

**THE HIGHLAND COUNCIL**

**NORTH PLANNING APPLICATIONS COMMITTEE**  
**13 September 2016**

Agenda Item	6.2
Report No	PLN/047/16

**16/02365/FUL : Mr and Mrs James Fraser**  
**An Talla, Rockfield, Portmahomack, Tain, IV20 1RF**

**Report by Area Planning Manager**

**SUMMARY**

**Description :** Alterations to house to form upper lounge

**Recommendation - REFUSE**

**Ward :** 08 – Tain And Easter Ross

**Development category :** Local Development

**Pre-determination hearing :** n/a

**Reason referred to Committee :** At the request of Ward Members.

**1. PROPOSED DEVELOPMENT**

1.1 The proposal is to make further alterations internally and structurally to the roof to provide an upper floor seating area overlooking the sea. Materials would match those on the house.

1.2 An informal consultation was requested by the Agent (MI Architects) on 26<sup>th</sup> November 2015. The Planning Authority advised that support would not be given to further develop the house. Further discussion with the applicant followed this initial advice.

The property is accessed by the public road system and benefits from private off road parking. Services are provided via the public systems.

No supporting documentation has been received other than the Application and the associated proposal drawings.

**Variations:** None

**2. SITE DESCRIPTION**

2.1 The property sits within the settlement of Rockfield; lying on the coast to the south east of Portmahomack. Access is via a single track public road with a significant incline at Rockfield as it descends over the coastal slope to the relatively level upper beach. The small Cottage lies to the seaward side of the public road which

has received various approvals for upgrade and alterations (see section 3 - planning history). An open garden area lies to the seaward side of the house with a parking area; a further car port is constructed on the east of the house.

### **3. PLANNING HISTORY**

- 01/00718/FULRC – Extension to house. Approved 15/10/2001 and built.
- 11/01897/FUL - Erection of two extensions. Approved 07/07/2011 and built.
- 15/00075/FUL - Proposed alterations and extension. Approved 09/03/2015 and built.
- Non-Material Variation applied for and permitted on 23/06/2015 (Roof Material and finish).

### **4. PUBLIC PARTICIPATION**

4.1 Advertised : Householder Development – No advertisement required.

Representation deadline : 26/06/2016

Timeous representations 0

Late representations : 0

### **5. CONSULTATIONS**

No consultations undertaken

### **6. DEVELOPMENT PLAN**

The following policies are relevant to the assessment of the application

#### **6.1 Highland-Wide Local Development Plan 2012 (HWLP)**

28. Sustainable Design

29. Design Quality and Place Making

34. Settlement Development Areas

#### **6.2 Ross and Cromarty East Local Plan (as continuing in force)**

Rockfield – Settlement Development Area

### **7. OTHER MATERIAL CONSIDERATIONS**

7.1 Subsequent to the 15/00075/FUL approval and Non-Material Variation, the applicant made enquiries in respect of adding a car port to the eastern side of the property to house a motorhome. Although considered to be Permitted Development, it would add bulk to the already extensively altered house.

## **8. PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

### **8.3 Development Plan Policy Assessment**

Residential re-development within the village is generally supported. However, compliance with the relevant policies must be demonstrated.

Most of the properties in Rockfield lie towards the northern side of the single street and many have been subject of re-development. Although approvals have been given for large extensions to their roofs, the buildings have retained much of their original character.

This house has been subject to several applications for extensions and alterations as detailed in section 3 above. The re-development work already undertaken on the house is extensive and it is considered that this has reached its reasonable limit; this was highlighted in the assessment of the previous application (15/00075/FUL) “...given the large amount of extension to the original property, it is reasonable to suggest that this proposal represents the last possible expansion without sight of the original structure being lost”.

The current proposal (16/02365/FUL) seeks to add additional upper floor accommodation by roofing over the space between two large south facing projecting extensions, thereby adding a room with large glazed doors and an upper floor balcony.

It is considered that this further extension will serve to overwhelm and result in the loss of character of the original building to its detriment. It is not considered that the proposed development demonstrates sensitive and high quality design as required by Development Plan policy 28 Sustainable Design. In addition, the proposal does not make a positive contribution to the architectural and visual quality of Rockfield as set out by Development Plan policy 29 Design Quality and Place Making.

### **8.4 Matters to be secured by Section 75 Agreement**

None

## **9. VARIATIONS**

9.1 None

## 10. CONCLUSION

- 10.1 All relevant matters have been taken into account when appraising this application. The proposal does not respect the requirements of, and is therefore contrary to the Development Plan. The proposal does not comply with policy and is unacceptable in terms of applicable material considerations.

**It is recommended that planning permission be refused.**

## 11. RECOMMENDATION

**Action required before decision issued                      N**

**Subject to the above,** it is recommended the application be **REFUSED** subject to the following reasons for refusal:

1. The proposal is considered to be contrary to policies 28 (Sustainable Design), and 29 (Design Quality and Place-Making) of the Highland Wide Local Development Plan as:
  - it does not demonstrate sensitive and high quality design in keeping with the local character by virtue of its over-development of the property;
  - the proposal, when considered in addition to the previous developments, presents a mass, scale and bulk that will dominate the property and fails to safeguard the character of the original building.
2. The proposal is assessed as being contrary to policy 29 of the Highland Wide Local Development Plan as it does not make a positive contribution to the architectural and visual quality of Rockfield.

