

**THE HIGHLAND COUNCIL**

**SOUTH PLANNING APPLICATIONS COMMITTEE**  
**12 April 2016**

Agenda Item	6.3
Report No	PLS 023/16

**16/00247/FUL : Morbaine Ltd**  
**South Side of Alcan Site Entrance, North Road, Fort William**

**Report by Area Planning Manager - South**

**SUMMARY**

**Description :** Redevelopment of site to demolish existing structures & construct food & non-food retail floorspace with associated car parking, servicing & access

**Recommendation - GRANT**

**Ward :** 22 Fort William and Ardnamurchan

**Development category :** Major

**Pre-determination hearing :** Not required

**Reason referred to Committee :** Major application

**1. PROPOSED DEVELOPMENT**

1.1 Planning permission has been granted to erect a mixed use retail development (food retail and unrestricted Class 1 retail) set within four units. Unit A (intended as an Aldi store) is a single storey unit positioned at the south western end of the site, nearest to the existing garages. Existing buildings will be demolished to accommodate this building. Unit A extends to 1524sqm gross floor area (to be split 80/20 convenience/comparison goods). Units B, C and D are positioned parallel with the rear boundary of the site in the north eastern portion of the site and form a terrace of units. Unit B is the largest of these units, extending to 1394sqm gross floor area and is intended for use by Home Bargains (to be split 67/33 comparison/convenience goods). Unit C extends to 1404sqm gross floor area and Unit D to 465sqm. The use of Unit C is restricted to convenience and/or comparison goods with provision for ancillary café/hot food counter and Bureau de Change facility/ATM. The use of Unit D is restricted by planning condition to comparison retail use.

The current planning application seeks to amend the approved scheme. The main changes from the approved scheme to the current scheme are as follows:

- (a) Repositioning/realignment of the access roundabout, access road and car parking;

- (b) Provision of a deck structure for plant to the rear of Unit C; and
- (c) Provision of a totem structure for signage

- 1.2 Formal pre-application consultation undertaken previously for this development.
- 1.3 The site is currently accessed from the A82 trunk road through the North Road industrial estate. The main entrance to the site is from the existing North Road/Rio Tinto access which is to be significantly upgraded/alterd to provide a new roundabout. One spur will serve the customer parking on the site (246 spaces) and the other will serve the existing Rio Tinto site with a new spur into a service yard for Units B, C and D. Connection is available to the public water main and the public sewer.
- 1.4 The previous Retail Statements have been submitted in support of the application, together with a Design and Access Statement, Drainage Statement and Ground Conditions Report.

1.5 **Variations:** None

## 2. **SITE DESCRIPTION**

- 2.1 The site extends to approximately 2 ha (5 acres) and lies 1.5km north east of Fort William town centre. The site lies adjacent to the North Road (A82 trunk road), and is currently accessed via the industrial estate to the immediate south west comprising the Ford garage, National Tyres and some smaller units which are to be demolished. On the north eastern boundary is the access road to the Rio Tinto site, and on the south eastern boundary is the railway. The site is screened from the A82 by an existing mature hedge. The site itself is generally level and has formerly had an industrial use, and more recently has been used for storage and parking.

## 3. **PLANNING HISTORY**

### 3.1 Current Permissions

**14/02865/FUL** : Redevelopment of the site to demolish existing structures and to construct food and non-food retail floorspace with associated car parking, servicing and access : Granted 29 January 2015

**15/01381/S42** : Application under Section 42 to develop land without compliance with Condition 17 previously attached to planning permission ref. 14/02865/FUL (to change Unit C to convenience and comparison retailing with provision for a small scale ancillary Bureau de Change facility and café/hot food counter facility). Granted 29 June 2015

**15/03630/S42** : Application under Section 42 to amend condition 17 of 14/02865/FUL to allow the introduction of a mezzanine floor in Unit C, increasing the gross floor area from 929sqm to 1404sqm, with the net retail floorspace remaining unchanged at 790sqm: Granted 21.12.15

- 3.2 06/00115/OUTLO : Erection of foodstore with associated parking and servicing : Withdrawn 29.11.06
- 3.3 06/00521/OUTLO : Non-food retail development : Granted 9.5.07

- 3.4 07/00419/FULLO : Variation of conditions 2 and 20 and deletion of condition 3 and 4 of 06/00521/OUTLO : Granted with replacement conditions following appeal 9.4.09
- 3.5 08/00119/FULLO : Variation of conditions 2 and 20 and development of conditions 3 and 4 of 06/00521/OUTLO. Withdrawn 28.4.09
- 3.6 10/01345/FUL : Section 42 application for variation of condition 1 of permission 06/00521/OUTLO to extend the time limit for submission of approval of matters specified by conditions to 9 May 2012. Granted 22.4.10
- 3.7 10/01930/PIP : Site for food store with associated car parking, servicing and highway works. Refused 27.9.10
- 3.8 12/01664/PIP : Renewal of planning permission 06/00521/OUTLO for non food retail development (as varied by 07/00419/FULLO and 10/01345/FUL). Granted 2.7.12
- 3.9 12/02789/S42 : Section 42 application for the variation of conditions 2, 3 and 4 of planning permission in principle 12/01664/PIP in order to widen the range of non-food retail goods and size of retail units to be permitted at the site. Granted 6.11.12

#### **4. PUBLIC PARTICIPATION**

- 4.1 Advertised : Yes  
Representation deadline : 22.3.16  
Timeous representations : 0  
Late representations : 0

#### **5. CONSULTATIONS**

- 5.1 **Transport Planning Team** : No objection subject to conditions
- 5.2 **Contaminated Land Team** : Condition recommended
- 5.3 **Transport Scotland** : No objection subject to conditions
- 5.4 **Lochaber Disability Access Panel** : Recommendations made to improve disabled access
- 5.5 **Network Rail** : No response - previous advice incorporated into recommendation

#### **6. DEVELOPMENT PLAN**

The following policies are relevant to the assessment of the application

##### **6.1 Highland Wide Local Development Plan 2012**

- 28 Sustainable Development
- 29 Design Quality and Place Making
- 34 Settlement Development Areas
- 40 Retail Development

42	Previously Used Land
51	Trees and Development
56	Travel
64	Flood Risk
65	Waste Water Treatment
66	Surface Water Drainage

## 6.2 **West Highland and Islands Local Plan 2010 (as continued in force)**

2	Development Objectives and Developer Requirements
16	Commerce
B5	Land Allocation: North Road - 1.6ha allocated principally for bulky goods retailing, or for business development. Development dependent upon: transport assessment; exception siting and design quality; and a contamination assessment and any necessary remediation.

## 6.3 **Highland Council Supplementary Guidance**

Flood Risk and Drainage Impact Assessment (Jan 2013)

## 7. **OTHER MATERIAL CONSIDERATIONS**

### 7.1 **Draft Development Plan**

Not applicable

### 7.2 **Scottish Government Planning Policy and Guidance**

Scottish Planning Policy (June 2014)

Town Centre Action Plan – The Scottish Government Response

Planning Advice Note 33 : Development of Contaminated Land

Planning Advice Note 52 : Planning and Small Towns

Planning Advice Note 59 : Improving Town Centres

Planning Advice Note 61 : Planning and SUDS

Planning Advice Note 75 : Planning for Transport

Planning Advice Note 79 : Water and Drainage

## 8. **PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

### 8.3 **Development Plan Policy Assessment**

8.3.1 The North Road site has the benefit of planning permission for a mixed use retail redevelopment (originally granted in January 2015).

The overall site at North Road is allocated within the adopted local development plan for 'bulky goods' retailing. The report on application 14/02865/FUL discusses in detail the retail policy issues relating to this site. Application 14/02865/FUL was subsequently granted as a justified departure from the development plan. There has been no material change in planning policy or circumstance which would justify a change to the previous decision.

8.3.2 The development currently proposed is broadly similar to the current planning permission, with three key changes:

(a) Repositioning of the roundabout, access road and car parking changes

The proposed new roundabout at the Rio Tinto junction is to be relocated slightly to the north east (by approximately 19 metres) in order to avoid services in the existing carriageway including fibre optic BT cables. This will require the access road into the site (and into the Rio Tinto site) to be realigned. There are minor knock-on adjustments to the parking layout and landscaping due to the changed site entrance and altered bus stop, however internally the scheme will remain very similar to the current permission.

Transport Scotland has raised no objection to the proposal, subject to similar conditions as previously imposed. These are incorporated into the recommendation.

The Transport Planning Team has made a number of recommendations in relations to footways, bus stops, parking, service access and internal layout. These were previously incorporated into conditions and informatives on the previous permission and the same is intended for this revised application. The number of parking spaces on site has increased slightly from 239 originally granted to 246 spaces currently proposed, however the gross floor area of the proposed development has not increased from that previously approved. As the disabled parking is calculated on gross floor area, the previous condition applied remains appropriate (15 disabled spaces). Due to the increase in on-site parking, one additional cycle parking space will be required and the previous condition will be adjusted accordingly.

The Lochaber Disability Access Panel has suggested creating a bus drop-off point within, or alongside on the same side of the trunk road as the proposed facility. An improved bus stop and new bus shelter on this side of the A82 will be secured by condition (as per the previous permission). Other points suggested by the Panel will be highlighted in an informative for the developer's consideration.

(b) Provision of a deck structure for plant to the rear of Unit C

A metal platform is proposed at the rear of Unit C within the service yard area to accommodate plant for the retail unit. Service vehicle access will be retained underneath the structure in the same format as previously approved. Its positioning at the rear of the building is acceptable visually, as the main terrace building will screen this element from public view.

(c) Proposed Totem Signage

A 6.3 metre high blockwork structure is now proposed at the entrance to the site which will incorporate signage. The materials to be used reflect those used on the front feature wall of the retail buildings. Due to the nature of the structure, planning permission is required. Advertisement consent will also be required however this would be the subject of a separate application. Although a reasonably high structure in a prominent location, the design and materials used will reflect the wider development, and the use of a combined approach to signage is welcomed. Within the context of this development the signage structure is considered to be acceptable.

**8.4 Other Material Considerations**

8.4.1 Issues relating to contaminated land, drainage and flooding remain as per the original permission 14/02865/FUL and the same conditions covering these items are proposed for this revised application.

**8.5 Other Considerations – not material**

None

**8.6 Matters to be secured by Section 75 Obligation**

None

**9. CONCLUSION**

9.1 All relevant matters have been taken into account when appraising this application. It is considered that the proposal represents a justified minor departure from the Development Plan, as per planning permission 14/02865/FUL, and is acceptable in terms of all other applicable material considerations.

**10. RECOMMENDATION**

**Action required before decision issued N**

Subject to the above, it is recommended to **grant** planning permission subject to the following conditions and reasons

## Pre-Start Requirements

1. No development shall commence until a detailed plan at a 1:500 scale showing infrastructure modifications to the A82 North Road / A82 Belford Road roundabout junction has been submitted to, and approved by, the Planning Authority in consultation with Transport Scotland (TS-TRBO). Such details shall include the method for delivering these developer funded modifications; namely the developer undertaking the works, or an equivalent sum of money provided to Transport Scotland for the cost of the identified modifications.

Prior to any occupation of any part of the development, these modifications shall be implemented to the satisfaction of the Planning Authority, in consultation with Transport Scotland (TS-TRBO).

**Reason:** To ensure that the standard of infrastructure modification proposed to the trunk road complies with the current standards, and that the safety and free flow of traffic on the trunk road is not diminished.

2. No development shall commence until a detailed plan at a 1:500 scale, showing the proposed Toucan signal controlled pedestrian crossing of the A82 and also the modification to the existing southbound bus stop on the site frontage, has been submitted to, and approved by, the Planning Authority in consultation with Transport Scotland (TS-TRBO).

Prior to the occupation of any part of the development the new pedestrian crossing shall be provided and the southbound bus stop shall be modified in accordance with the approved details.

**Reason:** To ensure that facilities are provided for the pedestrians that are generated by the development and that they may access the existing footpath system without interfering with the safety and free flow of traffic on the trunk road.

3. No development shall commence until a detailed plan at a 1:500 scale, showing the modification to the kerb lines at the existing priority junction of the A82 with the access for the car showroom and National Tyres & Autocare developments, has been submitted to, and approved by, the Planning Authority in consultation with Transport Scotland (TS-TRBO).

Prior to the occupation of any part of the development the existing priority junction shall be modified in accordance with the approved details.

**Reason:** To ensure that the standard of infrastructure modification proposed to the trunk road complies with the current standards, and that the safety and free flow of traffic on the trunk road is not diminished.

4. No development shall commence until details of the lighting within the site shall be submitted for the approval of the Planning Authority, after consultation with Transport Scotland, as the Trunk Roads Authority.

Prior to the occupation of any part of the development hereafter the lighting shall be installed in accordance with the approved details.

**Reason:** To ensure that there will be no distraction or dazzle to drivers on the trunk road and that the safety of the traffic on the trunk road will not be diminished.

5. No development shall commence until details of the barrier proposals along the trunk road boundary shall be submitted to, and approved by, the Planning Authority, after consultation with Transport Scotland.

Prior to the occupation of any part of the development the barrier shall be installed in accordance with the approved details.

**Reason:** To ensure that there will be no distraction to drivers on the trunk road, and that the safety of the traffic on the trunk road will not be diminished, and that the visibility of the proposed site access roundabout is not adversely affected.

6. No development shall commence until full details of all surface water drainage provision within the application site (which should accord with the principles of Sustainable Urban Drainage Systems (SUDS) and be designed to the standards outlined in Sewers for Scotland Second Edition, or any superseding guidance prevailing at the time) have been submitted to, and approved in writing by, the Planning Authority.

Thereafter, only the approved details shall be implemented, and all surface water drainage provision shall be completed prior to the first occupation of any part of the development.

For the avoidance of doubt the details to be submitted should address the issues raised in the Council's Flood Risk Management Teams memorandum dated 27.11.14 and the comments from Network Rail in their letter dated 3.11.14 (attached hereto).

**Reason:** To ensure that surface water drainage is provided timeously and complies with the principles of SUDS; in order to protect the water environment and reduce flood risk.

