

THE HIGHLAND COUNCIL

**SOUTH PLANNING APPLICATIONS COMMITTEE
30 September 2014**

Agenda Item	7.3
Report No	PLS/070/14

14/02567/FUL : **Robertson Property Ltd**
Land 70m NE of Lidl Food Store, Camanachd Crescent, Fort William

Report by Area Planning Manager - South

SUMMARY

Description : Erection of 40 bed student accommodation with ancillary services & storage

Recommendation - GRANT

Ward : 22 Fort William and Ardnamurchan

Development category : Local Development

Pre-determination hearing : Hearing not required

Reason referred to Committee : Community Council objection.

1. PROPOSED DEVELOPMENT

1.1 This is an amended scheme for the erection of student accommodation on the site. Planning permission reference 12/01742/FUL was granted in 2012 for the erection of 22 student bedsit rooms accommodating 32 bed spaces. Communal living spaces were proposed, together with stores for outdoor equipment and a separate building for outdoor activity equipment/plant/laundry associated with the West Highland College's Outdoor Adventure Tourism course. This permission covered the entire gap site at An Aird, which is now split into two amended planning applications (current application and 14/02638/FUL).

The current application seeks the erection of 40 student bedsits with communal facilities, within a three storey building occupying the western portion of the gap site, adjacent to the Lidl building at An Aird. The building is generally rectangular in form and is to be positioned with its gable facing Camanachd Crescent. To the east of the site, along the southern boundary is a single storey biomass building and student store, with bicycle parking and bin stores. The boiler flue is approximately 7m above ground level. All the buildings are predominantly to be finished in natural stained vertical larch cladding, with the ground floor level of the student accommodation building finished in white render. Feature panels of horizontal larch cladding stained mid grey are proposed, together with a section of grey Rockpanel cladding on the internal face of the rear section of the building.

- 1.2 Informal pre-application discussion took place regarding design changes.
- 1.3 The site is to be accessed from Camanachd Crescent via a new vehicular access between the proposed student accommodation building and the proposed college activity storage building (14/02638/FUL). 10 shared parking spaces are to be provided on site, together with vehicle loading/unloading and turning, and bicycle racks. Connection is to be made to the existing public sewer and water main and surface water drainage will be treated on site by means of on-site filter trench.
- 1.4 SUDs Statement and scheme submitted in support of the application together with Sustainability Statement and biomass information.
- 1.5 **Variations:** Drainage statement updated and elevations updated to confirm external finishes.

2. SITE DESCRIPTION

- 2.1 The site comprises rough, reasonably level, vacant ground to the immediate east of the Lidl premises at An Aird. To the south of the site is the railway, with Victoria Court and the Belhaven Ward beyond; to the east is the existing housing at Camanachd Crescent; and to the north, on the opposite side of the public road, is the shinty pitch and clubhouse.

3. PLANNING HISTORY

- 3.1 12/01742/FUL - Erection of two student accommodation blocks and storage building : Granted 27.8.12 (combined site of 14/02567/FUL and 14/02638/FUL)

4. PUBLIC PARTICIPATION

- 4.1 Advertised : Yes
Representation deadline : 31.7.14
Timeous representations : 0
Late representations : 0
- 4.2 Material considerations raised are summarised as follows:
 - None
- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam. Access to computers can be made available via Planning and Development Service offices.

5. CONSULTATIONS

- 5.1 **Environmental Health Officer** : Conditions/informatives recommended to cover construction phase (noise and dust) and operating noise from biomass plant. No concerns raised over local air quality from biomass proposal.
- 5.2 **Contaminated Land Unit** : No objection - recommends conditions relating to foundation design covering gas protection measures and water pipe specification in recognition of previous use of the site.
- 5.3 **Flood Team** : No objections subject to condition seeking a minimum raised finished floor level of 200mm above existing ground levels.

- 5.4 **Transport Planning** : No response.
- 5.5 **Fort William Community Council** : Objections raised in relation to building design and finish.
- 5.6 **Disability Access Panel** : Support for proposal - subject to planning permission being granted the Panel advise they had agreed to award a Certificate of Merit to the architects for their practice of intuitive holistic and barrier free architecture and their employment of inclusive design in this project.
- 5.7 **Network Rail** : No objection in principle to the proposal, but due to proximity to the railway they have recommended conditions/informatives in relation to provision of trespass-proof fencing on the boundary, landscaping and construction details.
- 5.8 **Scottish Water** : No response.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

- | | |
|----|---------------------------------|
| 28 | Sustainable Design |
| 29 | Design Quality and Place Making |
| 34 | Settlement Development Areas |
| 42 | Previously Used Land |
| 65 | Waste Water treatment |
| 66 | Surface Water Drainage |
| 67 | Renewable Energy |

6.2 West Highland and Islands Local Plan 2010 (as continued in force)

Inset Map 30 : Fort William

7. OTHER MATERIAL CONSIDERATIONS

7.1 Draft Development Plan

Not applicable

7.2 Highland Council Supplementary Planning Policy Guidance

Flood Risk & Drainage Impact Assessment (Jan 2013)
Houses in Multiple Occupation (March 2013)
Managing Waste in New Developments (March 2013)
Sustainable Design Guide (Jan 2013)

7.3 **Scottish Government Planning Policy and Guidance**

Scottish Planning Policy (June 2014)

Planning Advice Note 33 : Development of Contaminated Land

Planning Advice Note 69 : Planning and Building Standards Advice on Flooding

Planning Advice Note 78 : Inclusive Design

Planning Advice Note 79 : Water and Drainage

Planning Advice Note 1/2011: Planning and Noise

8. **PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

8.3 **Development Plan Policy Assessment**

Principle

This central location in Fort William, close to the college and other town centre facilities and services, is an appropriate site for student accommodation in principle. There are a mixture of types of residential accommodation in the town centre including private dwelling houses, flats, hotel and hostel accommodation, as well as B&B and guest house provision, all appropriate within the sub-regional centre. The development would accord in principle with Policies 28 and 34 of the Highland Wide Local Development Plan.

Planning permission was granted by Committee in 2012 for the erection of a modern three storey building for student accommodation on this vacant site (this is a live permission). The current proposal seeks to amend the number of bed spaces from 32 to 40, and amend the layout, servicing and design.

8.3.1 Siting and design

The previously approved scheme occupied most of the frontage of the site, with access taken down the side of Camanachd Crescent and parking at the rear of the site. The current scheme is for a three storey building in the western portion of the site (adjacent to Lidl), with access and parking area occupying a fairly central location within the overall site. The building is positioned gable-on to the public road and as a result will offer less mass of building along the street frontage. The height of the building is similar (slightly lower) than the adjacent Lidl building. Service buildings, including a biomass boiler, are located at the rear of the site, towards the railway. Landscaping is proposed primarily around the perimeter of the site, with a stone wall feature proposed at the entrance.

The main building is predominantly a rectangular, pitched roof building with mono-pitched feature on the rear and mono pitched projection on each side elevation. The mass of the building has been broken up by external finishes, with white render on the ground floor level and vertical treated larch cladding on the upper levels. Vertically proportioned panels are included in a grey stained larch cladding to add visual interest.

The roof is to be finished in aluminium standing seam. The palette of materials is similar to that previously approved and together with the design the proposal is considered to be appropriate within this area which has a mix of architectural styles and finishes.

The Fort William Community Council has objected to the proposal on the grounds of the building materials proposed; they have advised that the timber cladding must be of sufficient durability to withstand Lochaber weather; and that the use of aluminium for the roof is completely inappropriate for residential development in this particular setting.

As discussed above, there are a mix of building styles and finishes in this area and the palette of materials is considered to be acceptable.

8.3.2 Privacy and amenity

The student accommodation is sufficiently distanced from existing residential properties to prevent an adverse impact through inter- and over-looking windows. There is likely to be additional activity associated with this new residential development however it is considered this will not be detrimental to the wider amenity in this mixed use area on the edge of the town centre.

There will be some disturbance to neighbours during the construction period, however there are controls in place under the environmental health legislation to control this. Informatives are proposed to be included with any decision notice. The agent has also confirmed that the buildings have been designed to allow large elements of the structure to be manufactured off-site, and to be constructed without the need for scaffolding; both of these elements will reduce the amount of time on site to construct the buildings, and hence reduce any disturbance.

8.3.3 Servicing and infrastructure

A new access and parking area is to be formed to serve the development (including the adjoining application of the outdoor activity centre). Parking is to be provided at a rate of 1 space per 5 bed spaces, together with an additional space for staff. This is considered to be acceptable given the occupancy, the close proximity of public transport options and the short walking distance to the main college building. Turning/unloading space is also provided to serve the biomass boiler and the student storage space.

Connection is to be made to the public sewer and the public water main which will both require the separate permission of Scottish Water.