Signature:                      Dafydd Jones

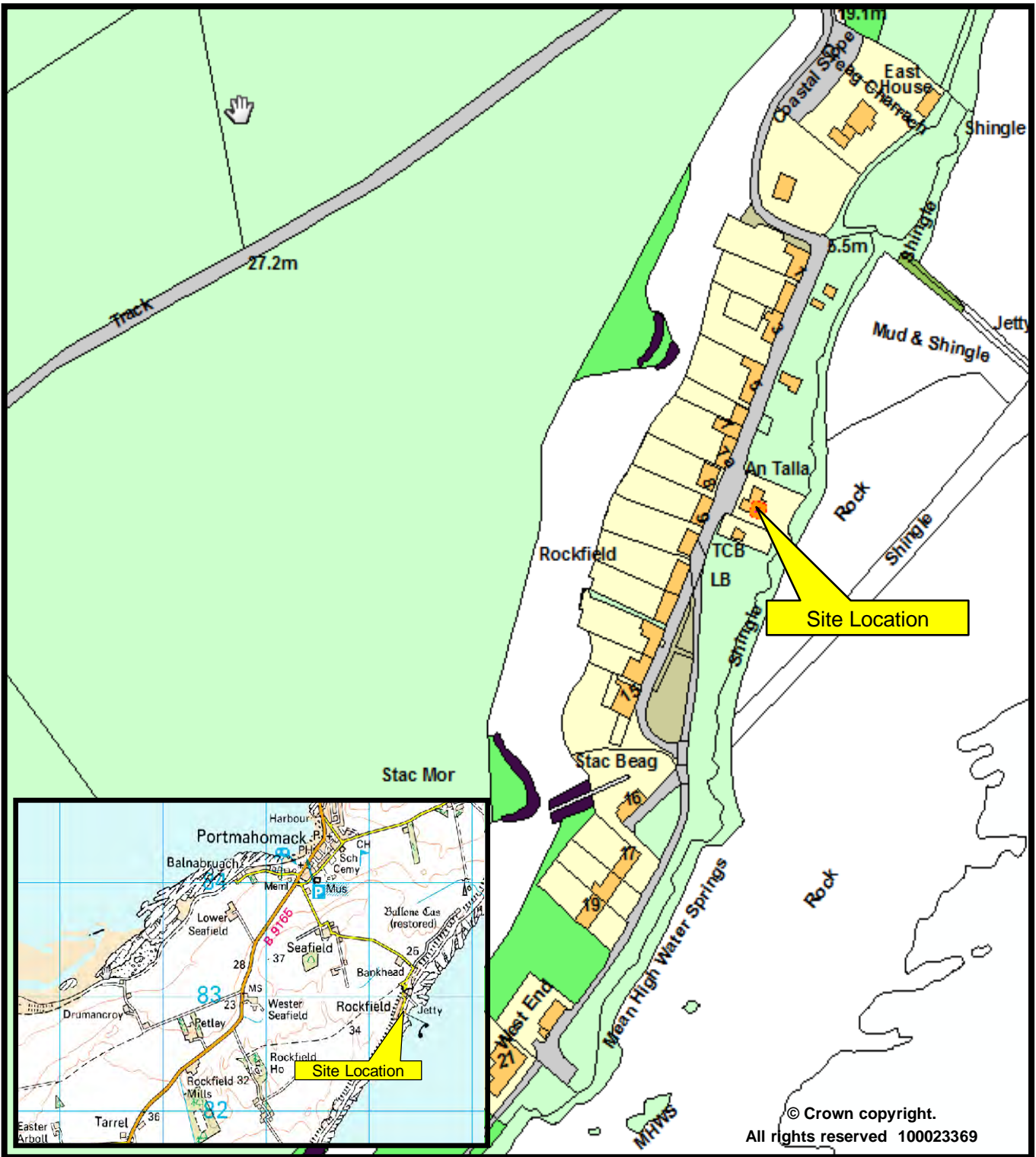
Designation:                  Area Planning Manager North

Author:                        David Borland

Background Papers:      Documents referred to in report and in case file.

Relevant Plans:

- PA01 – Location Plan
- PA02 – Existing Floor Plan
- PA03 – General Existing
- PA04 – Proposed Floor Plan
- PA05 – General Proposed



