

THE HIGHLAND COUNCIL

SOUTH PLANNING APPLICATIONS COMMITTEE
30 September 2014

Agenda Item	7.1
Report No	PLS/068/14

14/03260/MSC – Robertson Property Ltd
Land at Beechwood Farm, Inverness (Inverness Campus)

Report by Head of Planning and Building Standards

SUMMARY

Description: Application for approval of Matters Specified in Conditions 2(c) of Planning Permission in Principle 09/00887/PIPIN at Beechwood Farm, Inverness (Inverness Campus). Specifically this application relates to the detailed design and layout for the building on Plot 7 which is for student residences.

Recommendation: **APPROVE** Matters Specified in Conditions

Wards: 17 and 20 – Inverness Millburn and Inverness South

Development category: Local development

Pre-determination hearing: No

Reason referred to Committee: Manager's discretion

1.0 INTRODUCTION

- 1.1 In May 2010 the Inverness, Nairn, Badenoch and Strathspey Planning Applications Committee granted planning permission in principle for an educational campus development (09/00887/PIPIN). The decision notice was issued on 08 March 2011 following conclusion of a section 75 legal agreement.
- 1.2 This application is for the approval of matters specified in Condition 2(c) of that planning permission in principle as it relates to the first phase of proposed building on Plot 7 of the Campus. The application has been submitted by Robertson Property Ltd which has secured the design and build contract from the University of the Highlands and Islands for its student residences.
- 1.3 The development comprises of a 150 bed student accommodation building.

2.0 SUBMISSIONS TO ADDRESS THE MATTERS SPECIFIED IN CONDITIONS

2.1 Condition 2 of planning permission 09/00887/PIPIN states:

A further application, (or applications), for the approval of matters specified in this condition must be made. These matters specified are:

a) A 'masterplan' for the campus development area shall be submitted for the prior written approval of the Council in advance of any subsequent matters specified by condition. The masterplan shall include a detailed layout of the site including - plot boundaries, proposed uses, means of access, car parking, a landscape framework showing existing and proposed landscaping, principal infrastructure provision and the proposed phasing of development plots;

b) Following the submission of the masterplan specified in condition 2a, design guidelines shall be submitted for the written approval of the Council. The design guidelines shall include the following:-

- *Design principles applicable to the entire development;*
- *Design principles for adopted roads and other public routes;*
- *General soft and hard landscaping;*
- *Sustainable design considerations including use of solar gain design, solar energy use, grey water recycling and rain water harvesting, external lighting to minimise sky glow, and energy conservation generally;*
- *Water management and Sustainable Urban Drainage Systems;*
- *Boundary treatments;*
- *Public Art.*

c) following submission of details required by conditions 2a and 2b the further detailed matters specified by this condition will include detailed plans, sections and elevations of the siting, design and external appearance of all buildings and other structures. The development shall follow the general principles set out in the masterplan and design guidelines.

Reason: *To accord with the provisions of the Town and Country Planning (Scotland) Acts because this planning permission is in principle only and the layout details (which were submitted for indicative purposes only) are required to be revised to conform with the terms of this permission.*

2.2 Conditions 2 (a) and 2(b) have already been satisfied. This application seeks to discharge Condition 2(c) (highlighted above) in so far as it relates to the first phase of development on Plot 7. Condition 2(c) relates to the siting, design and external appearance of the building.

2.3 To address the Condition, the applicant has submitted the following information:

- Design Statement
- Detailed layout plans
- Detailed elevation drawings
- Landscape plan

2.4 The Design Statement takes into consideration the requirement for the building to comply with other aspects of the planning permission in principle and in particular to tie into the Campus masterplan and infrastructure. The development has also taken into consideration the work previously undertaken by 7N, the masterplan architect's, on the feasibility study for student residences on this plot.

2.5 The Design Statement provides information on the design; including elevation treatment and energy efficiency.

3.0 PUBLIC PARTICIPATION

3.1 Advertisement: Neighbour Notification

Representation deadline: 26.09.2014

Timeous representations against: 0

Timeous representations in support: 0

Late representations: 0

4.0 CONSULTATIONS

4.1 No consultations undertaken.

5.0 DEVELOPMENT PLAN POLICY

5.1 The principle of development on the site has been accepted. The following policies are relevant to the assessment of the details submitted as part of this Matters Specified in Conditions application.