7. The foul drainage from the development shall be connected to the public sewer. No development shall commence on site until evidence has been submitted to the Planning Authority that Scottish Water has granted consent for the development to connect to the public sewer.

**Reason:** In order to ensure public infrastructure has the capacity to accept the additional development.

8. No development shall commence until a Peat Management Plan, developed in consultation with SEPA, has been submitted to, and approved in writing by, the Planning Authority. The Peat Management Plan shall follow the guidance outlined in the publication "Guidance on the Assessment of Peat Volumes, Reuse of Excavated Peat and the Minimisation of Waste" and SEPA's Regulatory Position Statement - Developments on Peat.

Thereafter the development shall be undertaken in strict accordance with the approved details.



**Reason:** To ensure that a plan is in place to deal with the storage and reuse of peat within the application site

9. No development shall commence on site until a scheme to deal with potential contamination within the application site has been submitted to, and approved in writing by, the Planning Authority. The scheme shall include:
- i. the nature, extent and type of contamination on site and identification of pollutant linkages and assessment of risk (i.e. a land contamination investigation and risk assessment), the scope and method of which shall be first submitted to and approved in writing by with the Planning Authority, and undertaken in accordance with PAN 33 (2000) and British Standard BS 10175:2011+A1:2013 Investigation of Potentially Contaminated Sites - Code of Practice;
  - ii. the measures required to treat/remove contamination (remedial strategy) including a method statement, programme of works and proposed verification plan to ensure that the site is fit for the uses proposed;
  - iii. measures to deal with contamination during construction works;
  - iv. in the event that remedial action be required, a validation report that validates and verifies the completion of the approved decontamination measures;
  - v. in the event that monitoring is required, monitoring statements submitted at agreed intervals for such time period as is considered appropriate in writing by the Planning Authority.

Thereafter no development shall commence until written confirmation that the approved scheme has been implemented, completed and, if required, on-going monitoring is in place, has been issued by the Planning Authority.

**Reason:** In order to ensure that the site is suitable for redevelopment given the nature of previous uses/processes on the site.

10. No other development shall commence on site until a 1.8 metre high trespass proof fence, or suitable alternative, has been erected along the shared boundary with Network Rail and thereafter retained and maintained in perpetuity.

**Reason:** In the interests of public safety, to prevent unauthorised and unsafe access to the railway.

11. No development shall commence until a revised landscaping scheme, including planting schedule, has been submitted to and approved in writing by the Planning Authority. Such details shall ensure the retention, where possible, of the existing trees and beech hedge along the roadside frontage with the A82, and the introduction of additional indigenous planting within the scheme. The revised landscaping scheme shall also take into account the comments from Network Rail in their consultation response dated 3.11.14 (attached hereto).

Thereafter the landscaping scheme shall be fully undertaken in accordance with the approved details. Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

**Reason :** In the interests of visual amenity, in order to ensure the development integrates successfully within this townscape setting and to prevent interference with the railway line.

12. No development shall commence until a detailed specification for all proposed external materials and finishes (including trade names and samples where necessary) has been submitted to, and approved in writing by, the Planning Authority. Thereafter, development and work shall progress in accordance with these approved details.

**Reason :** In the interests of visual amenity in order to integrate the proposal into its townscape setting and in order to finalise the detail of the external finishes, particularly in relation to wall finishes/colours.

13. No development shall commence until finalised details of the internal road and parking layout and surfacing has been submitted to and approved in writing by the Planning Authority. Such details shall include:

- (a) a minimum of 15 of the 246 spaces proposed allocated for disabled parking;
- (b) a minimum of 31 covered cycle spaces;
- (c) consideration given to the possible improvements set out in the Council's Transport Planning Team's consultation response dated 28.11.14 under the heading of Internal Road Layouts (attached hereto) and further response dated 22.3.16 with particular reference to the development of a Service Access Management Strategy and inclusion of a continuous footway on the south side of the development.

Thereafter, only the approved details shall be implemented and all elements of the approved road and parking layout scheme shall be completed prior to the first occupation of any part of the development.

**Reason :** In the interests of road and pedestrian safety, to promote sustainable modes of transport and to ensure adequate disabled parking provision.

#### Pre Initial Occupation of Development Requirements

14. No part of the development shall be occupied until a comprehensive Travel Plan that sets out proposals for reducing dependency on the private car has been submitted and approved in writing by the planning authority, after consultation with Transport Scotland, as the Trunk Roads Authority.

In particular this Travel Plan shall identify measures to be implemented, the system of management, monitoring, review, reporting and the duration of the plan.

Thereafter the Travel Plan shall be implemented in full in accordance with the approved details.

**Reason:** To be consistent with the requirements of Scottish Planning Policy (SPP) and PAN 75 Planning for Transport.

15. No part of the development shall be occupied until the existing priority junction of the Rio Tinto Alcan access with the A82 has been modified to form a roundabout junction incorporating a new access with the site. This shall be constructed as generally indicated in CH2M Hill's Drawing No. 490728/9007(Halcrow), dated 29th May 2014 (included in CH2M Hill's Transport Assessment dated July 2014), to the satisfaction of the Planning Authority after consultation with Transport Scotland (TS-TRBO).

**Reason:** To ensure that the standard of infrastructure modification proposed to the trunk road complies with the current standards, and that the safety and free flow of traffic on the trunk road is not diminished.

16. No part of the development shall be occupied until two new bus shelters have been provided in the two existing bus laybys on the A82 adjacent to the development. The new bus shelters shall have operating Real Time Passenger Information Displays within them, unless otherwise first agreed in writing by the Planning Authority.

**Reason :** To promote sustainable means of accessing the development.

#### In Perpetuity Restrictions

17. The maximum Class 1 retail area hereby approved shall be restricted to a total 4787 square metres gross floor area including any upper or mezzanine floors, unless otherwise first agreed in writing by the Planning Authority.

The retail units hereby approved shall be retained in perpetuity in the use, format and floor area allocation as shown in the current application; namely

Unit A - 1524sqm GFA (1152sqm Net Floorspace split 80%/20% convenience/comparison goods)

Unit B - 1394sqm GFA (1185sqm Net Floorspace split 33%/67% convenience/comparison goods)

Unit C - 1404sqm GFA (790sqm Net Floorspace, convenience and/or comparison goods with provision for ancillary café/hot food counter and Bureau de Change facility/ATM)

Unit D - 465sqm GFA (395sqm Net Floorspace, comparison goods only)

**Reason:** To ensure the use of the site is appropriately controlled and that the development does not undermine the vitality and viability of the Fort William town centre to its detriment in conflict with national policy and local development plan policy; to ensure that the scale of development does not exceed that assessed by the supporting Transport Assessment; and to ensure that the scale and operation of the proposed development does not adversely affect the safe and efficient operation of the trunk road network.

## **TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION**

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

## **FOOTNOTE TO APPLICANT**

### **Initiation and Completion Notices**

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

### **Major Development Site Notice**

Prior to the commencement of this development, the attached Site Notice must be posted in a publicly accessible part of the site and remain in place until the development is complete. This is a statutory requirement of the Town and Country Planning (Scotland) Acts and associated regulations.

### **Disability Access Panel**

When finalising the information to discharge the planning conditions and preparing building warrant submission the developer is requested to take account of the following points raised by the Lochaber Disability Access Panel:

#### All Units

- Clearly defined colour contrast between all external & interior doors, surrounding glass panels, walls, and ground/flooring surfaces
- All illuminated external signage to be created in a manner as to prevent reflective glare which is detrimental to the visually impaired
- All entrances, exits and shopping aisles to be kept clutter free at all times enabling unobstructed access
- One of the check-out points to have a low level counter enabling ease of access to use by wheelchair users

#### Unit B-C: Disabled Parking

- The three dedicated disabled bays to be relocated closer to the entrances instead of being the furthest away from the entrances as shown; this would keep all the disabled bays servicing Units B-C together

#### Unit D

- The creation of a dedicated disabled parking bay in the displayed parking area at the entrance of this unit

### **Flood Risk**

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (p.259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

### **Scottish Water**

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

### **Trunk Roads Authority Consent**

You are informed that this consent does not carry with it the right to carry out works within the trunk road boundary and that permission must be granted by Transport Scotland. Please contact the Route Manager via 0141 272 7100 to obtain permission. The Operating Company have responsibility for co-ordination and supervision of works and after permission has been granted it is the developer's contractor's responsibility to liaise with the Operating Company during the construction period to ensure that all necessary permissions are obtained. Please also note that Transport Scotland have advised there shall be no drainage connections from the proposed development to the trunk road drainage system.

### **Local Roads Authority Consent**

In addition to planning permission, you may require one or more separate consents (such as dropped kerb consent, a road openings permit, occupation of the road permit etc.) from TECS Roads prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local TECS Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at:  
<http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport/roads/Applicationformsforroadoccupation.htm>

### **Mud & Debris on Road**

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

**Construction Hours and Noise-Generating Activities:** You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

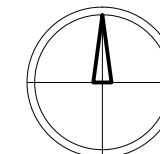
If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact [env.health@highland.gov.uk](mailto:env.health@highland.gov.uk) for more information.

**Building Regulations:** Please note that Building Regulations and/or a Building Warrant may be applicable to some or all of the works described in this decision notice. You must check with the Council's Building Standards service prior to work commencing to establish what compliance or approval is necessary. If a warrant is required, you must not commence work until one has been applied for and issued. For more information, please contact Building Standards at [BuildingStandards@highland.gov.uk](mailto:BuildingStandards@highland.gov.uk) or on 01349 886606.

### **Network Rail**

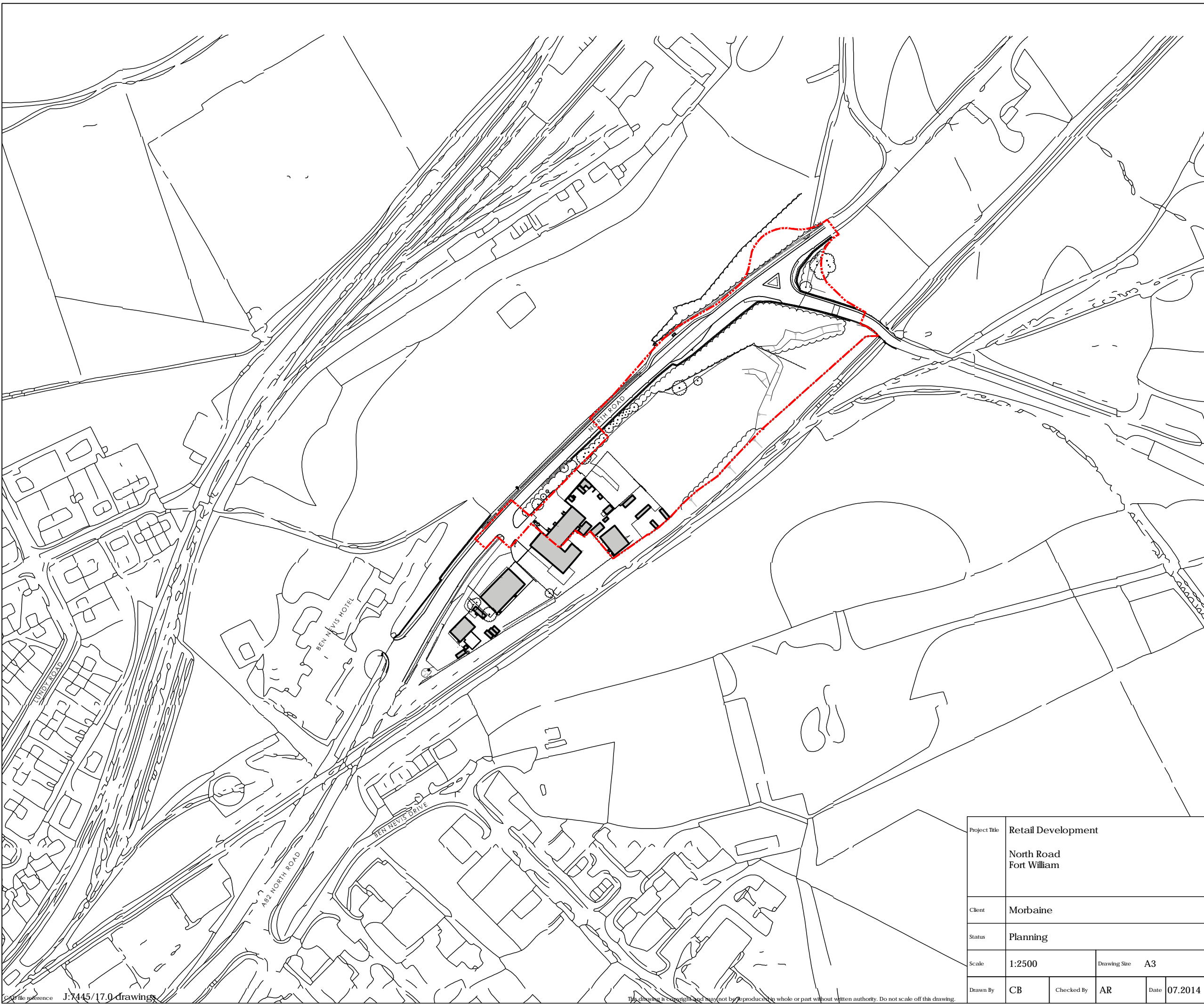
The development is advised to take account of the issues raised by Network Rail in their consultation response dated 3.11.14 and contact should be made direct with Network Rail to secure any further necessary permissions.

Signature: Allan J Todd  
Designation: Area Planning Manager - South  
Author: Susan Macmillan  
Background Papers: Documents referred to in report and in case file.  
Relevant Plans: Plan 1 – Location Plan  
Plan 2 – Approved Site Plan 14/02865/FUL  
Plan 3 – Proposed Site Plan 16/00247/FUL  
Plan 4 – Proposed Retail Terrace Elevations  
Plan 5 – Proposed Foodstore Elevations  
Plan 6 – Proposed Foodstore GA Plan  
Plan 7 – Proposed Retail Terrace GA Plan  
Plan 8 – Landscaping Plan 1  
Plan 9 – Landscaping Plan 2  
Plan 10 – Proposed Totem Signage



NORTH

NOTE:  
SURROUNDING CONTEXTUAL BUILDINGS AND INFORMATION  
ARE BASED ON ORDINANCE SURVEY INFO AND ARE SHOWN  
FOR ILLUSTRATIVE PURPOSES ONLY. THE APPLICATION SITE IS  
REPRESENTED FROM A MEASURED TOPOGRAPHICAL SURVEY.



