of development. A request for a Screening Opinion was submitted.
- 1.3 The site is an existing storage facility and the existing vehicular access to the site will be used to serve the proposed use.
- 1.4 The application includes a supporting statement, Working Plan and details of transport management.
- 1.5 **Variations:** none.

2. SITE DESCRIPTION

- 2.1 The site is situated within the Carsegate Industrial Estate to the east of the Muirtown Basin and at the northern edge of the estate. The area supports a wide range of commercial and industrial uses including car sales and commercial and retail businesses which are widely used by visiting members of the public.

The site has been in use as a storage facility but is currently vacant. The yard area has also been used for storage of vehicles and industrial equipment. A smaller unit is located within the south east corner. The site is bounded by a 2 metre high metal palisade fence.

3. PLANNING HISTORY

- 3.1 Planning permission granted for storage unit – 03/00438/FULIN
Planning permission granted for office building associated with use as storage facility - 05/00358/FULIN.
Screening opinion – EIA not required - 14/02450/SCRE

4. PUBLIC PARTICIPATION

4.1 Advertised : Schedule 3

Representation deadline : 18 July 2014

Timeous representations : 12

Late representations : 16

4.2 Objections have been received from commercial operators located both adjacent to and within the vicinity of the proposed development.

Material considerations raised are summarised as follows:

- Inappropriate use in this location which is adjacent to businesses which rely on significant numbers of customers visiting their sites, particularly those involving car sales
- Concerns regarding noise; litter, dust nuisance
- Concerns regarding vermin and nuisance from increased frequency of birds/seagulls
- Existing road network is not suitable for the increased number of vehicles proposed
- Proposed use would be detrimental to the overall amenity of the area to the detriment of existing businesses
- Use not considered compatible with the existing businesses or the recent consent for starter units. Use should be located outwith the estate in an isolated location which would not impact on businesses.
- Noted that the applicant has set the maximum capacity below the major development category – this is considered inappropriate and avoids the opportunity for a more detailed assessment and public consultation process
- Working plan does not address all the concerns of local businesses
- Concerns that the impact of the proposal once operational will mean that the number of customers visiting the car sales outlets in particular will reduce threatening the continued success of these businesses
- Does not conform with policies of the Development Plan
- Proximity of site to Merkinch Nature Reserve and primary school

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam. Access to computers can be made available via Planning and Development Service offices.

5. CONSULTATIONS

5.1 **Merkinch Community Council – object** to the proposal. It is considered an inappropriate site for the use proposed because of its proximity to residential areas, the primary school, the nature reserve and areas of open space and the fact that much of the housing area has recently been upgraded and improved together with proposals for the Muirtown Basin which is being promoted as a marina, visitor centre etc. This use is incompatible with the proposed opportunities within the immediate vicinity.

- 5.2 **SEPA** : no objection. A Waste Management Licence will be required. This will control dust, odour quantity and type of waste. The licence will not permit any disposal of waste. It will be restricted to keeping and treating of waste as a waste transfer station. SEPA consider, based on the information provided, that the use can be controlled by appropriate regulatory powers under their control. Further details are required for waste relating to asbestos, food and general waste. This will be dealt with by the licence and can be included as a condition of any planning permission.
- 5.3 **Flood Team** : no objection. The site is not within the flood risk area based on the fact that the flood alleviation scheme will be complete.
- 5.4 **Transport Planning**: no objection. Existing road network considered adequate to accommodate the additional vehicular movements.
- 5.5 **Environmental Health**: no objection. Conditions required for control of potential for noise nuisance from reversing vehicles and restrictions on hours of operation.
- 5.6 **Development Plans (policy)**: proposal accords with policy and is considered an appropriate use within the Carse Industrial Estate. Accords with Policy 70 of the Highland-wide Local Development Plan, the Inverness Local Plan as continued in force and the Inner Moray Firth Proposed Local Development Plan.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland-wide Local Development Plan 2012

6	Muirtown and South Kessock
28	Sustainable Design
34	Settlement Development Areas
64	Flood Risk
65	Waste Water Treatment
66	Surface Water Treatment
70	Waste Management Facilities

6.2 Inverness Local Plan – as continued in force

2.14	Land allocated for business and industry
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7. OTHER MATERIAL CONSIDERATIONS

7.1 Inner Moray Firth Proposed Local Development Plan

No specific designation but the site is located within the Inverness City Settlement Development Area and Policy 34 therefore applies. This is generally supportive of development within this location subject to it meeting a number of criteria including impact on community and residential amenity and how it will conform with existing land uses.

7.2 Highland Council Supplementary Planning Policy Guidance

Not applicable

7.3 Scottish Government Planning Policy and Guidance

SPP 2014

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

8.3 Development Plan Policy Assessment

The proposal seeks reuse of an existing large storage building and associated yard area for the purposes of establishing a waste transfer station. This facility is in addition to the existing facility operated by the applicant within the harbour area. It is understood that the flood alleviation scheme will impact on the existing facility and the additional space is required for the applicant to continue successfully. The proposal is for sorting and onward disposal of waste products and no processing is proposed or indeed permitted by the terms of the Waste Management Licence issued by SEPA.

The key consideration is therefore the extent to which the proposed use is appropriate for the location. The site is located within the Carse Industrial Estate where policy encourages uses which are compatible with this allocation. Policy 70 is particularly relevant and addresses the need for the Council to meet its Zero Waste Plan and the objectives set out in SPP. Policy 70 also establishes that such facilities will be acceptable where they are located in industrial estates particular within established Class 5 and 6 uses (General Industrial and Storage).

The principle of the facility in this location is therefore supported by both the policies of the Development Plan and those of the Scottish Government as set out in SPP regarding waste management.

It will be noted that there are no objections from relevant consultees and SEPA has given support identifying that the use will be controlled through their own regulations and licence. In particular any potential nuisance associated with the use will be governed by the terms of the licence. This includes dealing with the storage and transfer of the waste together with the types of waste permitted on site. Dust and odour are also each controlled through the licence process.

8.4 **Material Considerations**

The proposed use of the site has resulted in a significant number of objections from adjacent and neighbouring businesses. The Community Council has also lodged objections. The principal cause for concern relates to the perceived incompatibility of the proposal with existing uses, particularly those which involve retailing including the adjacent car sales outlets.

In response to the concerns, it is important to note that the facility is for waste transfer only. There will be no processing of any kind on site and this is specifically prohibited by the SEPA Waste Licence. In addition **all** of the waste will be delivered and stored within the building. No storage of any materials will be permitted outwith the building and this can be controlled and enforced if necessary by appropriate conditions. By ensuring all waste is stored inside the building, the potential for noise nuisance, odour, vermin and bird nuisance can be better controlled and in part eliminated.