Highland wide Local Development Plan (2012)

5.2 Policy 10 – Beechwood Campus
Policy 28 – Sustainable Design
Policy 29 – Design Quality and Place-Making

6.0 PLANNING APPRAISAL

6.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

- 6.2 The principle of the development has been accepted. This application relates to the discharge of a condition of the principal permission in respect of the design, layout and external appearance of the first buildings on Plot 7. The key considerations are whether the details submitted are sufficient to discharge the condition in the context of the development plan and other material considerations.
- 6.3 The Design Statement details the evolution of the building design. The design is influenced by the nationally accepted standard of 'cluster flats'; where there are six bedrooms to a shared kitchen and living room. This has resulted in two separate rectangular buildings, three storeys in height, linked together by a single storey reception.
- 6.4 The reception building is predominantly glazed on the front elevation with grey coloured panels where it adjoins the two accommodation blocks. This produces a recessive form. The three storey blocks, which are set at slightly different angles to one another, are clad in timber. Windows have vertical emphasis although set within openings with horizontal emphasis. The clever use of timber to form these rectangles and maintain fenestration with vertical emphasis provides a reasonable degree of modelling to the elevations and gives a high degree of visual interest.
- 6.5 The material palette expected to be followed on buildings in this part of the Campus site comprises of timber, coloured render, blue facing brick and patinated metal. The building will use timber cladding, with metal present in flashings, at the entrance, and as cladding on windows/door (timber). The materials chosen are appropriate to the site and context and compliant with the approved design guidance.
- 6.6 The master plan and design guidance that have already been agreed, the layout of service roads and the natural features and topography of the site have all had a significant influence on the location of the building within the Plot. This first phase of building will be located to the southern side of the plot adjacent to the plot access. The proposed design/layout presents an active frontage to the main street and while the entrance is recessed there is still strong presence and sense of arrival created by a puncture in the boundary stone wall. The 'short' elevations facing the central landscape area reduce the potential for 'slab' like façades and parking arranged, principally, along the railway boundary at the rear are all factors identified within the approved design guidance.
- 6.7 In total 30 car parking spaces are proposed. While this is less than maximum parking standards HIE has been committed from the outset with the Inverness Campus development to improving opportunities for travel by other modes. For this development there are 76 cycle parking spaces indicated. Bus stops, which are already in place, will be located along the Campus Green frontage with the College. The new pedestrian/cycle bridge from Raigmore has already improved accessibility to the site.

6.8 The chosen design meets the requirements of the Building Research Establishment Environmental Assessment Method (BREEAM) excellent rating for sustainability as is envisaged for all development within the Campus site. The proposal incorporates bio-mass water and space heater technology to reduce CO₂ emissions.

6.9 Landscaping treatment is relatively simple, with the area surrounding the building predominantly mown grass areas and hard landscape interspersed with wildflower planting, hedging and trees. Hardstanding areas will include stone setts with gravel margins. Trees species selected include Birch, Beech, Maple, Cherry, Rowan and Larch. These species are appropriate to the site.

7.0 CONCLUSION

7.1 This, as is the case with other buildings within the Campus site, is very much a building of its time. The Architects have, with clever use of timber, produced a building of considerable design quality from a design of relatively standard floor plate.

7.2 The proposals respond well to the UHI Campus masterplan and the design guidance for the Plot and will make a positive contribution. It is considered that the proposed form, design, location and layout of the building are appropriate to the site.

7.3 The details submitted are considered to be sufficient to discharge Condition 2(c) of Planning Permission in Principle 09/00887/PIPIN in relation to this phase of Plot 7. The proposed details will ensure continuing compliance with the development plan. There are no material considerations that indicate otherwise.

8.0 RECOMMENDATION

Action required before decision issued N

It is recommended that Matters Specified in Condition 2(c) of Planning Permission in Principle 09/00887/PIPIN for Plot 7 be **APPROVED**.

Signature:

Designation: Head of Planning and Building Standards

Author: David Mudie, Team Leader – Development Management
(01463) 702255

Background Papers: Documents referred to in report and in case file.

Relevant Plans: PL(20)001-012
PL(90)001-002
HLD K156.14 SL-02



Revision			
Drawn:	CHK'd:	Date:	
Revision			
Drawn:	CHK'd:	Date:	
Revision			
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Revision			
Drawn:	CHK'd:	Date:	
Revision			
Drawn:	CHK'd:	Date:	

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Client
Robertson Northern Ltd.