Rev	Date	Description	Rev By	Chk'd By
A	14-01-2016	Application boundary amended	ASR	CAB

Project Title	Retail Development		
	North Road Fort William		
Client	Morbaine		
Status	Planning		
Scale	1:2500	Drawing Size	A3
Drawn By	CB	Checked By	AR
		Date	07.2014

Drawing Title	Location Plan	
Job-Dwg No	7445_100	Rev A

- THE HARRIS PARTNERSHIP WAKEFIELD  
2 St. Johns North, Wakefield, WF1 3QA  
t. 01924 291 800 f. 01924 290 072
- THE HARRIS PARTNERSHIP MANCHESTER  
2nd Floor, Carvers Warehouse,  
77 Dale Street, Manchester, M1 2HG  
t. 0161 238 8555 f. 0161 244 5809
- THE HARRIS PARTNERSHIP MILTON KEYNES  
The Old Rectory, 79 High Street  
Newport Pagnell, MK16 8AB  
t. 01908 211 577 f. 01908 211 722
- THE HARRIS PARTNERSHIP READING  
101 London Road, Reading, RG1 5BY  
t. 0118 950 7700 f. 0118 956 8642





**SCHEDULE OF ACCOMMODATION**

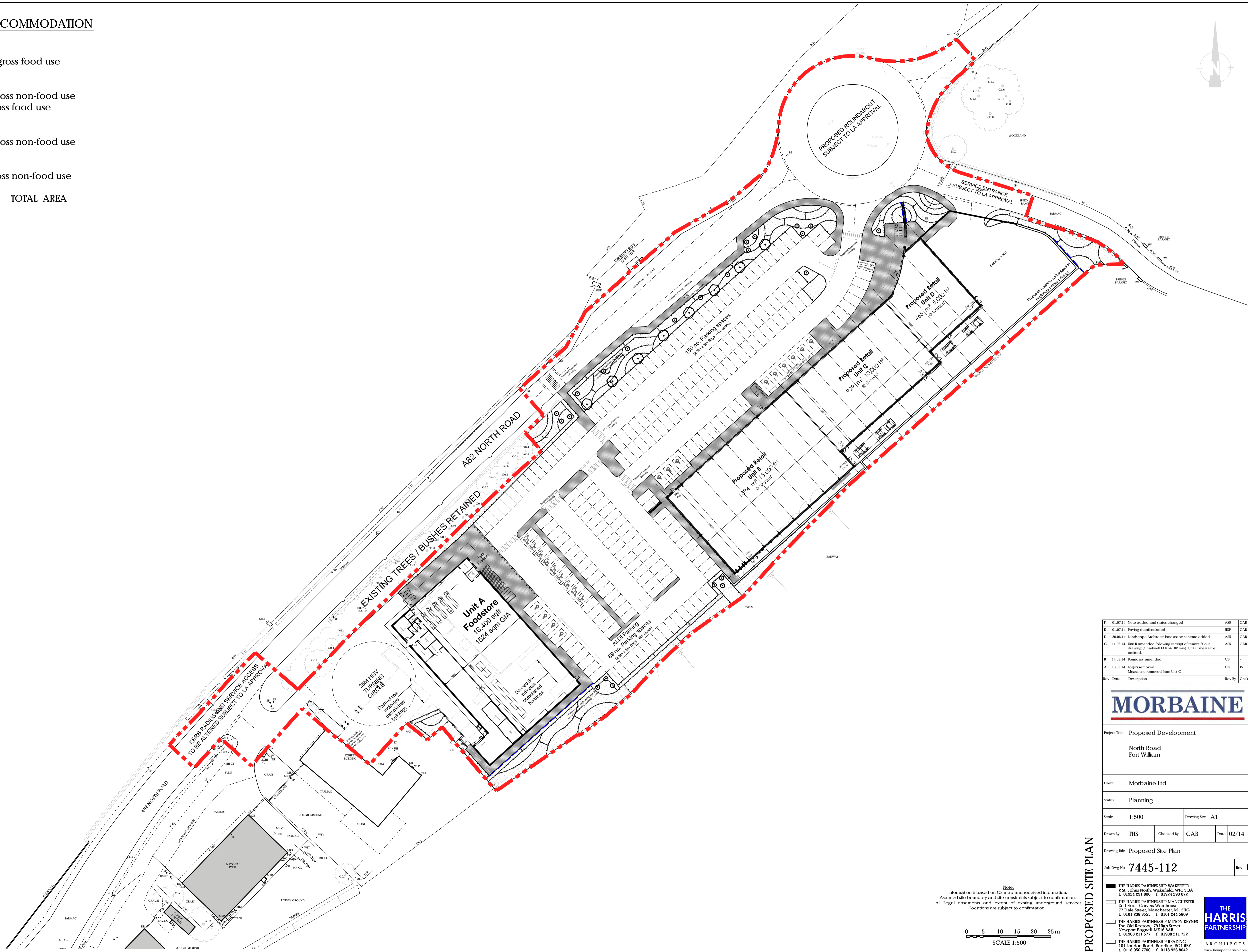
Unit A  
16400sqft (1524sqm) gross food use

Unit B  
10000sqft (929sqm) gross non-food use  
5000sqft (465sqm) gross food use

Unit C  
10000sqft (929sqm) gross non-food use

Unit D  
5000sqft (465sqm) gross non-food use

46,400sqft (4312sqm) TOTAL AREA



F	01.07.14	Note added and status changed	ASR	CAB
E	01.07.14	Paving detail included	HSP	CAB
D	20.06.14	Landscape Architects landscape scheme added	ASR	CAB
C	11.06.14	Unit B amended following receipt of tenant fit out drawing (Charwell 14.814.102 rev-1). Unit C mezzanine omitted.	ASR	CAB
B	14.03.14	Boundary amended	CB	-
A	13.03.14	Logo's removed. Mezzanine removed from Unit C	CB	TS
Rev	Date	Description	Rev By	Chk'd By



Project Title	Proposed Development		
	North Road Fort William		
Client	Morbaine Ltd		
Status	Planning		
Scale	1:500	Drawing Size	A1
Drawn By	THIS	Checked By	CAB
		Date	02/14
Drawing Title	Proposed Site Plan		
Job Dwg No	7445-112	Rev	F

Note:  
Information is based on OS map and received information.  
Assumed site boundary and site constraints subject to confirmation.  
All legal easements and extent of existing underground services locations are subject to confirmation.

0 5 10 15 20 25 m  
SCALE 1:500

PROPOSED SITE PLAN

THE HARRIS PARTNERSHIP WAKEFIELD  
2 St. Johns North, Wakefield, WF1 3QA  
t. 01924 291 800 f. 01924 290 072  
 THE HARRIS PARTNERSHIP MANCHESTER  
2nd Floor, Curves Worthington  
77 Dale Street, Manchester, M1 2HG  
t. 0161 238 8555 f. 0161 244 5889  
 THE HARRIS PARTNERSHIP MELTON KEYNES  
The Old Rectory, 79 High Street  
Newport Pagnell, MK16 8AB  
t. 01828 211 577 f. 01828 211 722  
 THE HARRIS PARTNERSHIP READING  
101 London Road, Reading, RG1 5BY  
t. 0118 950 7700 f. 0118 958 8642



**SCHEDULE OF ACCOMMODATION**

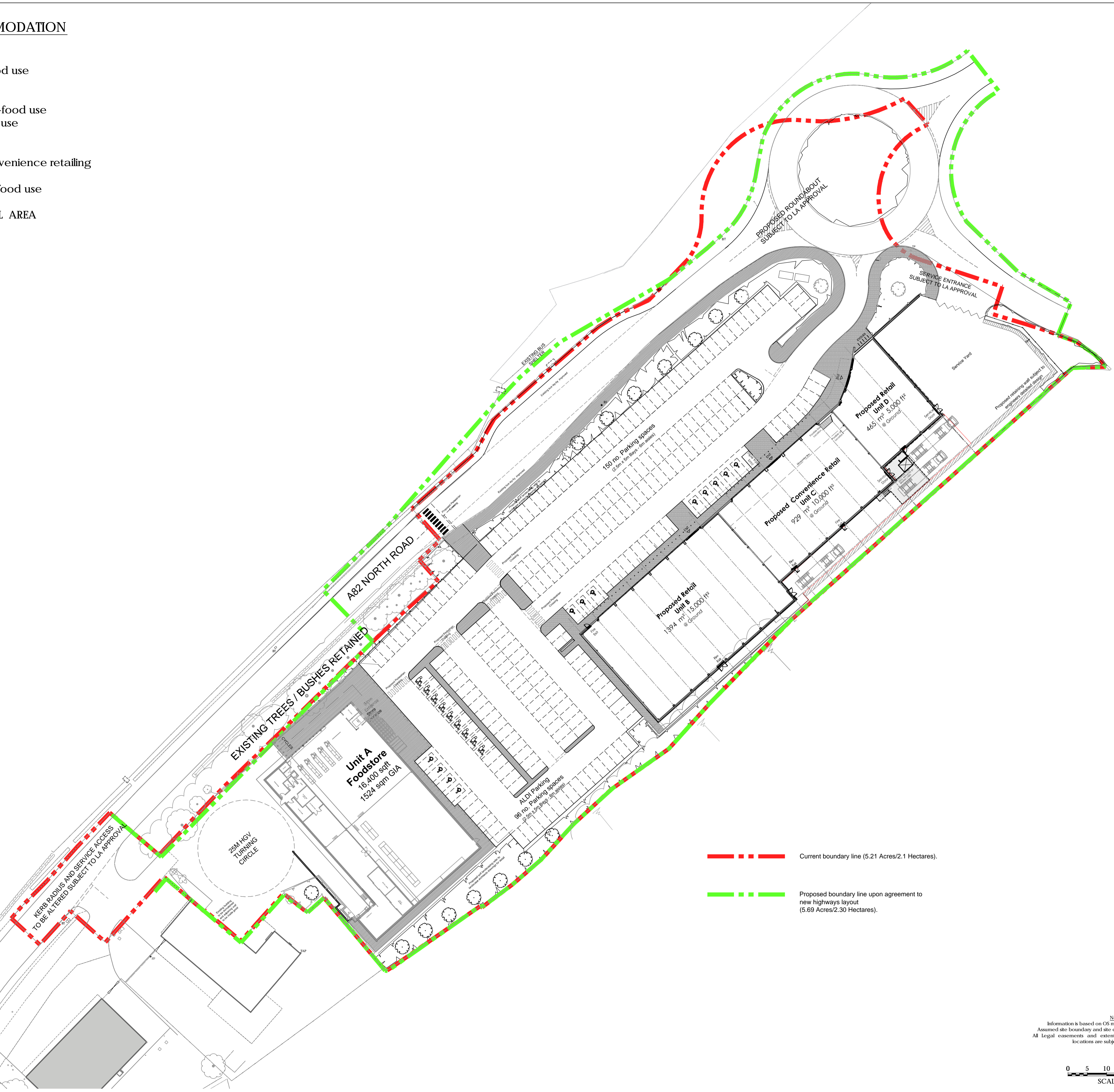
Unit A  
16400sqft (1524sqm) gross food use

Unit B  
10000sqft (929sqm) gross non-food use  
5000sqft (465sqm) gross food use

Unit C  
10000sqft (929sqm) gross convenience retailing

Unit D  
5000sqft (465sqm) gross non-food use

46,400sqft (4312sqm) TOTAL AREA



--- Current boundary line (5.21 Acres/2.1 Hectares).

--- Proposed boundary line upon agreement to new highways layout (5.69 Acres/2.30 Hectares).

Note:  
Information is based on OS map and received information.  
Assumed site boundary and site constraints subject to confirmation.  
All legal easements and extent of existing underground services locations are subject to confirmation.

