

THE HIGHLAND COUNCIL

**NORTH AREA PLANNING APPLICATIONS COMMITTEE
18 October 2016**

Agenda Item	5.10
Report No	PLN/059/16

**16/03301/FUL: Acanthus Architects
Land 135M West Of Timber House, 6 Skinidin, Dunvegan**

Report by Area Planning Manager

SUMMARY

Description: Erection of 4 new houses to be used as short-term holiday lets

Recommendation - GRANT

Ward: 11 - Eilean A' Cheò

Development category: Local Development

Pre-determination hearing: None Required

Reason referred to Committee: More than 5 objections received.

1. PROPOSED DEVELOPMENT

1.1 This application seeks full planning permission for the erection of 4 residential units. The proposed use is for short term holiday letting accommodation.

- Sites A and C (as referred to on the submitted plans) will be the 301.2 'Airigh' designs (see plan number 5) - these are single storey one bed mono-pitched buildings which will measure 12.5m x 5.3m and the roof height will be 3m at its lowest point and 4.5m at its highest point. The main glazing in this design will be within the gable end, with a small window within the other gable end and a door within the rear elevation and a row of horizontal windows within the front elevation.
- Sites B and D will be the 301.1 'Airigh' designs (see plan number 4)– these are single storey one bed mono-pitched buildings which will measure 10.8m x 6.35m and the roof height will be 3m at its lowest point and 4m at its highest point. The fenestration on this design is for glazing along the length of the front elevation, with single openings on the remaining three elevations.

The external materials for both designs will be vertical larch cladding which will be stained black and black sinusoidal profile metal sheeting on the roof.

In addition, the application proposes an upgraded access from the public road, new access tracks and a private foul drainage system.

1.2 No formal pre-application was received for this proposal.

1.3 Access to the site is from the single track B884 public road which runs through Skinidin. There are no public sewers within close proximity of the site, so a private foul drainage system is proposed. A public water supply is likely to be close as there is other development within the vicinity of the site.

1.4 The application was supported by a Design Statement, Visualisations and Drainage Report.

1.5 **Variations:** None

2. **SITE DESCRIPTION**

2.1 The application site is located on land to the west of the B884 public road. The land is generally undulating and rises to the west (rear of the site) and is set against the backdrop of larger hills which rise to 264m above sea level. There are a number of historic stone remains of former buildings on the site.

Access to the site will be via an existing access which served No.5 which appears to be a house which is no longer occupied.

3. **PLANNING HISTORY**

3.1 **Application Site: 16/00408/FUL:** Construct 4no. new properties to be used as short-term holiday lets APPLICATION WITHDRAWN – applicant withdrew the previous application as they wanted to alter the access position from the public road. **Surrounding Sites referred to by a third party** – located approx. 200m to the south of the current application site

03/00203/OUTSL: Plot A Skinidin: Erection of house (In Outline) APPROVED 07.11.2003

06/00136/FULSL: 3 Skinidin: Erection of house APPROVED 09.06.2006

06/00137/OUTSL: 3 Skinidin: Erection of house WITHDRAWN 02.06.2006

4. **PUBLIC PARTICIPATION**

4.1 Advertised: Unknown neighbour – 14 days

Representation deadline: 07.09.2016

Timeous representations: 18 from 18 different households

Late representations: 1 from a separate household to the above.

4.2 Material considerations raised are summarised as follows:

- Over-development
- Design out of character with traditional development, stark colour and imposing design
- Not in accordance with the settlement pattern.
- Adverse impact upon the landscape
- Need for and visual impact of the bin storage
- Loss of Amenity, in terms of privacy, traffic, noise and light pollution
- Undermine the use of this agricultural unit
- Neighbour notification and land ownership information incorrect.
- Impact of foul drainage on the environment
- Access track is not suitable for use by emergency services and council refuse vehicles.

- A previous application for two houses (ref 03/00203/OUTSL) was refused close to this site.
- Concerns regarding adequacy of existing water network to cater for further demand when tankers have been in operation during dry periods in recent times.
- The visualisations give a false impression of the proposal

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam. Access to computers can be made available via Planning and Development Service offices.

5. CONSULTATIONS

5.1 **Building Standards:** No objection.

5.2 **Scottish Water:** No response received to date

5.3 **Transport Planning Team:** No objection, subject to conditions

5.4 **Historic Environment Team:** No objection, subject to conditions

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

Policy 28	Sustainable Design
Policy 29	Design Quality and Place-making
Policy 34	Settlement Development Area
Policy 57	Natural, Built and Cultural Heritage
Policy 61	Landscape
Policy 65	Waste Water Treatment
Policy 66	Surface Water Drainage

6.2 West Highland and Islands Local Plan 2010

Policies 1-2	SDA/ Land Allocations
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7. OTHER MATERIAL CONSIDERATIONS

7.1 Draft Development Plan

Not applicable

7.2 Highland Council Supplementary Planning Policy Guidance

Housing in the Countryside and Siting and Design (March 2013)

Access to Single Houses and Small Housing Developments (May 2011)

Sustainable Design Guide (Jan 2013)
Special Landscape Area Citations (June 2011)
Highland Historic Environment Strategy (Jan 2013)

7.3 **Scottish Government Planning Policy and Guidance**

PAN 67- Housing Quality
PAN 79 – Water and Drainage

8. **PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

8.3 **Development Plan Policy Assessment**

The application site is located within the Settlement Development Area (SDA) for Skinidin and therefore, Policy 34 of the Highland-wide Local Development Plan applies. Policy 34 supports development proposals within Settlement Development Areas, if they are compatible with the existing pattern of development, landscape character, surrounding land uses, and meet the Design for Sustainability requirements of Policy 28.

Policy 28 of the Highland Wide Local Development Plan requires sensitive siting and high quality design in keeping with local character and historic and natural environments, and the use of appropriate materials. This Policy also requires proposed developments to be assessed on the extent to which they are compatible with service provision, as well as their impact on individual and community residential amenity. Policy 29 of the Highland Wide Local Development Plan repeats this emphasis on good design in terms of compatibility with the local settlement pattern. Policy 61 further emphasises the need for development to respect the landscape character of their surroundings.

The site is also located within a Special Landscape Area and will need to be judged against Policy 57.1 of the Highland-wide Local Development Plan. This states that developments will be supported where they can be shown not to have an unacceptable impact upon the identified protected amenity and heritage resource.

The proposal will also be assessed against policies 65 (Waste Water Treatment) and 66 (Surface Water Drainage).

8.4 **Material Considerations**

Siting, Design and Landscape Impact: The majority of third party objection comments relate to the proposed development undermining the appearance of the area and its landscape setting, in terms of the number of units, their siting and scale, form and external colour. A number have commented that it will visually look like a 'holiday park', and one has suggested that it is inconsistent with a planning decision taken 10 years ago.

As stated above the application site is located within the designated Settlement Development Area for Skinidin, these are the Councils preferred areas for most types of development, including housing. It is important that within these areas development must be considered in terms of their appropriateness having regard to all relevant planning factors. In defining these areas the Council have taken into account a number of issues, including the quality of agricultural land, the ability of the landscape to allow for development and the pattern of existing settlements. This is defined in the Highland wide Local Development Plan, 2012 which has been the subject of public consultation.

In terms of settlement pattern, Skinidin in plan form appears to be defined by two tiers of development, one adjacent to the public road and one on the upper level of the hillside all accessed from the main road. However, when you approach the settlement from the south east which is the main public view of the area, the wider settlement appears much more scattered with existing development and ruinous stone remains at a number of levels on the hillside. The previous decision which one of the objectors refers to relates to two cases in 2006 (not 2003 as stated in the objection letter as this application was approved), reference numbers 06/00136/FULSL and 06/00137/OUTSL. The former was determined by the Planning Committee, but the latter was withdrawn by the applicants before it was determined. However, this is not considered to have a material weight on this application as it relates to the lower tier of development and is therefore not directly relevant to this application. In addition, the settlement plan upon which the 2006 decision was made supersedes the current Development Plan, and is not relevant to current policies in which the current application must be assessed.

Site A, will be located approx. 257m back from the public road, Site B, 331m, Site C 403m and Site D 466m. When viewed from the south eastern approach to Skinidin, Site A and B will be seen in the context of the building lines of properties to the south of the site. In addition, these two units have been sited near or adjacent to existing ruinous remains. Sites C and D will be located on the upper level of the slope and will be viewed in the context of No.7 and No.5. As you travel closer to the site, the existing landform will largely obscure views of the majority of the buildings, so at this point they will have limited public visual impact. Even when viewed the units will be seen in the context of existing development and rising land.

In terms of design, the proposed scheme is for single storey buildings which although modern in form will be low impact due to their overall size and dark colour which will become recessive when viewed in the context of the dark rising land to the rear of the buildings. In addition, the proposed use of the buildings will be for holiday letting purposes and as such the curtilages around the units have been restricted. This will limit the amount of other development which is often associated with permanent residential units, such as outbuildings, washing lines etc. In view of this it is recommended that the units are restricted to holiday letting units only and that permitted development rights are removed for extensions, outbuildings and other ancillary structures. The erection of fences and walls will also be controlled by a planning condition. It is acknowledged that the visualisations do not show the whole development, as such little weight has been placed on this information when assessing this application.