Project
**UHI Student Residences
 Inverness Campus - Plot 7**

Drawing
Artist's Impressions

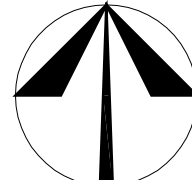
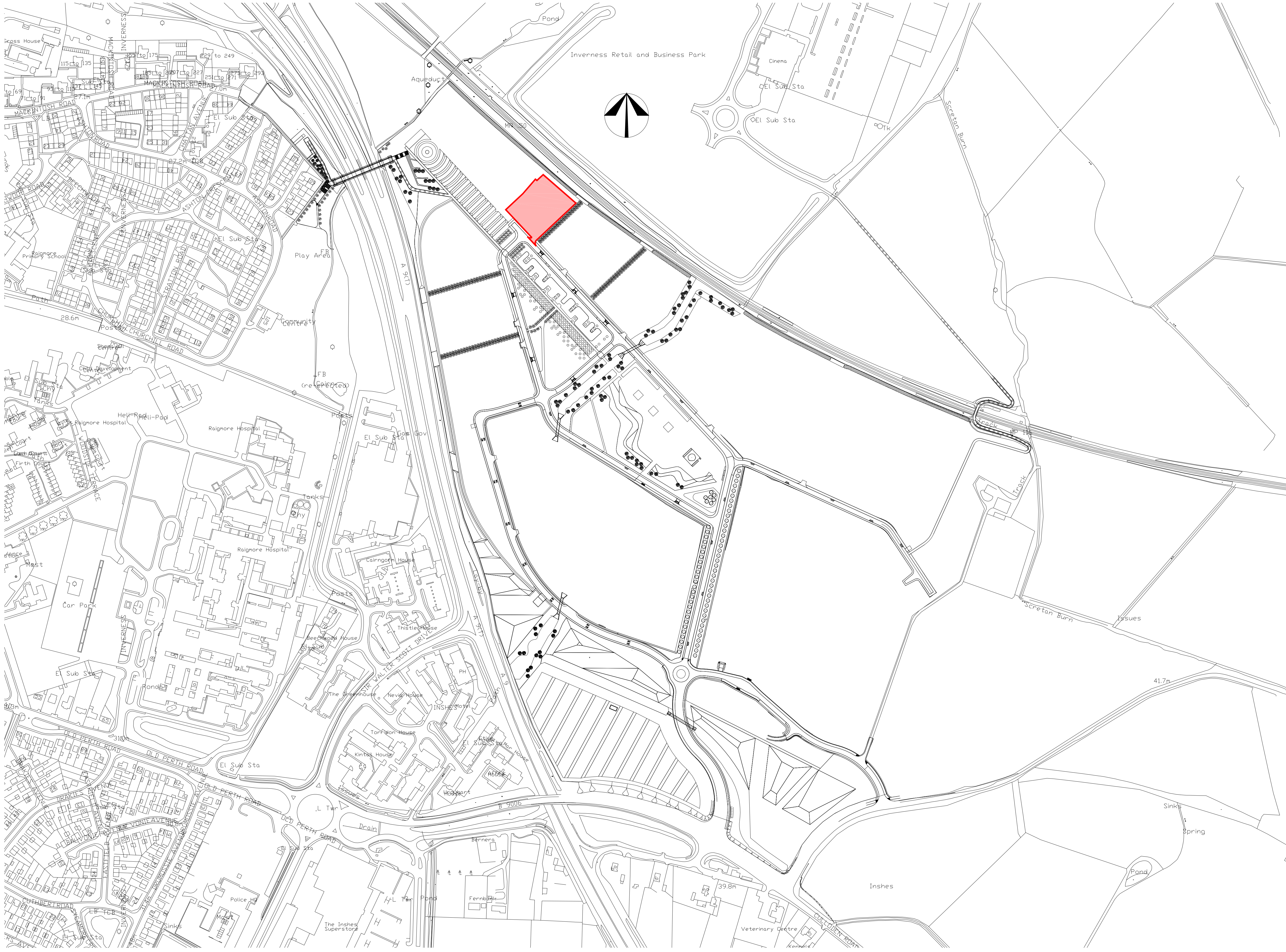
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213618

Drawing No.
PL(00)001

Status
PLANNING

Created: SH Checked: ML
 Date: 01.04.14 Scale: 1/125 @ A1

82/F007 • EDINBURGH • GLASGOW • INVERNESS • MANCHESTER • PERTH



Revision	Drawn	Checked	Date

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Client
Robertson Northern Ltd.