0 5 10 15 20 25 m  
SCALE 1:500

K	12.01.10	Amended for planning	ASR	CB
J	15.12.15	M and S plate deck added. Boundaries clarified by key.	MH	MH
H	09.12.15	Add new roundabout location. Add new boundary line.	MH	MH
G	30.09.14	Updated to highways recommendations. Boundary amended.	HSP	CAB
F	01.07.14	Note added and status changed	ASR	CAB
E	01.07.14	Paving detail included	HSP	CAB
D	20.06.14	Landscape Architects landscape scheme added	ASR	CAB
C	11.06.14	Unit B amended following receipt of tenant fit out drawing (charwell 14.814 102 rev.). Unit C mezzanine omitted.	ASR	CAB
B	14.03.14	Boundary amended.	CB	-
A	13.03.14	Logo's removed. Mezzanine removed from Unit C	CB	IS
Rev	Date	Description	Rev By	Chk'd By



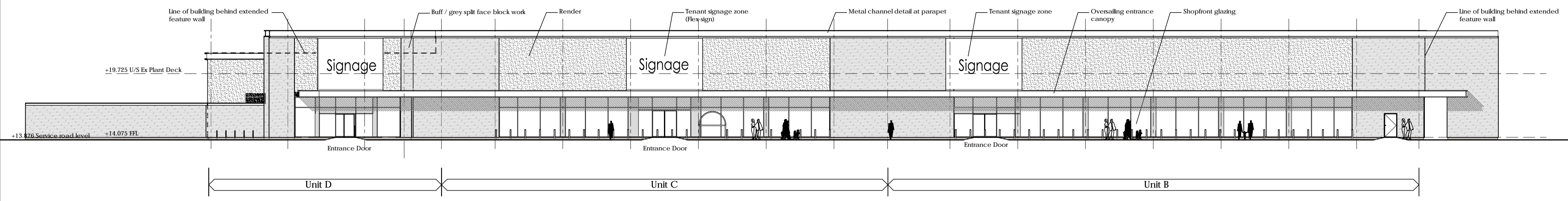
Project Title	Proposed Development		
	North Road Fort William		
Client	Morbaine Ltd		
Status	Planning		
Scale	1:500	Drawing Size	A1
Drawn By	THIS	Checked By	CAB
		Date	02/14
Drawing Title	Proposed Site Plan		
Job Dwg No	7445-112	Rev	K

PROPOSED SITE PLAN

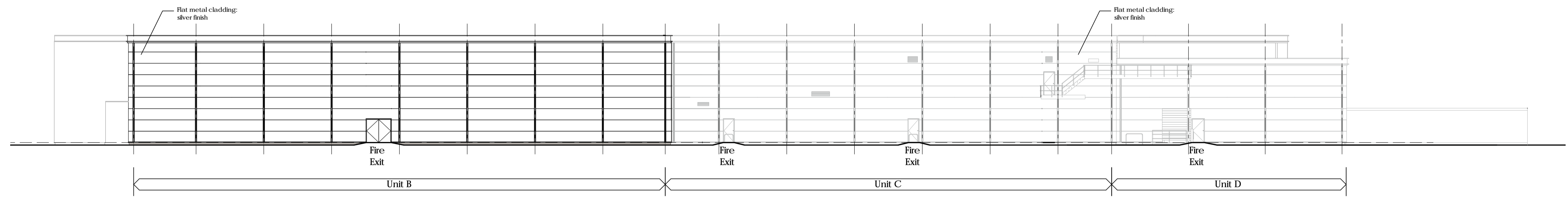
THE HARRIS PARTNERSHIP WAKEFIELD  
2 St. Johns North, Wakefield, WF1 5QA  
t. 01924 291 800 f. 01924 290 072  
 THE HARRIS PARTNERSHIP MANCHESTER  
2nd Floor, Carver's Warehouse,  
77 Dale Street, Manchester, M1 2HG  
t. 0161 238 8555 f. 0161 244 5809  
 THE HARRIS PARTNERSHIP MILTON KEYNES  
The Old Rectory, 79 High Street  
Newport Pagnell, MK18 8AL  
t. 01908 211 577 f. 01908 211 722  
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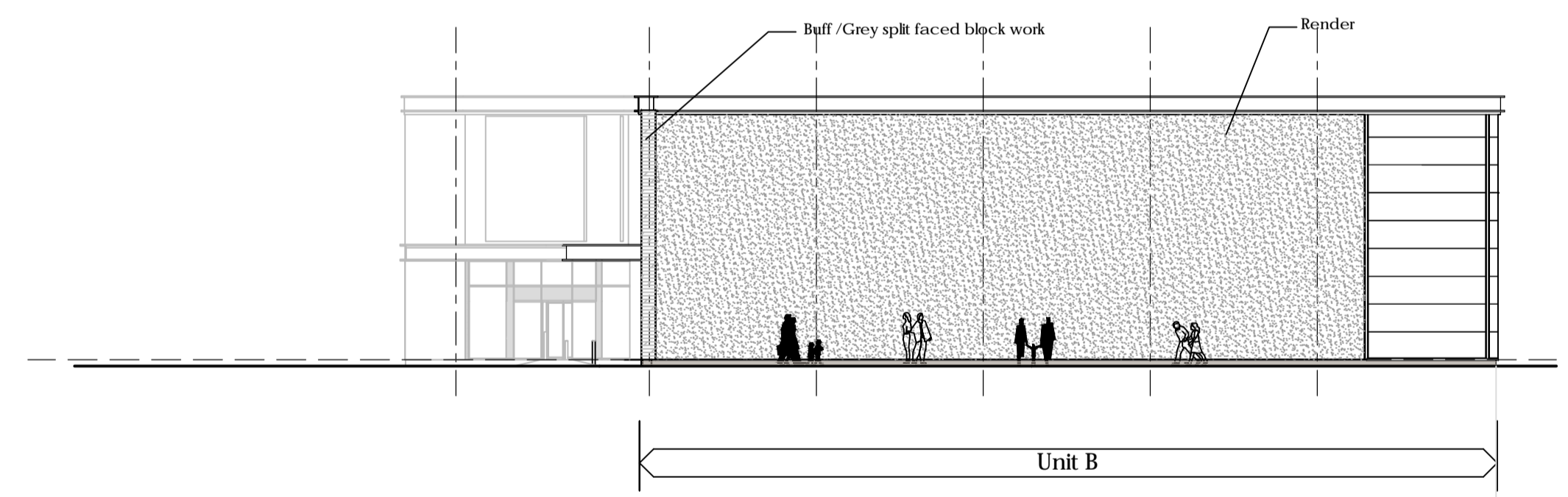




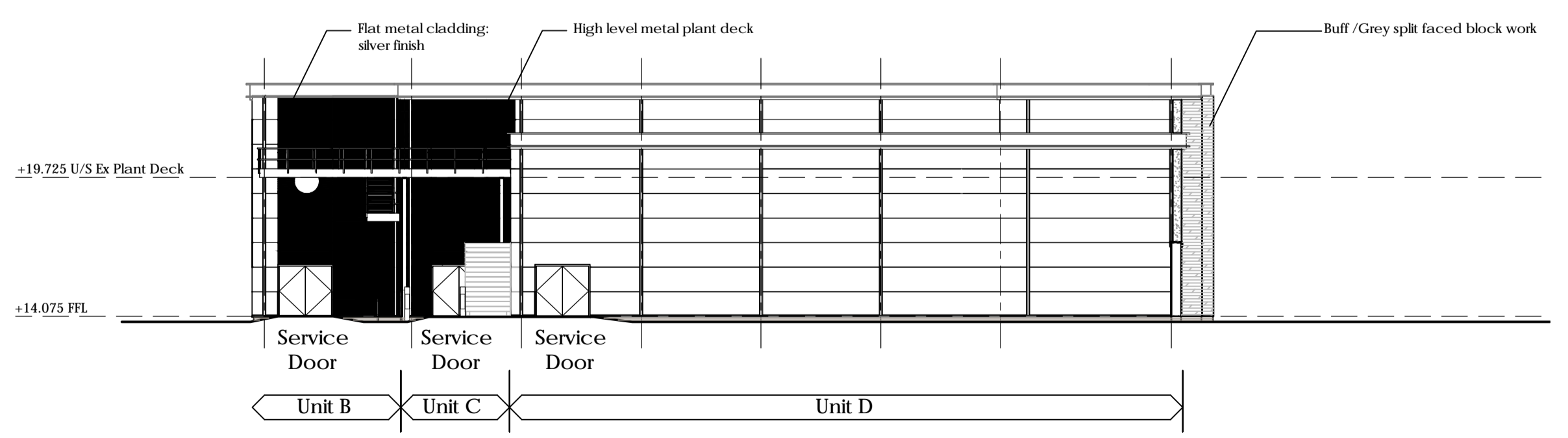
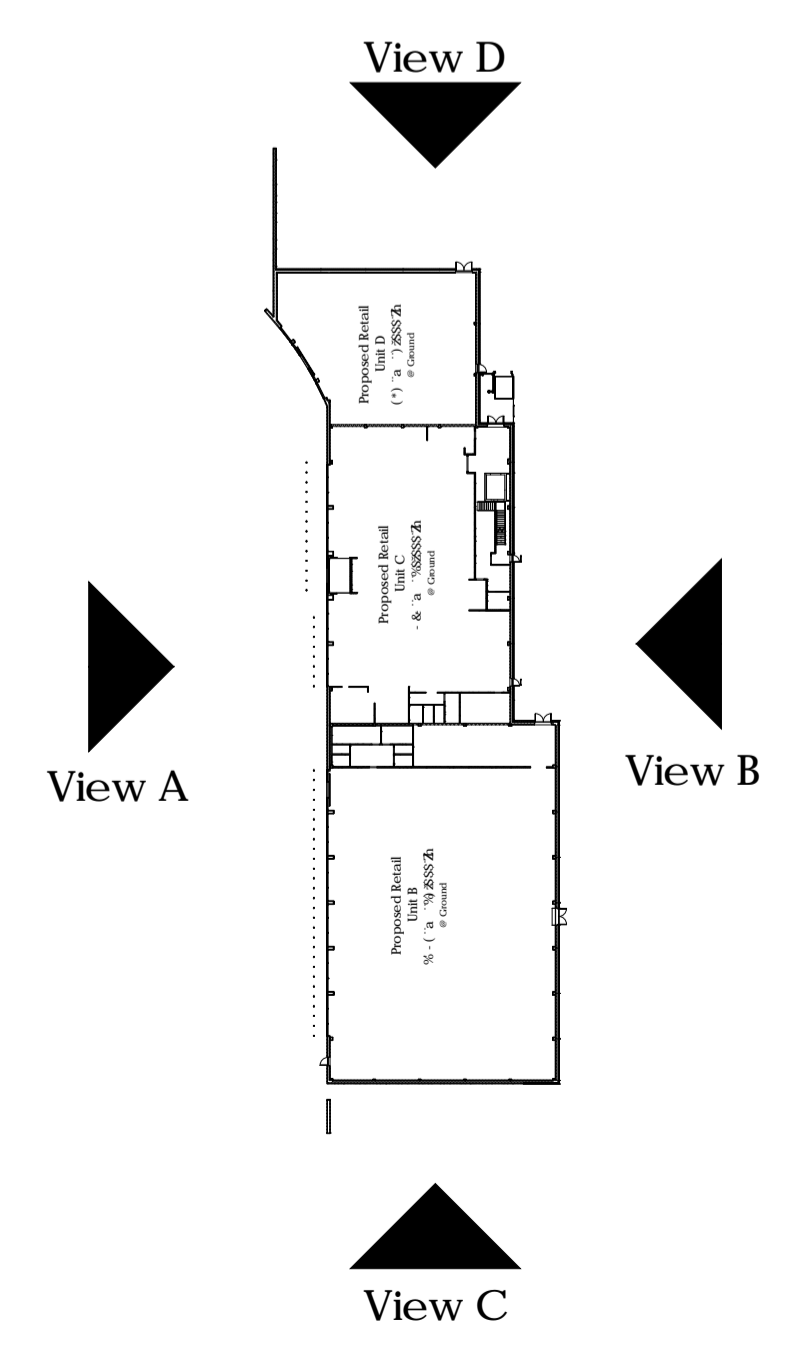
Elevation A - Facing Car Park



Elevation B - Facing Railway



Elevation C - Facing Foodstore



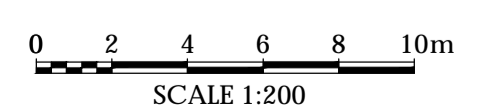
Elevation D - Facing Proposed Roundabout

Rev	Date	Description	Rev By	CHK'd By
E	13.01.16	Elevations amended in line with tender drawings. Materials to elevation A amended.	ASR	CB
C	14.07.14	Elevations C and D amended. Notes updated and status changed. Feature beam post removed.	ASR	CAB
B	01.07.14	Cladding amended	HP	CAB
A	11.06.14	Glazing amended subject to tenant agreement	ASR	CAB

# MORBAINÉ

Project Title	Proposed Development		
	North Road Fort William		
Client	Morbaine Ltd		
Status	Planning		
Scale	1:200	Drawing Size	A1
Drawn By	THIS	Checked By	CAB
		Date	02/14
Drawing Title	Proposed Retail Terrace Elevations		
Job Dwg No	7445-115	Rev	E

Note:  
Information is based on OS map and received information.  
Assumed site boundary and site constraints subject to confirmation.  
All legal easements and extent of existing underground services  
locations are subject to confirmation.