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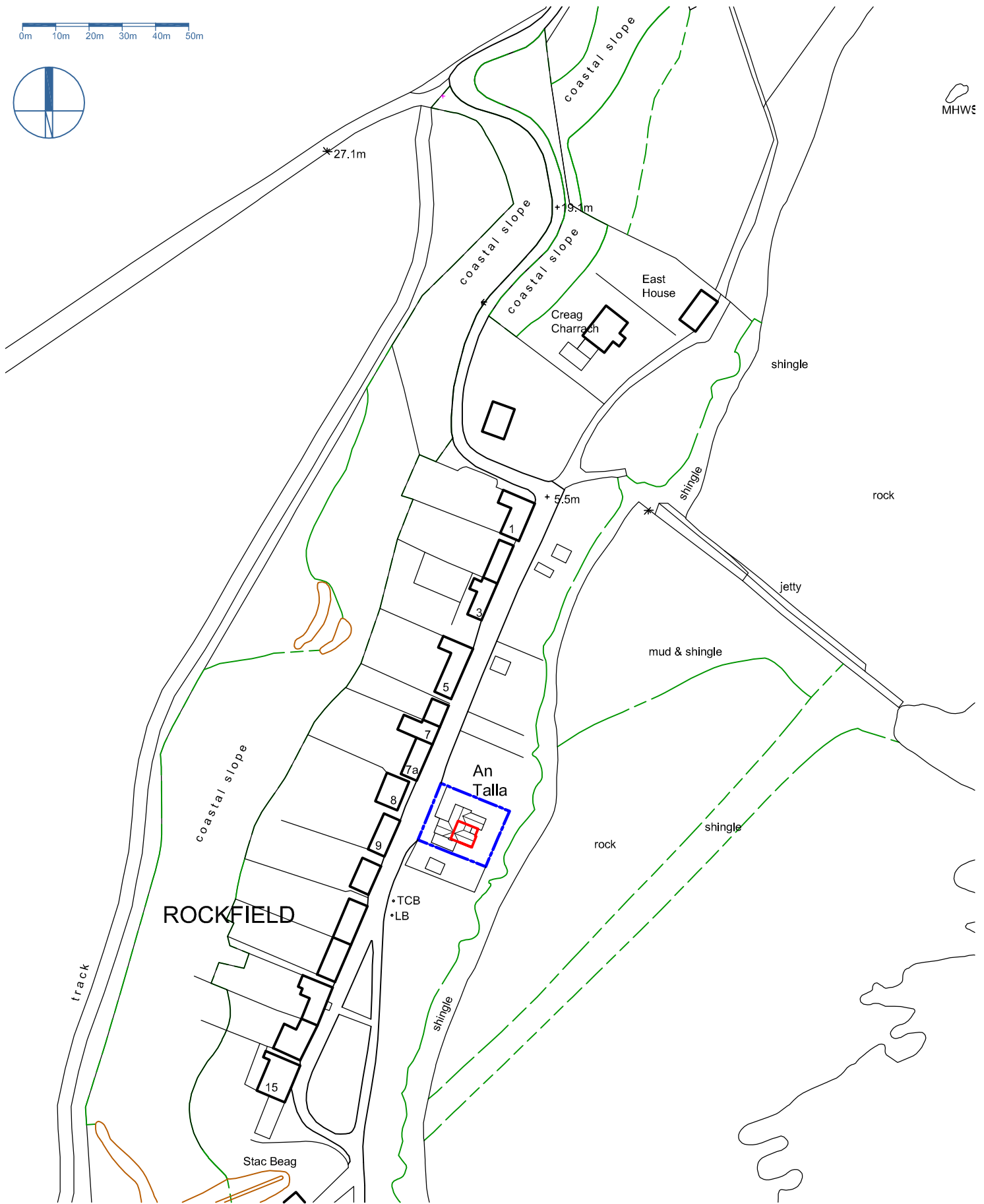
Development & Infrastructure  
Service

16/02365/FUL  
Alterations to house to form upper lounge  
at An Talla, Rockfield, Portmahomack.

Date: 23<sup>rd</sup> August 2016



0m 10m 20m 30m 40m 50m



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REVISIONS

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 www.miarchitects.co.uk



CLIENT  
**Mr & Mrs J. Fraser**

PROJECT  
**Proposed alterations to existing house to form upper lounge, An Talla, Rockfield, by TAIN**

DRG TITLE  
**Location Plan**

SCALE  
**1:1500 (A4)**

DATE  
**24/05/16**

DRAWN  
**ms**

JOB No  
**16002**

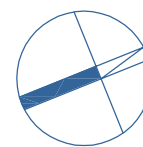
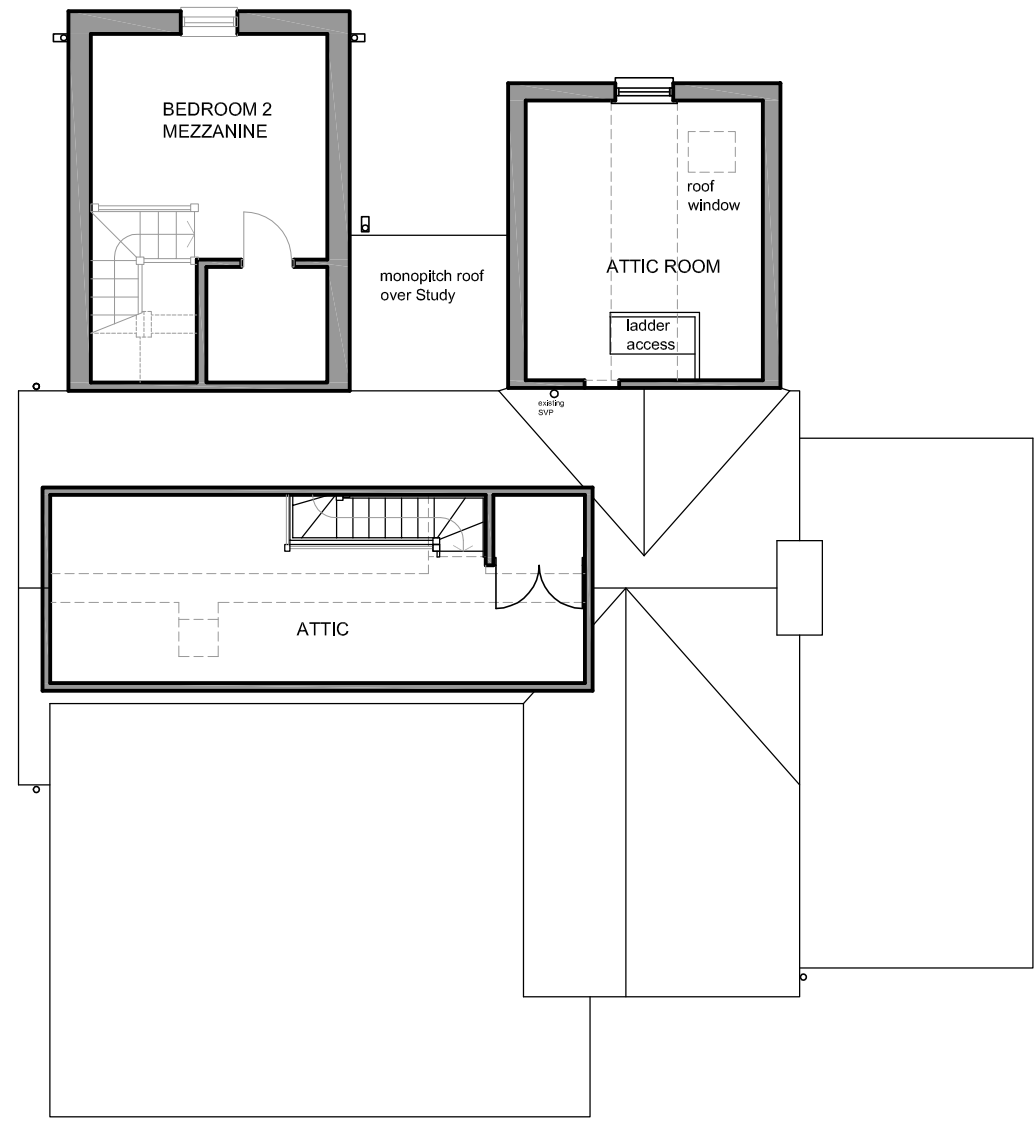
DRG No  
**PA01**