Project
**UHI Student Residences
 Inverness Campus - Plot 7**

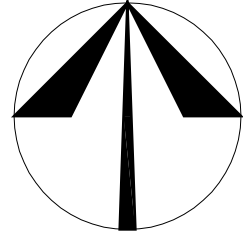
Drawing
Location Plan

Project No.
213618

Drawing No.
PL(90)001

Status
PLANNING

Created • SH Checked • ML
 Date • 01.04.14 Scale • 1:2500 @ A1



Gross Site Area: 0.43Ha

Note: Landscaping shown as indicative only



Revision	Drawn	CHK'd	Date

Inverness Campus Masterplan Phase 1

- Pedestrian and cycle bridge over A9
- North Park
- Residential / Business institutions
- Beechwood Park
- Campus Green
- Sports facilities
- Inverness College
- Land reserved for future phases and expansion
- Campus Ancillary

Plot 7

Location Plan





North Elevation to North Wing
 1:50
 0 1 2 3 4 5 10 metres



South Elevation to North Wing
 1:75
 0 1 2 3 4 5 10 metres



East Elevation to North Wing
 1:75

- aluminum PPC capping flashing to single ply roof upstand, colour: dark grey
- aluminum clad timber windows, Nordan or equal, colour: dark grey
- smooth siberian larch cladding, horizontal T&G boarding with 'V' joints, vacuum treated with a colour fast, shade T5A
- dressed siberian larch louvre panel
- smooth siberian larch cladding, vertical T&G boarding with 'V' joints, vacuum treated with a clear coat to maintain original appearance

Revised		
Drawn	02/01	02/01
Revised		
Drawn	02/01	02/01
Revised		
Drawn	02/01	02/01
Revised		
Drawn	02/01	02/01
Revised		
Drawn	02/01	02/01

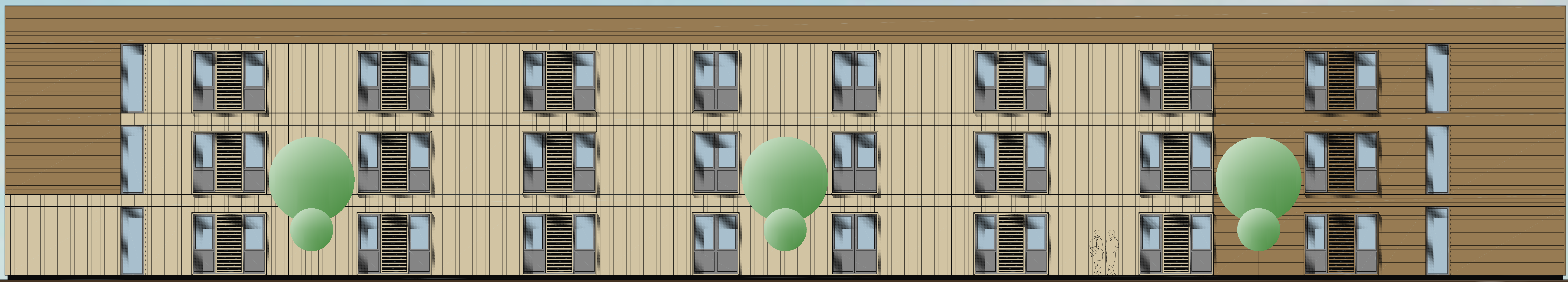
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Client
 Robertson Northern Ltd.

Project
 UHI Student Residences
 Inverness Campus - Plot 7

Drawn
 Elevations - Sheet 2

Project No.	213019		
Client Ref.			
Drawn No.	PL(20)011		
Status	PLANNING		
Checked	JGJ	Checked	ML
Date	01/04/14	Scale	A1:50 @ A0