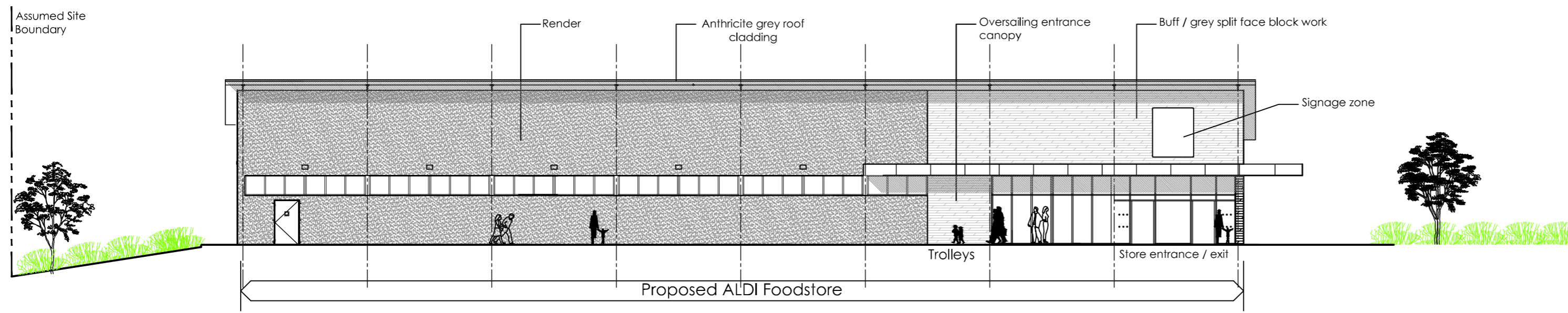


PROPOSED RETAIL TERRACE ELEVATIONS

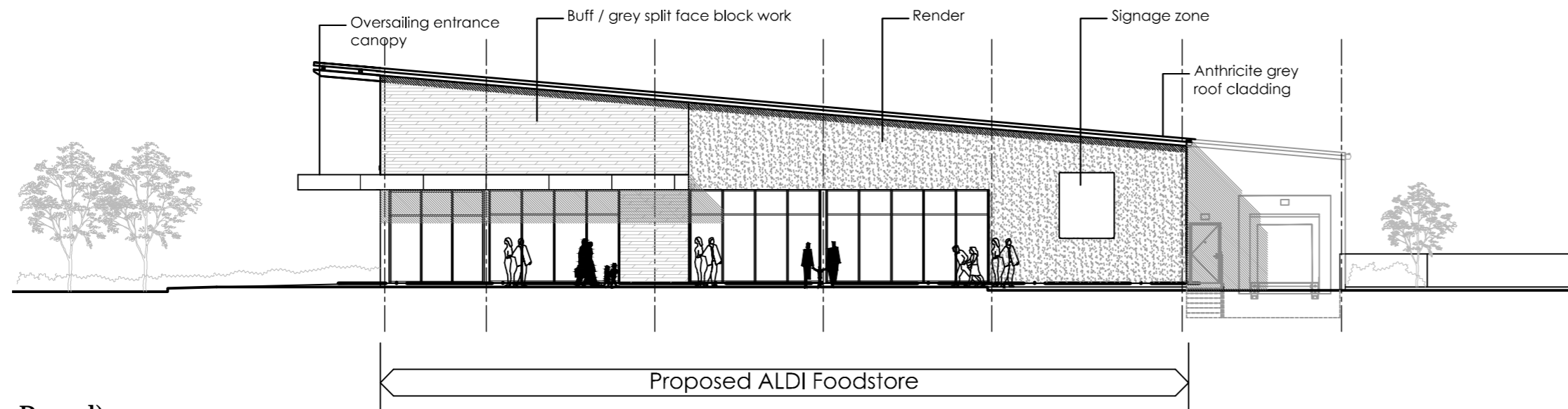
THE HARRIS PARTNERSHIP WAKEFIELD  
 2 St. Johns North, Wakefield, WF1 3QA  
 T. 01924 291 800 F. 01924 290 072  
 THE HARRIS PARTNERSHIP MANCHESTER  
 2nd Floor, Curzon Warehouse,  
 77 Dale Street, Manchester, M1 2HG  
 T. 0161 238 8555 F. 0161 244 5809  
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 Newport Pagnell, MK16 8AB  
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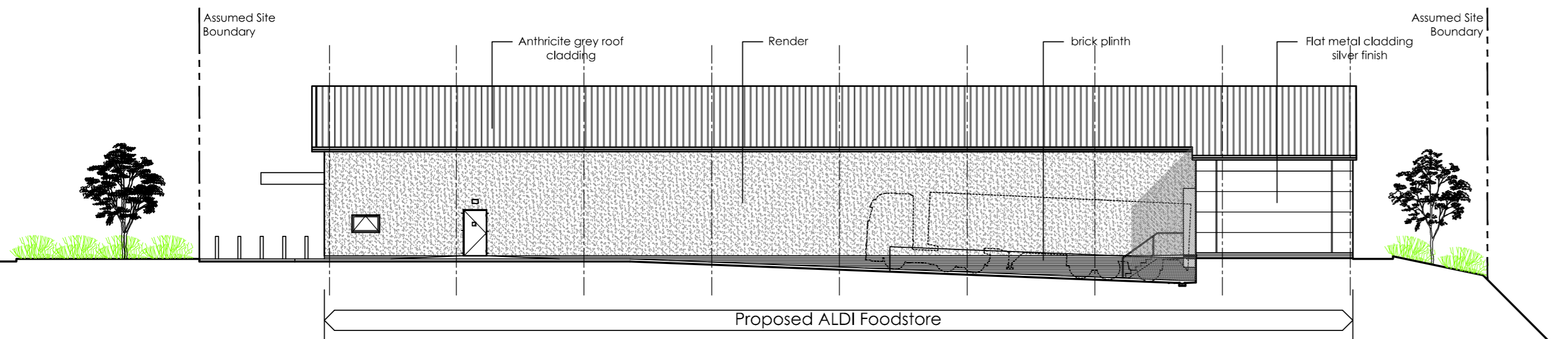




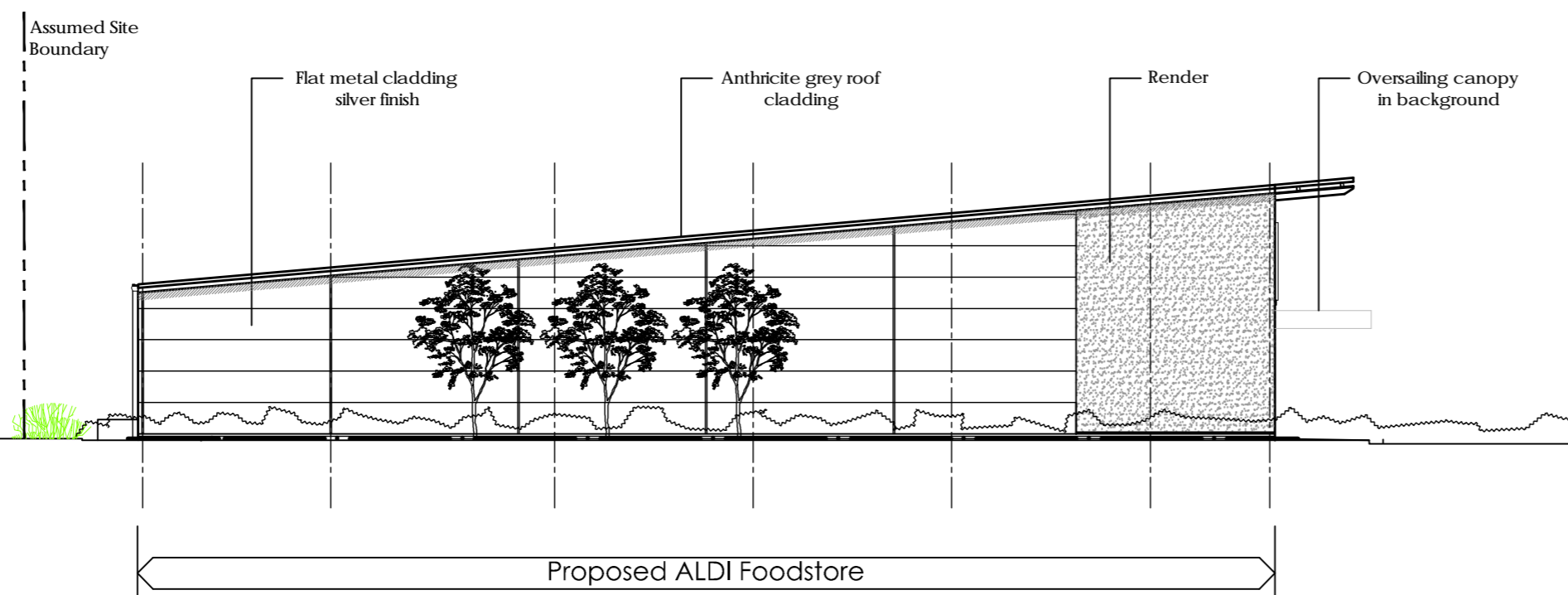
Elevation A - Facing Car Park



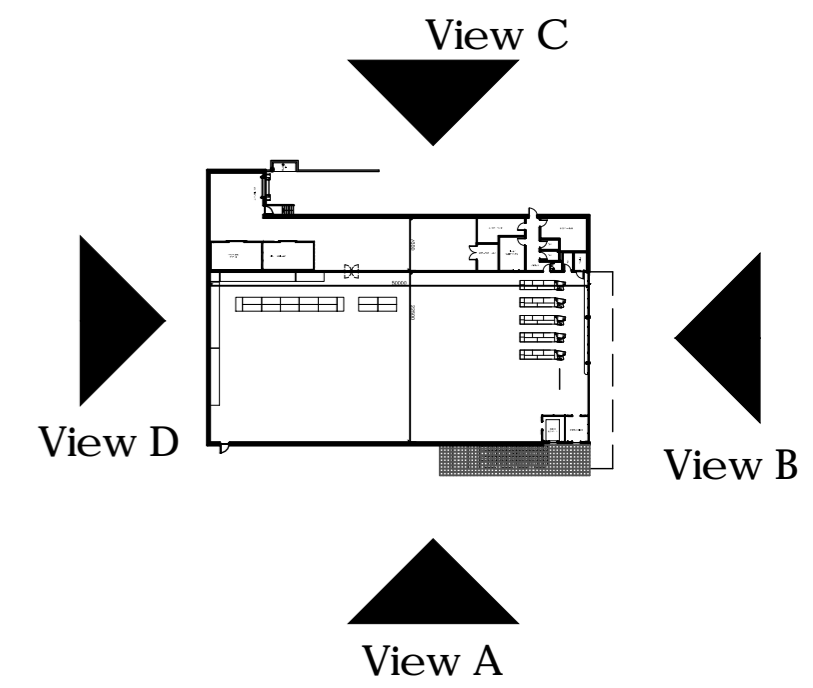
Elevation B - A82 (North Road)



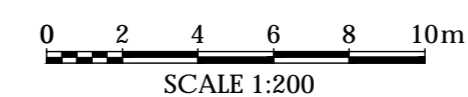
Elevation C - Facing Service Yard



Elevation D - Facing Railway



Note:  
Information is based on OS map and received information.  
Assumed site boundary and site constraints subject to confirmation.  
All legal easements and extent of existing underground services  
locations are subject to confirmation.



C	14.07.14	Elevations C and D amended. Notes updated and status changed.	ASR	CAB
Rev	Date	Description	Rev By	Chk'd By

**MORBAINÉ**

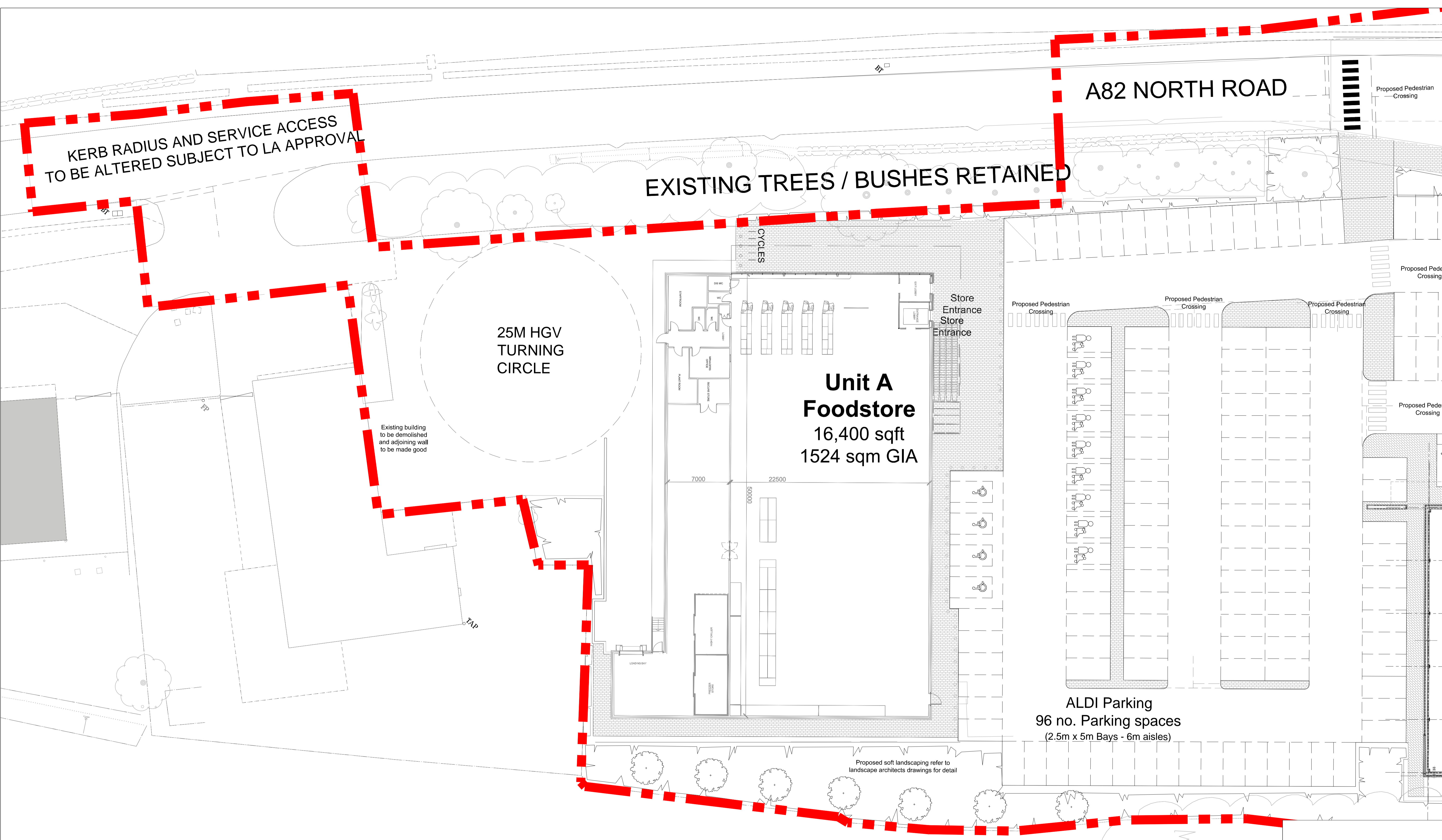
Project Title	Proposed Retail Development		
	North Road Fort William		
Client	Morbaine Ltd		
Status	Planning		
Scale	1:200	Drawing Size	A2
Drawn By	THS	Checked By	NBB Date 01/14
Drawing Title	Proposed Foodstore Elevations		
Job-Dwg No	7445-116	Rev	A

- THE HARRIS PARTNERSHIP WAKEFIELD  
2 St. Johns North, Wakefield, WF1 3QA  
t. 01924 291 800 f. 01924 290 072
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2nd Floor, Carvers Warehouse,  
77 Dale Street, Manchester, M1 2HG  
t. 0161 238 8555 f. 0161 244 5809
- THE HARRIS PARTNERSHIP MILTON KEYNES  
The Old Rectory, 79 High Street  
Newport Pagnell, MK16 8AB  
t. 01908 211 577 f. 01908 211 722
- THE HARRIS PARTNERSHIP READING  
101 London Road, Reading, RG1 5BY  
t. 0118 950 7700 f. 0118 956 8642



PROPOSED RETAIL FOODSTORE ELEVATIONS





KERB RADIUS AND SERVICE ACCESS TO BE ALTERED SUBJECT TO LA APPROVAL

EXISTING TREES / BUSHES RETAINED

25M HGV TURNING CIRCLE

Unit A  
Foodstore  
16,400 sqft  
1524 sqm GIA

A82 NORTH ROAD

ALDI Parking  
96 no. Parking spaces  
(2.5m x 5m Bays - 6m aisles)

