

The Highland Council

**North Planning Applications Committee
29 November 2016**

Agenda Item	6.7
Report No	PLN/068/16

**16/04192/FUL : Mr Craig MacIntosh
Firth View, 143 Portskerra, Melvich, Thurso, KW14 7YL**

SUMMARY

Description : Erection of extension and formation of dormer window

Recommendation - REFUSE

Ward : 01. North, West and Central Sutherland

Development category : Local Development

Pre-determination hearing : None

Reason referred to Committee : Referral by Ward Members

1. PROPOSED DEVELOPMENT

- 1.1 The proposal is to remove the rear of the property and add a very large projecting extension. The removal and replacement of two traditional dormer windows on the front elevation roof slope with a single, large "box" dormer is also proposed.
- 1.2 There was no pre application discussion prior to submission of the application. However, a telephone conversation took place on 7th October between the applicant and the case officer following an initial appraisal of the application to advise that support would not be given to the proposal in its current form; discussion focussed on the design proposal and the lack of Officer support for it. As a consequence, the applicant agreed to re-visit the design and provide an alternative solution for providing the desired accommodation.
The applicant subsequently confirmed by e-mail that he wished the application to be considered as submitted.
- 1.3 The site has existing services.
- 1.4 No supporting documentation has been received other than the Application and the associated proposal drawings.
- 1.5 **Variations:** None

2. SITE DESCRIPTION

- 2.1 The property sits within Portskerra, approximately 250m northwest of Melvich Primary School on the western and uphill side of the main road through the village.

3. PLANNING HISTORY

- 88/00116 – Siting of LPG tank – Approved 06/05/1988

4. PUBLIC PARTICIPATION

- 4.1 Advertised : Householder Development – No advertisement required.

Representation deadline : 09/10/2016

Timeous representations 0

Late representations : 0

5. CONSULTATIONS

THC (Historic Environment Team) – *“The historic character of Portskerra is typically (with a small number of exceptions) mid-late 19th century one and a half storey cottages, albeit with recent modest extensions. The proposed development is at odds with the prevailing vernacular tradition and out of scale with other modifications made to neighbouring cottages, such that it would sit uncomfortably within this more traditional setting. Although not mentioned in the application form, the proposals would also seek to demolish a traditional outbuilding which, like the current cottage, is shown on the OS 1st Edition map of circa 1878.*

It is our view that this proposal represents poor quality design that is inappropriate for the Highlands and which is contrary to Highland Council policy, including the domestic extensions guidance. It should not be supported.”

6. DEVELOPMENT PLAN

The following policies are relevant to the assessment of the application

6.1 Highland-Wide Local Development Plan 2012 (HWLP)

28. Sustainable Design

29. Design Quality and Place Making

34. Settlement Development Areas

6.2 Sutherland Local Plan (as continuing in force)

Portskerra – Settlement Development Area

7. OTHER MATERIAL CONSIDERATIONS

- 7.1 Highland Council Development Advice Note: House Extensions and Other Residential Alterations (2015)

8. PLANNING APPRAISAL

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

8.3 Development Plan Policy Assessment

- 8.3.1 The principle of residential re-development is generally supported subject to compliance with the relevant Development Plan policies and Development Advice Note.

- 8.3.2 Properties within Portskerra generally lie along the two public roads leading to the harbour area below. There are a range of house types with a mix of traditional, modernised and extended traditional, modern, extended modern and more individual bespoke housing. There are a few unaltered properties remaining in the village and this house represents one of these.

- 8.3.3 The existing house is 3 bedrooomed and 1¾ storeys with a relatively narrow rectangular plan form, typical of that found on older houses in the village and across much of the Highlands. Small upper floor hipped roof dormers mirror the symmetry of the principal ground floor windows to the front elevation. There is a small flat roofed porch on the front elevation and small flat roofed kitchen extension on the rear. The footprint measures 11.5m x 5.2m (approximately 55sqm), and the roof ridge is 6.2m.

- 8.3.4 The current proposal (16/04192/FUL) seeks to add additional accommodation by removing the entire rear (western) wall, roof and existing "lean-to" extension, and adding a full width extension to this elevation.

- 8.3.5 The proposed extension would have a footprint of 11.5m x 4.5m, and 8.1m to the ridge. Accordingly, the proposed extension would approximately double the footprint of the existing house and its ridgeline would be 1.9m above that of the existing house roof ridge, an increase of almost 30% on its original height.

- 8.3.6 The proposed extension is two storeys and would double the footprint of the resultant building and also double the overall floor area of the overall house. The proposed extension, when viewed from the west (rear) is of a large square form two storey 1980s suburban estate house, completely masking the original house. When viewed from the public road, from either the northern or southern elevations, the proposed extension has a very overbearing and dominant presence on the

original house, due to its excessive height and massing. From these elevations the scale, bulk and height of the extension overwhelm the character of the original house to its detriment.

- 8.3.7 On the principal elevation to the east a new single storey porch is proposed as well as a large flat roof “box” dormer covering around 75% of the first floor roof is proposed, in place of the traditional dormer windows. In addition a large expansive roof gable from the new extension breaks into the roof of the original house in a pyramid like manner. These alterations on the front elevations serve to significantly erode and distort from its original architectural character
- 8.3.8 Removal of an older outbuilding to the rear of the house is also shown on the plans, but no mention is made of this on the application form.
- 8.3.9 In terms of scale, the proposed extensions should respect the design of the original house. When complete, the whole building should still be in character with the scale of the surrounding properties and rhythm of the street. The design approach, including the building form, scale, style, proportions (including window proportions), storey heights and materials should relate to the original building and be subservient to it. Regrettably no regard has been given to these parameters.
- 8.3.10 The bulk, scale and mass, coupled with its prominence, serves to dominate and overwhelm the property and would result in the total loss of any of the original character and fabric of the house.
- 8.3.11 Roof designs should respect the character and scale of the main house, with roofs not being higher than the original house, to ensure it is subservient to the original building. The proposal does not achieve this.
- 8.3.12 It is recognised that the house could be extended. However, it is clear that the scale, massing and form of the proposed extensions are not sympathetic to the existing house. The proposal would, in its currently proposed design solution, overwhelm the existing house to such a degree that it would lose any of its original substance and character. A carefully considered and conceived design solution could provide a significant extension to the original house in a far more sympathetic manner than that proposed. Regrettably the applicant has declined the opportunity to look at an alternative solution and therefore the proposal has to be assessed as submitted.
- 8.3.13 The design approach undertaken is purely functional. It makes poor use of space and has had no regard to good design guidance and the character of the original property. It is not therefore considered that the proposed design, whilst offering the desired accommodation, demonstrates sensitive and high quality design in keeping with local character and accordingly does not accord with Development Plan Policy 28 Sustainable Design.
- 8.3.14 Furthermore, the proposal is judged to be significantly detrimental to the built form and amenity of the village due to its massing and scale and accordingly does not accord with Development Plan Policy 28 Sustainable Design.

- 8.3.15 The proposal does also not make a positive contribution to the architectural and visual quality of Portskerra as set out by Development Plan Policy 29 Design Quality and Place Making.
- 8.3.16 Finally, the development is not compatible with the existing pattern of development due to its design, scale, massing and form, and therefore does not accord with Development Plan Policy 34 Settlement Development Areas.

8.4 **Matters to be secured by Section 75 Agreement**

None

9 **VARIATIONS**

9.1 None

10. **CONCLUSION**

10.1 All relevant matters have been taken into account when appraising this application. The proposal does not respect the requirements of, and is therefore contrary to the Development Plan. The proposal does not comply with policy and is unacceptable in terms of applicable material considerations.

It is recommended that planning permission be refused.