South Elevation to South Wing

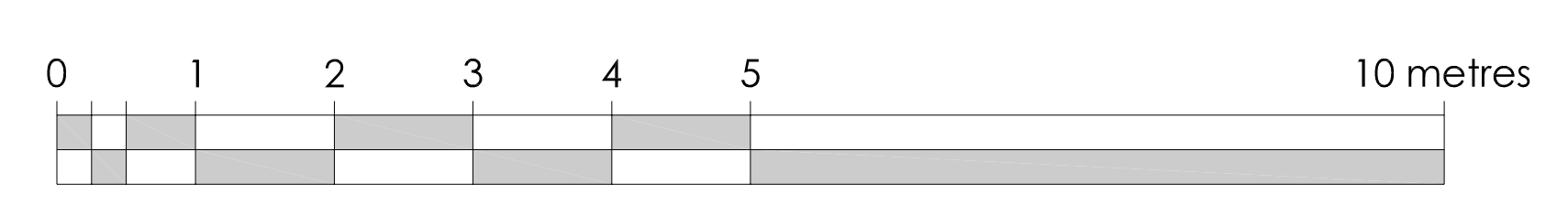


- aluminium PPC capping flashing to single ply roof upstand, colour: dark grey
- aluminium clad timber windows, Nordan or equal, colour: dark grey
- smooth siberian larch cladding, horizontal T&G boarding with 'V' joints, vacuum treated with a colour tint, shade TBA
- dressed siberian larch louvre panel
- smooth siberian larch cladding, vertical T&G boarding with 'V' joints, vacuum treated with a clear coat to maintain original appearance



East Elevation to South Wing

West Elevation to both North & South Wings



Revised:		
Drawn:	CHK/1	Date:
Revised:		
Drawn:	CHK/1	Date:
Revised:		
Drawn:	CHK/1	Date:
Revised:		
Drawn:	CHK/1	Date:

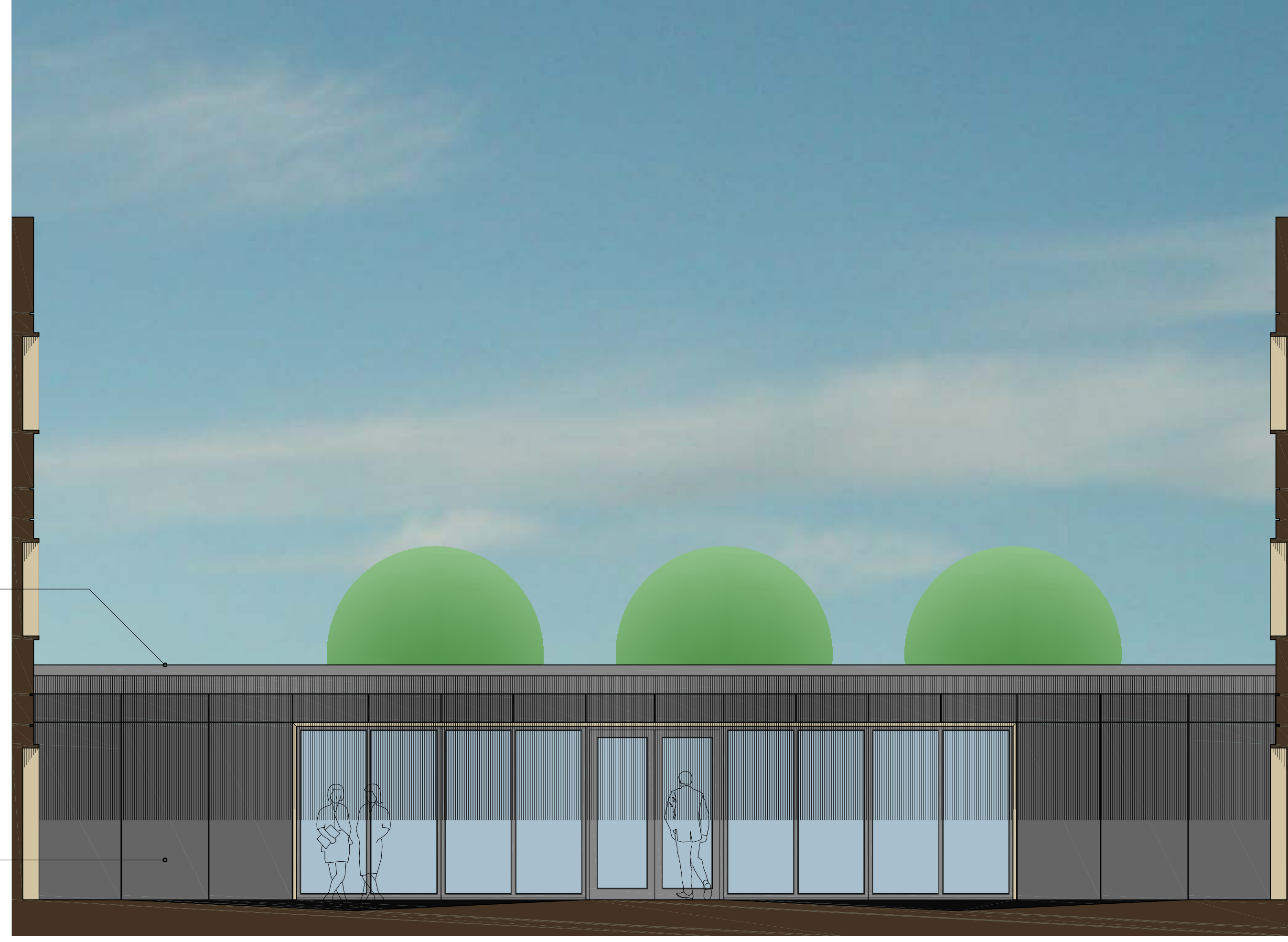
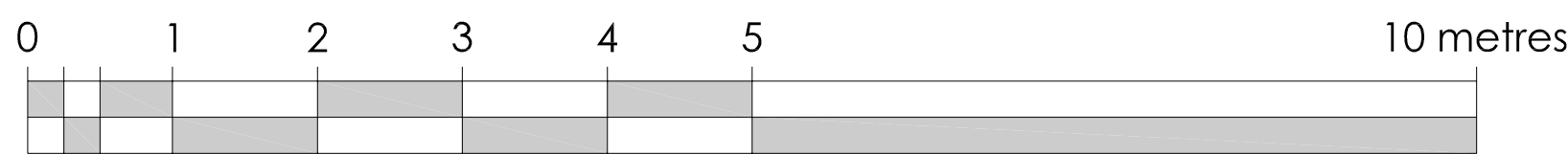
keppie
 ARCHITECTS • INTERIORS • LANDSCAPE ARCHITECTS • ENGINEERS • PLANNING