Existing building to be demolished and adjoining wall to be made good

Proposed soft landscaping refer to landscape architects drawings for detail

0 2 4 6 8 10m  
SCALE 1:200

CAD file reference J:7445/17.0 drawings/feasibility

H	14.01.16	Application boundary line updated.	ASR	CAB
G	30.09.14	Updated to highways recommendations	HSP	CAB
F	14.07.14	Demolition works omitted and status changed to planning	ASR	CAB
E	01.07.14	Paving detail not added	HSP	CAB
D	28.06.14	Landscape Architects landscape scheme added	ASR	CAB
C	11.06.14	Unit B amended following receipt of tenant fit out drawing (Chartwell 14.814-102 rev.)	ASR	CAB
B	14.03.14	Boundary amended.	CB	-
A	13.03.14	Logo's removed	CB	TS
Rev	Date	Description	Rev By	Chk'd By

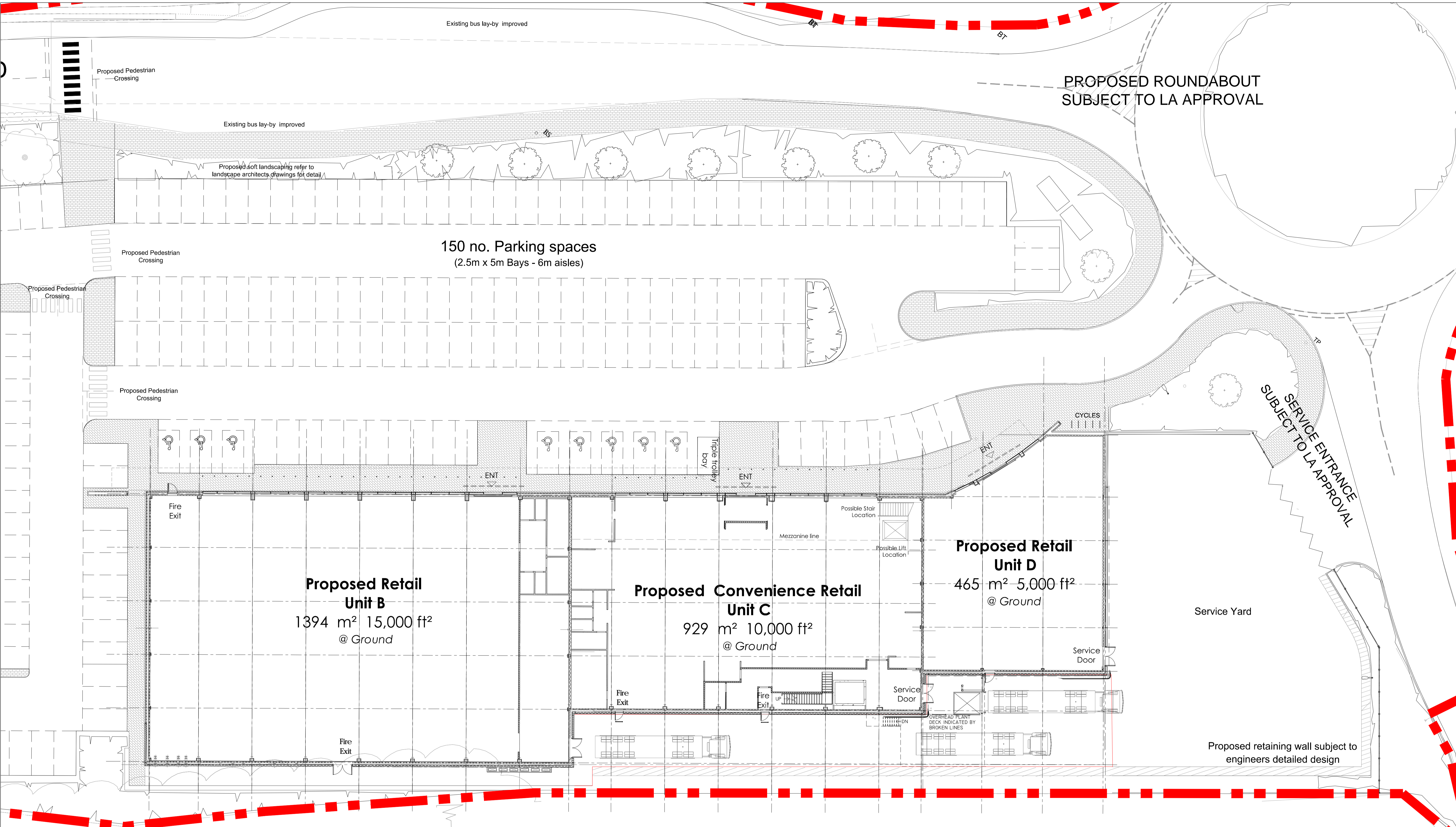
Project Title	Retail Development
Client	Morbaine
Status	PLANNING
Scale	1:200
Drawing Size	A1
Drawn By	TS
Checked By	CB
Date	01.2014

**MORBAINE**

Drawing Title	Foodstore GA Plan
Job Dwg No	7445_117
Rev	H
<p>THE HARRIS PARTNERSHIP WAKEFIELD 2 St. Johns North, Wakefield, WF1 5QA T. 01924 291 800 F. 01924 290 072</p> <p>THE HARRIS PARTNERSHIP MANCHESTER 2nd Floor, Carron Warehouse 77 Dale Street, Manchester, M1 2HG T. 0161 238 8555 F. 0161 244 5809</p> <p>THE HARRIS PARTNERSHIP MILTON KEYNES The Old Rectory, 79 High Street Newport Pagnell, MK18 8AL T. 01908 211 577 F. 01908 211 722</p> <p>THE HARRIS PARTNERSHIP READING 101 London Road, Reading, RG1 5BY T. 0118 950 7700 F. 0118 956 8642</p>	







0 2 4 6 8 10m  
SCALE 1:200

CAD file reference J:7445/17.0 drawings/feasibility

Rev	Date	Description	Rev By	Chk'd By
H	13.01.16	Plan updated	ASR	CB
G	01.10.15	Retem Signs included	CB	AM
F	30.09.14	Updated to highways recommendations	HSP	CAB
E	14.07.14	Status changed to planning	ASR	CAB
D	01.07.14	Planning detail included	HSP	CAB
C	28.06.14	Landscaping Architects landscape scheme added	ASR	CAB
B	11.06.14	Unit B amended following receipt of tenant fit out drawing (Chartwell 14.814.102 rev.)	ASR	CAB

Project Title	Retail Development
Client	Morbaine
Status	PLANNING
Scale	1:200
Drawing Size	A1
Drawn By	TS
Checked By	CB
Date	01.2014

**MORBAINE**

Drawing Title	Retail Terrace GA Plan
Job Dwg No	7445_118
Rev	H

THE HARRIS PARTNERSHIP WAKEFIELD  
2 St. Johns North, Wakefield, WF1 5QA  
T. 01924 291 800 F. 01924 290 072

THE HARRIS PARTNERSHIP MANCHESTER  
2nd Floor, Cannon Warehouse,  
77 Dale Street, Manchester, M1 2HG  
T. 0161 238 8555 F. 0161 244 5809

THE HARRIS PARTNERSHIP MILTON KEYNES  
The Old Rectory, 79 High Street  
Newport Pagnell, MK18 8AJ  
T. 01908 211 577 F. 01908 211 722

THE HARRIS PARTNERSHIP READING  
101 London Road, Reading, RG1 5BY  
T. 0118 950 7700 F. 0118 956 8642

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**LANDSCAPE SPECIFICATION**

NOTE: All soft landscape works to be carried out in accordance with BS4428:1989.

**SUBSOIL**  
Subsoil should be broken up to relieve compaction and aid drainage prior to topsoiling to the following depths:  
- For light and non cohesive subsoils: 300mm  
- For stiff clay and cohesive subsoils: 450mm  
Immediately before spreading topsoil, remove stones larger than 50mm.

**TOPSOIL**  
To be supplied and spread by the main contractor to the approval of the Landscape contractor, in accordance with BS 3882:2007. To be a natural sandy loam, of medium texture, with a pH between 5.5 and 7.8, not more than slightly stony and free of pernicious weeds. Subsoil to be well broken up prior to top-soiling to relieve compaction. Topsoil depths should be:  
Areas for Ornamental Shrub Planting: minimum 450mm

**CULTIVATION**  
Weeds to be prevented from seeding or becoming established by applying a suitable herbicide and allowing the correct time to elapse, as directed by the manufacturer. Compacted soil to be broken up to a depth of 100mm, with any stones, grass tufts or rubbish larger than 50mm in any direction to be removed, leaving a regular and even surface. Suitable slow release fertiliser to be supplied and spread @ 50g/m<sup>2</sup> to all planted areas.

**CLIMATIC CONDITIONS**  
Topsoiling should be carried out in the driest conditions possible - cultivation to be carried out when the soil is moist, friable and not waterlogged or frozen. Topsoil should not be handled during or after heavy rainfall or when it is wetter than the plastic limit as defined by BS 3882. Planting should not take place in waterlogged conditions or when the ground is frozen.

**SOIL AMELIORANT**  
Peat free compost to be spread over ornamental shrub beds @ minimum 50mm depth prior to cultivation.

**TREES**  
All trees within shrub beds to be planted in separate pits in accordance with tree planting details.  
Trees pit to be 1000mm depth including minimum 150mm thick drainage layer of well washed gravel with a geotextile layer separating growing medium from drainage layer. Pit bottom to be broken up to minimum depth of 250mm and sides to be scarified.  
Trees to be backfilled with topsoil: tree planting compost 1:6 by volume. All plant material to comply with BS 3936 Part 1:1992, be obtained from a nursery certified by the HTA and transported to site in accordance with the HTA Plant Handling Guide: 1996. All trees to be planted to the original root collar and the following methods should be implemented to secure them: Trees in soft - double staked using 75mm dia. pressure treated timber stakes and cross bar, secured with tree tie and spacer at a height not exceeding 1/3 of the tree height. Trees in hard - Platypus underground guying system or equal approved.

**SHRUB PLANTING**  
All shrubs to be positioned as shown on the drawing and to the density and specification listed in the plant schedule. Planting holes to be 150mm wider than the root spread, have the base ground thoroughly broken up before planting and backfilled with compost.

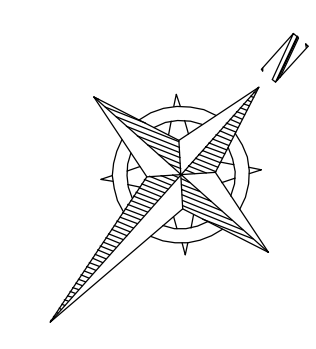
**MIXES:** To be arranged in groups of 3,5&7 with no two groups of the same species touching.

**SUBSTITUTIONS**  
Upon submission of evidence that certain materials, including plant materials, are not available at the time of the landscape contract, the Landscape Contractor may be permitted to substitute other materials and plants in exceptional circumstances during the contract with an agreed adjustment of prices. All substitutions shall be of nearest equivalent species and variety to the original specified but shall be subject to approval by the Landscape Architect before any change is made.

**MULCH**  
75mm depth of 8-35mm ornamental bark mulch to be supplied and spread to all planting areas. Finished mulch level to be installed and maintained at 25mm below any adjacent kerbs or paving surfaces.

**MAINTENANCE**  
All planting areas to be maintained to a high standard for 12 months after practical completion, to ensure the landscape scheme is successful, and discourage decline of the area. The site is to be visited at minimum once per month. Any defects or plant losses occurring in the first 12 months to be replaced at the contractors expense. All planting beds to be re-firmed and kept weed free through hand weeding and application of approved herbicide where appropriate. The specified thickness of mulch is to be maintained. The condition of all trees is to be regularly checked, with ties and stakes adjusted or replaced as necessary. Shrubs to be pruned at appropriate times of year to promote healthy growth and desirable ornamental features. All stakings to be removed. Weeding should take place as necessary to ensure establishment and continued success of all planting.

- Existing trees for retention**  
To be retained and protected in accordance with BS 5837:2012
- Proposed trees in soft landscape**  
Refer to schedule for species and specification
- Proposed columnar trees in soft landscape**  
Refer to schedule for species and specification
- Proposed specimen shrubs**  
Refer to schedule for species and specification
- Proposed ornamental shrub planting**  
Refer to schedule for species and specification
- Reefoot 600 linear pavement protection**  
by Greenleaf or similar approved.  
Installed in accordance with manufacturers specification.