Records indicate the site has an historic use as railway sidings and a distillery, and it lies adjacent to the infilled channel of the River Nevis and the former An Aird refuse site which may have resulted in land contamination. Site investigation work has been undertaken and the Council's Contaminated Land Unit has advised that there is no requirement for further site investigation subject to conditions relating to gas protection measures and water supply pipe selection. These will be imposed.

A scheme of sustainable urban drainage has been submitted to deal with surface water within the site. This utilises filter trenches below the areas of (permeable) paving. No objection has been received from the Council's Flood Team.

The building is to be heated by a biomass boiler, located within a building at the rear of the site and served by a 4.4m high flue (terminating 7.1m above ground level). This would also serve the proposed college building which is part of a separate application. The Council's Environmental Health Officer has raised no objections in terms of air quality. A condition has been requested in relation to controlling operational noise from the plant.

8.4 **Material Considerations**

Network Rail have highlighted the close proximity of the development to the railway line and have provided conditions and informatives.

8.5 **Other Considerations – not material**

None

8.6 **Matters to be secured by Section 75 Obligation**

None

9. **CONCLUSION**

9.1 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. **RECOMMENDATION**

Action required before decision issued N

Subject to the above, it is recommended the application be **Granted** subject to the following conditions and reasons / notes to applicant:

1. The finished floor level of the buildings hereby approved shall be set at 100.60 AOD unless otherwise first agreed in writing by the Planning Authority.

Reason : In accordance with the approved scheme for surface water drainage.

2. Gas protection measures shall be incorporated into the building design as detailed in CIRIA C665. Mitigation measures shall be installed by a suitably qualified engineer and certification of correct installation shall be submitted to and approved in writing by the Planning Authority in consultation with the Council's Contaminated Land Unit, prior to the commencement of work on the superstructure of the building.

Reason : In order to ensure that gas protection measures are met and the site is suitable for redevelopment, given the nature of previous uses/processes on the site.

3. No development shall commence on site until full details of the proposed water supply pipe has been submitted to and approved in writing by the Planning Authority in consultation with the Council's Contaminated Land Unit. Thereafter the water supply pipe shall be installed in accordance with the approved details prior to the initial occupation of the development.

Reason : To ensure that the water supply pipe is suitable for use given the nature of previous uses/processes on the site.

4. All plant, machinery and equipment associated with the installation of the biomass heating system, including fans, ducting and external openings shall be so installed, maintained and operated such that any associated operating noise does not exceed NR20 when measured or calculated within any nearby noise sensitive premises with windows open for ventilation purposes.

Reason : In the interests of residential amenity.

5. Prior to the initial occupation of the development hereby approved a 1.8 metre high trespass proof fence shall be erected along the south eastern boundary of the site and thereafter retained and maintained in perpetuity.

Reason : In the interests of public safety, to prevent unauthorised and unsafe access to the railway.

6. No development shall commence until visibility splays are provided and thereafter maintained in perpetuity on each side of the proposed access such that there shall be no obstruction to visibility from a driver's eye height of 1.05 metres or above, positioned at the set back dimension within the triangular areas defined below.

- a) The setback distance, or X distance shall be a line 4.5 metres long measured along the centre line of the access road from the nearside edge of the Road carriageway, and
- b) The Y distance shall be a line 60 metres long in each direction measured along the nearside edge of the Road carriageway from the centreline of the proposed access road in both directions

with two straight lines connecting the terminations of the above lines.

Reason : In the interests of highway safety in accordance with Policy 28 of the Highland-wide Local Development Plan.

7. No other development shall commence until a bellmouth has been constructed having a width of not less than 5.5metres and edge of surfacing radii of 5.5 metres, in accordance with details contained in the attached Road Schedule.

Reason : In the interests of highway safety in accordance with Policy 28 of the Highland-wide Local Development Plan.

8. No development shall commence until the applicant has supplied a landscape plan for the written approval of the Planning Authority. The plan shall include a scale drawing which shows the location of tree planting and species of trees and shrubs to be planted along with a maintenance programme for 5 years. The landscape planting shall be implemented in the planting season following completion of development and any failures to be replaced in the following planting seasons.

Reason : In the interests of the amenity of the area in accordance with Policies 28 and 29 of the Highland-wide Local Development Plan.

REASON FOR DECISION

The proposals accord with the provisions of the Development Plan and there are no material considerations which would warrant refusal of the application.

TIME LIMITS

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

FOOTNOTE TO APPLICANT

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Accordance with Approved Plans & Conditions

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (p.198), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport/roads/Applicationformsforroadoccupation.htm>

Mud & Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Network Rail

The railway can be a dangerous environment. Suitable barriers must be put in place by the applicant to prevent unauthorised and unsafe access to the railway.

- If not already in place, the applicant must provide a suitable trespass proof fence of at least 1.8 metres in height adjacent to Network Rail's boundary and provision for the fence's future maintenance and renewal should be made. We recommend a 1.8 metre high 'rivetless palisade' or 'expanded mesh' fence. Network Rail's existing boundary measure must not be removed without prior permission.

The proximity and type of planting proposed are important when considering a landscaping scheme. Leaf fall can greatly impact upon the reliability of the railway in certain seasons. Network Rail can provide details of planting recommendations for neighbours.

- Where trees/shrubs are to be planted adjacent to the railway boundary these should be positioned at a minimum distance from the boundary which is greater than their predicted mature height. Certain broad leaf deciduous species should not be planted adjacent to the railway boundary.

Construction works must be undertaken in a safe manner which does not disturb the operation of the neighbouring railway. Applicants must be aware of any embankments and supporting structures which are in close proximity to their development.

- Details of all changes in ground levels, laying of foundations and operation of mechanical plant in proximity to the rail line must be submitted to Network Rail's Asset Protection Engineer for approval prior to works commencing on site. Where any works cannot be carried out in a "fail-safe" manner, it will be necessary to restrict those works to periods when the railway is closed to rail traffic i.e. by a "possession" which must be booked via Network Rail's Asset Protection Engineer and are subject to a minimum prior notice period for booking of 20 weeks.

The developer must contact our Asset Protection Engineers regarding the above matters, contact details below:

Network Rail Asset Protection Engineer
Buchanan House, 58 Port Dundas Road
Glasgow, G4 0LQ
Tel: 0141 555 4087
E-mail - AssetProtectionScotland@networkrail.co.uk

Environmental Protection, Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

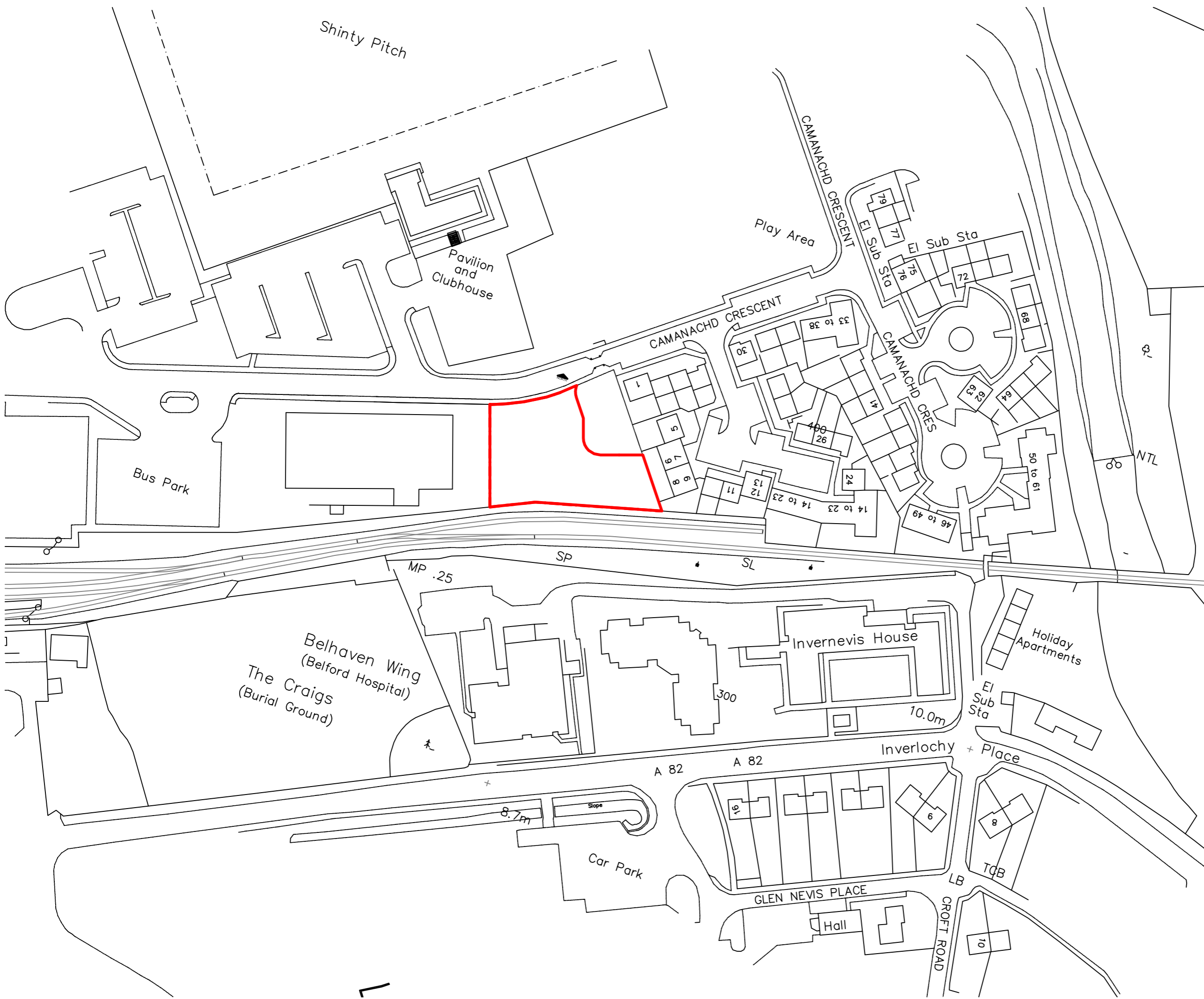
Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