11. **RECOMMENDATION**

Action required before decision issued **No**

Subject to the above, it is recommended the application be **REFUSED** subject to the following reasons for refusal:

1. The proposal is considered to be contrary to Policy 28 Sustainable Design, and Policy 29 Design Quality and Place-Making of the Highland Wide Local Development Plan as:

- it does not demonstrate sensitive and high quality design in keeping with the local character by virtue of its over-development of the property;
- the proposal, presents a mass, scale and bulk that will dominate the property and fails to safeguard the character of the original building.

2. The proposal does also not make a positive contribution to the architectural and visual quality of Portskerra as set out by Policy 29 Design Quality and Place Making of the Highland Wide Local Development Plan.

3. The development is not compatible with the existing pattern of development due to its design, scale, massing and form, and therefore does not accord with Development Plan Policy 34 Settlement Development Areas of the Highland Wide Local Development Plan.

Signature: Dafydd Jones

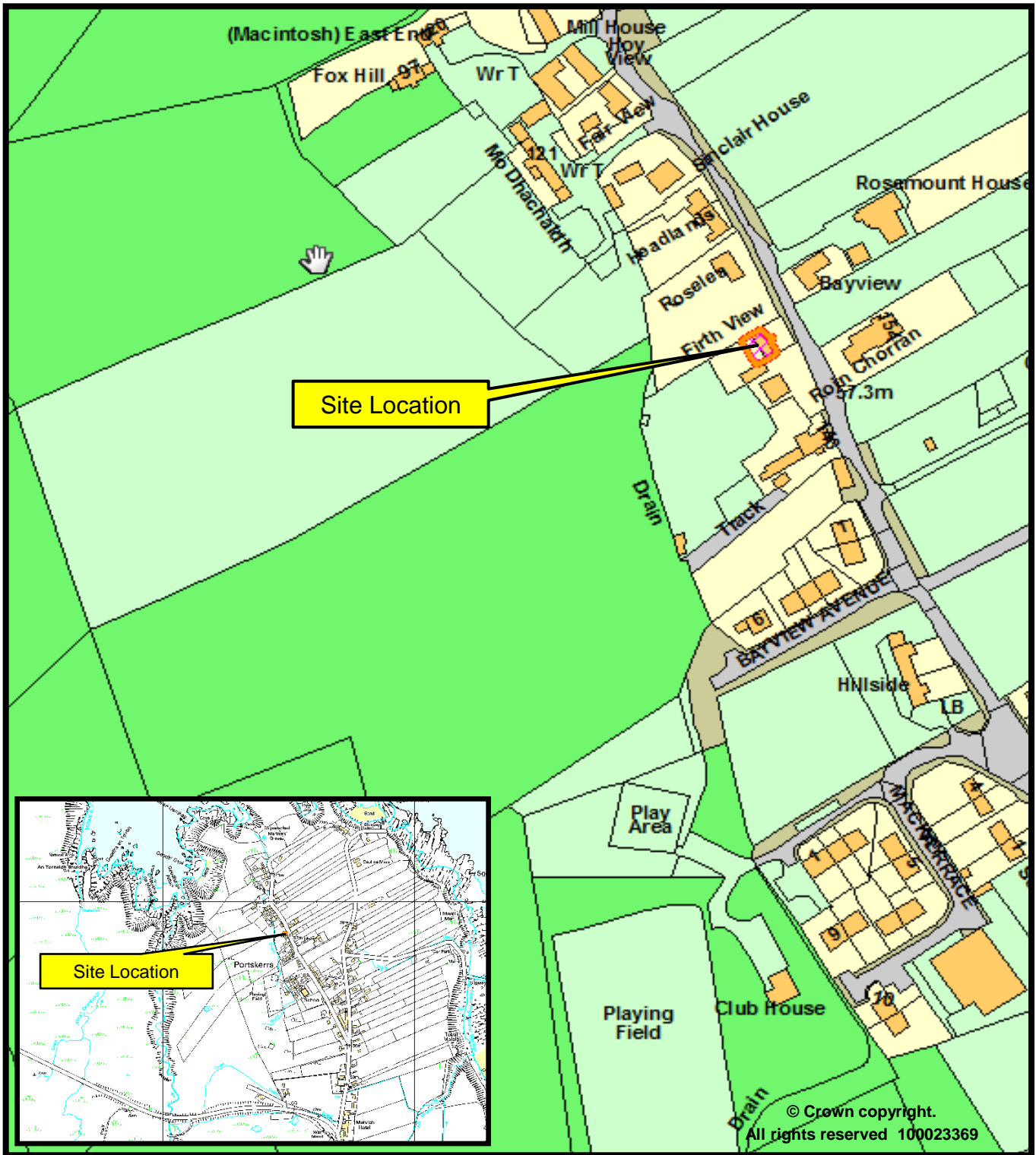
Designation: Area Planning Manager North

Author: David Borland

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

- 000001 Location Plan
- 387-CM-1 Existing Floor / Elevation Plan
- 387-CM-4 General Plan



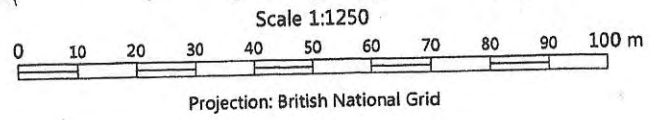
Development & Infrastructure
Service

16/04192/FUL

Erection of extension and formation of dormer window at Firth View, 143 Portskerra, Melvich.