REV  
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# GROUND FLOOR PLAN



# UPPER FLOOR PLAN



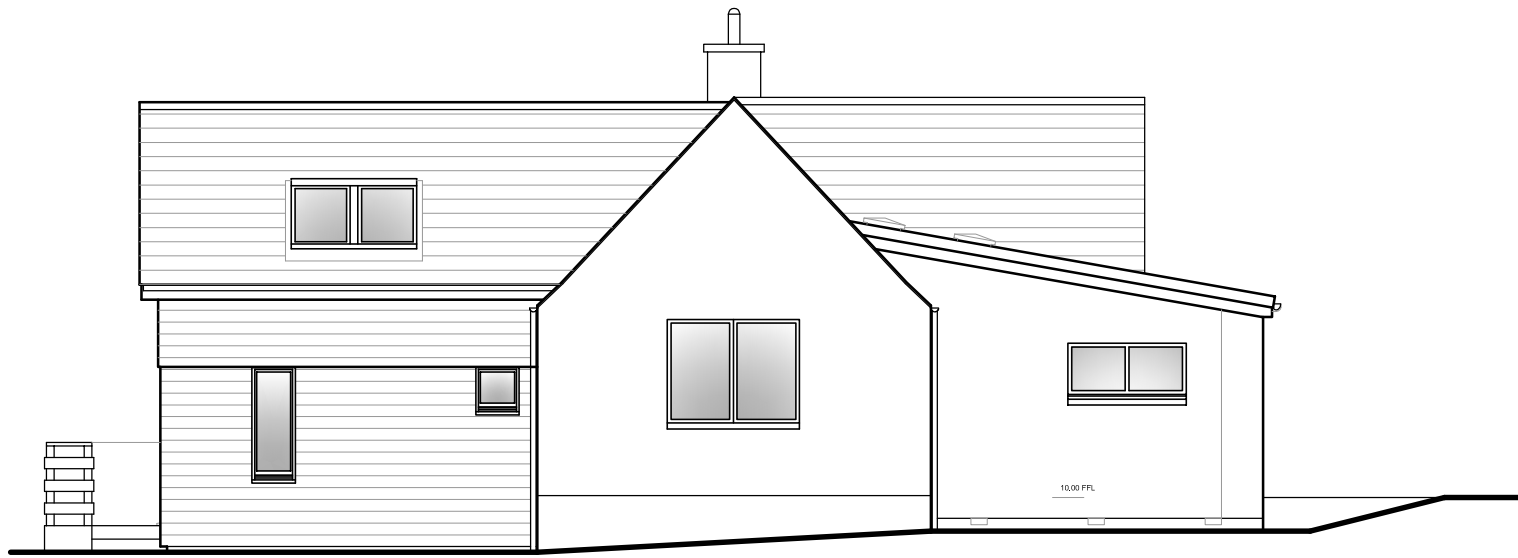
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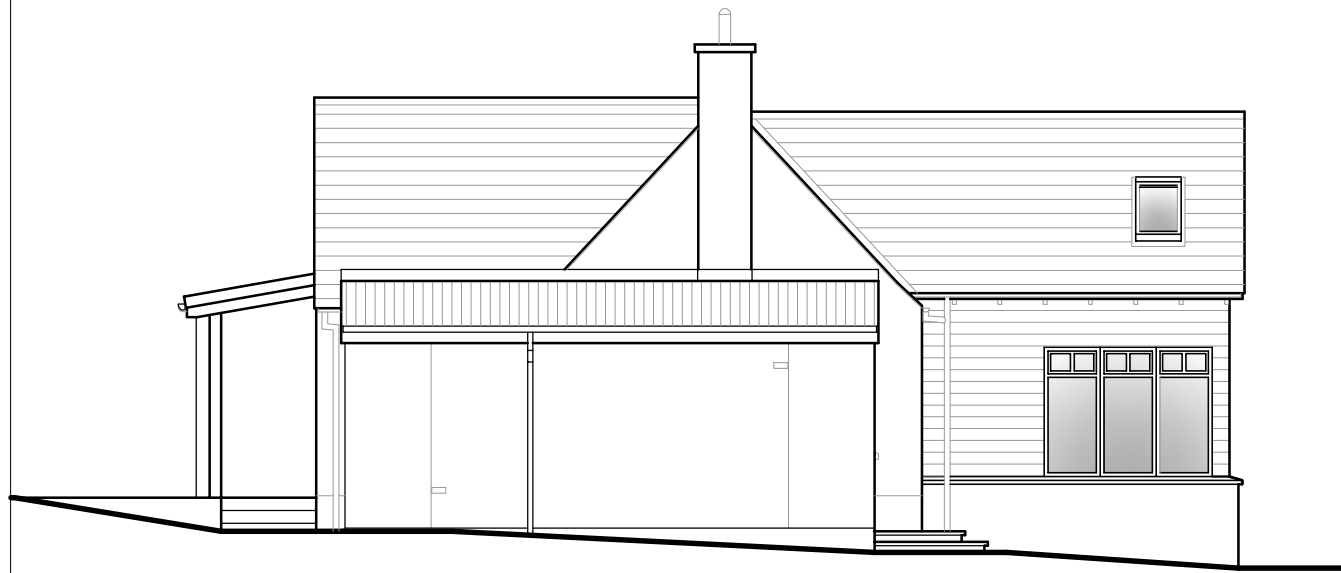
CLIENT	Mr & Mrs J. Fraser		
PROJECT	Proposed alterations to existing house to form upper lounge, An Talla, Rockfield, by TAIN		
DRG TITLE	Existing plans		
SCALE	1:100 (A3)	DATE	24/05/16
JOB No	16002	DRG No	PA02
		DRAWN	ms
		REV	--