To minimise nuisance in the surrounding area from noise and vibrations during construction works the plant and machinery used should be in accordance with British Standard 5228 and the relevant Codes of Practice for specified in the Control of Noise (Codes of Practice for Construction and Open Sites)(Scotland) Order 2002.

In order to avoid any potential dust nuisance issues arising during the construction phase the applicant shall take all necessary measures to avoid nuisance to neighbouring residents caused by dust which arises from operations carried out in connection with this planning consent. The applicant should follow best practice and best management techniques in this regard.

Signature: Allan J Todd
Designation: Area Planning Manager - South
Author: Susan Macmillan
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 - Location plan (0532014/SK001)
Plan 2 - Proposed site plan (0532014/002 REV E)
Plan 3 - Elevations (0532014/203 REV E)
Plan 4 - Elevations (0532014/204 REV D)
Plan 5 - Ground floor plan (0532014/200 REV D)
Plan 6 - First floor plan (0532014/201 REV C)
Plan 7 - Second floor plan (0532014/202 REV C)
Plan 8 - Street elevation (0532014/010 REV B)
Plan 9 - Landscape plan (HLD K 156.14 SL-01 REV A)
Plan 10 - Service building (0532014/239 REV C)



Note:
 The contractor will be held to have checked all dimensions before commencing with any works and in the event of discrepancies, is to refer them directly to this office for clarification prior to commencement of work.
 Written dimensions are to be taken in all cases. Drawings should not be scaled for dimensions. In case of doubt refer to this office.
 This drawing is copyright and all rights are reserved. No unauthorised copying of this drawing is permitted.

— SITE BOUNDARY

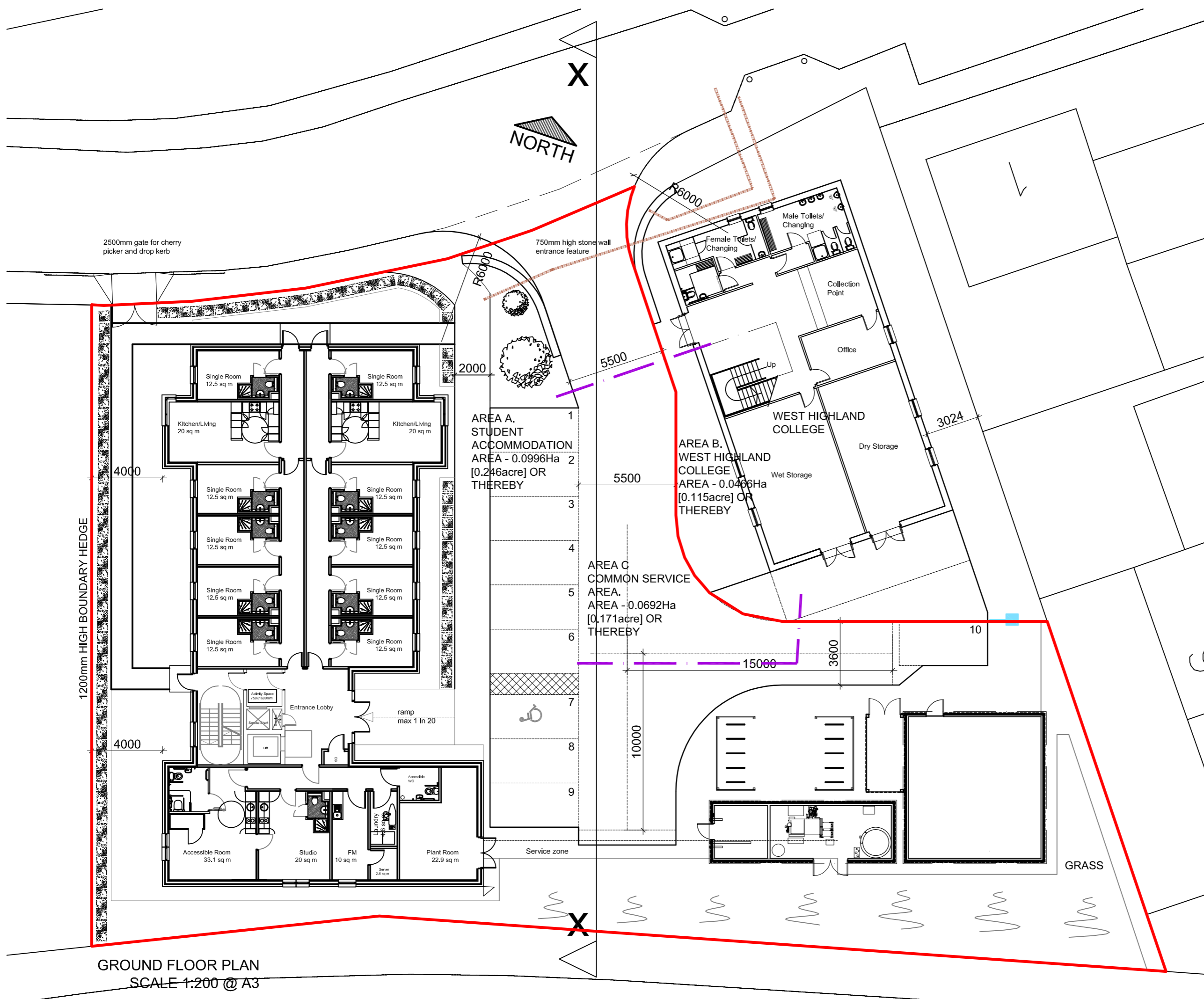
Date	Revisions	Mark

Project		UHI STUDENT ACCOMMODATION AN AIRD, FORT WILLIAM	
Client			
Drawing		LOCATION PLAN PLAN	
Scale	1:1250 @ A3	Date	MAR '14
Drawn		Checked	
Dwg. No.		0532014/SK 001	



kearney donald partnership
 chartered architects & planning supervisor

Hillside House • Belford Road
 Fort William • PH33 6BT
 Tel: 01397 704333
 Fax: 01397 704123
 E-mail: mail@kd-partnership.co.uk
 Web site: www.kd-partnership.co.uk



Note:
 The contractor will be held to have checked all dimensions before commencing with any works and in the event of discrepancies, is to refer them directly to this office for clarification prior to commencement of work.
 Written dimensions are to be taken in all cases. Drawings should not be scaled for dimensions. In case of doubt refer to this office.
 This drawing is copyright and all rights are reserved. No unauthorised copying of this drawing is permitted.