Date:02 November 2016



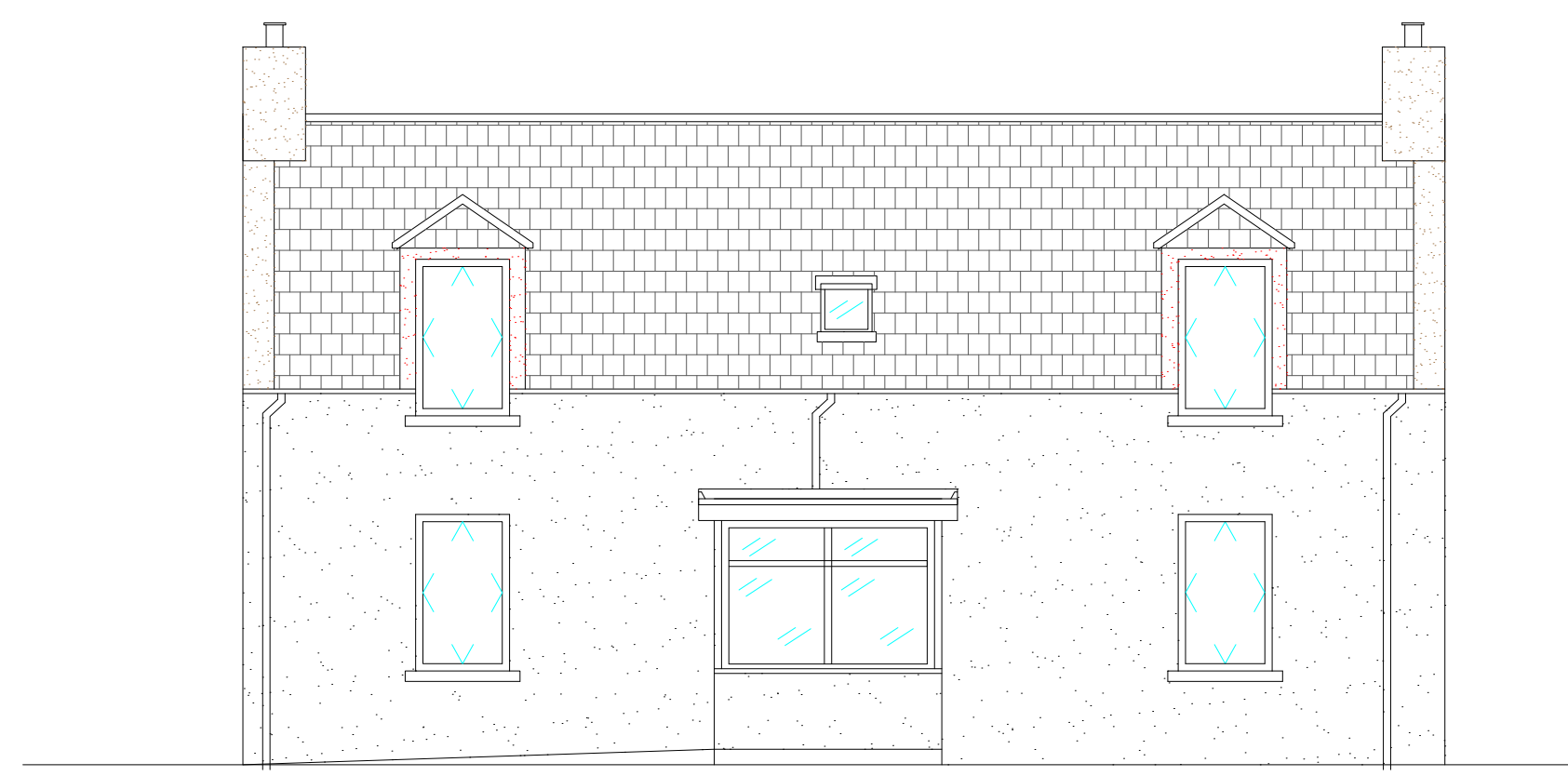


PROPOSED EXTENSION TO
 143 PORTSKERRA BY MEWICH
 THURSO FOR MR C MUMFOSH

Existing Plans & Elevations



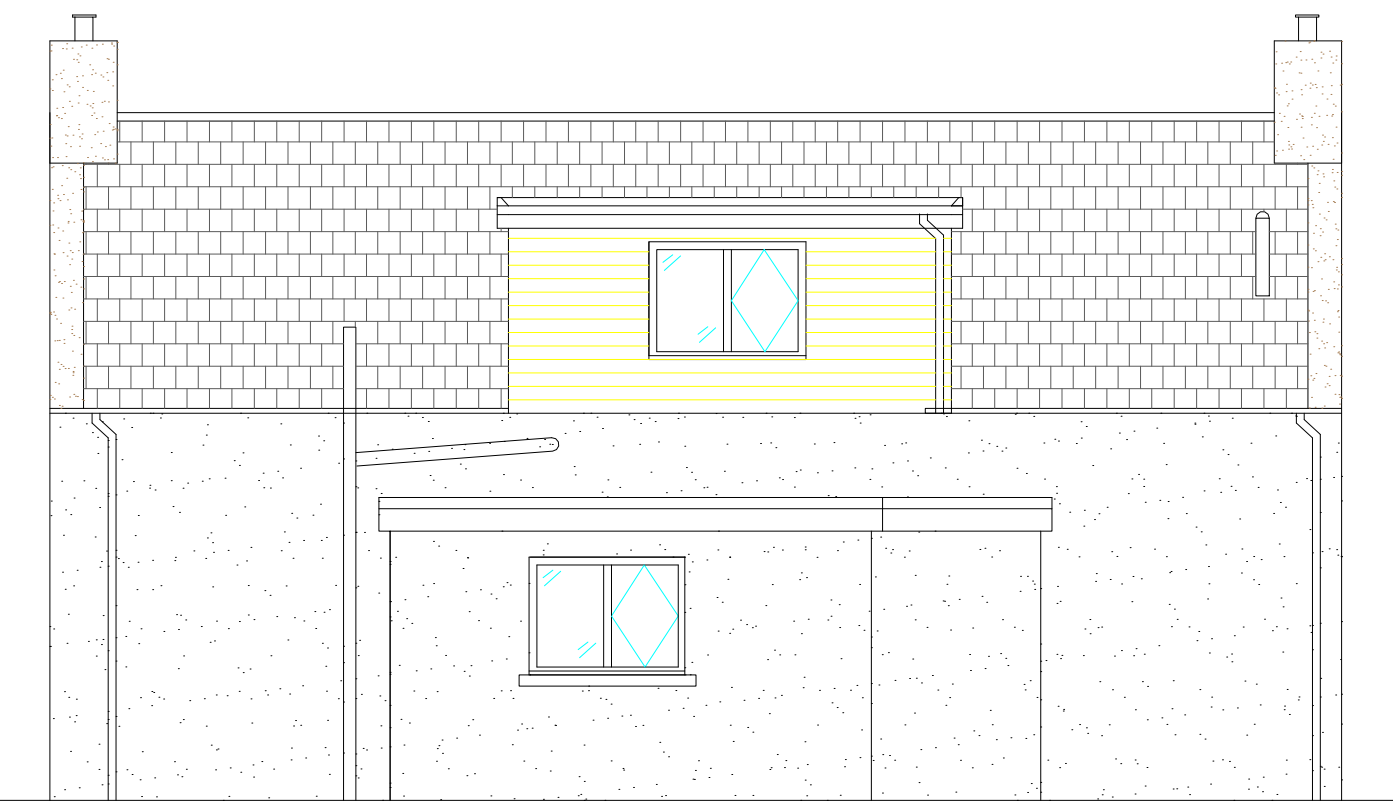
South Elevation (1:100)



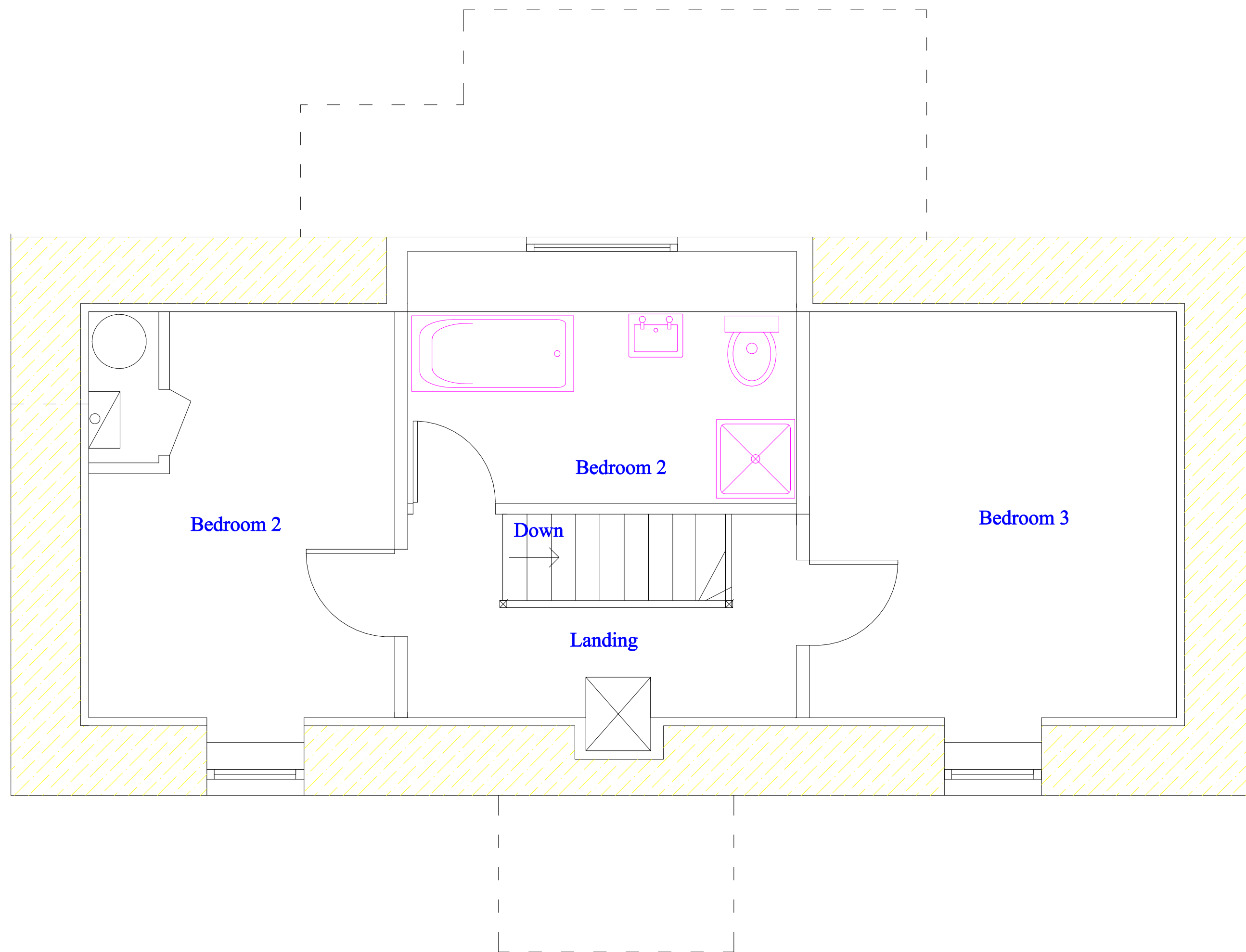
East Elevation (1:100)