There can be no doubt that the character of the industrial estate has altered over recent years with an increase in uses which are not specifically Class 5 general industrial uses. In particular, there are a number of retail outlets, including car sales, all within close proximity. The concerns expressed by these retailers are understood: indeed Policy 70, although supportive of waste management facilities, requires such uses to be compatible with existing uses.

A balance therefore has to be made between the suitability of locating such a use within an established industrial estate where the principle of such uses is supported and the potential for adverse effects on adjacent businesses. In this instance, without the limitations imposed restricting storage of all waste to within the building, it is considered the impact on the adjacent businesses would not be acceptable or compatible notwithstanding the fact that it is located within an industrial estate. However, the applicant has indicated that all waste will be stored within the building and this can be controlled by condition. In addition, although the proposal involves regular vehicular activity for delivery and collection of goods, the level of activity proposed is below the threshold requiring a formal EIA. This too indicates that the intensity of use is compatible with the industrial estate zoning of the area.

Concerns relating to an increase in traffic, particularly refuse vehicles, is noted. However, any use of this site could result in a significant increase in traffic given its permitted use as a storage unit. The Transport Planning team has not raised any particular concerns and therefore this objection is not considered founded.

8.5 Other Considerations – not material

Concerns relating to the impact of the proposed use on the nearby nature reserve and the potential for developments at the Muirtown Basin are noted. The site is within the defined boundaries of the industrial estate and there will inevitably be a need to address the juxtaposition of differing uses and these can be dealt with as part of any future developments within the wider area.

Comments regarding setting the maximum tonnage just below the 25,000 tonnes threshold of a Major category of development are noted. Any increase of this, which is controlled by the Waste Licence, would require submission of a further application as it is intended to include a condition limiting the tonnage to 24,999 tonnes.

8.6 Matters to be secured by Section 75 Agreement

Not required.

9. CONCLUSION

- 9.1 The application has raised considerable public concern particularly from adjacent commercial enterprises. However, subject to appropriate conditions and the strict controls comprised within the Waste Management Licence, it is considered that the use can be located with an industrial estate without an unacceptable adverse impact. All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. RECOMMENDATION

Action required before decision issued No

Subject to the above, it is recommended the application be **Granted** subject to the following conditions and reasons / notes to applicant:

1. Planning permission is hereby granted for a waste transfer station with a maximum capacity of 24,999 tonnes per annum to the satisfaction of the Planning Authority.

Reason : in order to provide the Planning Authority the necessary controls should the amount exceed the stated limit.

2. No storage of any waste materials shall be undertaken outwith the existing building/storage shed to the satisfaction of the Planning Authority. For the avoidance of doubt, the use hereby granted planning permission shall not be implemented unless details of the measures to be put in place to prevent any storage of waste materials including recyclates outwith the main storage building has been submitted to and agreed in writing by the Planning Authority and thereafter implemented in perpetuity.

Reason : in order to protect the amenity of adjacent uses.

3. The hours of operation that the waste transfer facility will receive, process and send waste off site shall be between the hours of 0700 and 1900, Monday to Friday, 0700 to 1900 on Saturday, and 1000 to 1900 on Sundays and public holidays .

Reason : in the interests of the amenity of the area and adjacent businesses.

4. The audible reversing warning systems on mobile plant and vehicles shall be of a type which, whilst ensuring they give proper warning, have a minimum noise impact on persons outside the site. The use hereby granted planning permission shall not be implemented unless details of the means by which the use of audible reversing warning systems on all delivery and collection vehicles is addressed has been submitted to and agreed in writing by the Planning Authority and thereafter implemented.

Reason : in the interests of amenity and to prevent unacceptable noise nuisance.

5. The use hereby granted planning permission shall enure for the benefit of the current applicant only, namely Munro Construction (Highland) Ltd.

Reason : to enable the Planning Authority to review the planning permission.

Signature: Allan J Todd

Designation: Area Planning Manager – South

Author: Nicola Drummond

Background Papers: Documents referred to in report and in case file.

Relevant Plans: Plan 1 – Location plan

Plan 2 – site plan

Plan 3 – floor plan

Appendix

LIST OF REPRESENTATIONS (ALL AGAINST)

1.	Mr Ali Locke, 40 Craighton Av, Inverness, IV3 8AZ	25/07/14
2.	Mr Duncan MacLaren, 11 Carsegate Road, Inverness, IV3 8EX	17/07/14
3.	MacRitchie Highland Distribution, No 1 Carse Industrial Estate, Inverness, IV3 8LL	24/07/14
4.	R M Brown, Motor Engineer, 15 Carsegate Road, Inverness, IV3 8EX	21/07/14
5.	M & H Logistics Ltd, Unit 6, Carse Industrial Estate, Carsegate Road North, Inverness, IV3 8DU	21/07/14
6.	Donald Etherington, NUTEL, 9B Carsegate Road, Carse Industrial Estate, Inverness, IV3 8EX	17/07/14
7.	Trevor Somny, Managing Director, 7 Carsegate Road, Inverness, IV3 8EX	14/07/14
8.	Mr William Ross, 9 Swanston Avenue, Inverness, IV3 8QN	14/07/14
9.	K. Doull Panel Beating, 24A Carsegate Road, Inverness, IV3 8EX	18/07/14
10.	Threadneedle Investments Ltd, On Behalf Of Zurich Assurance Property , Pension Fund, 60 St Mary Axe, London , EC3A 8JQ	24/07/14
11.	Scottish Canals, Canal House, 1 Applecross Street, Glasgow	07/08/14
12.	Mr Ian Cattanach, Cattanach Car Sales, 13 Carsegate Road, Inverness, IV3 8EX	24/07/14
13.	Ms Josephine Jamieson, Unit 2 , Carsegate Road South, Inverness, IV2 7LF	14/07/14
14.	Mr Doug Haigh FIDHEE, Begetube (UK) Ltd, 14 Carsegate Road, Inverness, IV3 8EX	16/07/14
15.	Calor Gas Limited, Stephen Hemming MRTPI, Regional Head Of Division, Lambert Smith Hamton, Interchange Place, Edmund Street, Birmingham, B3 2TA	25/07/14
16.	Arnold Clark, Per: Jamie Miller, 69 Carsegate Road, Inverness, IV3 8EX	21/07/14
17.	Jim Sharp, Operations Manager, FedEx, Unit 1, 9 Carsegate Road North, Inverness, IV3 8DU	28/07/14
18.	Dicksons of Inverness, 28 - 34 Carsegate Road, Inverness, IV3 8EX	15/07/14 & 16/07/14
19.	New Start Highland, 9 Carsegate Road North, Inverness, Highland, IV3 8DU	25/07/14
20.	Owner Tom Ashmole, Unit 2, 3 Carsegate Road North, Inverness, IV3 8DU	25/07/14