- Servitude RPC need over area B for Foul & Surface Water
- Servitude WHC Need to connect to SUDs System
- Servitude For wash down gully and connection into foul water system

Date	Revisions	Mark
24/02/14	parking amended	A
10/03/14	Gen Revision	B
18/03/14	4m from boundary	C
02/04/14	Gen update	D
24/06/14	Servitude notation added	E

Project		UHI STUDENT ACCOMMODATION AN AIRD, FORT WILLIAM	
Client			
Drawing		SITE LAYOUT AS PROPOSED	
Scale	1:200 @ A3	Date	FEB '14
Drawn		Checked	
Dwg. No.	0532014/002 E		



kearney donald partnership
 chartered architects & planning supervisor

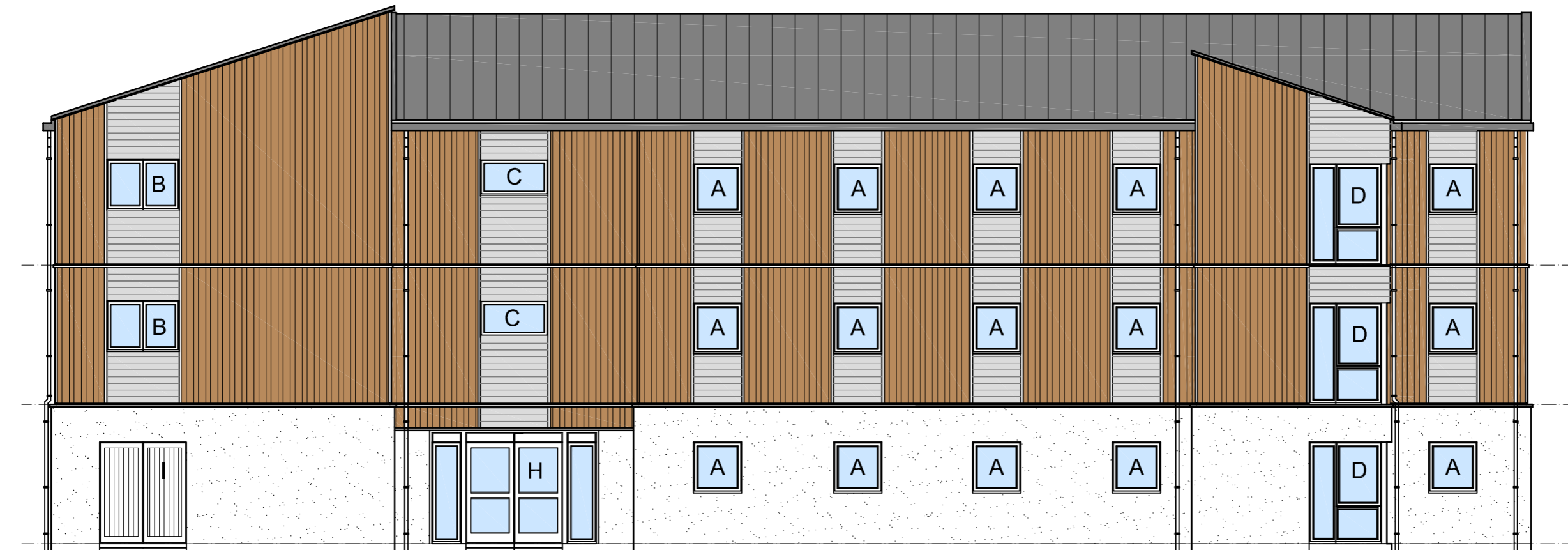
Hillside House • Belford Road
 Fort William • PH33 6BT
 Tel: 01397 704333
 Fax: 01397 704123
 E-mail: mail@kd-partnership.co.uk
 Web site: www.kd-partnership.co.uk

GROUND FLOOR PLAN
 SCALE 1:200 @ A3

Note:
 The contractor will be held to have checked all dimensions before commencing with any works and in the event of discrepancies, is to refer them directly to this office for clarification prior to commencement of work.
 Written dimensions are to be taken in all cases. Drawings should not be scaled for dimensions. In case of doubt refer to this office.
 This drawing is copyright and all rights are reserved. No unauthorised copying of this drawing is permitted.



NORTH ELEVATION
 scale 1:100 @ A3



EAST ELEVATION
 scale 1:100 @ A3

Date	Revisions	Mark
25/02/14	windows revised & window references added	A
10/03/14	General Revision	B
18/03/14	finishes notes added	C
02/04/14	Gen revision	D
04/09/14	finishes notes amended & areas of rockclad changed to horizontal timber cladding	E

Project		UHI STUDENT ACCOMMODATION AN AIRD, FORT WILLIAM
Client		
Drawing		ELEVATIONS SHEET 1 OF 2
Scale	1:100 @ A3	Date FEB '14
Drawn		Checked
Dwg. No.		0532014/203 E

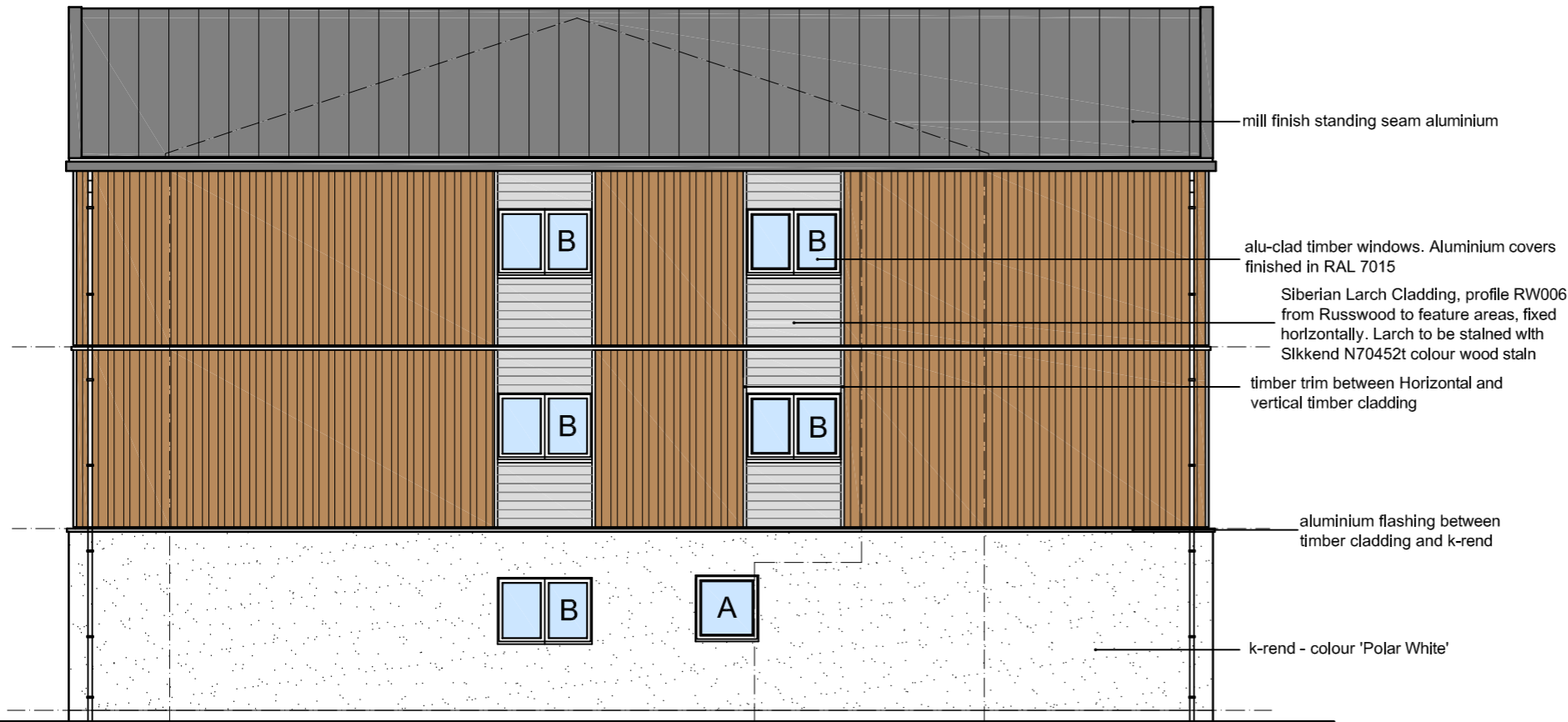


kearney donald partnership
 chartered architects & planning supervisor

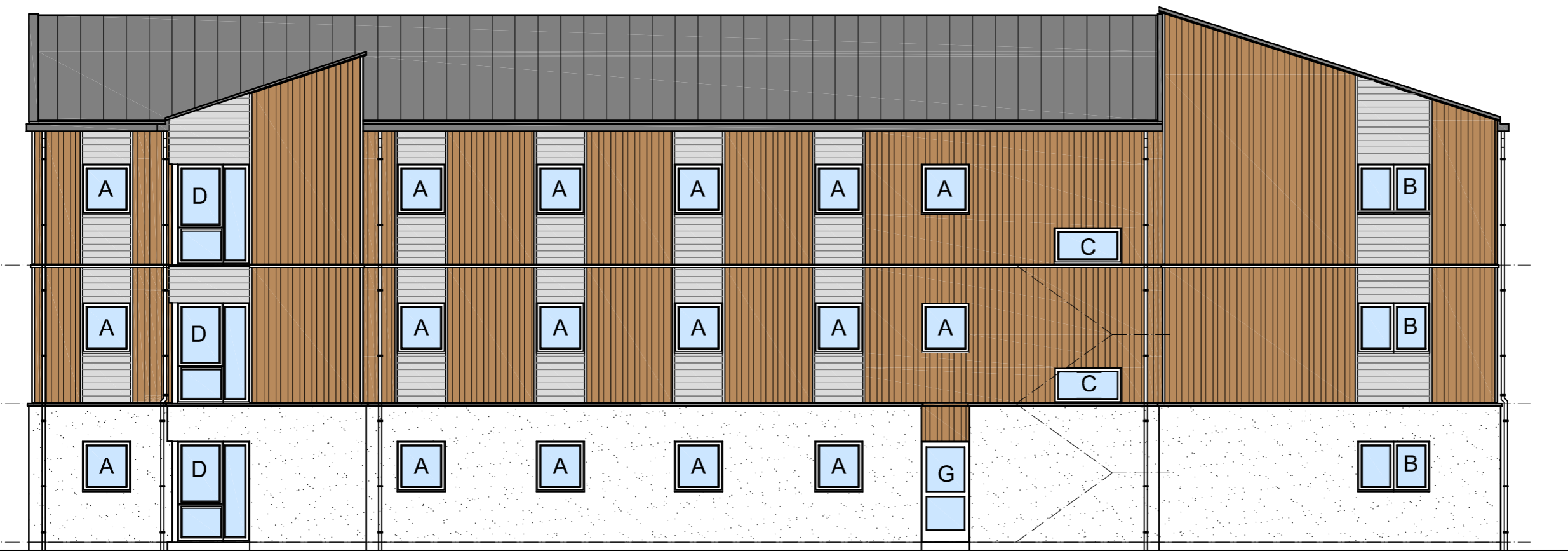
Hillside House • Belford Road
 Fort William • PH33 6BT
 Tel: 01397 704333
 Fax: 01397 704123