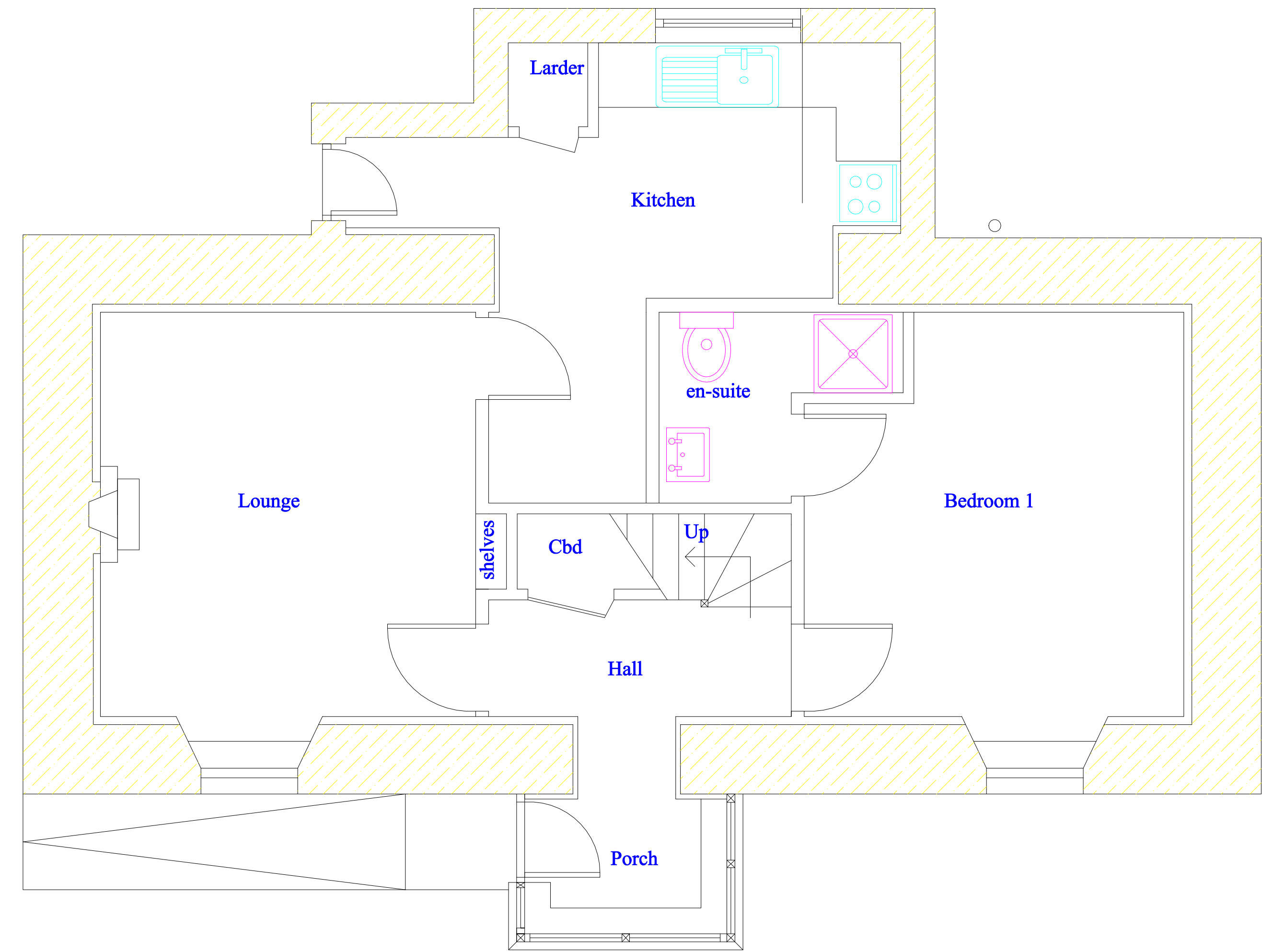
North Elevation (1:100)



West Elevation (1:100)



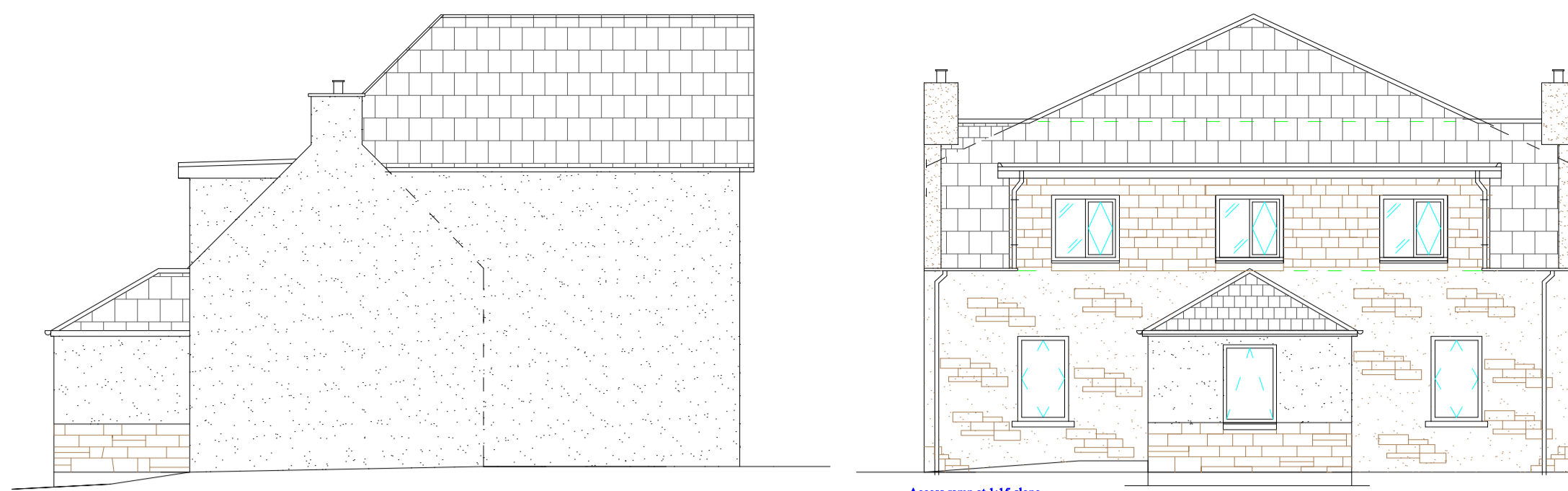
First Floor Existing Plan (1:50)



Ground Floor Existing Plan (1:50)