21.	Mr Peter Body, Norscot Joinery Ltd, 20 Carsegate Road, Inverness, IV3 8EX	17/07/14
22.	P&H (1925) Limited David Scudder, P&H House, Davigdor Road, Hove, BN3 1RE	23/07/14
23.	Anderson Clark Motor Repairs, 16 Carsegate Road, Inverness, IV3 8EX	15/07/14
24.	Mr Paul Maddox, 6 Carsegate Road North, Inverness, IV3 8DU	25/07/14
25.	Mr B Mackenzie, Old Sawmill, Clachnaharry, Inverness, IV3 8RA	14/07/14
26.	Ms Shona Macdonald, Unit 33 Carsegate Road, Inverness, IV3 8EX	14/07/14
27.	Les MacLaren Garage Services, Unit 7 , 3 Carsegate Road North, Inverness, IV3 8DU	23/07/14
28.	Go Outdoors, Per Firstplan, Michael Mills, 25 Floral Street, London, WC2E 9DS	31/07/14



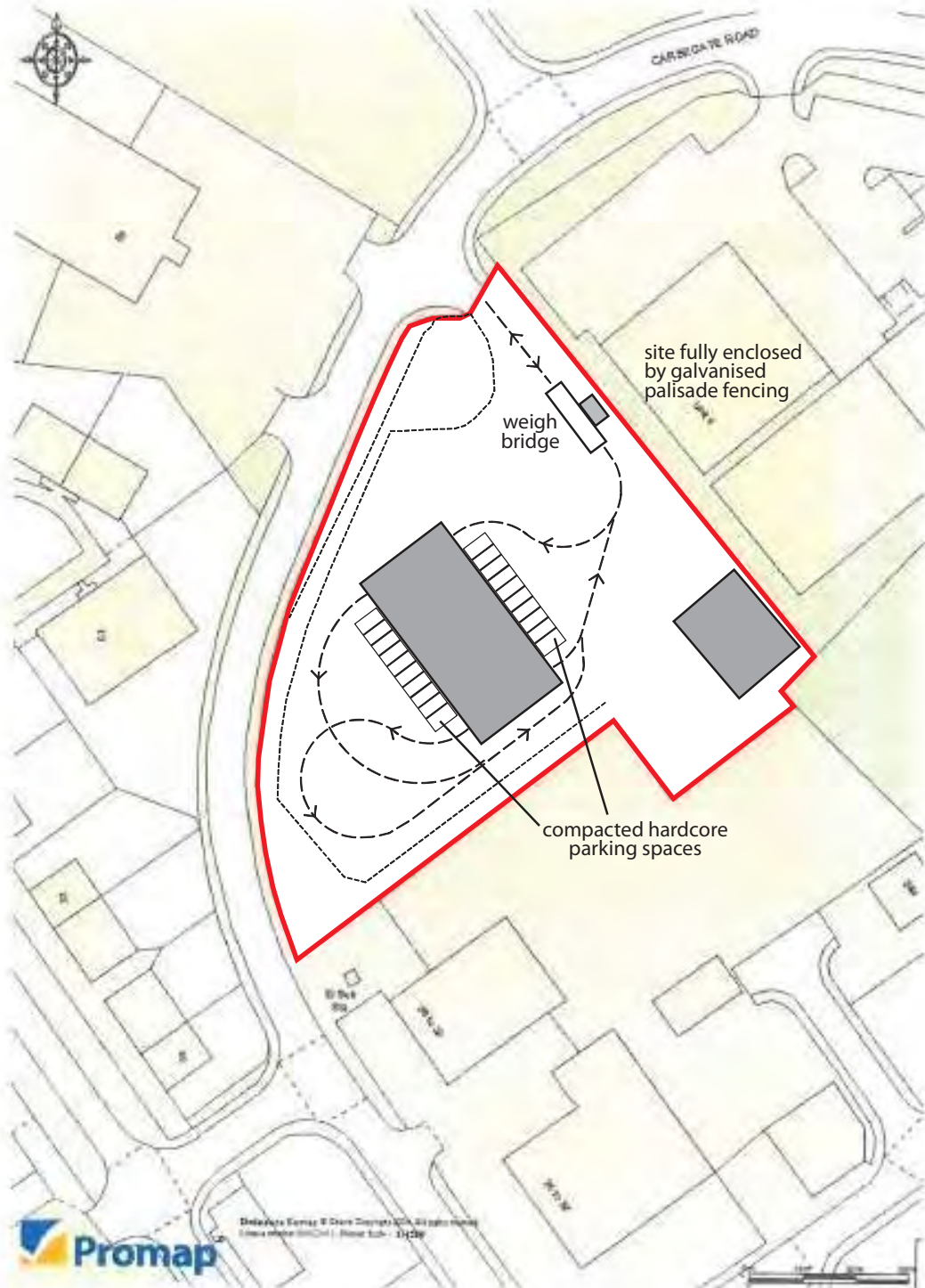
100 metres

scale 1:10000

LOCATION PLAN



22 Westhall Gardens, Edinburgh EH104JQ
urban.animation@blueyonder.co.uk
tel. 0131 477 0676
www.urban-animation.com

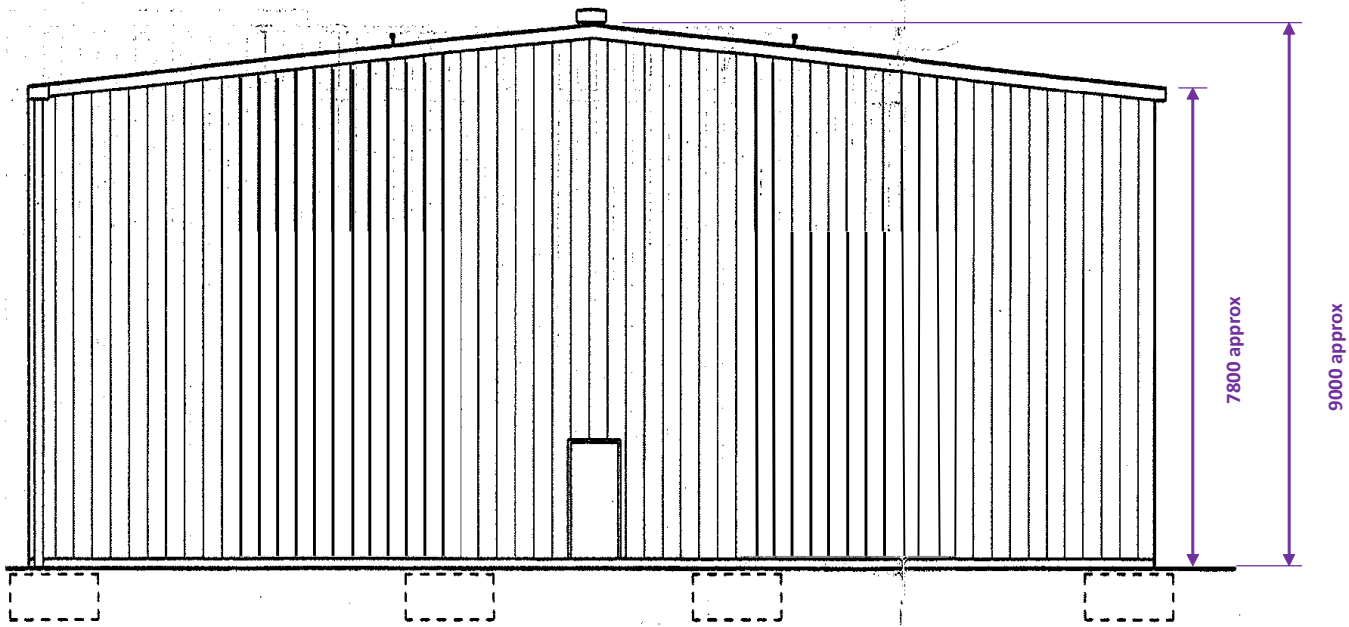


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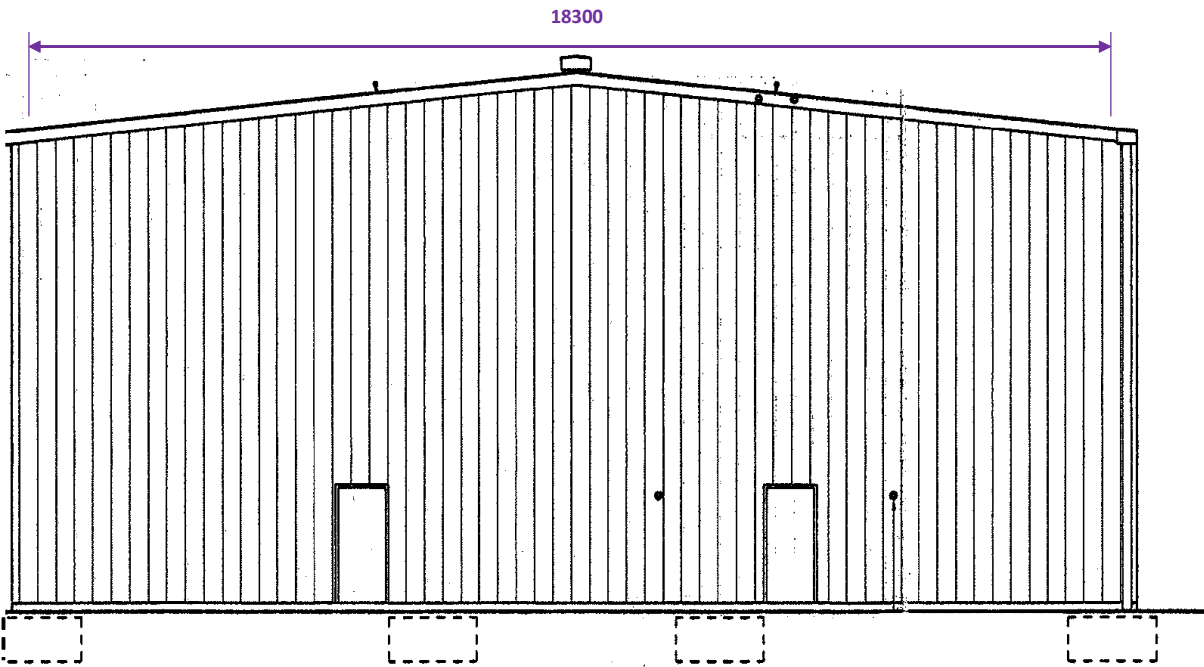
SITE PLAN



22 Westhall Gardens, Edinburgh EH104JQ
 urban.animation@blueyonder.co.uk
 tel. 0131 477 0676
 www.urban-animation.com



FRONT ELEVATION



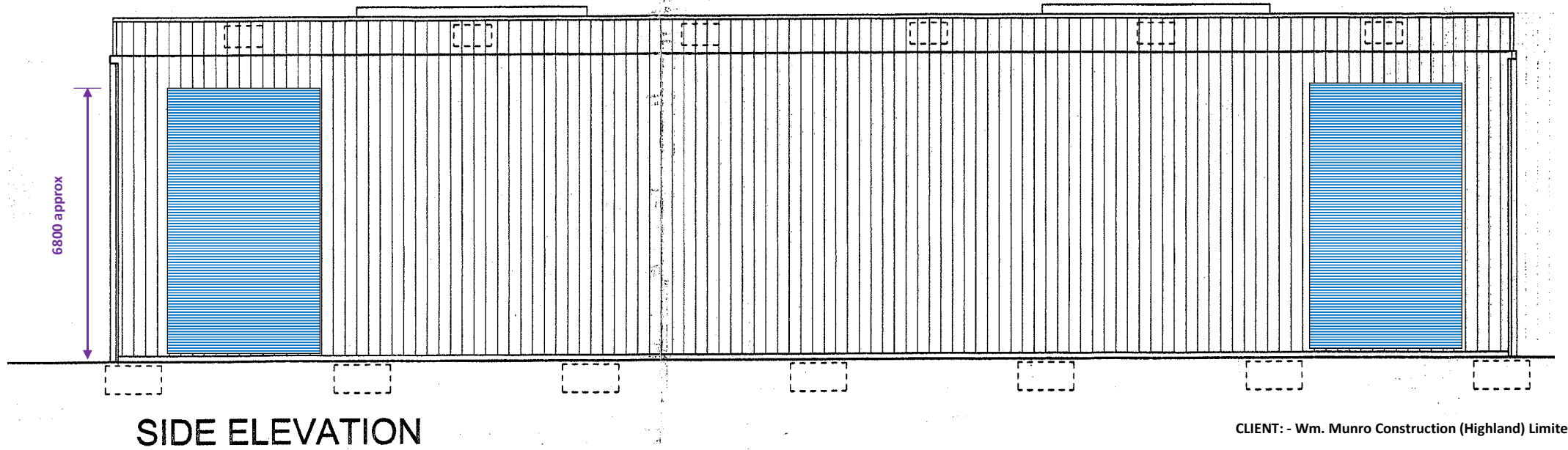
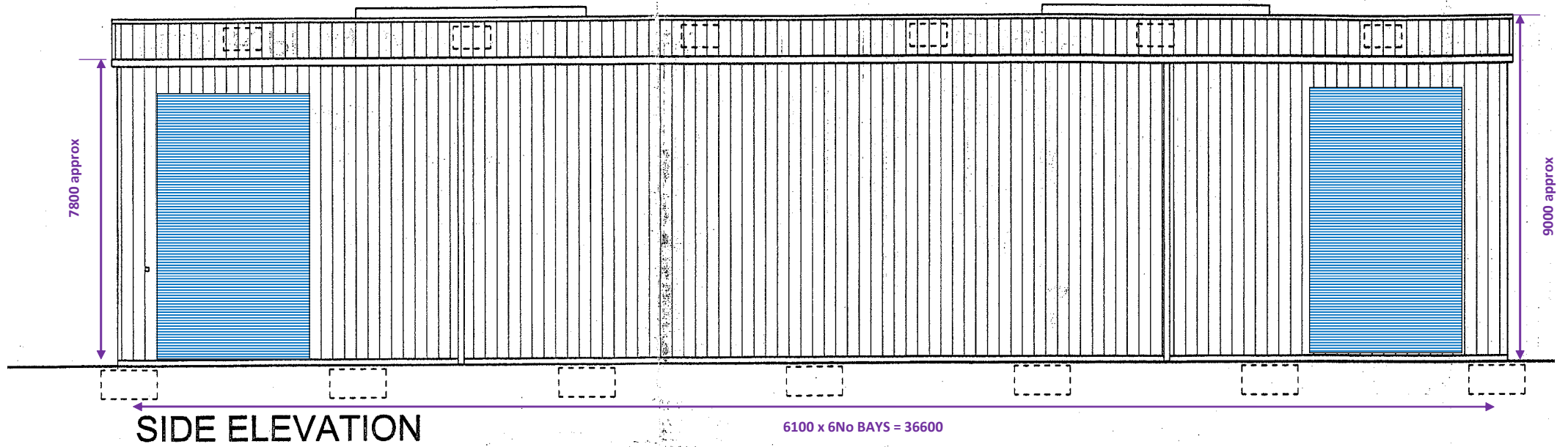
REAR ELEVATION