NORTH EAST ELEVATION



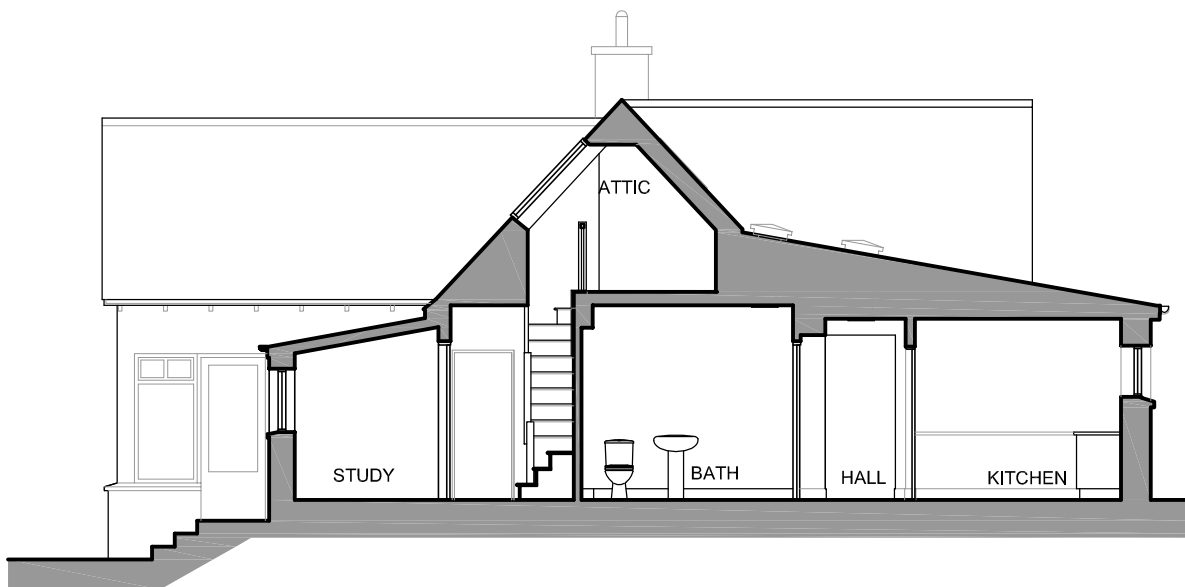
SOUTH EAST ELEVATION



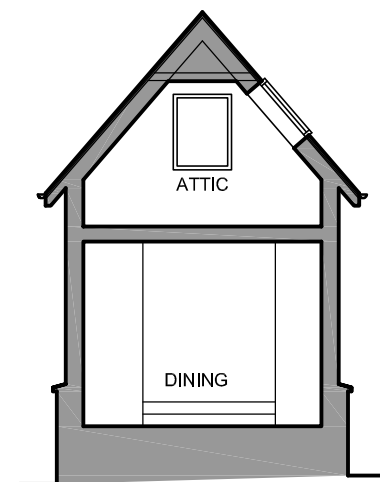
SOUTH WEST ELEVATION



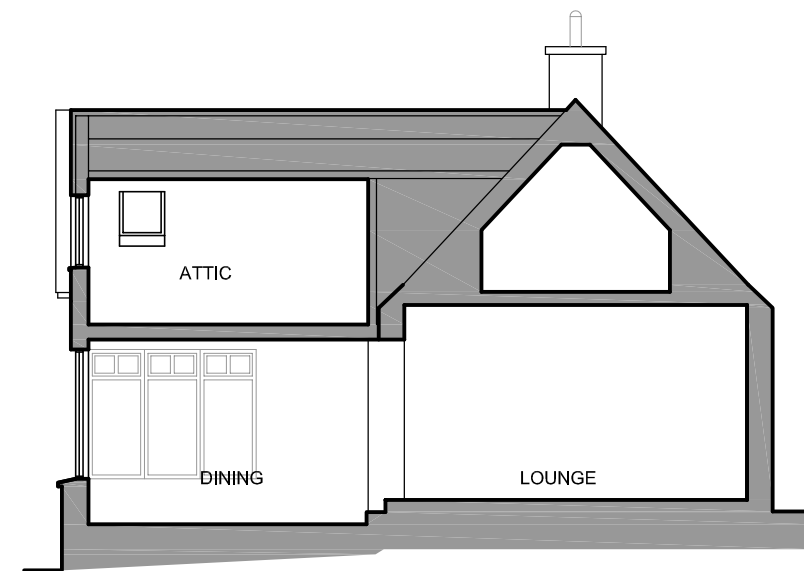
NORTH WEST ELEVATION



SECTION A




SECTION B



SECTION C



DRG TITLE <b>Existing sections &amp; elevations</b>		DATE 24/05/16	DRAWN ms
SCALE 1:100 (A3)	JOB No <b>16002</b>	DRG No <b>PA03</b>	REV --
CLIENT <b>Mr &amp; Mrs J. Fraser</b>			
PROJECT <b>Proposed alterations to existing house to form upper lounge, An Talla, Rockfield, by TAIN</b>			
			