E-mail: mail@kd-partnership.co.uk
 Web site: www.kd-partnership.co.uk

Note:
 The contractor will be held to have checked all dimensions before commencing with any works and in the event of discrepancies, is to refer them directly to this office for clarification prior to commencement of work.
 Written dimensions are to be taken in all cases. Drawings should not be scaled for dimensions. In case of doubt refer to this office.
 This drawing is copyright and all rights are reserved. No unauthorised copying of this drawing is permitted.



SOUTH ELEVATION
 scale 1:100 @ A3



WEST ELEVATION
 scale 1:100 @ A3

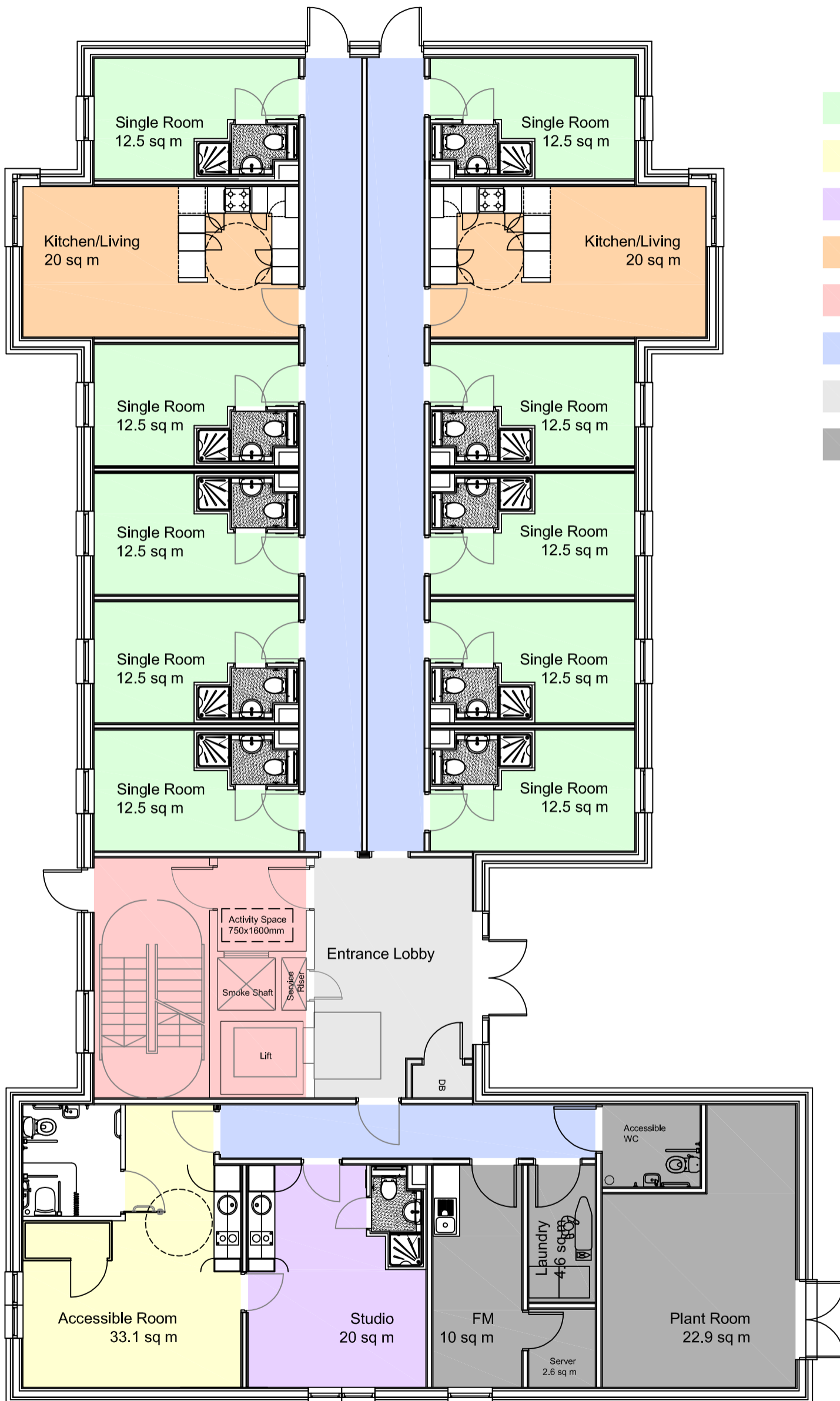
Date	Revisions	Mark
25/02/14	windows revised & window references added	A
18/03/14	finishes notes added	B
02/04/14	Gen revision	C
04/09/14	finishes notes amended & areas of rockclad changed to horizontal timber cladding	D
Project UHI STUDENT ACCOMMODATION AN AIRD, FORT WILLIAM		
Client		
Drawing DESIGN SKETCH 6 ELEVATIONS SHEET 2 OF 2		
Scale 1:100 @ A3	Date FEB '14	
Drawn	Checked	
Dwg. No. 0532014/204 D		



kearney donald partnership
 chartered architects & planning supervisor

Hillside House • Belford Road
 Fort William • PH33 6BT
 Tel: 01397 704333
 Fax: 01397 704123
 E-mail: mail@kd-partnership.co.uk
 Web site: www.kd-partnership.co.uk

Note:
 The contractor will be held to have checked all dimensions before commencing with any works and in the event of discrepancies, is to refer them directly to this office for clarification prior to commencement of work.
 Written dimensions are to be taken in all cases. Drawings should not be scaled for dimensions. In case of doubt refer to this office.
 This drawing is copyright and all rights are reserved. No unauthorised copying of this drawing is permitted.



- Standard single bedrooms (4.60 x 2.72m, 12.5m²)
- Accessible bedrooms (24.5m²)
- Studio Rooms (20.0m²)
- Living / Dining / Kitchen areas
- 60 min. enclosure
- 30 min. circulation within apartment units
- Common entrance
- Ancillary accommodation (FM, laundry & plant)

Date	Revisions	Mark
18/02/14	client amendments	A
10/03/14	general revision	B
18/03/14	plant room door repositioned	C
02/04/14	Colour codes added Lift revised	D
Project UHI STUDENT ACCOMMODATION AN AIRD, FORT WILLIAM		
Client		
Drawing GROUND FLOOR PLAN		
Scale 1:100 @ A3	Date FEB '14	
Drawn	Checked	
Dwg. No. 0532014/200 D		