The issue of this application setting a development precedent has been raised by a number of members of the public, this is not a material planning consideration and each planning application is assessed on its own merits. In this instance, by virtue of the units siting together with their design and intended use are not considered to have an adverse impact upon either the appearance of the immediate area or undermine the integrity of the wider landscape designation. If the application had presented larger buildings of a different design and external appearance then this may not have been supported.

In addition, the application proposes the upgrading of the existing access track from the public road which serves the landholding at No.5. The landowner has confirmed that they have no objection to the application. The first section will largely follow the existing line of the track and will be upgraded using gravel. A new section of track will be created close the existing line of trees this together with the landform will limit views when looking up from the main access with the public road. Beyond this, the track will follow the fence line between no.5 and no.6, and then two branches will be taken off across the site, one to serve sites A and B and one to serve sites C and D. Long distance views of the tracks will be available, however, to minimise their visual impact the use of grass pavers is proposed, this is a plastic mesh which is infilled with substrate and allows vegetation to grow through. This will allow the tracks overtime to blend in with the surrounding landscape.

Neighbour Amenity: Concerns have been expressed by third parties about the development resulting in a loss of amenity in terms of privacy and an increase in noise, traffic and light pollution.

In terms of privacy, the nearest residential property to site A is the 'Timber House' which has a separation distance of approx. 174m. From Site B, the nearest properties are No.7 which is approx. 110m to the north-west and No.5 which is a former residential property located some 153m to the south west. Site C is approx. 62m from No.5 and 120m from No. 7. Finally, site D is approx. 75m from No.5 and 120m from No.7. These separation distances are considered to be sufficient to avoid any overlooking into existing residential properties.

In terms of an increase in traffic and noise. The upgraded access track will run approx. 12m to the south of the 'Timber House'. There are openings in the rear and end gable of this property. However, the proposed buildings are small one bed units which will be for holiday letting purposes. As such the likely vehicle movements when averaged out over a year are likely to be less than those associated with permanent dwelling houses, and the level of traffic movements is not considered to be sufficient to warrant a refusal of the application. In addition, the application proposes to create mounding and plant hazel trees which overtime will further reduce any amenity impact. To ensure that this is sympathetic to the visual appearance of the site, full details of this will be controlled by a planning condition.

With regards to light pollution, it is acknowledged that the development will result in lights from within the buildings and headlights from vehicles on the hillside. However, the units will be located within an existing settlement area, and are not

within any designated dark sky area. Domestic and vehicular lights are already a feature of this area and the introduction of 4 small units is not considered to materially exacerbate this situation which would warrant a refusal of the application.

Access and Parking: Access to the site will be from an existing access from the B884 public road, which currently serves the landholding of No.5. The application proposes to upgrade the junction with the public road to create an SDB2 compliant access. The section of road is relatively straight affording visibility splays of over 90m in each direction which is commensurate with the safe speeds along this road.

The Transport Planning Team have no objection to the application subject to conditions controlling the implementation of the access upgrades, visibility splays and a footnote reminding the developer of the requirement to gain a Road Opening Permit prior to any work commencing on or adjacent to the road.

Concerns have been raised by third parties that the access road will not be suitable to accommodate refuse vehicles and emergency services. This is a private access track; as such no Council refuse vehicles will be using this access track. Bins will be collected from the service bay adjacent to the bellmouth onto the public road. The implementation of an appropriate bin storage area for the units adjacent to the access will be controlled by a planning condition. In terms of emergency services, requirements for this are controlled by the Building Standard legislation. The Councils Building Standards surveyor has stated that further consultation with the local Fire Prevention Officer will be required to clarify that access and a suitable water supply will be available for the fire brigade – a footnote will be attached to this consent regarding this requirement.

In terms of parking, each unit will have space for one vehicle. The requirement for a one bed house is normally two spaces per unit, but it is considered that as these are for holiday letting purposes only then the level of car parking is commensurate with its use. As stated above, permitted development rights have been removed, so if extensions were added in the future these would be made the subject of a planning application and any additional parking requirements would be considered at that stage.

Historic Environment: The land holding contains a number of historic stone ruins. The Councils Historic Environment Team have assessed the application and welcome the retention of the ruins, however, they have recommended that a detailed photographic recording of the historic features are carried out in advance of the proposed works. This is in order to record the ruins in their current setting and as a form of mitigation against potential accidental damage during the development works. This requirement will be controlled by a planning condition.

Impact upon Agricultural Land: A number of third parties have raised the loss of croft land. This land historically formed part of a large farm and is not registered croft land and does not fall under the jurisdiction of the Crofting Commission. Therefore in terms of planning policy, this area is classed as agricultural land rather than croft land.

The applicants landholding extends to approx. 13.5 acres, the development boundary for this application site is approx. 2500sqm (this includes the access tracks), which equates to a loss of 0.6 acres or approx. 4% of the land. The main issue will be to ensure that the development does not restrict access to all of the remaining parts of the landholding. As such it is considered necessary to control

the erection of fences, walls or other means of enclosure by a condition; this will ensure that fenced areas around the units are kept to a minimal and that the access tracks remain unfenced. In addition, the proposed units are for holiday letting purposes (again this will be restricted by a condition) so the area required for outdoor amenity space are less than what would be expected for a main and permanent residential house.

Overall, the scheme is considered to represent an agricultural diversification, but at the same time it will ensure that the remaining area of land can be used for 'seasonal grazing' or other purposeful use.

Water Supply and Foul Drainage: Connection will be made to the public water supply. Concerns have been raised about the adequacy of existing water network to cater for further demand. Scottish Water have been consulted on this application but have not responded. Notwithstanding this it will be incumbent on the applicant to secure the necessary consents from Scottish Water to allow a connection to be made to their infrastructure. Should it not be possible to secure a public connection then planning permission may be required to enable a solution.

Foul drainage for two of the letting units (sites A and B – as detailed on the submitted plans) will be via a septic tank and soakaway, and units C and D will utilise a biological treatment plant which will discharge to the nearby burn via a partial soakaway. A full drainage report has been submitted in support of the planning application. Concerns have been raised by third parties about the suitability of this arrangement.

The Councils Building Standards Surveyor has assessed the application and has no objection in principle to the scheme, but further information will be required at the Building Warrant stage, a footnote will be attached to the consent.

As such the principle of this proposed arrangement is considered to be acceptable, however, the full technical details will be controlled by the Building Standards legislation through the subsequent Building Warrant and the Water Environment (Controlled Activities) (Scotland) Regulations 2011 and the CAR licence regime administered by SEPA.

Other Matters: A number of third party comments have expressed concern about the neighbour notification procedure not being carried out correctly. The case officer has checked the notification letters that were sent out, these comply with the statutory requirements. In addition, as part of the adjacent land was classed as 'unknown neighbour' an advert was placed in the West Highland Free Press.

In addition, it has transpired that the original land ownership form which accompanied the application was incorrectly completed. The access from the public road and the first section of the access track is outwith the ownership of the applicants. The agent has rectified this and notice has been served on the land owner and an email has been received confirming that the land owner has no objections to the application.

8.5 **Other Considerations – not material**

Precedent: The issue of this application setting a development precedent has been raised by a number of members of the public, this is not a material planning consideration and each planning application is assessed on its own merits.

8.6 Matters to be secured by Section 75 Agreement

None

9. CONCLUSION

9.1 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. RECOMMENDATION

Action required before decision issued N

Subject to the above, it is recommended the application be **Granted** subject to the following conditions and reasons / notes to applicant:

1. No other development shall commence until the site access with the public road has been upgraded in accordance with The Highland Council's Access to Single Houses and Small Housing Developments guidelines and the attached Access Schedule (05.10.2016), with:
 - i. the junction formed to comply with drawing ref. SDB2; and
 - ii. Visibility splays of 2.4m x 90m to the south (the X dimension and Y dimension respectively) in each direction formed from the centre line of the junction.

No other development shall commence until the junction has been constructed in full and within the stated visibility splays, at no time shall anything obscure visibility between a driver's eye height of 1.05m positioned at the X dimension and an object height of 0.60m anywhere along the Y dimension.

Reason: To ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity.

2. No development or work (including site clearance) shall commence until a photographic record has been made of the remains of any buildings and/or other features affected by the development/work, in accordance with the attached specification, and the photographic record has been submitted to, and approved in writing by, the Planning Authority.

Reason: In order to assist the Council with maintaining an accurate and current record of the historic environment.

3. The development hereby approved shall be used for holiday letting purposes only and shall not be used as a principal private residence or be occupied by any family, group or individual for more than three months (cumulative) in any one calendar year.

Reason: To enable the Planning Authority to exercise appropriate control over the use of the buildings, in the interests of visual and neighbour amenity and in recognition of the use applied for.

4. Notwithstanding the provisions of Article 3 and Classes 1, 2 and 3 of Schedule 1 of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended, revoked or re-enacted; with or without modification), no development of a type identified in the aforementioned classes shall take place within the curtilage of the buildings hereby approved without planning permission being granted on application to the Planning Authority.