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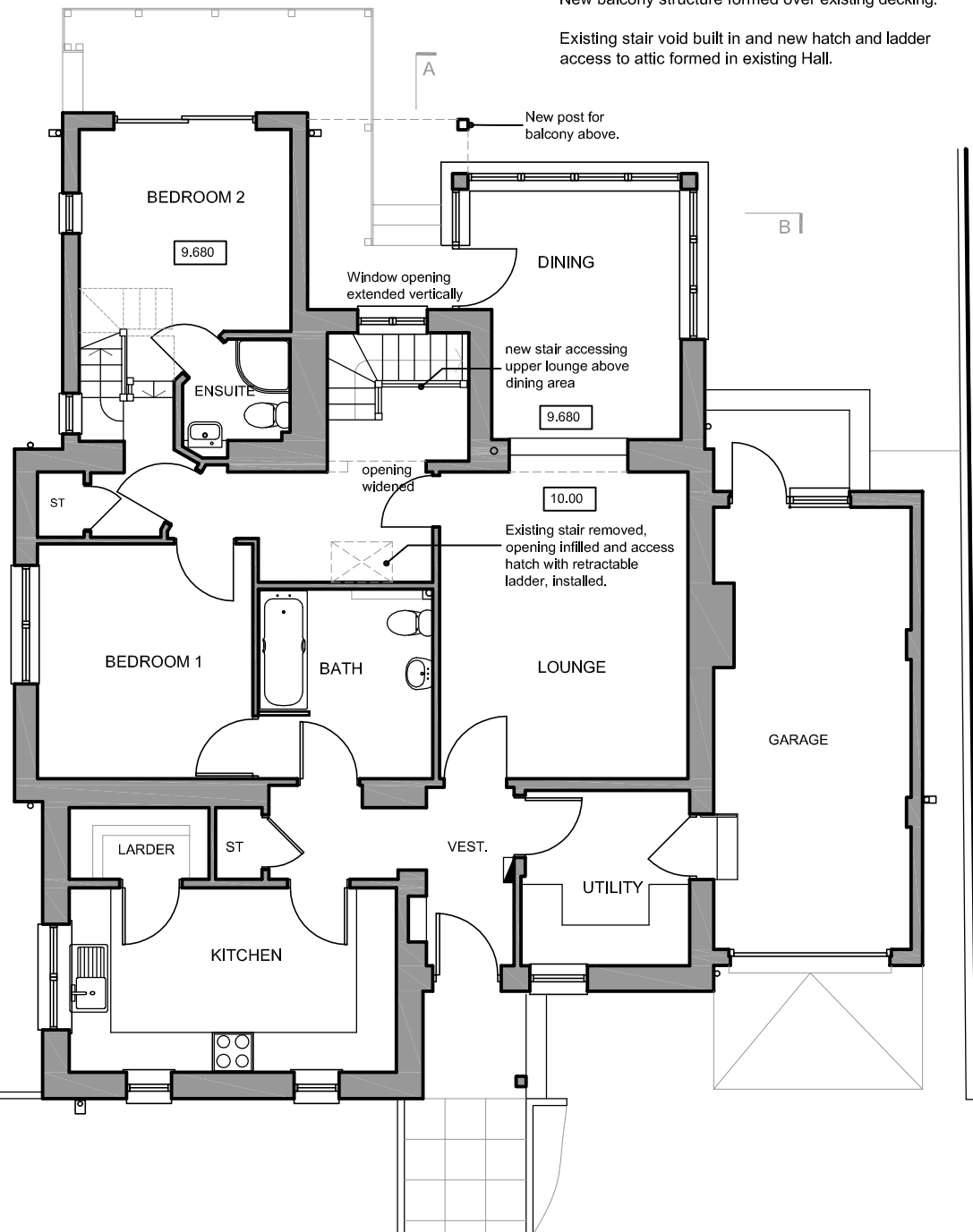
## GROUND FLOOR PLAN

Existing stair to attic removed and new stair to upper lounge installed in former Study space.

Existing lean-to roof over Study removed and walls built up as required and new floor structure installed (level to match that of upper lounge).

New balcony structure formed over existing decking.

Existing stair void built in and new hatch and ladder access to attic formed in existing Hall.