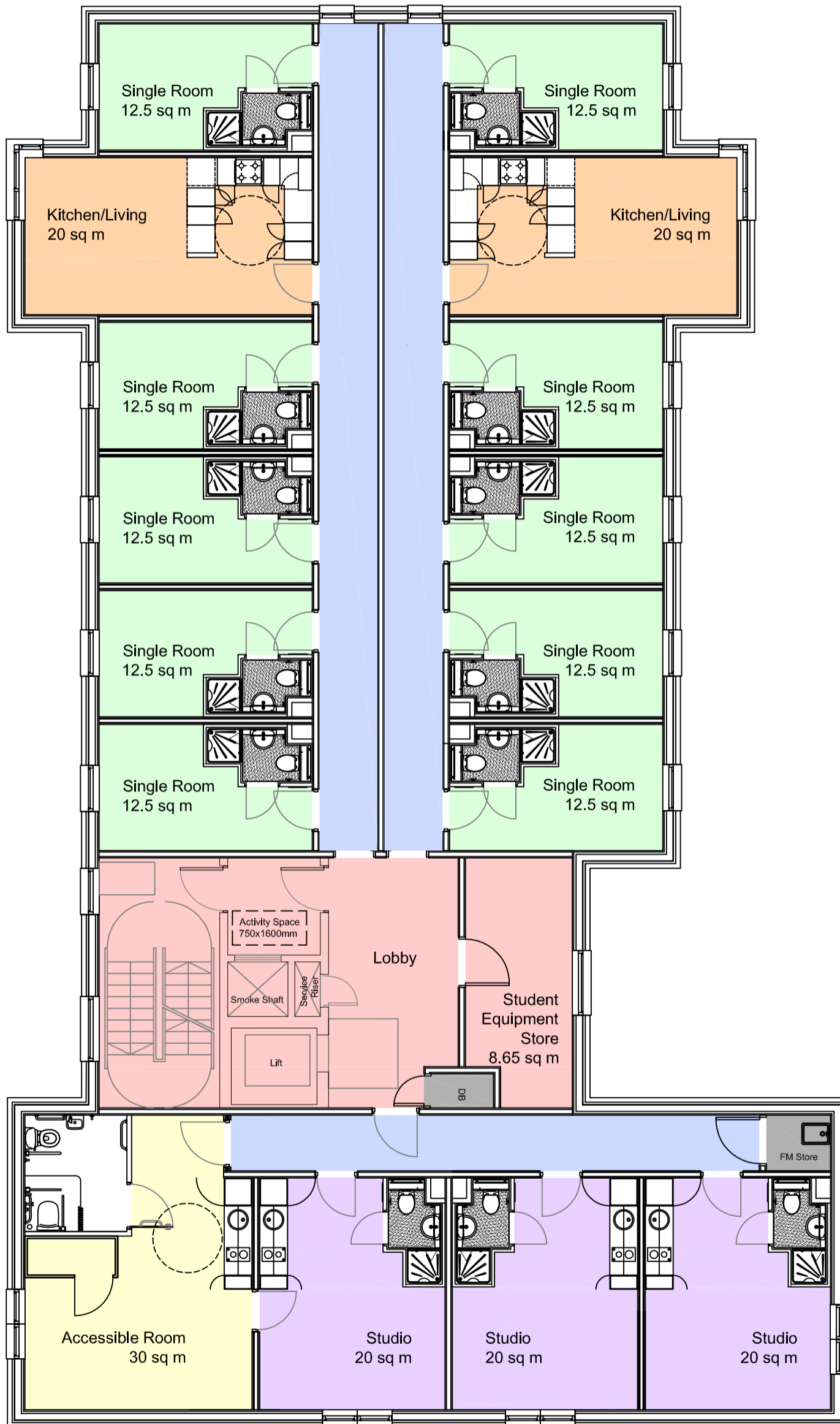


kearney donald partnership
 chartered architects & planning supervisor

Hillside House • Belford Road
 Fort William • PH33 6BT
 Tel: 01397 704333
 Fax: 01397 704123
 E-mail: mail@kd-partnership.co.uk
 Web site: www.kd-partnership.co.uk

GROUND FLOOR PLAN

Note:
 The contractor will be held to have checked all dimensions before commencing with any works and in the event of discrepancies, is to refer them directly to this office for clarification prior to commencement of work.
 Written dimensions are to be taken in all cases. Drawings should not be scaled for dimensions. In case of doubt refer to this office.
 This drawing is copyright and all rights are reserved. No unauthorised copying of this drawing is permitted.



- Standard single bedrooms (4.60 x 2.72m, 12.5m²)
- Accessible bedrooms (24.5m²)
- Studio Rooms (20.0m²)
- Living / Dining / Kitchen areas
- 60 min. enclosure
- 30 min. circulation within apartment units
- Common entrance
- Ancillary accommodation (FM, laundry & plant)

Date	Revisions	Mark
18/02/14	client amendments	A
10/03/14	General revision	B
02/04/14	Lift revised Colour codes added	C
Project UHI STUDENT ACCOMMODATION AN AIRD, FORT WILLIAM		
Client		
Drawing FIRST FLOOR PLAN		
Scale 1:100 @ A3	Date FEB '14	
Drawn	Checked	
Dwg. No. 0532014/201 C		



kearney donald partnership
 chartered architects & planning supervisor

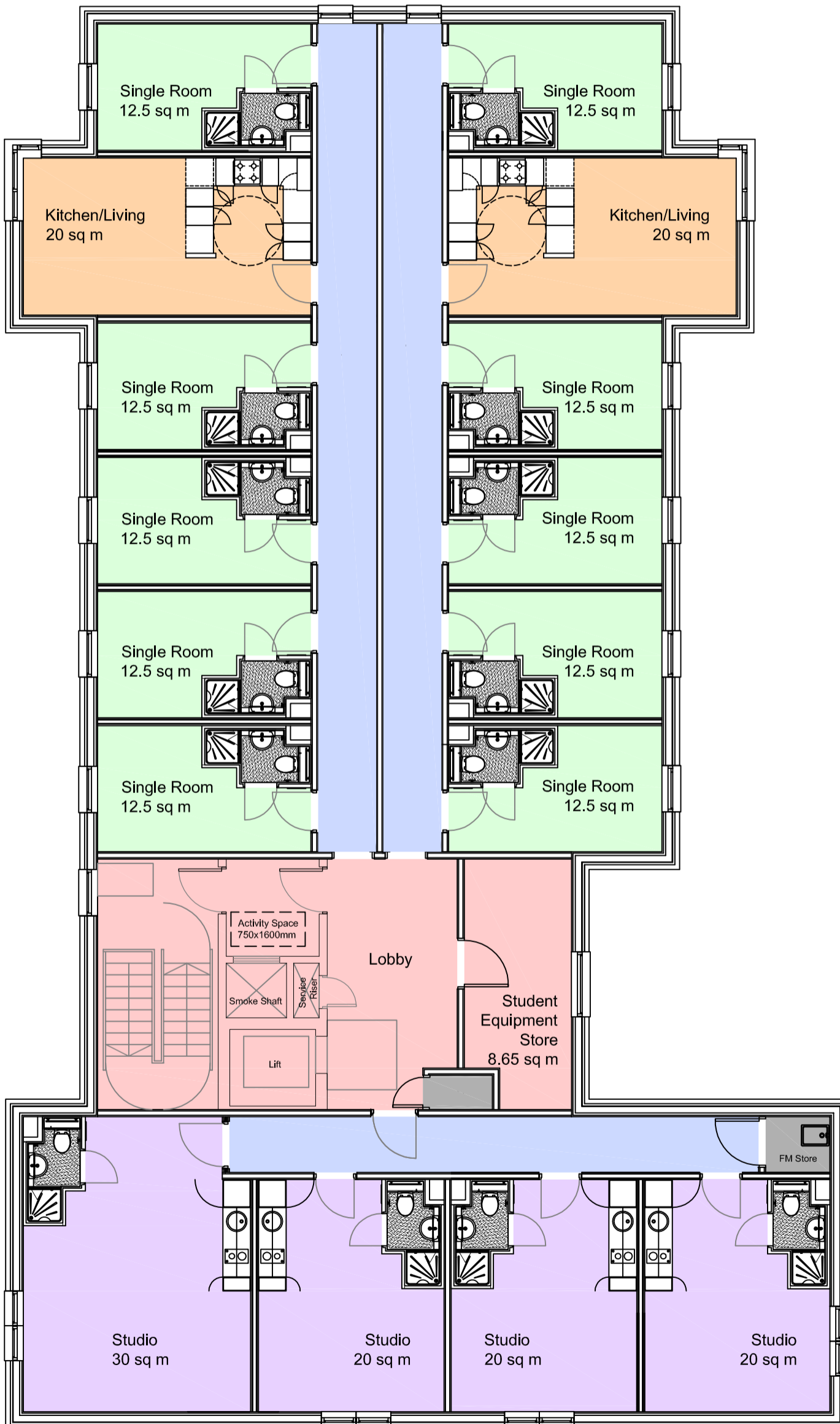
Hillside House • Bedford Road
 Fort William • PH33 6BT

Tel: 01397 704333
 Fax: 01397 704123

E-mail: mail@kd-partnership.co.uk
 Web site: www.kd-partnership.co.uk

FIRST FLOOR PLAN

Note:
 The contractor will be held to have checked all dimensions before commencing with any works and in the event of discrepancies, is to refer them directly to this office for clarification prior to commencement of work.
 Written dimensions are to be taken in all cases. Drawings should not be scaled for dimensions. In case of doubt refer to this office.
 This drawing is copyright and all rights are reserved. No unauthorised copying of this drawing is permitted.