SEE DRAWING NO V7445 L02 FOR LAYOUT 2 OF 2



**PLANTING SCHEDULE (Drawings V7445-L01 & L02)**

Name	Abb.	Height	Root	Container	Habit	Breaks	Density	Quantity	
<b>Shrubs</b>									
Chamaelirium 'Sundance'	CIS	40-60	C	3L	Branched	3	5/m <sup>2</sup>	305	
Eleagnus ebbingei 'Limelight'	EEL	40-60	C	3L	Branched	3	3/m <sup>2</sup>	355	
Euonymus fortunei 'Emerald & Gold'	EEG	20-30D	C	3L	Bushy	7	5/m <sup>2</sup>	725	
Euonymus 'Donard Star'	EDS	40-60	C	3L	Bushy	4	4/m <sup>2</sup>	165	
Fatsia japonica	FJ	30-40	C	3L	Leader	1	3/m <sup>2</sup>	190	
Festuca glauca 'Bluish Blue'	FGB	/	/	1.5-2L	V	1	4/m <sup>2</sup>	125	
Griselinia littoralis	GI	40-60	C	3L	Bushy	3	4/m <sup>2</sup>	160	
Hebe 'Mrs Winder'	HW	30-40	C	3L	Bushy	5	5/m <sup>2</sup>	30	
Hebe 'Red Edge'	HRE	20-30D	C	3L	Bushy	5	5/m <sup>2</sup>	725	
Hypericum 'Midwinter'	HW	30-40	C	3L	Bushy	5	4/m <sup>2</sup>	265	
Lonicera nitida 'Maigre'	LNM	30-40D	C	3L	Bushy	6	5/m <sup>2</sup>	565	
Lonicera nitida 'Baggesens Gold'	LnBG	30-40	C	3L	Bushy	3	4/m <sup>2</sup>	235	
Mahonia aquifolium 'Appollo'	MaA	30-40	C	3L	Branched	6	4/m <sup>2</sup>	535	
Philadelphus 'Marleau d'Hermine'	PMd	30-40	C	3L	Branched	4	5/m <sup>2</sup>	100	
Phormium 'Pink Panther'	PP	/	C	3L	7 Leaves	1	4/m <sup>2</sup>	105	
Phormium 'Yellow Wave'	PYW	/	C	3L	7 Leaves	1	4/m <sup>2</sup>	100	
Photinia x fraseri 'Little Red Robin'	PILRR	30-40	C	3L	Bushy	4	4/m <sup>2</sup>	645	
Prunus laurocerasus 'Otto Luyken'	PIOL	40-60	C	3L	Leader & laterals	4	4/m <sup>2</sup>	1215	
Pyracantha 'Orange Glow'	POG	60-80	C	3L	Leader & laterals	3	4/m <sup>2</sup>	790	
Spiraea japonica 'Goldflame'	SJG	20-30	C	3L	Bushy	6	5/m <sup>2</sup>	180	
Viburnum davidii	Vd	20-30	C	3L	Bushy	3	5/m <sup>2</sup>	295	
<b>Specimen Shrubs</b>									
Amelanchier lamarckii	AI	175-200	3x	C	25-30L	Specimen Shrub	5	Item	16

\* Any plants found not to be in accordance with the specification above after post completion site inspection will be replaceable at contractors expense  
 \*\* Contractor to ensure numbers on plant schedules match numbers on drawing before placing order for plants.

NOTES:  
 1. SUBMITTING CONTRACTOR'S BURDEN AND RESPONSIBILITY ARE BASED ON RECEIVED INFORMATION. SURVEY DRAWINGS AND THE SHOWN BOUNDARY IS SUBJECT TO CONFIRMATION.

Project No:	Proposed Development	Project Name:	North Road Fort William
Client:	Morbaine	Drawing No:	V7445 L01
Scale:	1:200	Sheet:	B
Drawn By:	DW	Checked By:	DW
Date:	02/14	Scale:	A0

**vector**  
design concepts

LANDSCAPE DESIGNERS  
 4 ST JOHN'S NORTH, WAKEFIELD, WF1 3QA. TEL: 01924 332556  
 WEB: WWW.VECTORDC.COM



**LANDSCAPE SPECIFICATION**

NOTE: All soft landscape works to be carried out in accordance with BS4428:1989.

**SUBSOIL**  
Subsoil should be broken up to relieve compaction and aid drainage prior to topsoiling to the following depths:  
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Weeds to be prevented from seeding or becoming established by applying a suitable herbicide and allowing the correct time to elapse, as directed by the manufacturer. Compacted soil to be broken up to a depth of 100mm, with any stones, grass tufts or rubbish larger than 50mm in any direction to be removed, leaving a regular and even surface. Suitable slow release fertilizer to be supplied and spread @ 50g/m<sup>2</sup> to all planted areas.

**CLIMATIC CONDITIONS**  
Topsoiling should be carried out in the driest conditions possible. Cultivation to be carried out when the soil is moist, friable and not waterlogged or frozen. Topsoil should not be handled during or after heavy rainfall or when it is wetter than the plastic limit as defined by BS 3882. Planting should not take place in waterlogged conditions or when the ground is frozen.

**SOIL AMELIORANT**  
Peat free compost to be spread over ornamental shrub beds @ minimum 50mm depth prior to cultivation.

**TREES**  
All trees within shrub beds to be planted in separate pits in accordance with tree planting details.  
Tree pit to be 1000mm depth including minimum 150mm thick drainage layer of well washed gravel with a geotextile layer separating growing medium from drainage layer. Pit bottom to be broken up to minimum depth of 250mm and sides to be scarified.  
Trees to be backfilled with topsoil: free planting compost 1:6 by volume. All plant material to comply with BS 3335 Part 1:1992, be obtained from a nursery certified by the HTA and transported to site in accordance with the HTA Plant Handling Guide: 1996. All trees to be planted to the original root collar and the following methods should be implemented to secure them: Trees in soft - double staked using 75mm dia. pressure treated timber stakes and cross bar, secured with tree tie and spacer at a height not exceeding 1/3 of the tree height. Trees in hard - Platypus underground guying system or equal approved.

**SHRUB PLANTING**  
All shrubs to be positioned as shown on the drawing and to the density and specification listed in the plant schedule. Planting holes to be 150mm wider than the root spread, have the base ground thoroughly broken up before planting and backfilled with compost.

**MIXES:** To be arranged in groups of 3.5x7 with no two groups of the same species touching.

**SUBSTITUTIONS**  
Upon submission of evidence that certain materials, including plant materials, are not available at the time of the landscape contract, the Landscape Contractor may be permitted to substitute other materials and plants in exceptional circumstances during the contract with an agreed adjustment of prices. All substitutions shall be of nearest equivalent species and variety to the original specified but shall be subject to approval by the Landscape Architect before any change is made.

**MULCH**  
75mm depth of 8-35mm ornamental bark mulch to be supplied and spread to all planting areas. Finished mulch level to be installed and maintained at 25mm below any adjacent kerbs or paving surfaces.

**MAINTENANCE**  
All planting areas to be maintained to a high standard for 12 months after practical completion, to ensure the landscape scheme is successful, and discourage decline of the area. The site is to be visited at minimum once per month. Any defects or plant losses occurring in the first 12 months to be replaced at the contractors expense. All planting beds to be re-firmed and kept weed free through hand weeding and application of approved herbicide where appropriate. The specified thickness of mulch is to be maintained. The condition of all trees is to be regularly checked, with ties and stakes adjusted or replaced as necessary. Shrubs to be pruned at appropriate times of year to promote healthy growth and desirable ornamental features. All arisings to be removed. Watering should take place as necessary to ensure establishment and continued success of all planting.

**EXISTING TREES FOR RETENTION**  
To be retained and protected in accordance with BS 5837:2012

**PROPOSED TREES IN SOFT LANDSCAPE**  
Refer to schedule for species and specification

**PROPOSED COLUMNAR TREES IN SOFT LANDSCAPE**  
Refer to schedule for species and specification

**PROPOSED SPECIMEN SHRUBS**  
Refer to schedule for species and specification

**PROPOSED ORNAMENTAL SHRUB PLANTING**  
Refer to schedule for species and specification

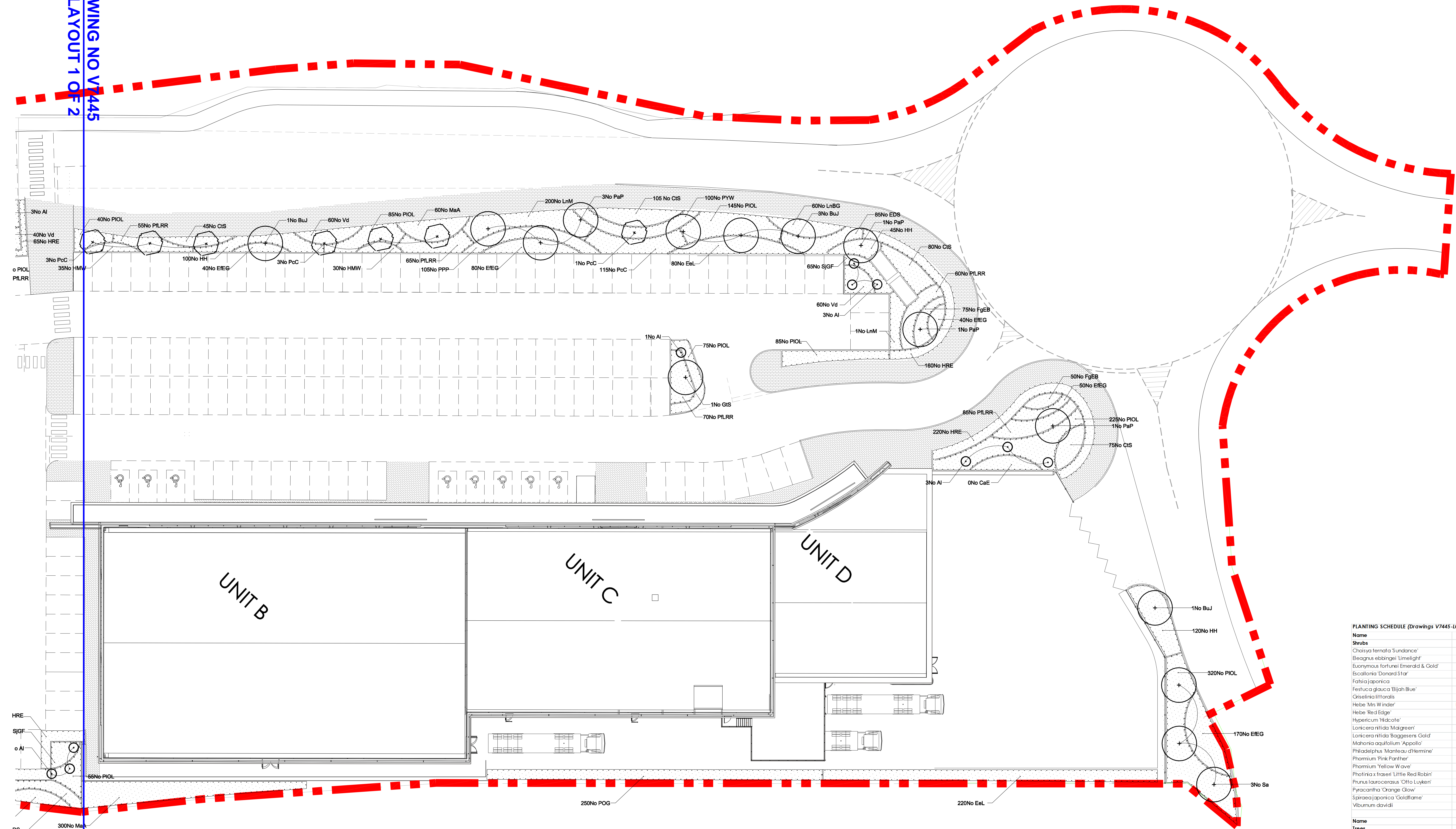
**RE-ROOT 400 LINEAR PAVEMENT PROTECTION**  
Installed in accordance with manufacturers specification.

**PLANTING SCHEDULE (Drawings V7445-L01 & L02)**

Name	Abb.	Height	Root	Container	Habit	Breaks	Density	Quantity	
<b>Shrubs</b>									
Choiya ternata 'Sundance'	CIS	40-60	C	3L	Branchied	3	5/m <sup>2</sup>	305	
Beagrus etbingei 'Umelgh'	EEL	40-60	C	3L	Branchied	3	3/m <sup>2</sup>	355	
Euonymus fortunei Emerald & Gold	ELEG	20-30D	C	3L	Bushy	7	5/m <sup>2</sup>	725	
Escallonia Donard Star	EDS	40-60	C	3L	Bushy	4	4/m <sup>2</sup>	165	
Fatsia japonica	FJ	30-40	C	3L	Leader	/	3/m <sup>2</sup>	190	
Festuca glauca 'Bliss Blue'	FgBB	/	C	1.5-2L	V	/	6/m <sup>2</sup>	125	
Grassia littoralis	GR	40-60	C	3L	Bushy	3	4/m <sup>2</sup>	160	
Hebe 'Mr Winder'	HRW	30-40	C	3L	Bushy	5	5/m <sup>2</sup>	30	
Hebe 'Red Edge'	HRE	20-30D	C	3L	Bushy	5	5/m <sup>2</sup>	725	
Hypericum 'Hidcote'	HH	30-40	C	3L	Bushy	5	4/m <sup>2</sup>	265	
Lonicera nitida 'Maigreen'	LNIM	30-40D	C	3L	Bushy	6	5/m <sup>2</sup>	505	
Lonicera nitida 'Baggesens Gold'	LNIG	30-40	C	3L	Bushy	3	4/m <sup>2</sup>	235	
Malva aquifolium 'Appalo'	MAA	30-40	C	3L	Branchied	6	4/m <sup>2</sup>	535	
Philadelphus 'Mantou d'Hermine'	PMd	30-40	C	3L	Branchied	4	5/m <sup>2</sup>	100	
Phormium 'Pink Panther'	PPP	/	C	3L	7 Leaves	/	4/m <sup>2</sup>	105	
Phormium 'Yellow Wave'	PHYW	/	C	3L	7 Leaves	/	4/m <sup>2</sup>	100	
Photinia 'Fraseri' Little Red Robin'	PLRR	30-40	C	3L	Bushy	4	4/m <sup>2</sup>	645	
Prunus laurocerasus 'Otto Luyken'	PLCL	40-60	C	3L	Leader & laterals	4	4/m <sup>2</sup>	1215	
Pyracantha 'Orange Glow'	POG	60-80	C	3L	Leader & laterals	3	4/m <sup>2</sup>	730	
Spiraea japonica 'Goldflame'	SJC	20-30	C	3L	Bushy	6	5/m <sup>2</sup>	180	
Viburnum davidii	VD	20-30	C	3L	Bushy	3	5/m <sup>2</sup>	295	
<b>Trees</b>									
Betula utilis 'Jacquemontii'	Buj	Standard extra heavy	3x	18-20	min 450	min 200	RB	/	Item 8
Quercus ilex 'Surius'	QIS	Standard extra heavy	3x	14-16	425-600	175-200	RB	5	Item 1
Prunus avium 'Thea'	PaP	Standard extra heavy	3x	18-20	min 450	min 200	RB	/	Item 6
Pyrus calleryana 'Chanticleer'	PcC	Standard extra heavy	3x	18-20	min 450	min 200	RB	/	Item 7
Sorbus aucuparia	Sa	Standard extra heavy	3x	14-18	min 450	min 200	RB	/	Item 6
<b>Specimen Shrubs</b>									
Amelanchier lamarckii	AI	175-200	3x	C	25-30L	Specimen Shrub	5	Item	16

\* Any plants found not to be in accordance with the specification above after post completion site inspection will be replaceable at contractors expense in accordance with substitutions paragraph of specification on Drawing No. V7445-L01.  
\*\* Contractor to ensure numbers on plant schedules match numbers on drawing before placing order for plants.