CLIENT: - Wm. Munro Construction (Highland) Limited
PROJECT :- Transfer Station @ 38 Carsegate Road, Inverness

DATE :- June 2014

DRAWING TITLE :- Front & Rear Elevations

Dimensions as Marked



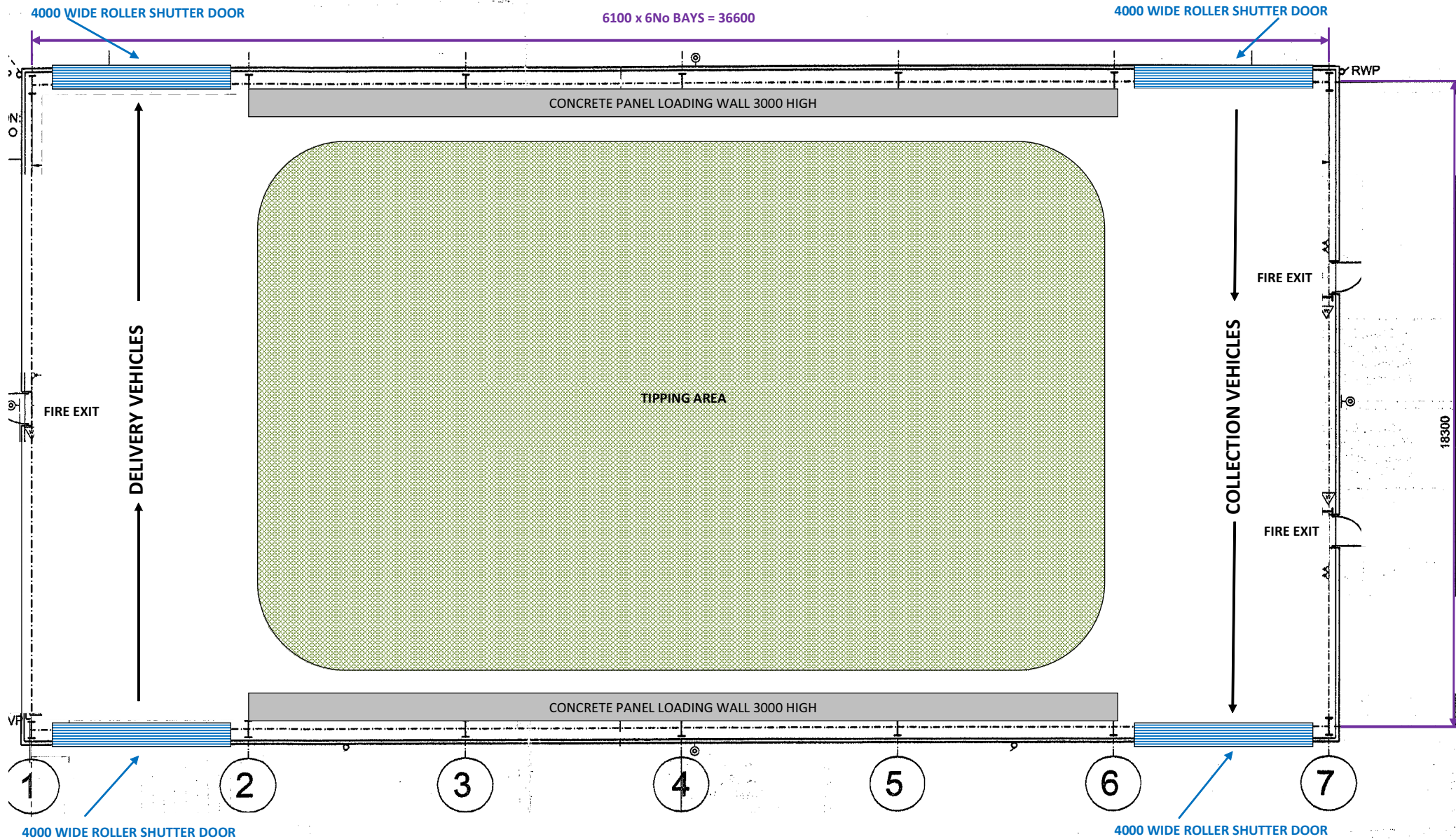
CLIENT: - Wm. Munro Construction (Highland) Limited