- Standard single bedrooms (4.60 x 2.72m, 12.5m²)
- Accessible bedrooms (24.5m²)
- Studio Rooms (20.0m²)
- Living / Dining / Kitchen areas
- 60 min. enclosure
- 30 min. circulation within apartment units
- Common entrance
- Ancillary accommodation (FM, laundry & plant)

Date	Revisions	Mark
18/02/14	client amendments	A
10/03/14	General Revision	B
02/04/14	Lift revised Colour codes added	C
Project UHI STUDENT ACCOMMODATION AN AIRD, FORT WILLIAM		
Client		
Drawing SECOND FLOOR PLAN		
Scale 1:100 @ A3	Date FEB '14	
Drawn	Checked	
Dwg. No. 0532014/202 C		



kearney donald partnership
 chartered architects & planning supervisor

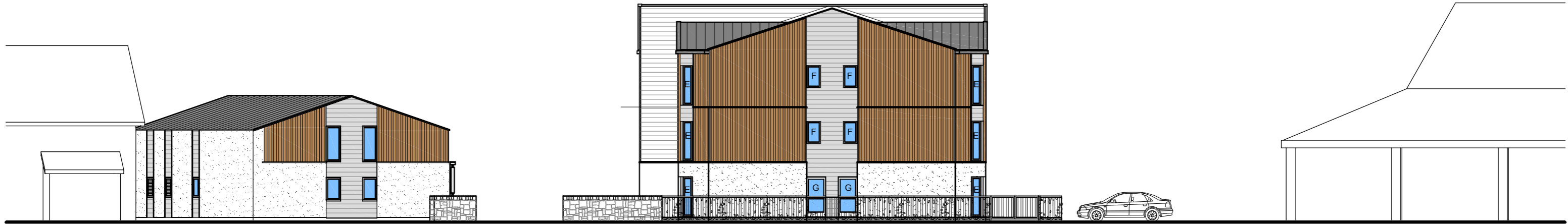
Hillside House • Bedford Road
 Fort William • PH33 6BT

Tel: 01397 704333
 Fax: 01397 704123

E-mail: mail@kd-partnership.co.uk
 Web site: www.kd-partnership.co.uk

SECOND FLOOR PLAN

Note:
 The contractor will be held to have checked all dimensions before commencing with any works and in the event of discrepancies, is to refer them directly to this office for clarification prior to commencement of work.
 Written dimensions are to be taken in all cases. Drawings should not be scaled for dimensions. In case of doubt refer to this office.
 This drawing is copyright and all rights are reserved. No unauthorised copying of this drawing is permitted.



ELEVATION FROM CAMANACHD CRESCENT
 scale 1:200 @ A3

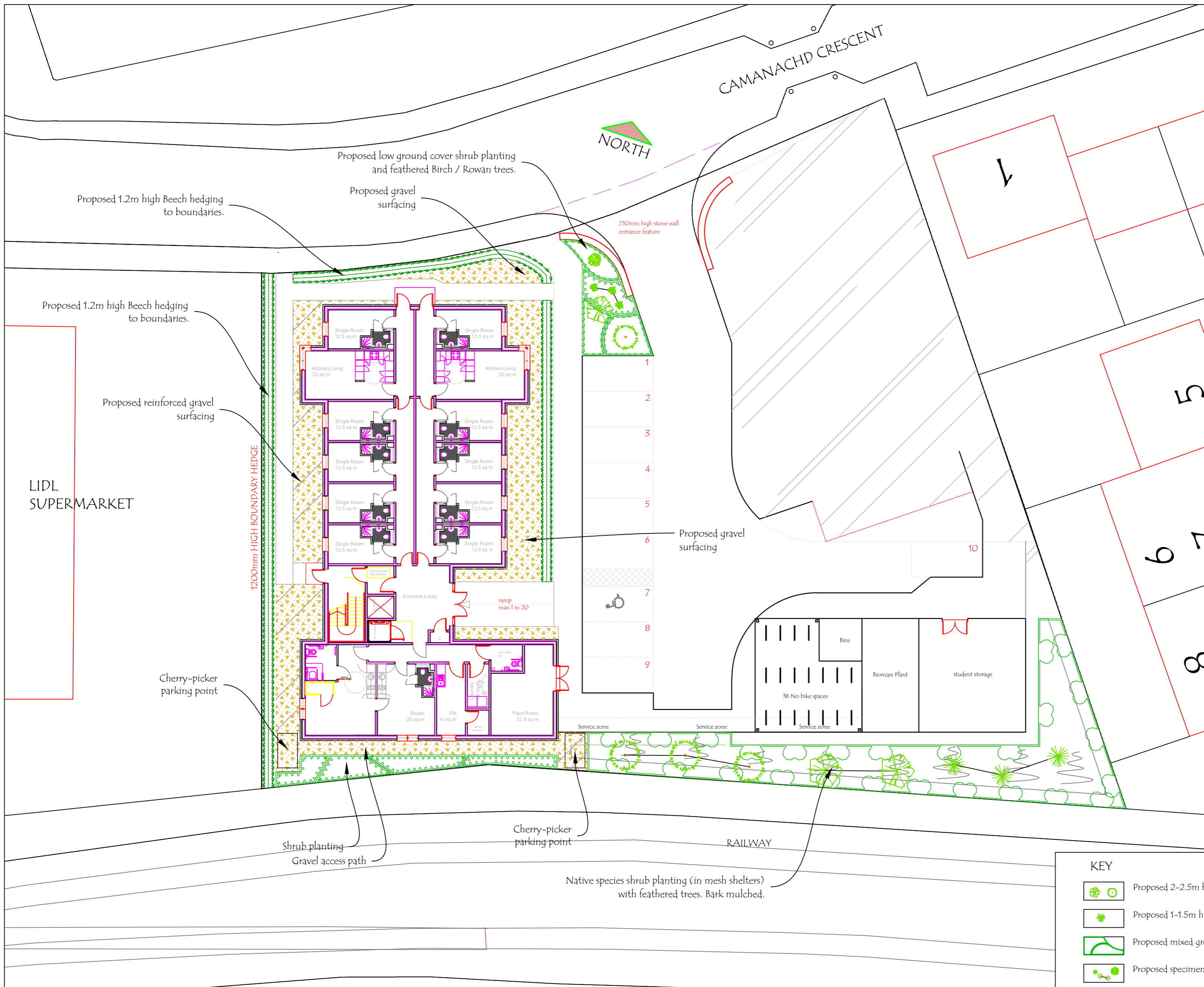
Date	Revisions	Mark
18/03/14	Gen revision	A
02/04/14	Gen update	B
Project UHI STUDENT ACCOMMODATION AN AIRD, FORT WILLIAM		
Client		
Drawing STREET ELEVATION		
Scale NTS @ A3	Date FEB '14	
Drawn	Checked	
Dwg. No. 0532014/010 B		



kearney donald partnership
 chartered architects & planning supervisor

Hillside House • Belford Road
 Fort William • PH33 6BT
 Tel: 01397 704333
 Fax: 01397 704123

E-mail: mail@kd-partnership.co.uk
 Web site: www.kd-partnership.co.uk



REVISIONS

A: Landscape proposals amended to client's requirements. Additional shrub planting added to railway boundary, gravel areas reduced / specification altered. KW

ALL DIMENSIONS TO BE CHECKED ON SITE
 WORK TO FIGURED DIMENSIONS ONLY
 REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT
 AT ONCE BEFORE PROCEEDING

HIGHLAND LANDSCAPE DESIGN

MORVEN,
 CAROLINE STREET,
 FORRES,
 MORAYSHIRE,
 SCOTLAND,
 IV 36 1AN.
 TEL: 01309 676800
 FAX: 01309 676513
 jim@highlandlandscapedesign.co.uk

Client
**ROBERTSON NORTHERN
 UHI ACCOMMODATION**

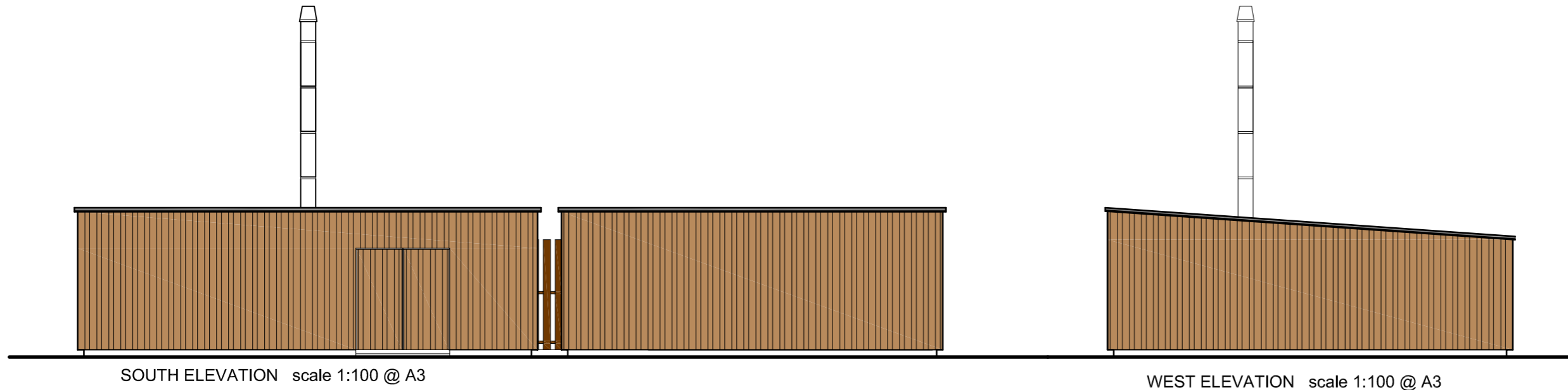
**KEITH L WOOD BA (HONS) CMLI
 LANDSCAPE ARCHITECT**
 1, Old Branziet Cottage, Balmore, By Torrance,
 Glasgow, G64 4AH.
 Tel : 01360 620358 Mob: 07584 054586
 email: keith.l.wood@btopenworld.com

Project Title
 UHI ACCOMMODATION, AN AIRD, FORT
 WILLIAM.
 Drawing Title
 LANDSCAPE PROPOSALS.