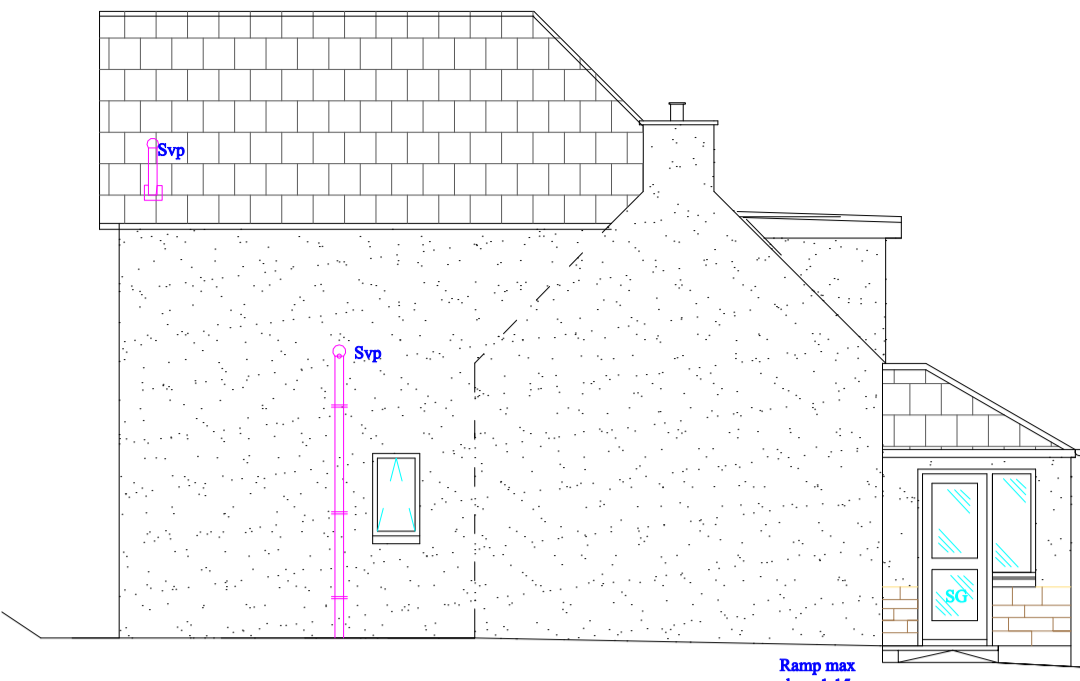
Proposed Extension & alterations to Firthview
No ?? Portskerra
Sutherland for
Mr C MacIntosh

Drawing No 387/CM/1
Title : Existing House
Drawn By JAS
Date 12- 06-2016
Scale(s) 1:50 & 1:100



North Elevation (1:100)

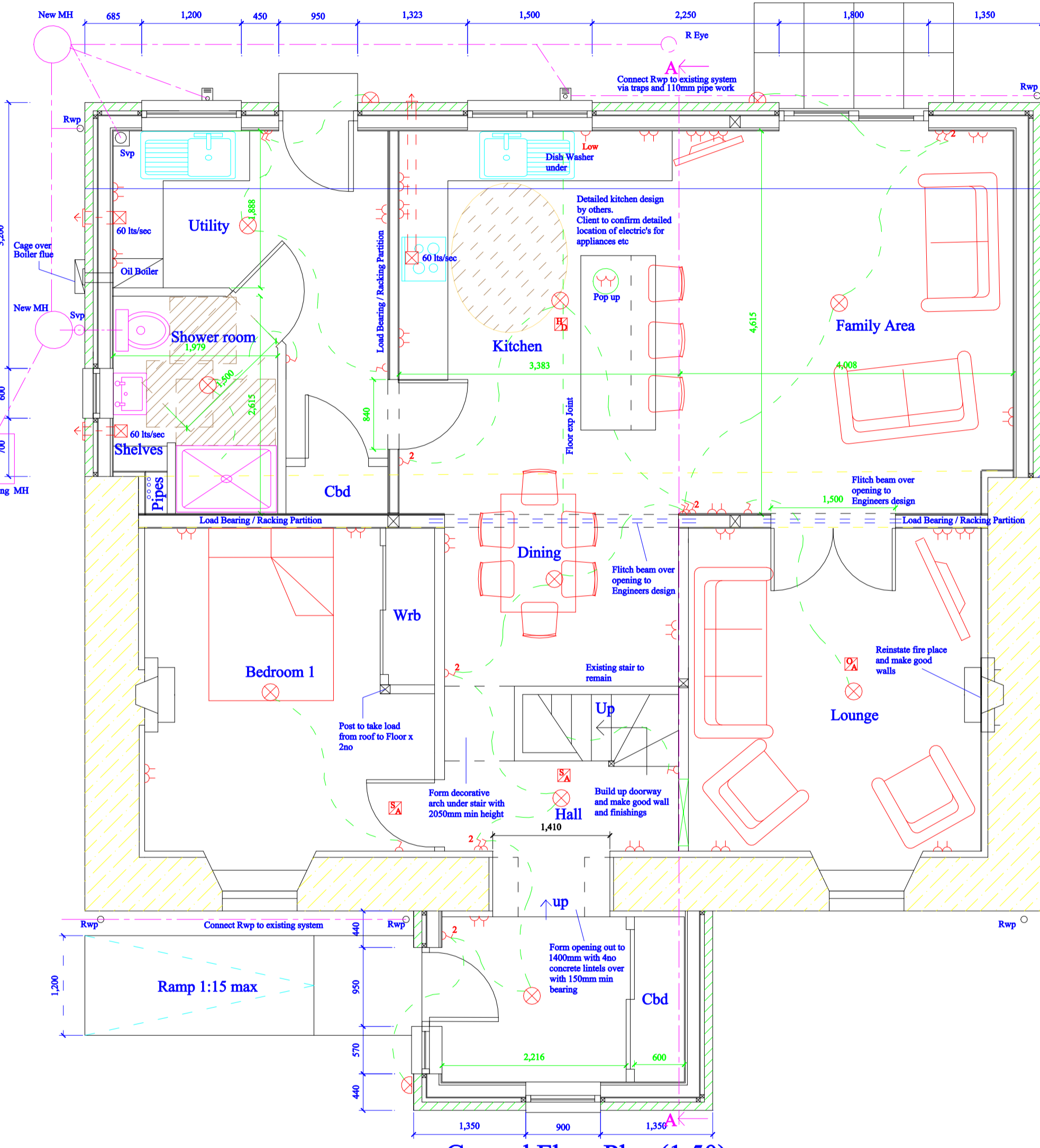
East Elevation (1:100)