Reason: In order to enable the Planning Authority to retain effective control over future development within the application site so that it is carefully managed and does not result in over-development or an adverse impact on the amenity of the area.

5. Prior to the commencement of development, details of a bin storage area adjacent to the public road shall be submitted to and approved in writing by the Planning Authority. The storage area shall be constructed in accordance with the details approved by the Planning Authority prior to the first occupation of the development and thereafter maintained in perpetuity.

Reason: To ensure that bin storage facilities are provided in a location that can be accessed from the public road.

7. Prior to the commencement of development, full details of the proposed boundary treatment (annotated 'mounding' on approved plan number 103) between the application site and the 'Timber House', has been submitted to and approved in writing. Thereafter, the approved details shall be implemented prior to the first occupation of the development hereby approved.

Reason: In the interests of visual and neighbour amenity.

8. No fences, walls or other means of enclosure shall be erected on site until full details of their design; appearance and location have been submitted to and approved in writing by the Planning Authority. Thereafter, only the approved details shall be implemented.

Reason: In the interests of visual amenity and to avoid the loss of agricultural land.

REASON FOR DECISION

The proposals accord with the provisions of the Development Plan and there are no material considerations which would warrant refusal of the application.

TIME LIMITS

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

FOOTNOTE TO APPLICANT

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Accordance with Approved Plans and Conditions

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (p.198), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks and Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as dropped kerb consent, a road openings permit, occupation of the road permit etc.) from TECS Roads prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local TECS Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport/roads/Applicationformsforroadoccupation.htm>

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank

Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

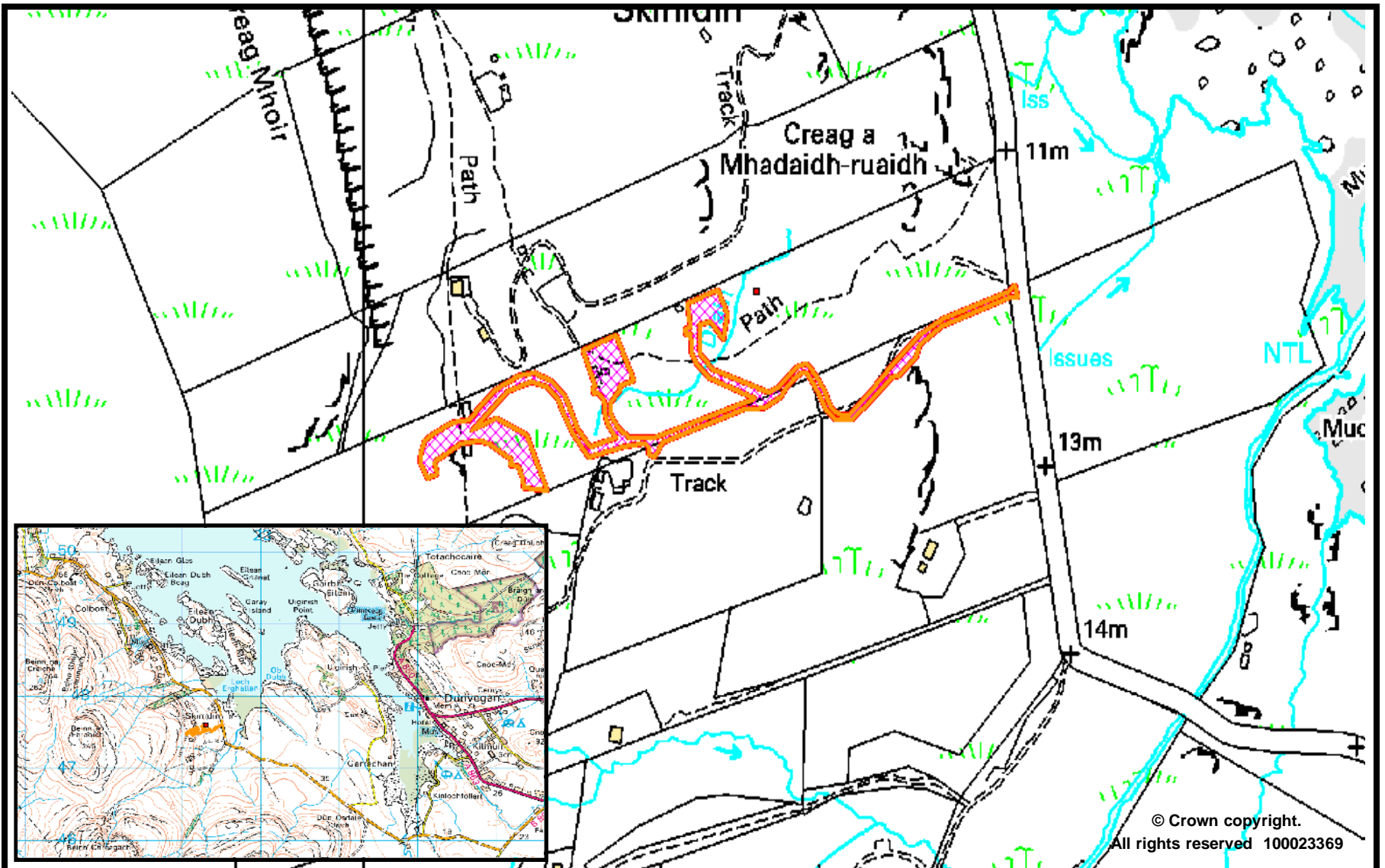
Permitted Development Rights

Please note that certain permitted development rights have been removed from the land covered by the permission, as explained in the conditions above. This means that certain developments, for which an application for planning permission is not ordinarily required, will now require planning permission. You are therefore advised to contact your local planning office prior to commencing any future developments.

Building Standards

Please note that an assessment of the site conditions will be required for foundation design, etc, including groundwater levels and water control at the embankment cut. Details provided of the proposed drainage design are acceptable provided SEPA consent is obtained, although any shared sewage treatment facilities require to be 25m from the nearest dwelling should these ever be sold to separate ownership. Surface water controls will also require to be provided for the access track. Further consultation with the local Fire Prevention Officer will be required to clarify that access and a suitable water supply will be available for the fire brigade. The use of high efficiency alternative technologies for energy conservation and sustainability measures will require to be considered for the development.

Signature: Dafydd Jones
Designation: Area Planning Manager North Area
Author: Alison Harvey
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 – Location Plan 001 Rev A
Plan 2 – Proposed Site Layout Plan 102
Plan 3 – Proposed Access Plan 103
Plan 4 – Proposed Elevation Plan 401
Plan 5 – Proposed Elevation Plan 402
Plan 6 – Proposed Floor Plan 201
Plan 7 – Proposed Floor Plan 202



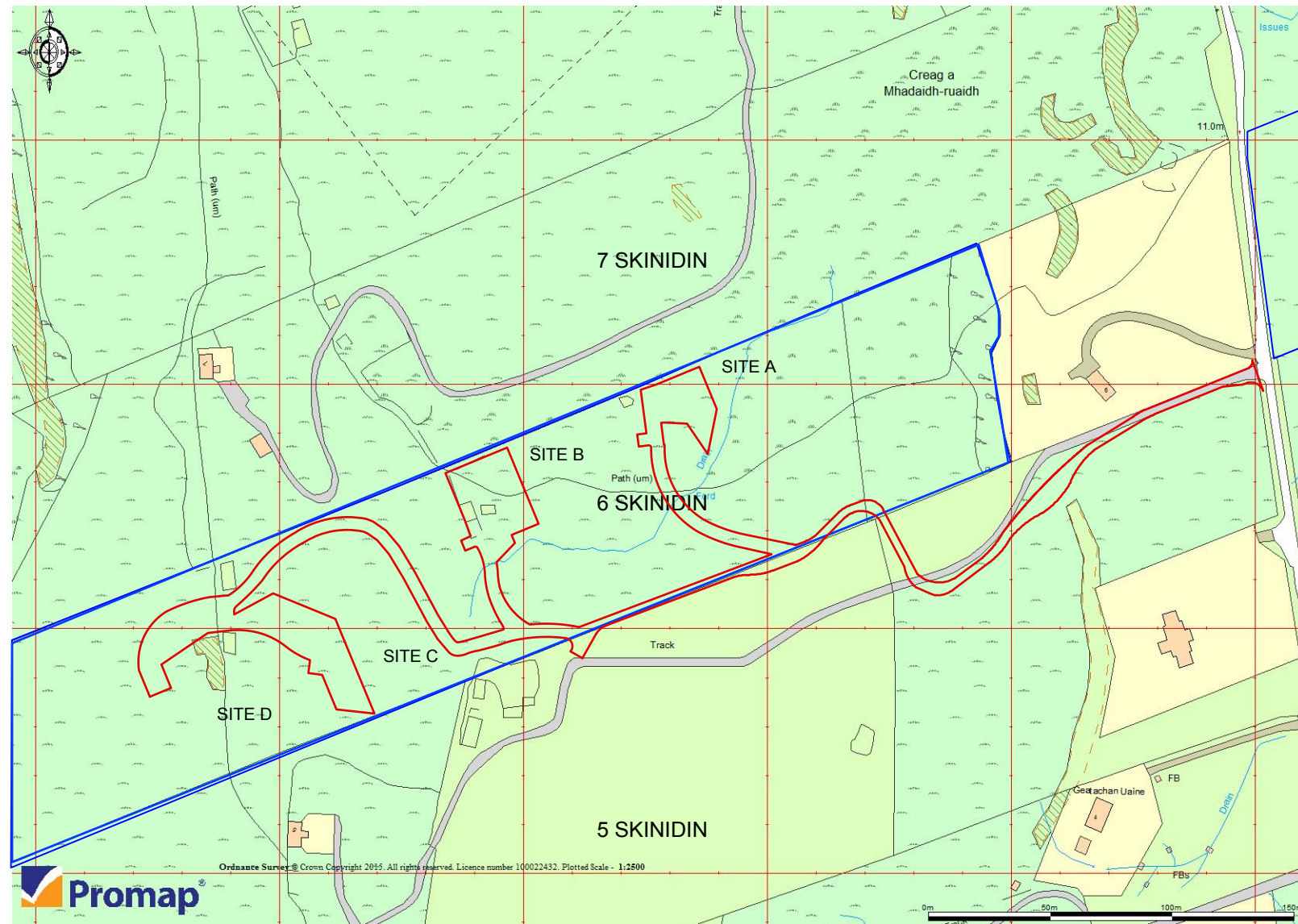
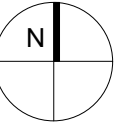
Planning and Development Service