Scale	1:200 @A2	Date	21.03.2014
Drawn	k wood	Approved	J Legge
Drawing No.		Rev.	
	HLD K 156.14 SL-01		A

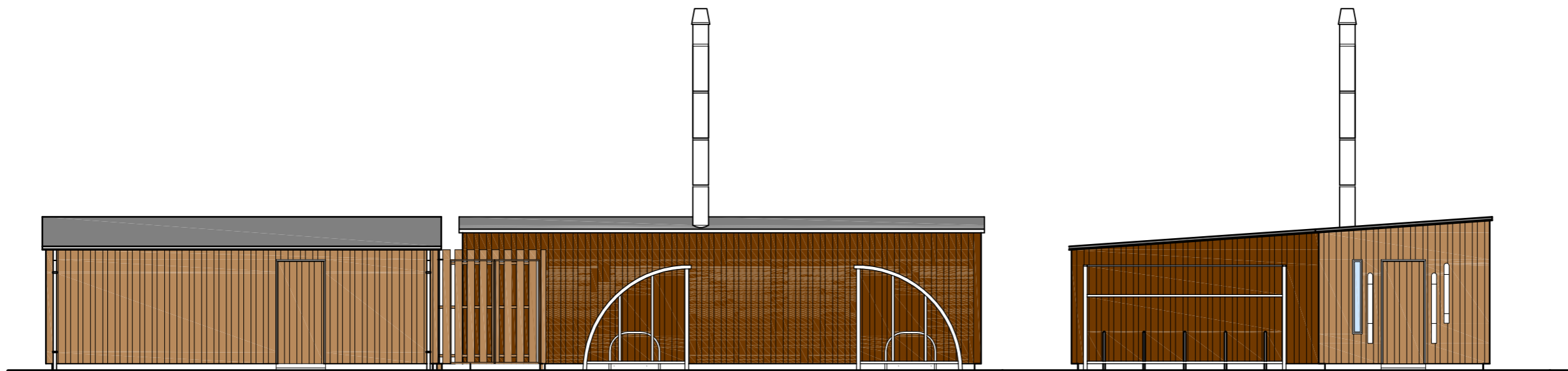
- KEY**
- Proposed 2-2.5m high feathered trees - Birch / Rowan.
 - Proposed 1-1.5m high feathered conifers - Pine.
 - Proposed mixed ground cover shrub planting.
 - Proposed specimen shrub planting / climbers.
 - Proposed 1.2m high Beech hedging with post and wire protective fencing to site boundaries.
 - Proposed native shrub planting in mesh shelters with bark mulching to railway boundary.
 - Proposed gravel areas with recycled plastic reinforcement mesh grids. (To permit maintenance access.)
 - Proposed gravel areas on weed control fabric.

Note:
 The contractor will be held to have checked all dimensions before commencing with any works and in the event of discrepancies, is to refer them directly to this office for clarification prior to commencement of work.
 Written dimensions are to be taken in all cases. Drawings should not be scaled for dimensions. In case of doubt refer to this office.
 This drawing is copyright and all rights are reserved. No unauthorised copying of this drawing is permitted.



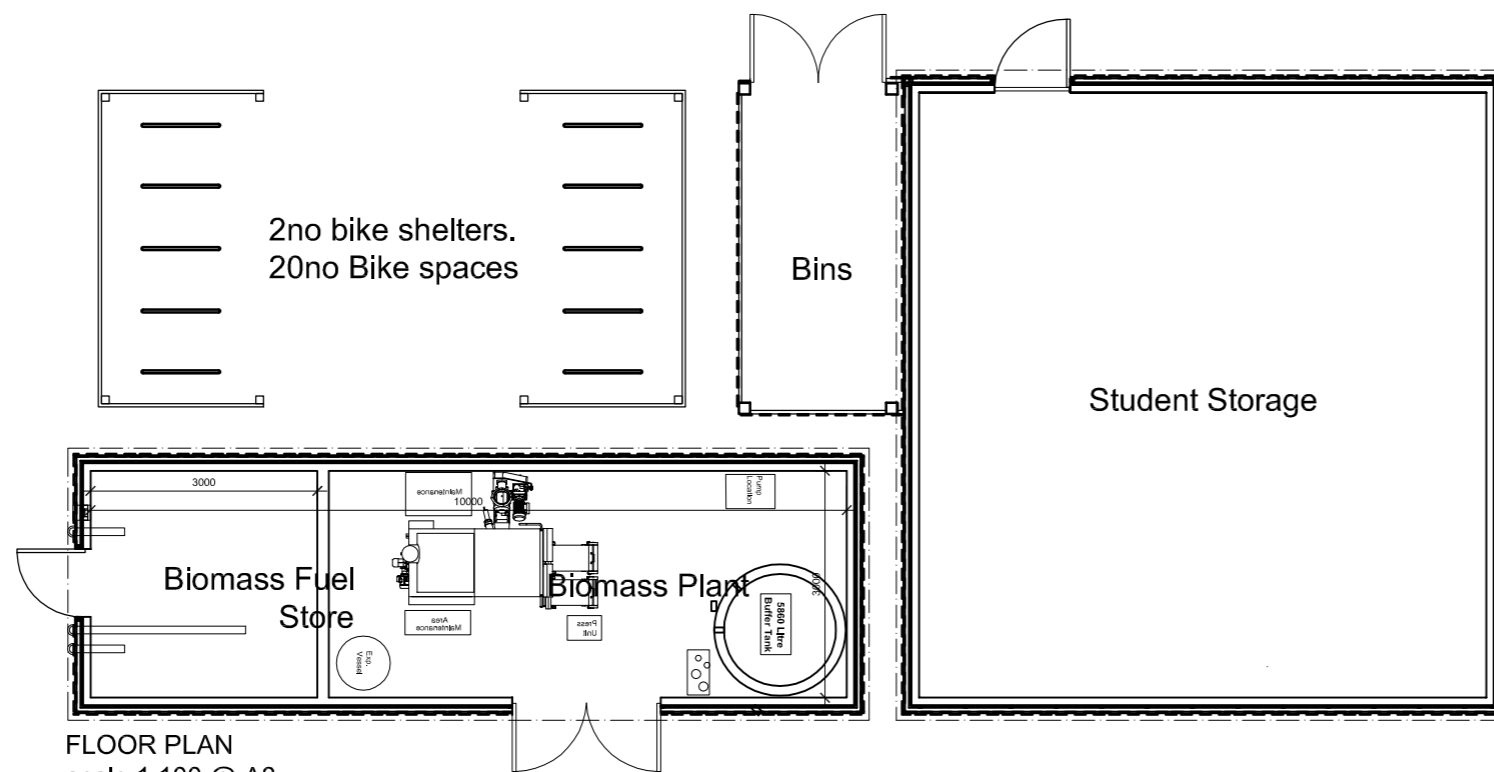
SOUTH ELEVATION scale 1:100 @ A3

WEST ELEVATION scale 1:100 @ A3



NORTH ELEVATION scale 1:100 @ A3

EAST ELEVATION scale 1:100 @ A3



FLOOR PLAN scale 1:100 @ A3

Date	Revisions	Mark
03/04/14	Gen revision	A
22/04/14	Gen revision	B
08/05/14	Gen Revision	C
Project UHI STUDENT ACCOMMODATION AN AIRD, FORT WILLIAM		
Client		
Drawing SERVICE BUILDING PLAN AND ELEVATIONS		
Scale 1:100 @ A3	Date FEB '14	
Drawn	Checked	
Dwg. No. 0532014/239 C		



kearney donald partnership
 chartered architects & planning supervisor

Hillside House • Belford Road
 Fort William • PH33 6BT
 Tel: 01397 704333
 Fax: 01397 704123

E-mail: mail@kd-partnership.co.uk
 Web site: www.kd-partnership.co.uk