Client: Robertson Northern Ltd.
 Project: UHI Student Residences Inverness Campus - Plot 7
 Drawing: Elevations - Sheet 1

Project No:	2115019		
Client Ref:	PL(20)010		
Status:	PLANNING		
Created:	JM	Checked:	ML
Date:	01/04/24	Scale:	A1:50 @ A0



North Elevation to South Wing



aluminium PPC eaves trim flashing to single ply roof, colour: dark grey

Rock Panel rainscreen cladding, colour: dark grey

West Elevation to Link



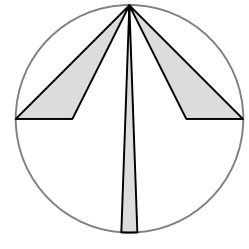
smooth siberian larch cladding, vertical T&G boarding with 'v' joints, vacuum treated with a clear coat to maintain original appearance

aluminium clad timber windows, Nordan or equal, colour: dark grey

Rock Panel rainscreen cladding, colour: dark grey

East Elevation to Link

Revised		
Drawn	02/12	02/12
Revised		
Drawn	02/12	02/12
Revised		
Drawn	02/12	02/12
Revised		
Drawn	02/12	02/12
Revised		
Drawn	02/12	02/12



Gross Site Area: 0.43Ha



- KEY**
- Proposed 3-3.5m high fastigate selected standard trees - Hornbeam/ Beech.
 - Proposed 3-3.5m high selected standard trees - Maple / Cherry / Beech.
 - Proposed 2-2.5m triple stemmed Birch trees.
 - Proposed 2-2.5m high feathered trees - Birch / Rowan.
 - Proposed 1-1.5m high feathered conifers- Pine / Larch.
 - Proposed 1.5- 2.5m high feathered conifers- Serbian Spruce / Cedar of Lebanon.
 - Proposed mixed ground cover shrub planting.
 - Proposed specimen shrub planting / climbers.
 - Proposed 0.8m high Beech hedging with post and wire protective fencing.
 - Proposed grass seeded open space areas.
 - Proposed wildflower / grass seeded areas.
 - Proposed Bluebell bulb planting in grassed area.
 - Proposed 0.5m - 1m wide gravel strip with timber edging. (Gravel to be from a local source)
 - Proposed grass areas with recycled plastic reinforcement mesh grids. (To permit maintenance access.)

REVISIONS

A: 10.4.14 No-Build zone included as part of areas to be topped and grass seeded. All Beech hedging to be maintained at 0.8m high (for security reasons.)KW

ALL DIMENSIONS TO BE CHECKED ON SITE WORK TO FIGURED DIMENSIONS ONLY REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT AT ONCE BEFORE PROCEEDING

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Project Title
**UHI STUDENT RESIDENCES
 INVERNESS CAMPUS - PLOT 7**
 Drawing Title
LANDSCAPE PROPOSALS

Scale	1:200@A1	Date	20.3.14
Drawn	k wood	Approved	J Legge
Drawing No.		Rev.	
	HLD K156.14 SL-02		KW