Location Plan
16/03301/FUL

Erection of 4 new houses to be used as short-term holiday lets

18th October 2016

Scale:



B884

Note:

DUALCHAS

ARCHITECTS

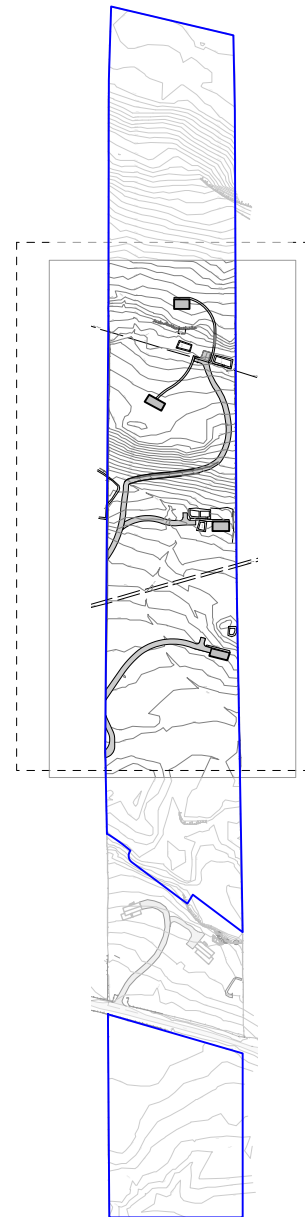
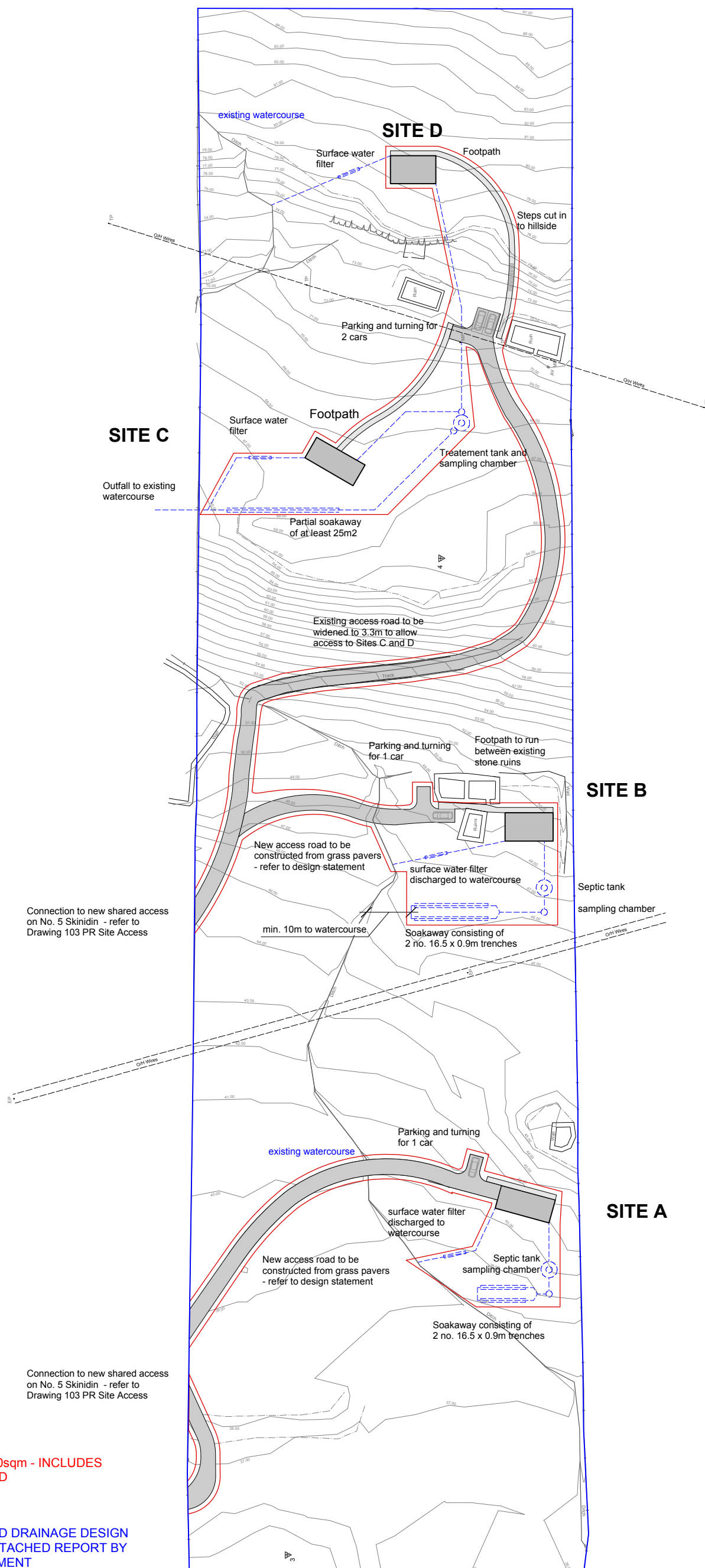
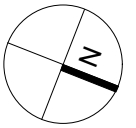
SKYE
Duisdale Beag, Sleat, Isle of Skye IV43 8QU T: 01471 833 300

GLASGOW
Unit 4, Building 5, Templeton Business Centre, Glasgow G40 1DA T: 0141 550 1401

E: info@dualchas.com W: www.dualchas.com

© Dualchas Architects. To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.

DRAWING SET PLANNING	CLIENT 683_FORREST	
DRAWING TITLE LOCATION PLAN		
DRAWING NUMBER 001	DRAWN BY JM	DATE 22/06/2016
CAD FILE NAME 683_Forrest_Skinidin_PL		SCALE 1:2500 @ A3



SITE AREA
APPROX. 2500sqm - INCLUDES
ACCESS ROAD

NOTE
FOR DETAILED DRAINAGE DESIGN
REFER TO ATTACHED REPORT BY
JIG ENVIRONMENT

Note:

SITE	AIRIGH MODEL	DRAWING No.
A	AGH 301.2	202 & 402
B	AGH 301.1	201 & 401
C	AGH 301.2	202 & 402
D	AGH 301.1	201 & 401

Refer to floor plans for areas

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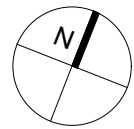
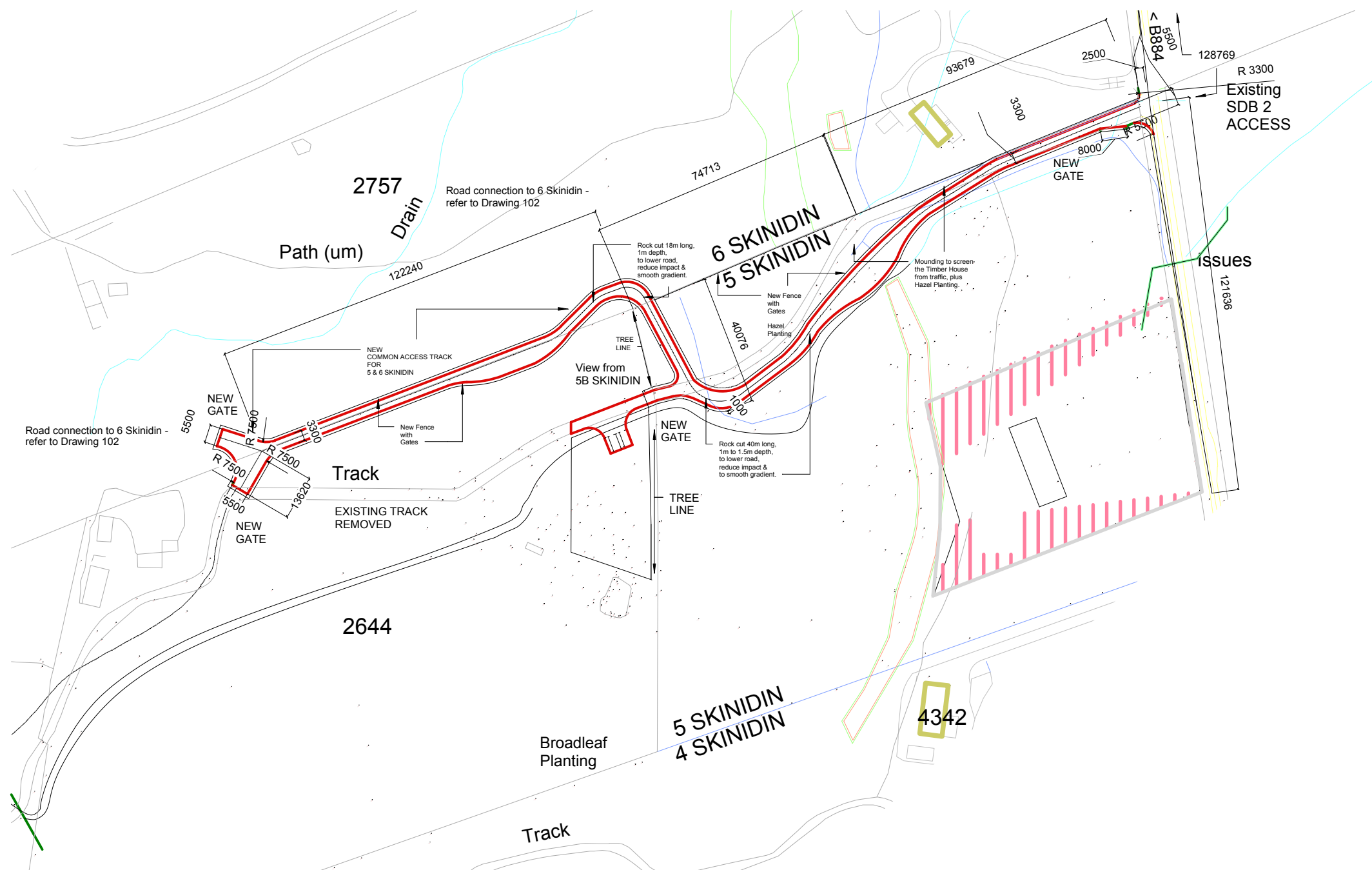
SKYE
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DRAWING SET PLANNING		CLIENT 683_FORREST
DRAWING TITLE PROPOSED SITE PLAN		
DRAWING NUMBER 102	DRAWN BY JM	DATE 22/06/2016
CAD FILE NAME 683_Forrest_Skinidin_PL		SCALE 1:1000 @ A3



Note:

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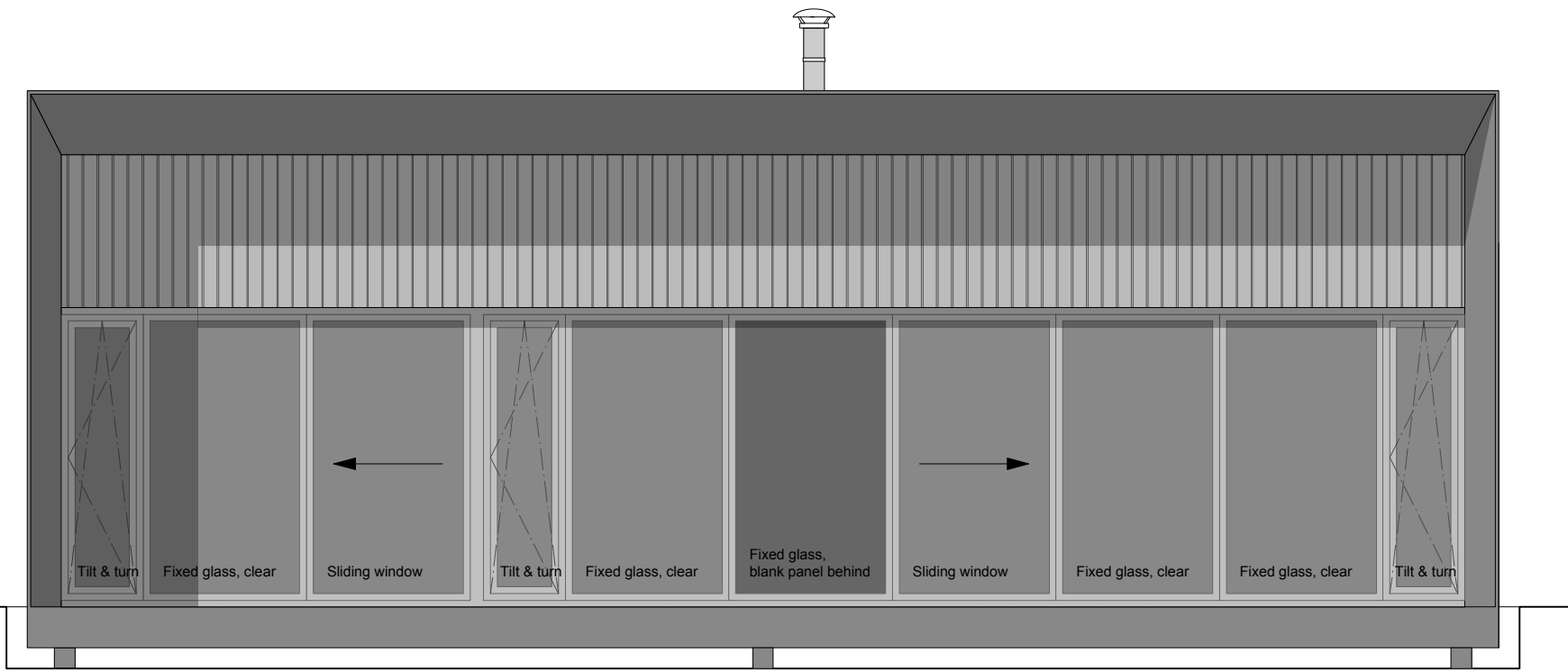
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 Duisdale Beag, Sleat, Isle of Skye IV43 8QU T: 01471 833 300