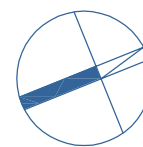
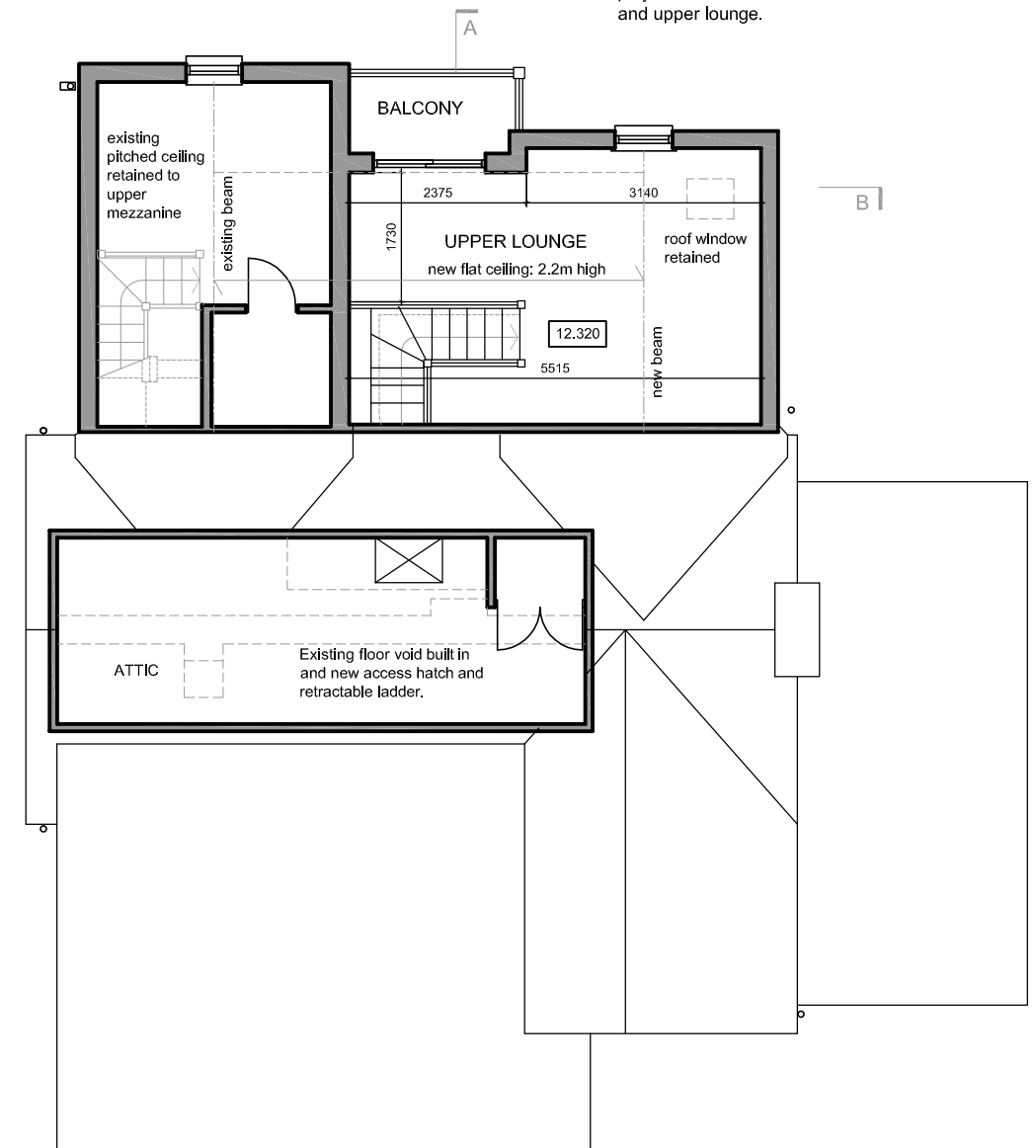
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## UPPER FLOOR PLAN

Existing ceiling ties removed to existing gable projections.

South east projection to have new glulam beam inserted below existing rafters, supported on gable wall and new loadbearing structure to rear of new room.

New flat roof ceiling joists spanning between projections form flat roof of new stair access and upper lounge.