PROJECT :- Transfer Station @ 38 Carsegate Road, Inverness

DATE :- June 2014

DRAWING TITLE :- Side Elevations

Dimensions as Marked



FLOOR PLAN

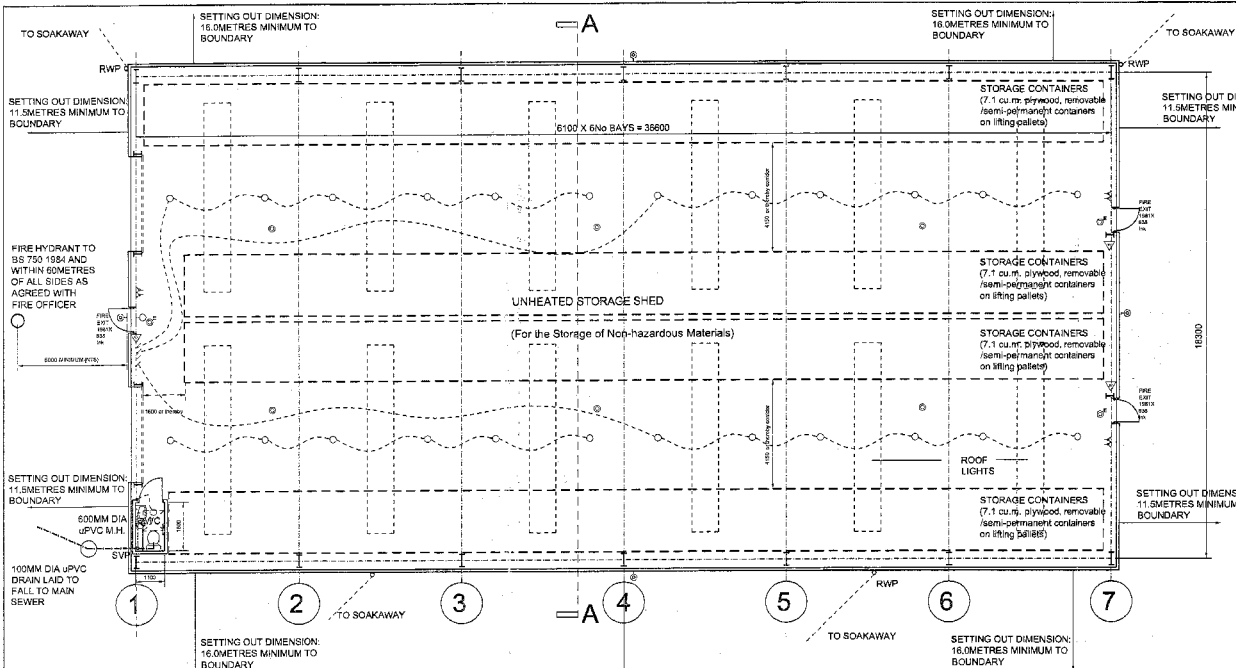
CLIENT: - Wm. Munro Construction (Highland) Limited

PROJECT :- Transfer Station @ 38 Carsegate Road, Inverness

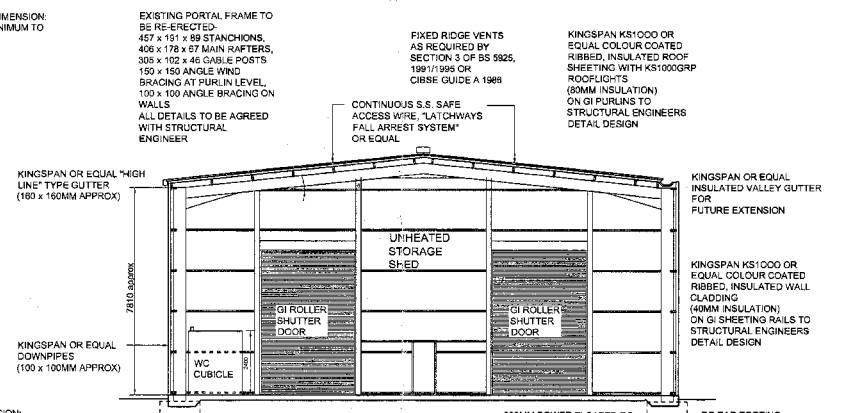
DATE :- June 2014

DRAWING TITLE :- Floor Plan

Dimensions as Marked



FLOOR PLAN Scale - 1:100



SECTION A-A Scale 1:100

EXISTING PORTAL FRAME TO BE RE-ERECTED
457 x 191 x 89 STANCHIONS,
406 x 178 x 87 MAIN RAFTERS,
306 x 102 x 46 GABLE POSTS
150 x 150 ANGLE WIND
BRACING AT PURLIN LEVEL
100 x 100 ANGLE BRACING ON
WALLS
ALL DETAILS TO BE AGREED
WITH STRUCTURAL
ENGINEER

FIXED RIDGE VENTS
AS REQUIRED BY
SECTION 3 OF BS 5925,
1991/1995 OR
CIBSE GUIDE A 1989

KINGSPAN KS1000 OR
EQUAL COLOUR COATED
RIBBED, INSULATED ROOF
SHEETING WITH K51000GRP
ROOFLIGHTS
(80MM INSULATION)
ON GI PURLINS TO
STRUCTURAL ENGINEERS
DETAIL DESIGN

CONTINUOUS S.S. SAFE
ACCESS WIRE, "LATCHWAYS"
FALL ARREST SYSTEM
OR EQUAL

KINGSPAN OR EQUAL
INSULATED VALLEY GUTTER
FOR
FUTURE EXTENSION

KINGSPAN KS1000 OR
EQUAL COLOUR COATED
RIBBED, INSULATED WALL
CLADDING
(40MM INSULATION)
ON GI SHEETING RAILS TO
STRUCTURAL ENGINEERS
DETAIL DESIGN

200MM POWER FLOATED RC
SLABS WITH SURFACE
HARDENER ON
2000G POLYTHENE DPM ON
50MM SAND ON
150MM MINIMUM FULLY
COMPACTED HARDCORE
ALL TO STRUCTURAL
ENGINEERS DETAIL DESIGN.