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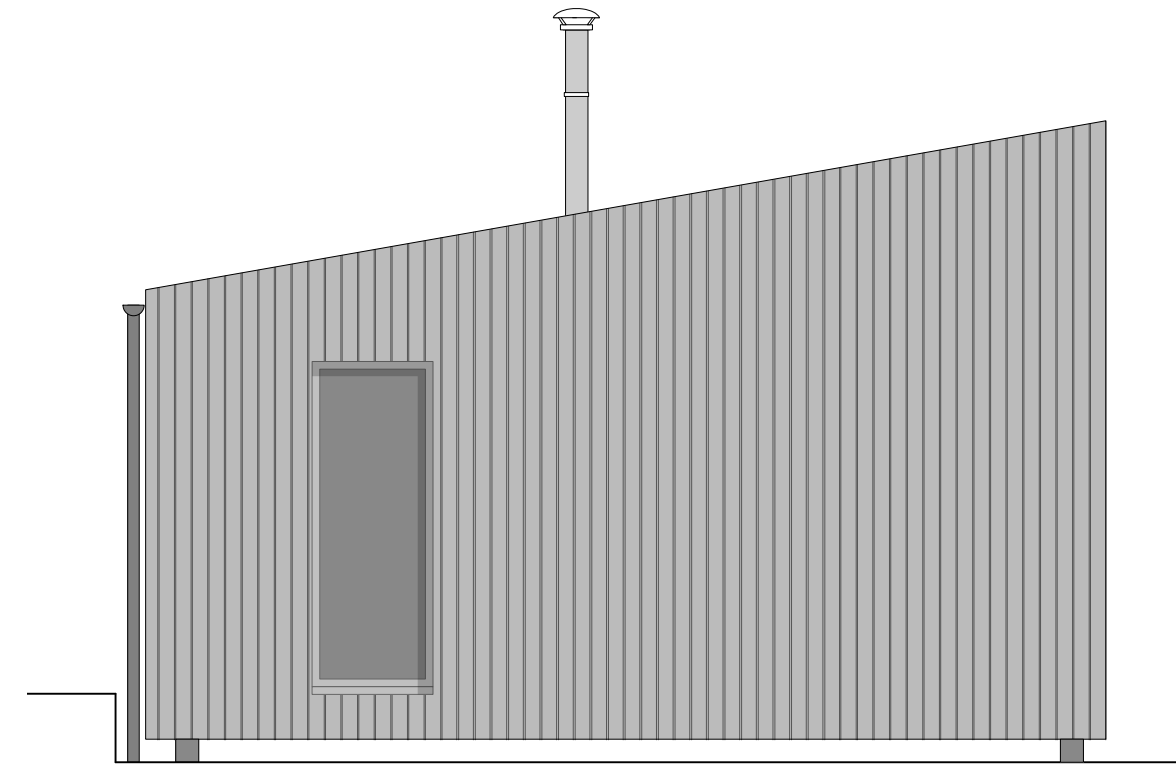
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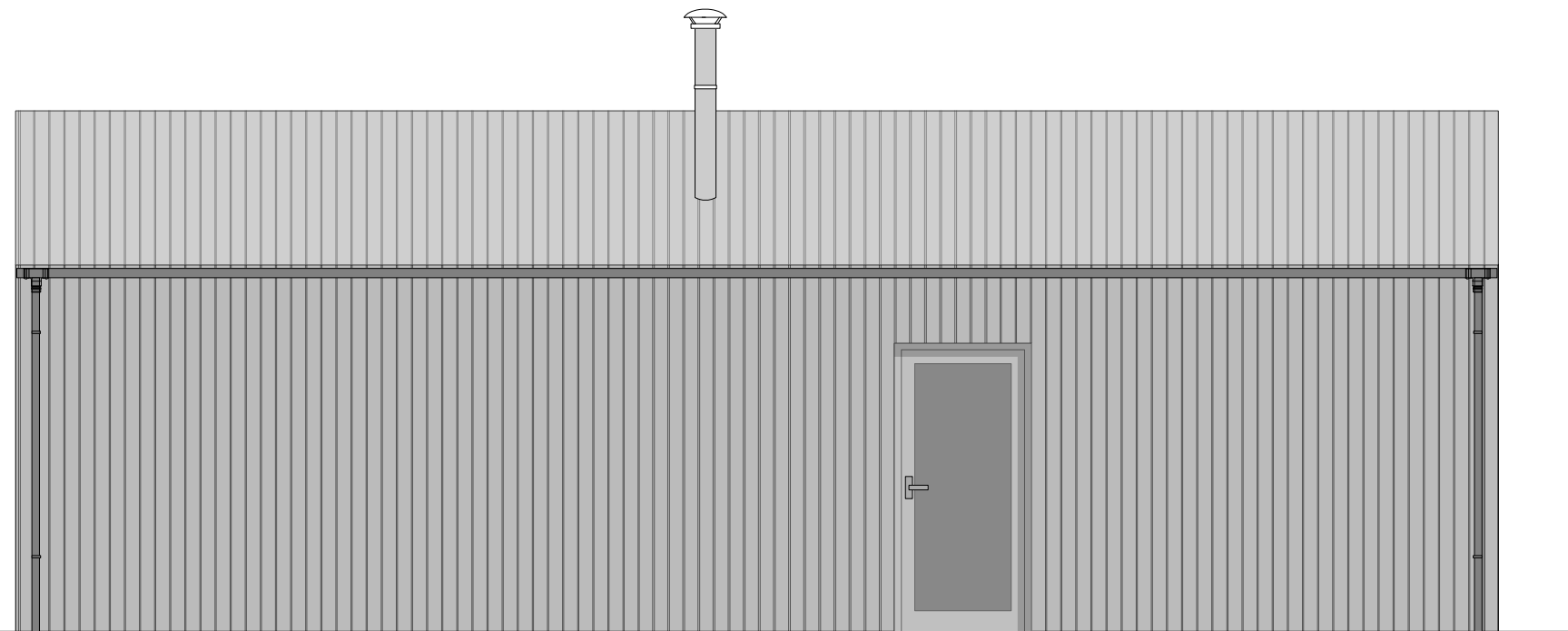
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DRAWING TITLE PR SITE ACCESS & LAND OWNERSHIP		
DRAWING NUMBER 103	DRAWN BY FS	DATE 22/06/2016
CAD FILE NAME 683_Forrest_Skinidin_PL		SCALE 1:1000 @ A3



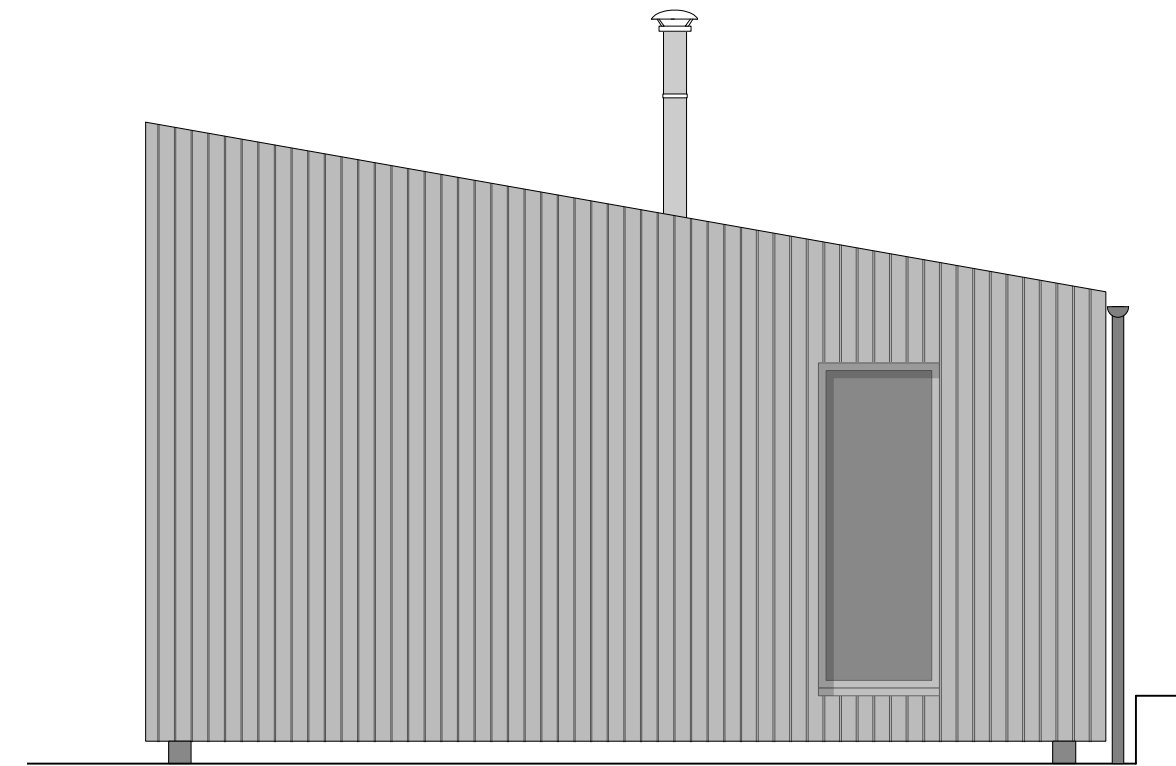
FRONT ELEVATION



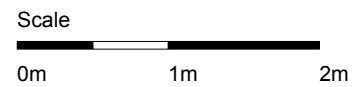
GABLE ELEVATION



REAR ELEVATION



GABLE ELEVATION



MATERIALS

Cladding:
Vertical timber rainscreen to walls
Scottish larch, stained black

Roof:
Sinusoidal profile metal roof, black

Note:

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ARCHITECTS

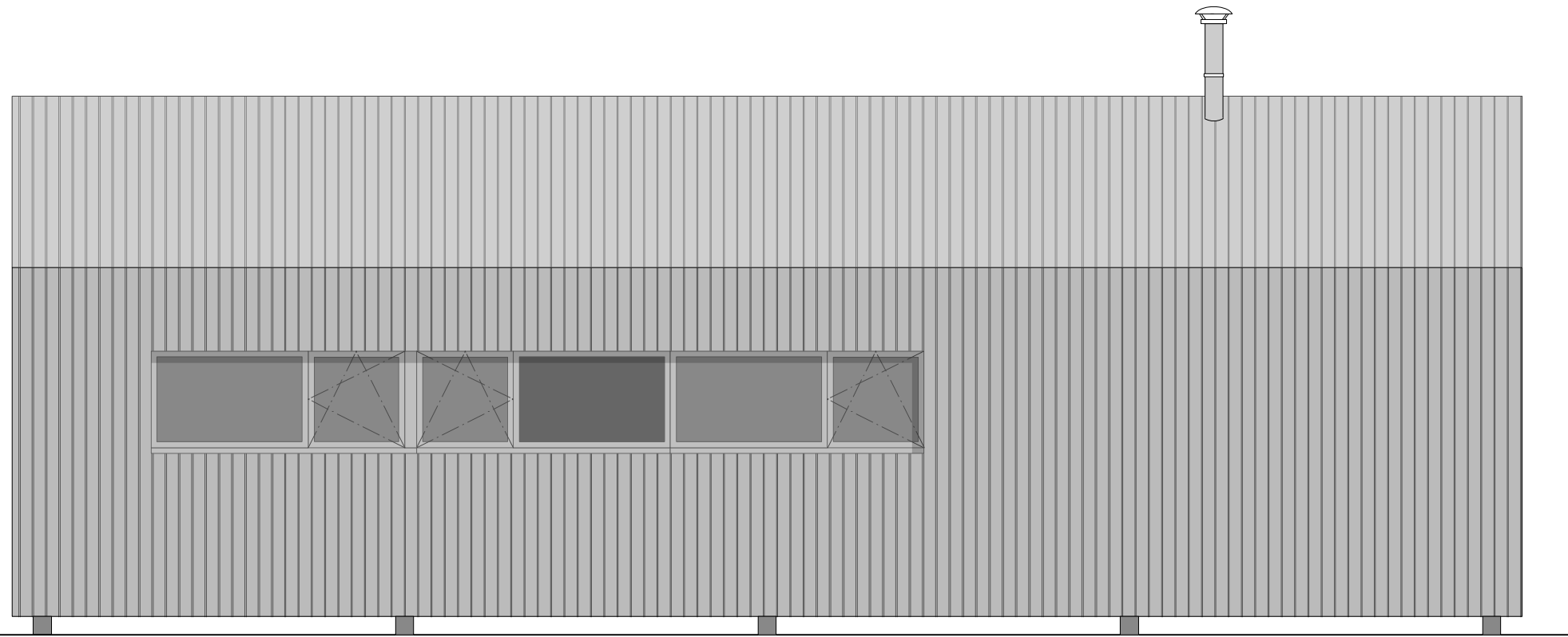
SKYE
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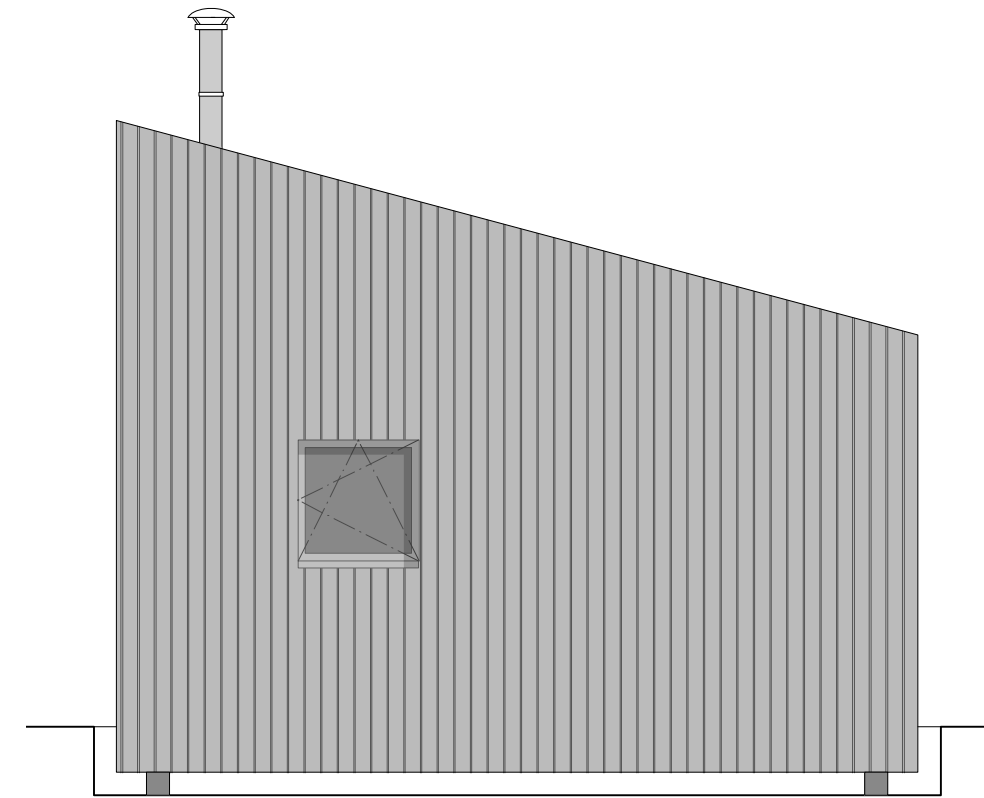
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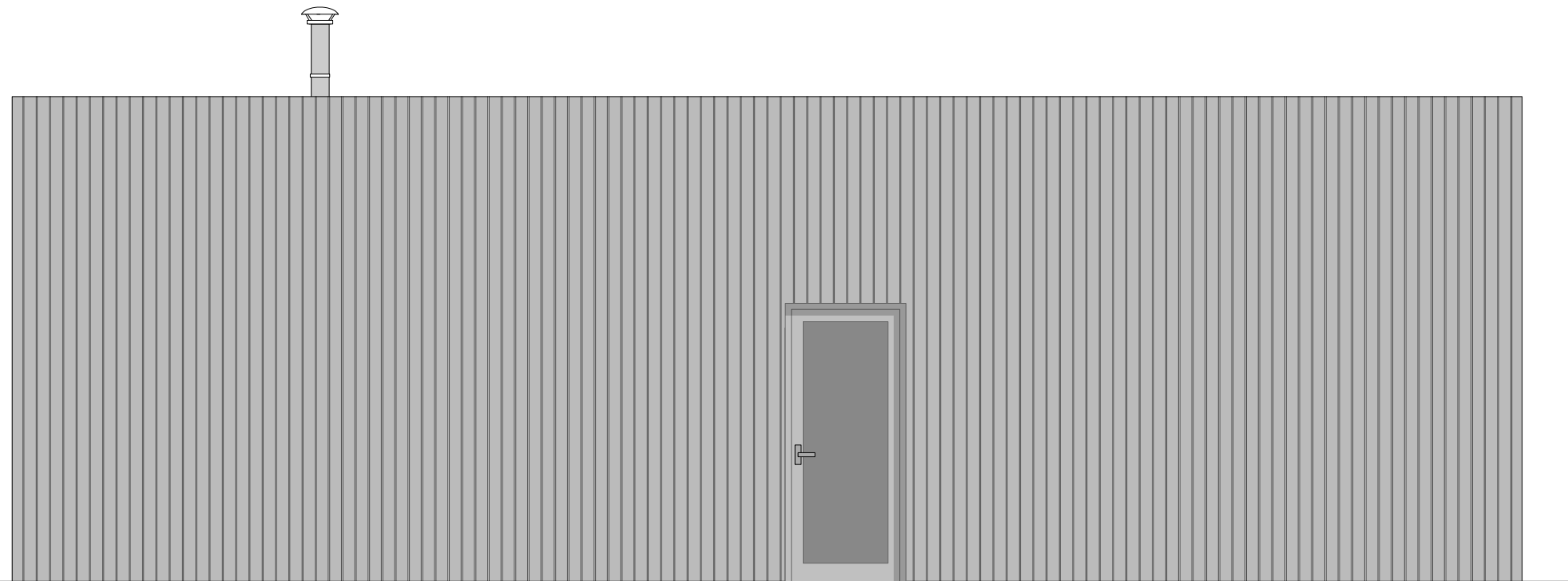
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DRAWING TITLE TYPICAL ELEVATION AGH301.1		
DRAWING NUMBER 401	DRAWN BY JM	DATE 22/06/2016
CAD FILE NAME 683_Forrest_Skinidin_PL		SCALE 1:50 @ A3



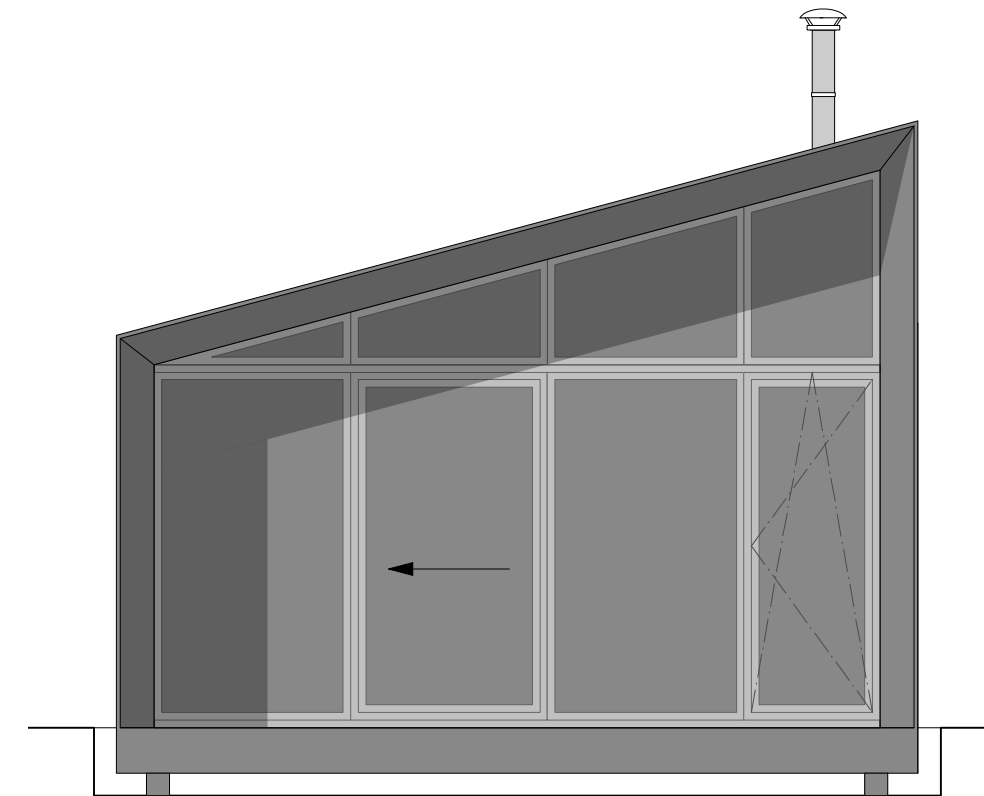
SIDE ELEVATION



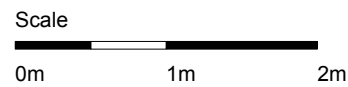
GABLE ELEVATION



SIDE ELEVATION



GABLE ELEVATION



MATERIALS
 Cladding:
 Vertical timber rainscreen to walls and roof
 Scottish larch, stained black