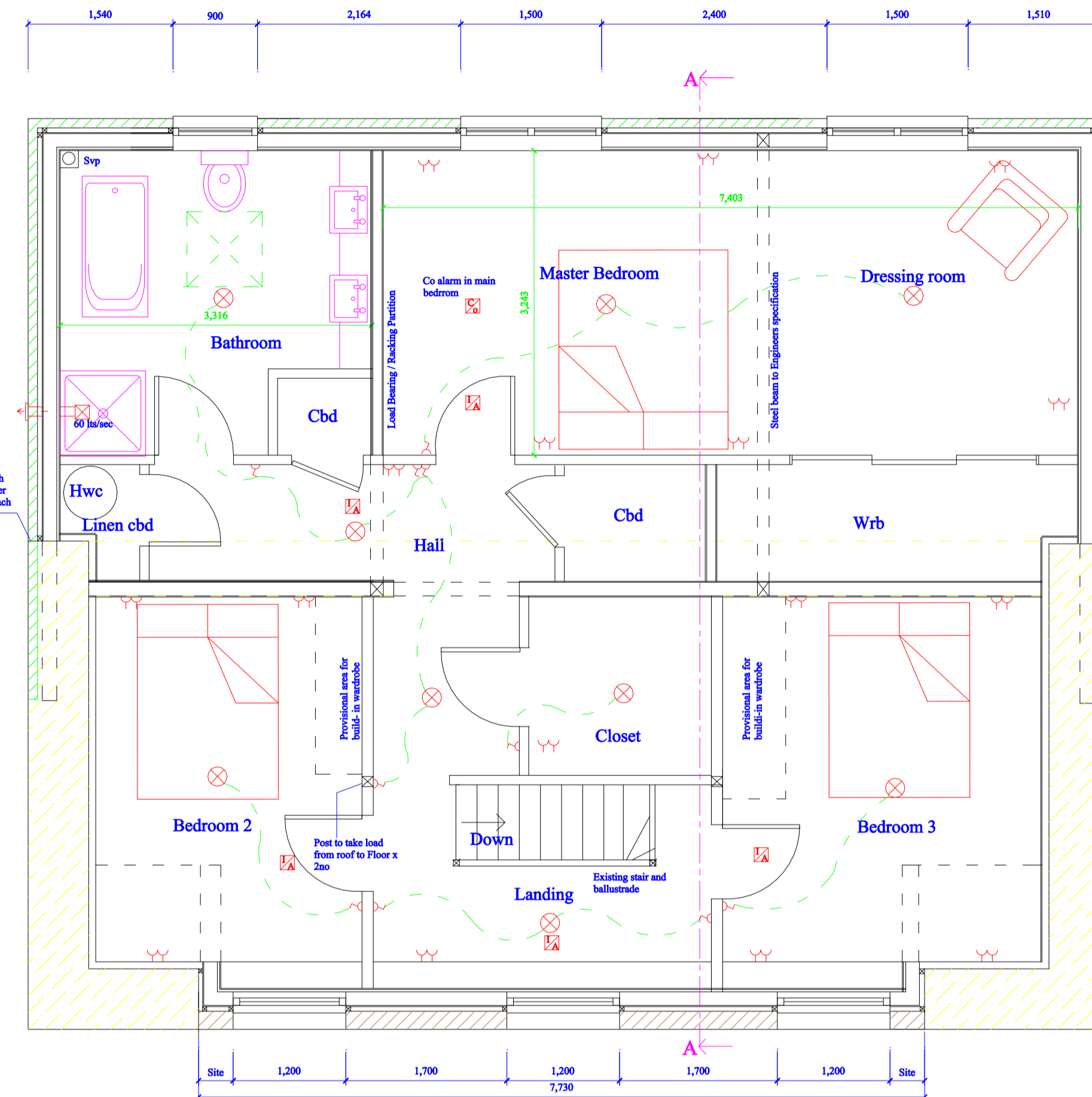
South Elevation (1:100)



West Elevation (1:100)



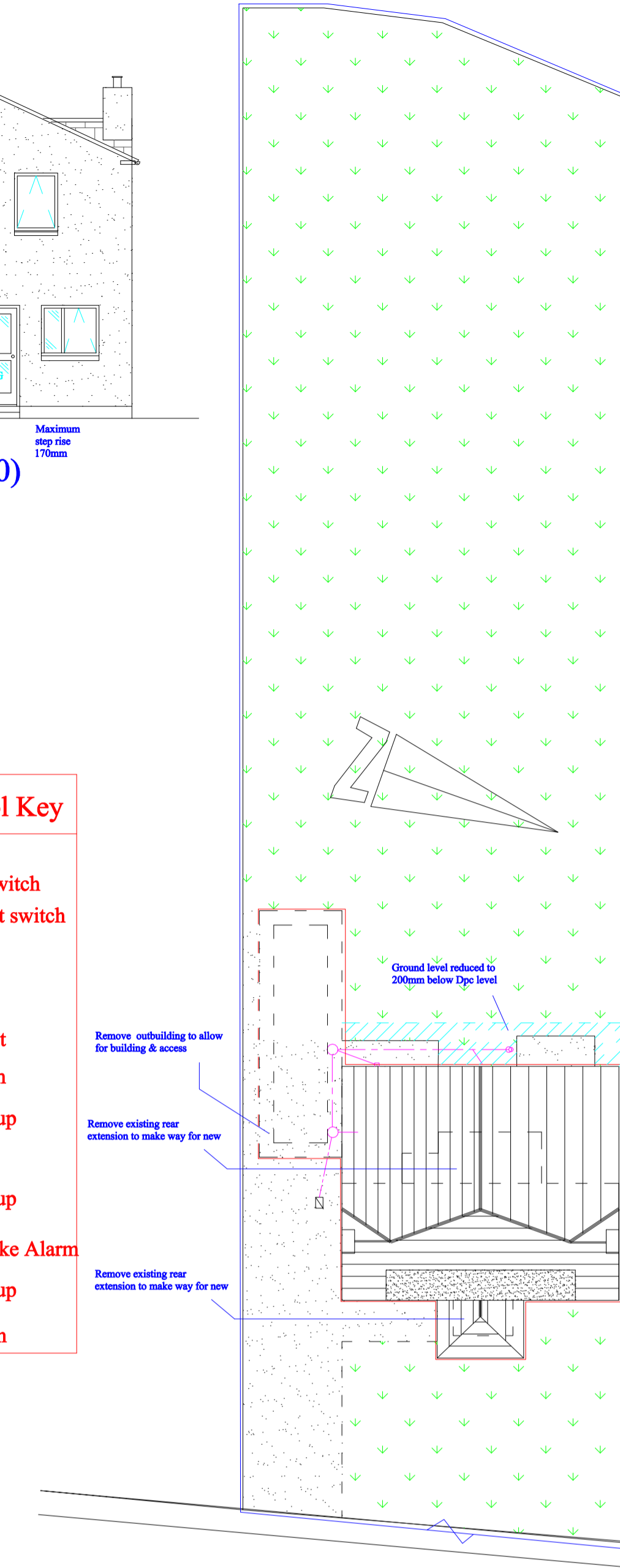
Ground Floor Plan (1:50)



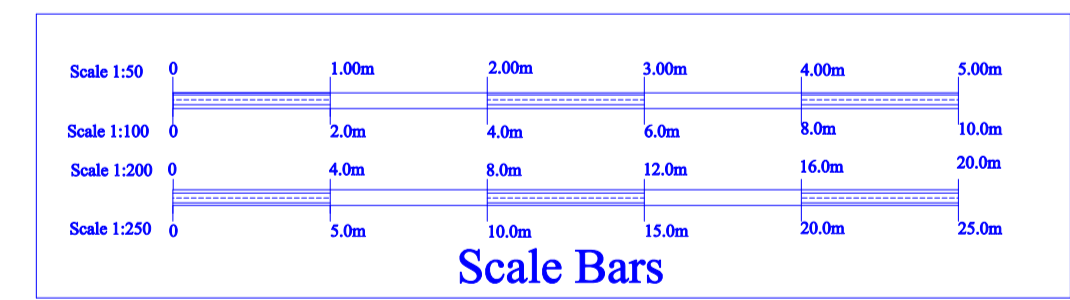
First Floor Plan (1:50)