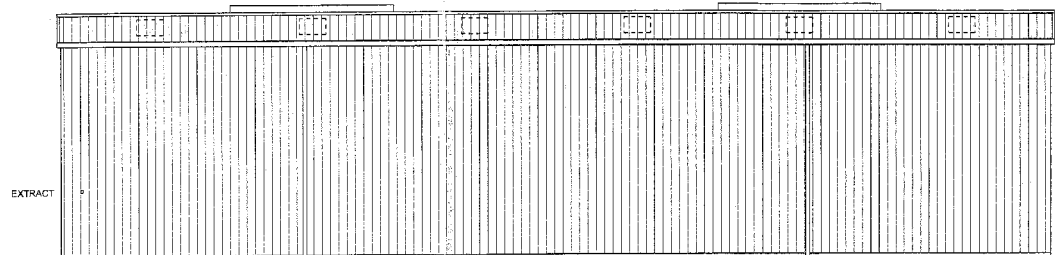
RC PAD FOOTING TO
STRUCTURAL ENGINEERS
DETAIL DESIGN

SH DRAINAGE CONNECTION
BELOW GROUND - 100MM DIA
UPVC PIPE FROM DOWNPIPES
TO SOAKAWAYS 5METRES
FROM BUILDING

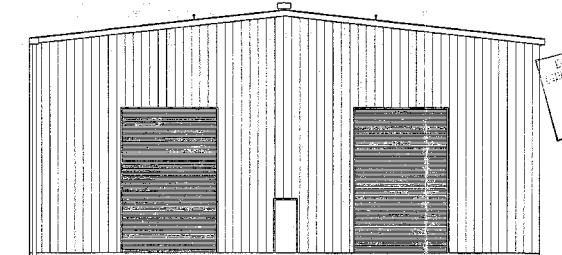
SOAKAWAYS - TO BE
GENERALLY IN ACCORDANCE
WITH BRE DIGEST 365 AND BS
8301
PIT SIZE 2000 X 1000MM OR
THEREBY TAKEN DOWN TO
GOOD DRAINAGE STRATA
ESTABLISHED ON SITE.
FILLED WITH CLEAN RUBBLE.

WC CUBICLE:
Walls - 100 x 50mm sw studs at
800mm c/s with 12.5mm
plasterboard both sides.
Roof - 150 x 50mm sw rafters at
800mm c/s with 12.5mm
plasterboard ceiling and 18mm
chipboard roof.
Drainage - connected to a
100mm dia s/wp with Durgu valve
above roof level and layout as
floor plan.
Grab rails - 1 No wall fixed and
1 No hinged support rail in
accordance with BS 6300
Ventilation - ceiling mounted
25/sec mechanical extract fan
linked to light switch.

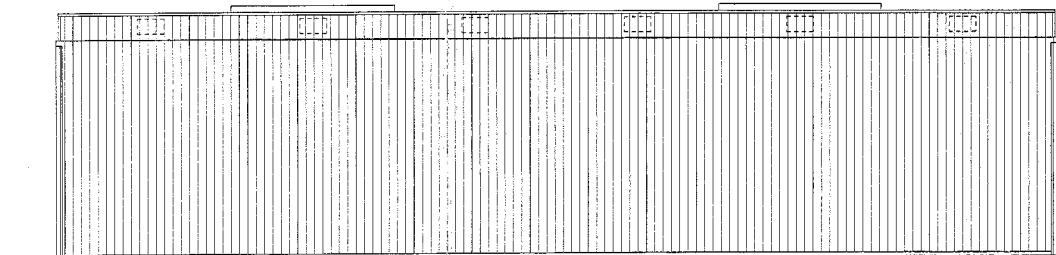
Key:
⊕ emergency light
⊕ emergency light with sign EXIT or FIRE EXIT
⊕ water extinguisher - 9 litres
⊕ lock no key
⊕ one way switch
⊕ calling lighting point for clients fitting
⊕ wall light with air
⊕ external flood light with pir
⊕ 12.5mm power point
⊕ extract fan



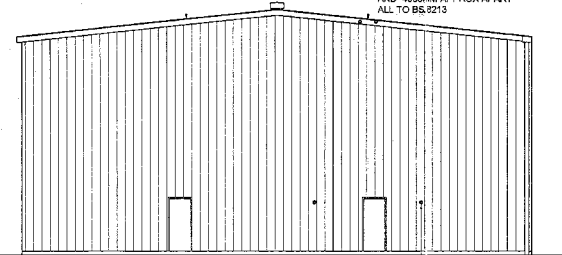
SIDE ELEVATION



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

THIS IS CERTIFIED A TRUE COPY OF THE DOCUMENT REFERRED TO IN OUR APPLICATION FOR BUILDING WARRANT DATED 23/02/2024

24 FEB 2024
RICKY MCGEE

D	23.02.24	1	FURTHER INFORMATION BY BUILDING WARRANT
B	05.02.24		ADDITIONAL INFORMATION BY BUILDING WARRANT
A	22.04.23		AGREED CLIENT REVISIONS

NO	DATE	DESCRIPTION
REVISIONS		

R. C. KERR ARCHITECT
Chartered Architect and Planning Supervisor
Residence Business Centre,
2 Drummond Crescent, Inverness IV2 4GW
Telephone: 01463 720233 Fax: 01463 720398

CLIENT
ADVANTAGE STORAGE LTD

PROJECT
**STORAGE UNITS
38 CARSGATE ROAD, INVERNESS**

DRAWING TITLE
PLAN, SECTION AND ELEVATIONS

SCALE
1:100

DATE
APRIL 2003

DRAWN BY
RCK

PROJECT NO
163-AS-IL1

DWG. NO
01D

NOTES
1. THE CONTRACTOR WILL BE HELD TO HAVE CHECKED ALL DIMENSIONS BEFORE COMMENCING WITH ANY WORK AND, AT THE END OF ANY BEFORE COMMENCING, THESE ARE TO BE RE-MEASURED TO THE ARCHITECTS FOR CLARIFICATION BEFORE COMMENCEMENT OF WORK.
2. WRITTEN DIMENSIONS ARE TO BE TAKEN IN ALL CASES UNLESS OTHERWISE NOTED AND SHALL BE RE-MEASURED TO THE ARCHITECTS.
3. CONTRACTOR AND CLIENT TO BE RESPONSIBLE FOR THE DRAWING OR PORTION THEREOF IN RESPECTIVE BY THE ARCHITECT.

THE HIGHLAND COUNCIL
APPLICATION REFERENCE IS 23/0147/01/01
PLANS EXAMINED AND APPROVED BY THE
HIGHLAND COUNCIL AS BUILDING AUTHORITY
25 FEB 2024
Ryan Boyd
INVERNESS PLANNING AND BUILDING CONTROL OFFICE

Client:

ADVANTAGE STORAGE
 CARSEGATE ROAD NORTH
 INVERNESS

Project:

RE-ERECTION OF
 STORAGE UNIT
 CARSEGATE, INVERNESS

Drawing

ROOF PLAN AND
 CROSS-SECTION

Drawing No.