Note:

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 ARCHITECTS

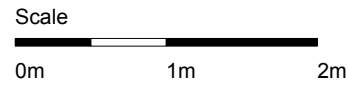
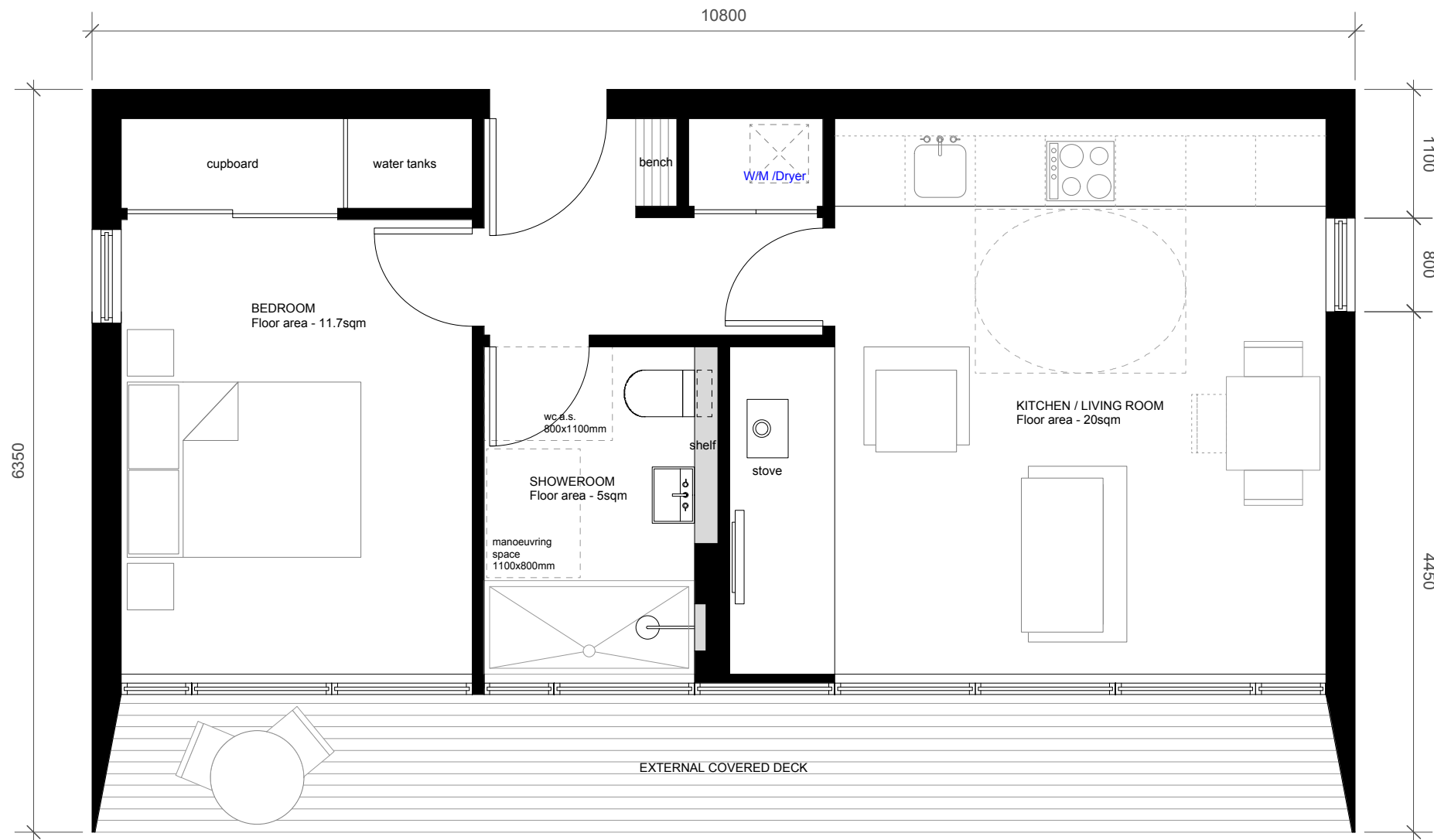
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DRAWING SET PLANNING		CLIENT 683_FORREST
DRAWING TITLE TYPICAL ELEVATION AGH301.2		
DRAWING NUMBER 402	DRAWN BY JM	DATE 22/06/2016
CAD FILE NAME 683_Forrest_Skinidin_PL		SCALE 1:50 @ A3



Note:

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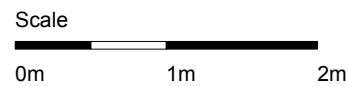
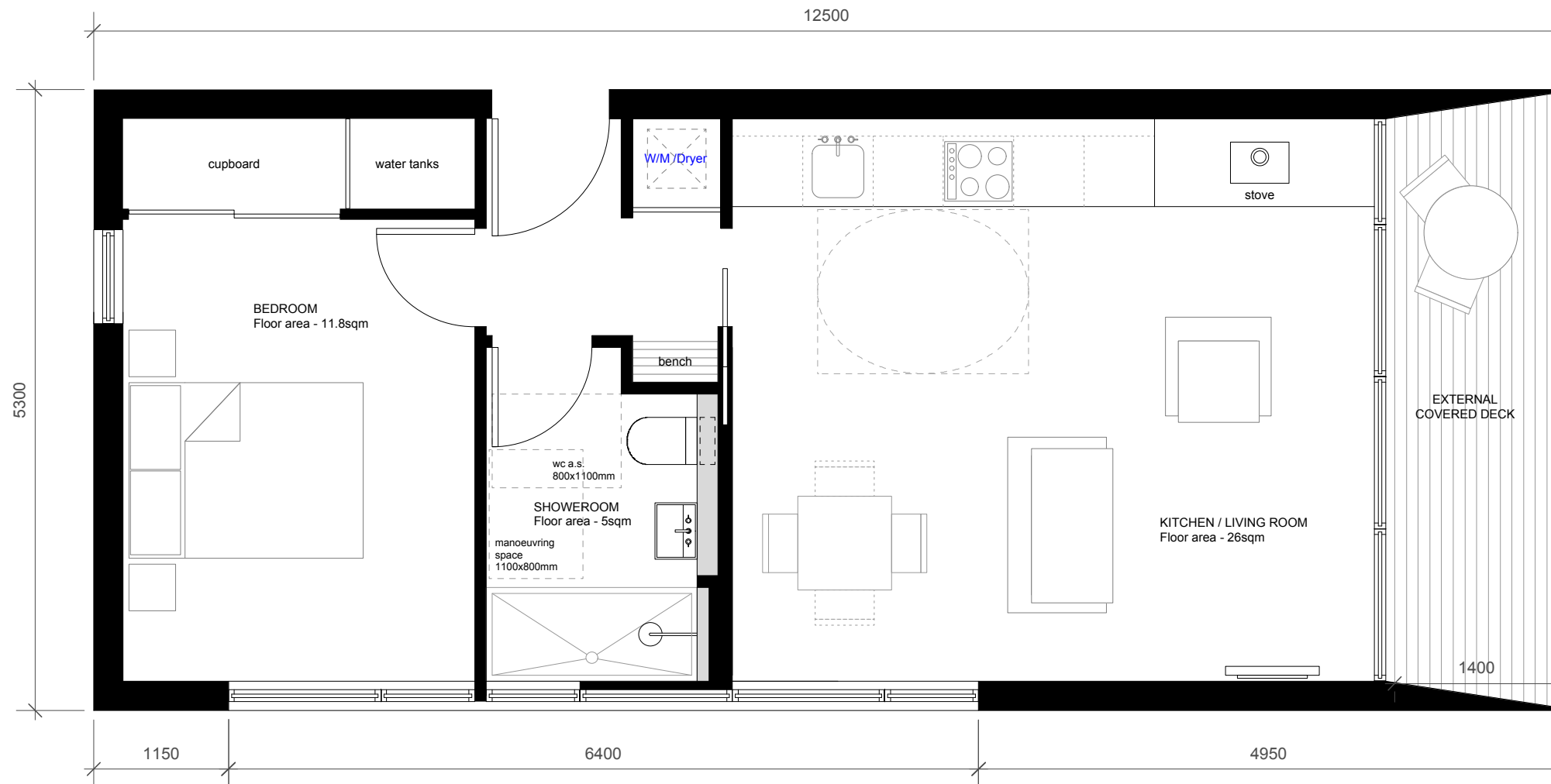
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DRAWING SET PLANNING		CLIENT 683_FORREST
DRAWING TITLE TYPICAL FLOOR PLAN AGH301.1		
DRAWING NUMBER 201	DRAWN BY JM	DATE 22/06/2016
CAD FILE NAME 683_Forrest_Skinidin_PL		SCALE 1:50 @ A3



Note:

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DRAWING SET PLANNING		CLIENT 683_FORREST
DRAWING TITLE TYPICAL FLOOR PLAN AGH301.2		
DRAWING NUMBER 202	DRAWN BY JM	DATE 22/06/2016
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