Electrical Symbol Key

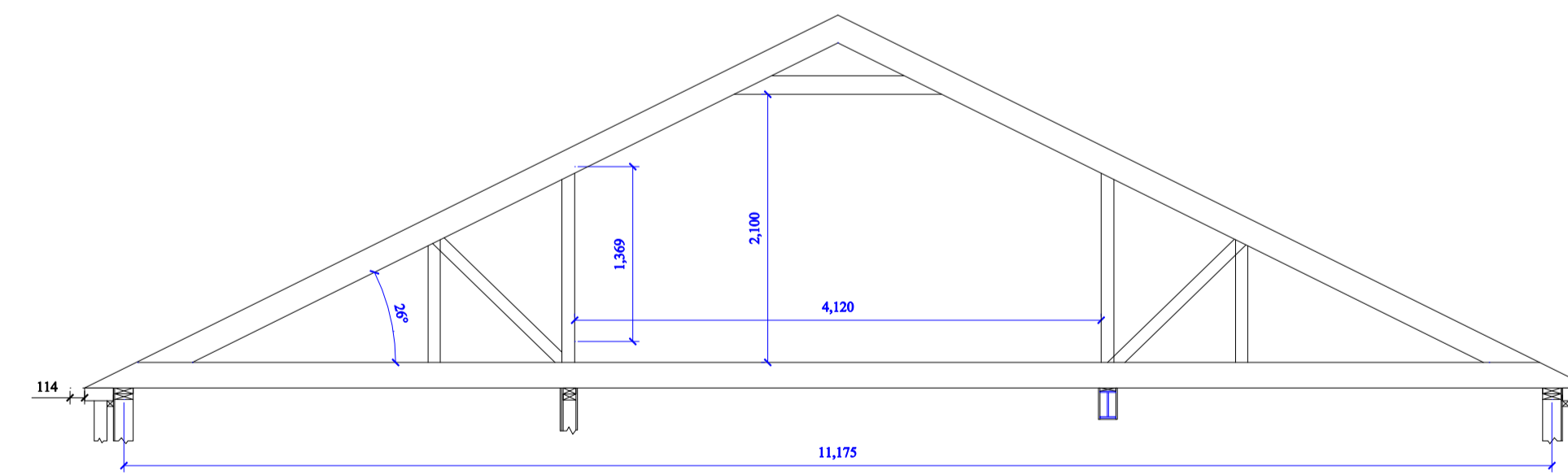
- ⊗ Light switch
- ⊗ 2 way light switch
- ⊗ Pull cord light switch
- ⊗ Ceiling light
- ⊗ Wall light
- ⊗ Double socket
- ⊗ Optical Alarm 240v with battery back-up
- ⊗ Heat detector 240v with battery back-up
- ⊗ Ionizing Smoke Alarm 240v with battery back-up
- ⊗ Extractor Fan



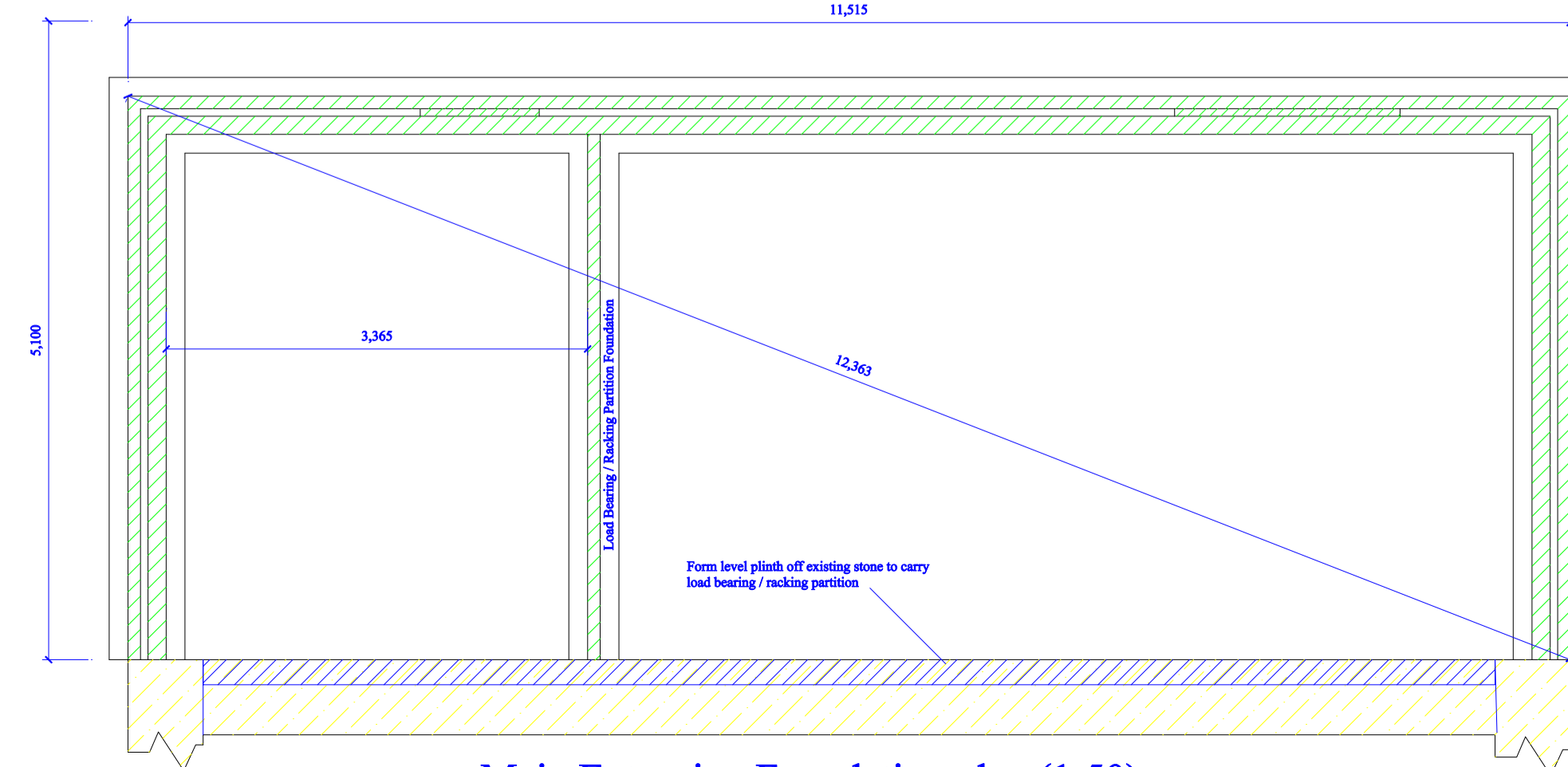
Site Plan (1:200)



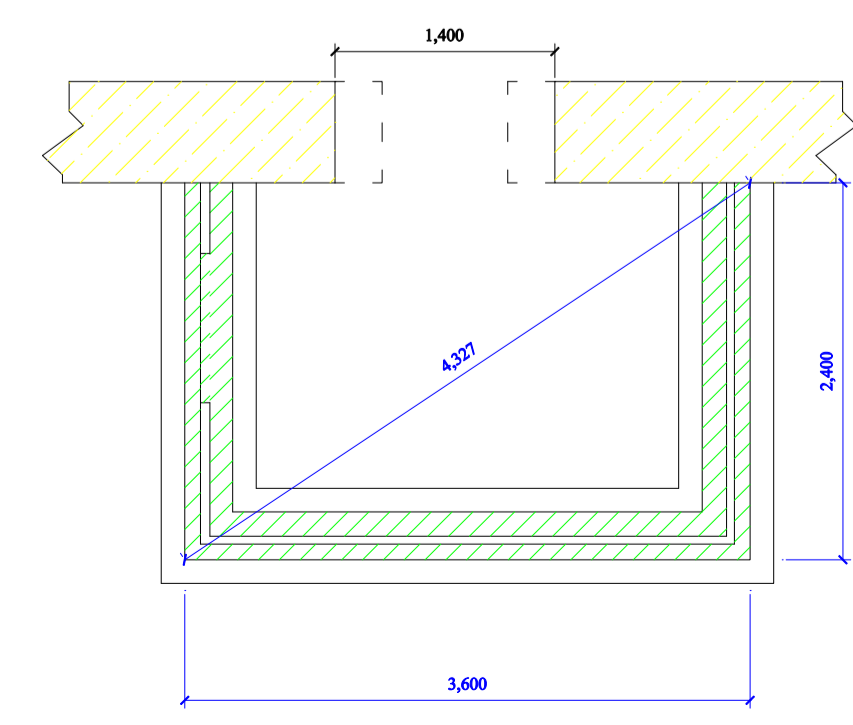
Scale Bars



Proposed Roof Truss (1:50)
(Structural design and timber sizing by others)