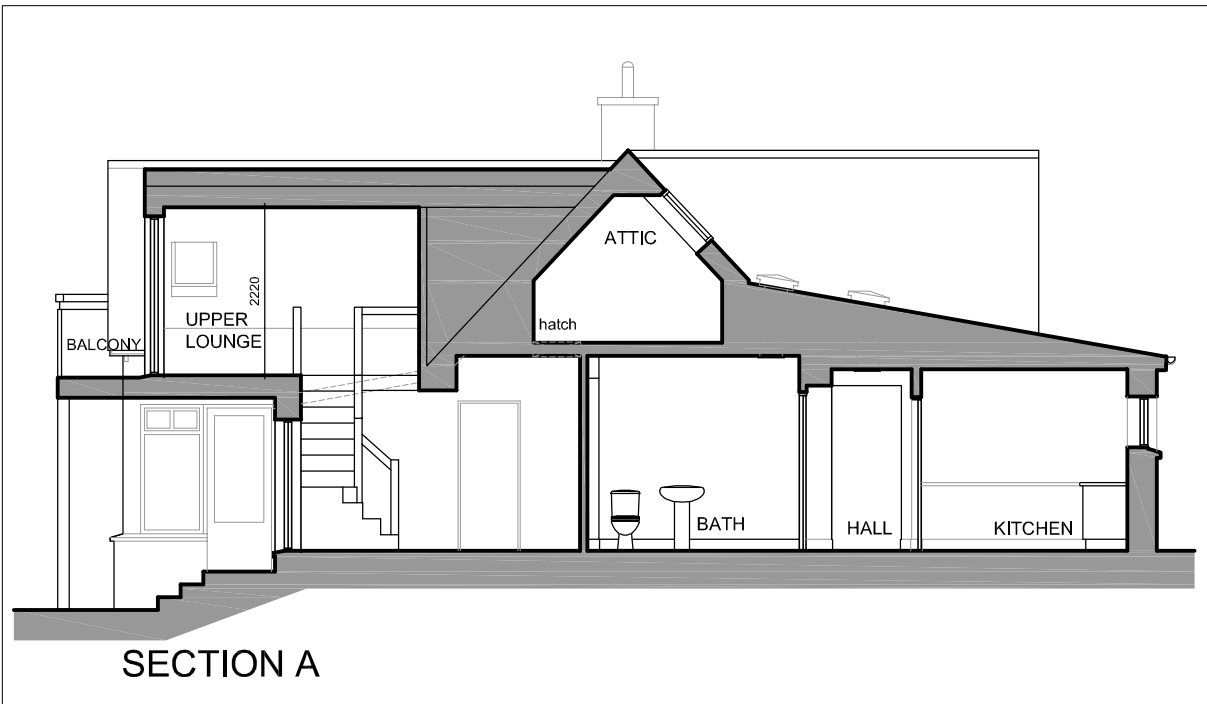
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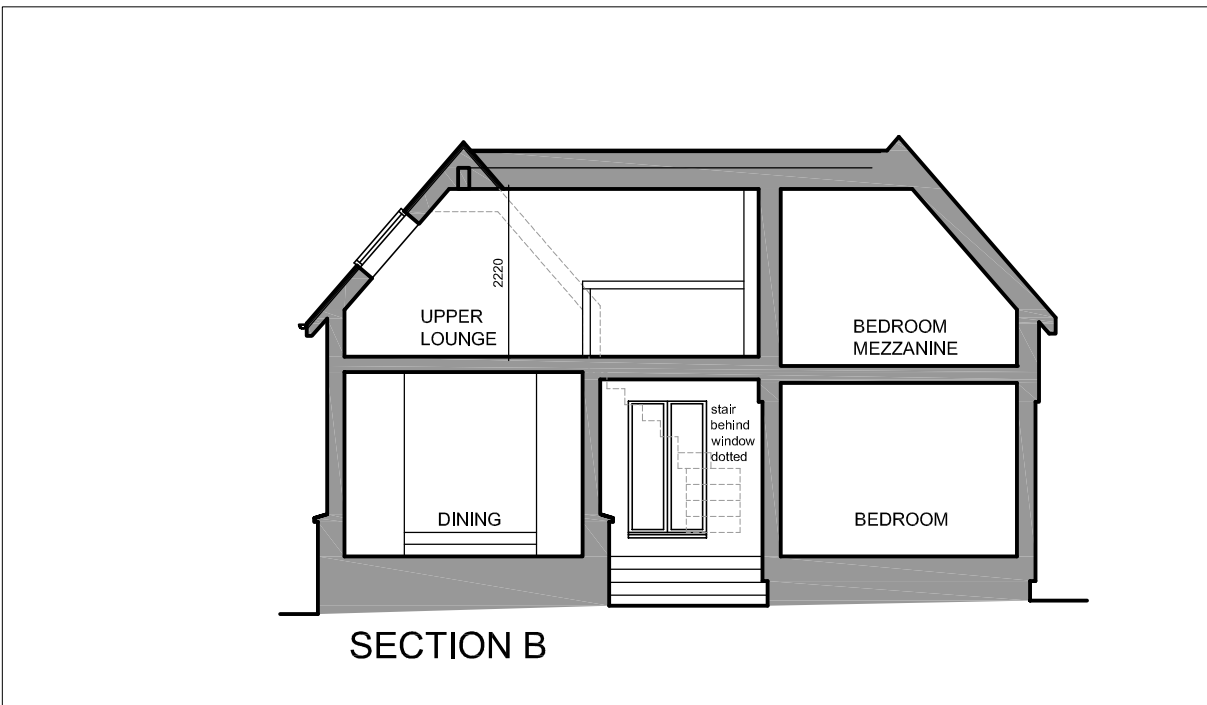


### REVISIONS

CLIENT	Mr & Mrs J. Fraser		
PROJECT	Proposed alterations to existing house to form upper lounge, An Talla, Rockfield, by TAIN		
DRG TITLE	Proposed floor plans		
SCALE	1:100 (A3)	DATE	24/05/16
JOB No	16002	DRG No	PA04
		DRAWN	ms
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SECTION A



SECTION B



SOUTH EAST ELEVATION

REVISIONS

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CLIENT <b>Mr &amp; Mrs J. Fraser</b>	DRG TITLE <b>Proposed elevation and sections</b>		DRAWN ms
	PROJECT <b>Proposed alterations to existing house to form upper lounge, An Talla, Rockfield, by TAIN</b>	SCALE 1:100 (A4)	DATE 24/05/16
JOB No <b>16002</b>		DRG No <b>PA05</b>	REV --

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Ground floor wall under balcony to be render to match existing.  
 Upper floor to be vertical cladding - finish to match gable projections.

windows: upvc to match existing;  
 rainwater: upvc to match existing;  
 roof: single ply roof finish.