SEE DRAWING NO V7445 L01 FOR LAYOUT 1 OF 2



**NOTES**  
1. UNDERGROUND CONTROLS, SERVICES AND INFORMATION ARE BASED ON RECEIVED INFORMATION. SURVEY DRAWINGS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. ASSURED SITE BOUNDARY IS SUBJECT TO CONFIRMATION.

Project No:	Proposed Development	Drawing No:	V7445 L02
Client:	Morboline	Scale:	1:200
Drawn By:	DW	Checked By:	DW

**vector**  
design concepts

**LANDSCAPE DESIGNERS**  
4 ST JOHN'S NORTH, WAKEFIELD, WF1 3QA. TEL: 01924 332056. WEB: WWW.VECTORDC.COM



**OVERVIEW:**

SIGNAGE TOTEM DIMENSIONS - 2790MM W X 6314MM H  
(4 x SIGNAGE ZONE: EACH PANEL COMPRISING 350MM H X 1700MM W)

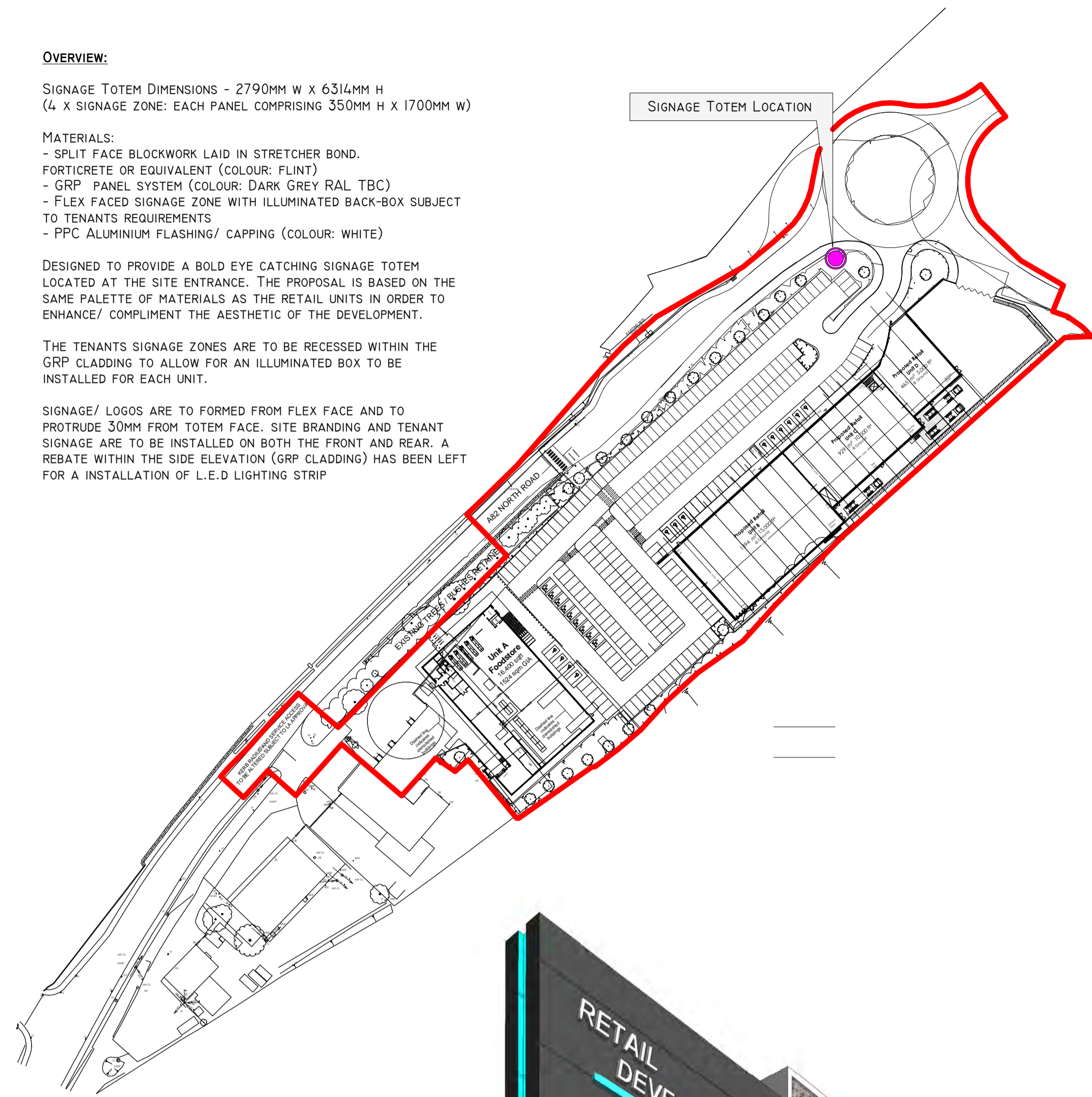
**MATERIALS:**

- SPLIT FACE BLOCKWORK LAID IN STRETCHER BOND. FORTICRETE OR EQUIVALENT (COLOUR: FLINT)
- GRP PANEL SYSTEM (COLOUR: DARK GREY RAL TBC)
- FLEX FACED SIGNAGE ZONE WITH ILLUMINATED BACK-BOX SUBJECT TO TENANTS REQUIREMENTS
- PPC ALUMINIUM FLASHING/ CAPPING (COLOUR: WHITE)

DESIGNED TO PROVIDE A BOLD EYE CATCHING SIGNAGE TOTEM LOCATED AT THE SITE ENTRANCE. THE PROPOSAL IS BASED ON THE SAME PALETTE OF MATERIALS AS THE RETAIL UNITS IN ORDER TO ENHANCE/ COMPLIMENT THE AESTHETIC OF THE DEVELOPMENT.

THE TENANTS SIGNAGE ZONES ARE TO BE RECESSED WITHIN THE GRP CLADDING TO ALLOW FOR AN ILLUMINATED BOX TO BE INSTALLED FOR EACH UNIT.

SIGNAGE/ LOGOS ARE TO FORMED FROM FLEX FACE AND TO PROTRUDE 30MM FROM TOTEM FACE. SITE BRANDING AND TENANT SIGNAGE ARE TO BE INSTALLED ON BOTH THE FRONT AND REAR. A REBATE WITHIN THE SIDE ELEVATION (GRP CLADDING) HAS BEEN LEFT FOR A INSTALLATION OF L.E.D LIGHTING STRIP



**SITE LOCATION PLAN**

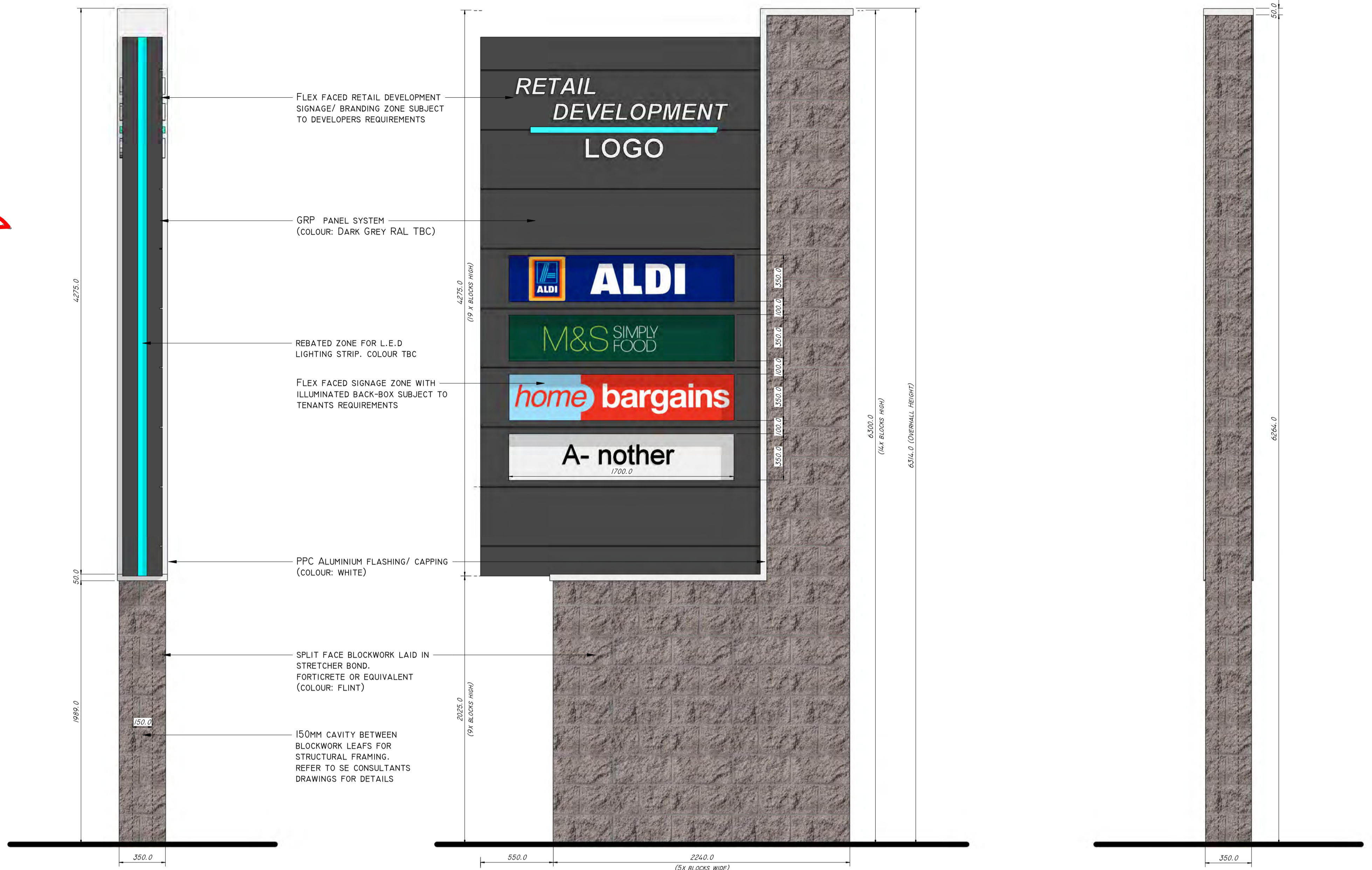
1 : 1250

0 12.5 25 62.5m

SCALE 1 : 1250



TYPICAL SKETCH PERSPECTIVE- SIGNAGE TOTEM



**GA ELEVATION 1- SIDE**

1 : 20

0 0.2 0.4 1m

SCALE 1 : 20

**GA ELEVATION 2- FRONT/ BACK**

1 : 20

0 0.2 0.4 1m

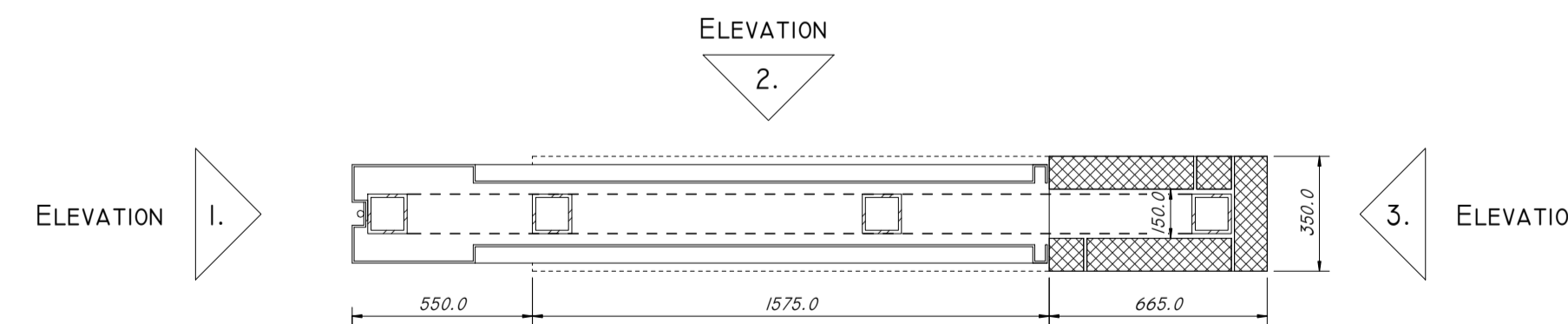
SCALE 1 : 20

**GA ELEVATION 3- SIDE**

1 : 20

0 0.2 0.4 1m

SCALE 1 : 20



**GA PLAN**

1 : 20

0 0.2 0.4 1m

SCALE 1 : 20

NOTES:  
REFER TO SE CONSULTANTS DRAWINGS FOR FOUNDATIONS, FLOORSLAB AND STRUCTURAL FRAMING DETAILS.  
REFER TO M&E CONSULTANTS DRAWINGS FOR LIGHTING STRATEGY

Rev	Date	Description	Rev By	Chk'd By

Project Title	North Road, Fort William	Drawing Title	Proposed Signage Totem
Client	Morbaine Limited	Job-Dwg No	7445 - 120
Status	Planning	Scale	As indicated
Scale	As indicated	Drawing Size	A1
Drawn By	PS	Checked By	CB
Date	18.12.15		

THE HARRIS PARTNERSHIP WAKEFIELD 2 St. Johns North, Wakefield, WF1 3QA T. 01924 291 800 F. 01924 290 072	THE HARRIS PARTNERSHIP MANCHESTER 2nd Floor, Corners Warehouse, 77 Dale Street, Manchester, M1 2HG T. 0161 238 8555 F. 0161 244 5809	THE HARRIS PARTNERSHIP MILTON KEYNES The Old Rectory, 79 High Street Newport Pagnell, MK15 8AB T. 01908 211 577 F. 01908 211 722	THE HARRIS PARTNERSHIP READING 101 London Road, Reading, RG1 5BY T. 0118 950 7700 F. 0118 756 8642
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