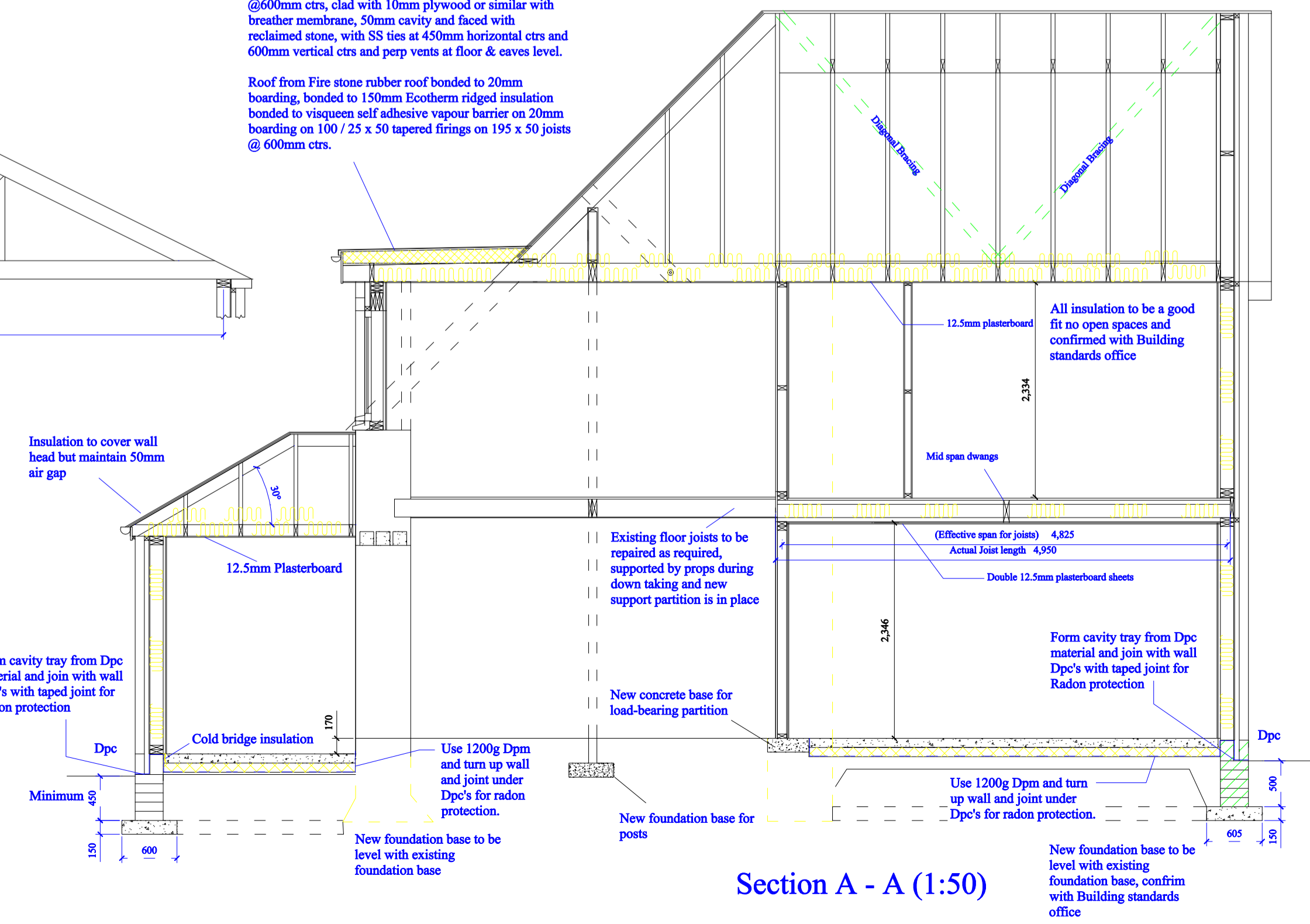


Main Extension Foundation plan (1:50)



Porch Foundation plan (1:50)

Dormer
Walls constructed from 145 x 47mm timber frame @600mm ctrs, clad with 10mm plywood or similar with breather membrane, 50mm cavity and faced with reclaimed stone, with SS ties at 450mm horizontal ctrs and 600mm vertical ctrs and perp vents at floor & eaves level.
Roof from Fire stone rubber roof bonded to 20mm boarding, bonded to 150mm Ecotherm ridged insulation bonded to visqueen self adhesive vapour barrier on 20mm boarding on 100 / 25 x 50 tapered frims on 195 x 50 joists @ 600mm ctrs.



Section A - A (1:50)

Foundations
Constructed from 300mm x 100mm foundation blockwork with 100mm outer leaf top course 60mm cavity and 150mm inner leaf. With the base course rendered to match existing house.

Under Building
Constructed from 300mm x 100mm foundation blockwork with 100mm outer leaf top course 60mm cavity and 150mm inner leaf. With the base course rendered to match existing house.

Floor(s)
Ground floor constructed from 100mm concrete screen on 100mm Quintherm floor insulation on 120g Dpm turned up and taped jointed to DPC's for radon protection on 50mm sand blind layer on 150mm compacted hardcore layers.

First floor constructed with JJI 220C joists @400mm ctrs (effective span 4.825m) with centre dwangs with 22mm Mr chipboard flooring with 150mm sound insulation between joists and ceiling from double sheeted 12.5mm plasterboard.

Walls
Constructed from 100mm blockwork with "cream colour" wet dash rendering to match existing dwelling with 50mm cavity with stainless steel wall ties at 900mm horizontal ctrs and 450mm vertical ctrs, perp vents at floor, verge and eaves levels @ 900mm ctrs, with breather membrane, 50mm cavity barriers at dpc level, eaves and around openings and at corners, 10mm plywood sheathing on 145mm timber frame @ 600mm centres with 47mm head, binder and sole plates, 150mm Glass wool or similar insulation between studs and 25mm Quintherm over and clad with 12.5mm duplex plasterboard. 1200mm restraint straps @ 1.8m intervals to tie frame to underbuilding.

Windows / Doors
U-pvc mahogany (dark brown) timber effect doors and double glazed windows secured by design to BS 7412-2007, fit sash restriction stays at openings over access pathways as required.

Roof
Constructed Manufactured roof trusses pitched at 25° @ 600mm each fixed to wall with truss clips and 1200mm long restraint straps at 1.8m intervals with 15mm open boarded sarking, breather membrane and natural slates. 150mm glasswool insulation between joists & 150mm over. With code 4 lead flashings to valleys, and dormer intersections on timber support board fixed to wall.

Internal Works
New load bearing partition to support first floors and roof constructed from 145mm x 47mm studs @600mm ctrs with 12mm plywood cladding to one face and ctr dwanging. Clad with 12.5mm plain plasterboard and 100mm glass wool (10Kg/m3) between studs. Room dividing partitions from 70 x 47mm studs @ 600mm ctrs clad with 12.5mm plasterboard with glasswool insulation (10Kg/m3) between studs. All plasterboard taped and filled with two coats emulsion paint. Doors and finishing will be as per client detailed specification.

External Works
All ground works to be made good on completion of construction operations.

Electrical
All new installations to comply with current regulations BS 7671 - 2008. Sockets 400mm from floor & 500mm from internal corners, 150mm above work surfaces. Light switches 1.0m from floor. External light fitted with PIR switching. All new lights to be low energy types. Co alarm fitted to boiler room to BS EN 50291-1 2010 mains wired and battery back up.

Plumbing & Heating
All new Sanitary fitting to be water saving types. Showers bath and sinks etc to have max temp at source 48°C. All pipe work insulated to meet BS EN 12056-2: 2000. Fit new oil boiler with wet raditors c/w tvr's and dual programmer to maintain 18°C.

Drainage
Rain water to connect to sewer via traps as per existing drainage system to BS EN 12056. Foul drainage to connect to existing manhole to mains sewer to meet BSEN12056-1 2000, BS EN752:2008 & BS EN 1610:1998

All sizes are shown in mm. All dimensions and roof pitched to be checked on site prior to construction.

Proposed Extension & Alterations to Firthview No 143 Portserra Melvich By Thurso for Mr C MacIntosh
Drawing No 387/CM/4
Title : Proposed Alts & Extension to dwelling
Drawn By JAS
Date 12/06/16
Scale(s) 1:50 & 1:100