CA3178/02

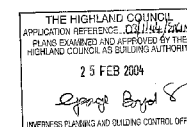
Drawn By
 AH

Date
 12/12/03

Scale
 As Noted

Revisions

Date By

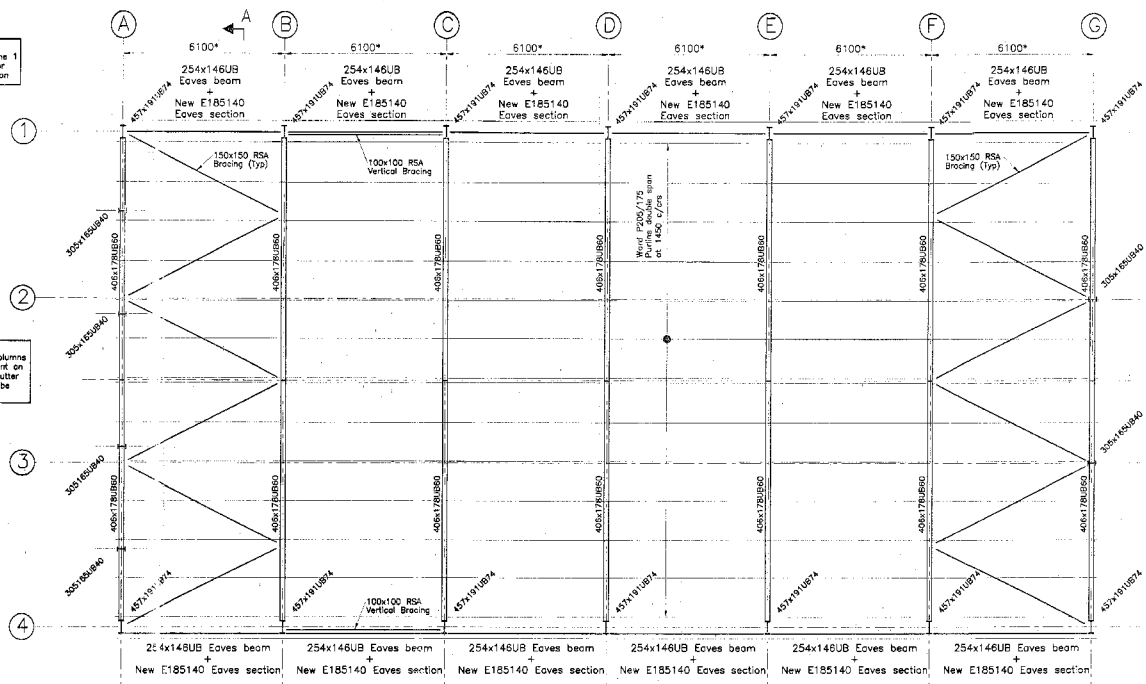


STEELWORK NOTES

Structural Steel Grades:
 a) Hot Rolled Hollow Sections
 EN 10210 S 275 J2
 b) All Other Hot Rolled Sections
 EN 10113 S 275 JR
 All bolts to be sheararized
 I.S.O. bolts grade 4.6 to BS
 4190 or 8.8 to BS 3692 U.O.N.
 Existing HS/B bolts may be
 re-used but tightened as
 Or 8.8 bolts.
 All welds to be 5mm fillet weld
 U.O.N.
 Details of all temporary bracings
 during various stages of
 construction to be submitted to
 the Engineer for approval.
 New steelwork to be grit blast
 cleaned to BS 7275 Part A1,
 preparation grade SA 2½.
 Within 2 hours of blasting,
 apply twin pack epoxy zinc rich
 primer to minimum D.F.T. of 20
 microns.
 Prior to delivery to site, apply
 twin pack epoxy zinc rich, high
 build primer to minimum D.F.T.
 of 75 microns.
 After fabrication, welds and
 damaged areas to be thoroughly
 wire brushed, scrubbed and
 degreased and touched up with
 twin pack epoxy zinc rich, high
 build primer.
 All dimensions marked * to be
 checked against existing steelwork
 prior to setting out foundations.

NOTE:
 Foundations on grid line 1
 have been designed for
 possible future extension

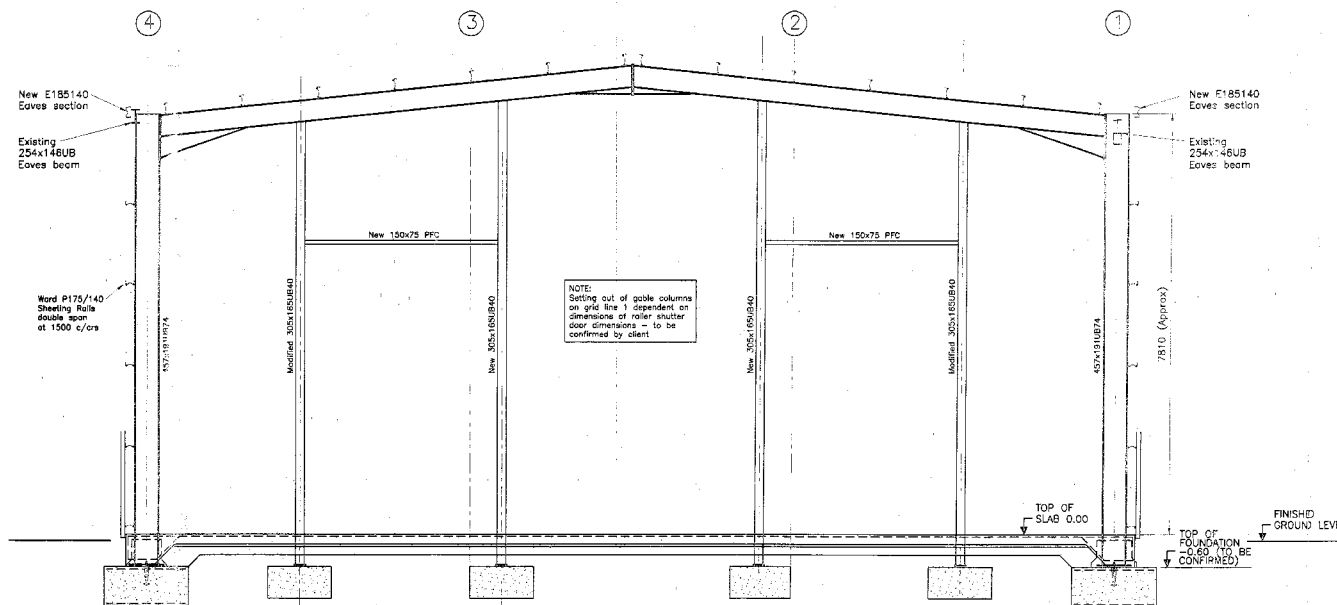
NOTE:
 Setting out of gable columns
 on grid line 1 dependent on
 dimensions of roller shutter
 door dimensions - to be
 confirmed by client



ROOF PLAN

SCALE 1:100
 (TO BE READ IN CONJUNCTION WITH
 ARCHITECTS DRAWING)

Note: *
 All steelwork dimensions approximate - to be checked
 in situ (existing steel frame)



TYPICAL SECTION A-A

SCALE 1:50
 (TO BE READ IN CONJUNCTION WITH
 ARCHITECTS DRAWING)