

**THE HIGHLAND COUNCIL**

**SOUTH PLANNING APPLICATIONS COMMITTEE**  
**13 December 2016**

Agenda Item	6.2
Report No	PLS 068/16

**16/03468/S42: Tulloch Homes Ltd**  
**Wester Inshes Phase 3, Inshes, Inverness**

**Report by Area Planning Manager – South/Major Developments**

**SUMMARY**

**Description:** Variation of condition 1 of planning permission 07/00494/FULIN to enable amended site layout for construction of 107 units

**Recommendation: GRANT**

**Ward:** 20 – Inverness South

**Development category:** Major Development

**Pre-determination hearing:** Not required

**Reason referred to Committee:** Major Development

**1. PROPOSED DEVELOPMENT**

1.1 This proposal seeks to amend Condition 1 imposed on planning permission 07/00494/FULIN for a residential development of 107 units including 8 affordable homes.

1.2 Condition 1 states:

*“Except as otherwise provided by the terms of this permission, the developer shall construct and operate the development in accordance with the plans and supporting information with the application and docquetted as relative hereto with no deviation therefrom unless otherwise approved in writing by the Planning Authority. (Reason: In order to clarify the terms of the permission hereby granted and to ensure that the development is implemented as approved.”*

1.3 The purpose of this application is to enable the site layout and design to be altered but still with provision for 107 units. This revised scheme seeks to change house and flat types, the road layout, access into the site and the overall site layout itself. The site would be split into two main developable areas each served by one of two access roads with the units constructed in a north-east to south-west axis. A comprehensive landscaping scheme is included with the proposals.

- 1.4 The units proposed are a broad mix of two bedroomed flatted properties located in the northern-most part of the site with predominately three and four bedroomed detached and semi-detached two storey units spread across the remaining site. A The proposal also includes nine single storey three bedroomed units with all but one located on the south-eastern edge of the development which is the highest part of the site.
- 1.5 The proposal has been the subject of informal pre-application discussions.
- 1.6 Access to the site will be via a new road between the existing roundabout junction on Stevenson Road. Two access roads are proposed to service the site; the first (lower) access located approximately 60 metres south east of the access to Wester Inshes Place, with a second (upper) access approximately 110 metres further along. The first access would serve the flatted units and 10 houses at the north end of the site whilst the upper access would serve the remaining development and would branch off into two cul-de-sacs.
- 1.7 SUDS will include a detention basin located to the north of the site adjacent to the proposed flats and bounded to the north by the public road.
- 1.8 A Supporting Statement has been submitted with the application.
- 1.9 **Variations:** No variations have been made to the application since submission.

## **2. SITE DESCRIPTION**

- 2.1 The site is an area of scrubland, with woodland on the western edge. It is undulating, rising up from the north to the south. The site is part of the larger Wester Inshes/Milton of Leys expansion area. Inshes District Park lies further to the west across the Inshes Burn.

## **3. PLANNING HISTORY**

- 3.1 20.05.2007: Planning application withdrawn for erection of 73 bungalows and villas with associated services (04/00934/FULIN);
- 3.2 11.07.2012: Planning permission granted for amendment to 04/0934/FULIN to change house types and erection of 8 affordable units (07/00494/FULIN);
- 3.3 11.07.2012: Planning permission granted for two additional houses. (Amendment to 07/00494/FULIN)(08/00158/FULIN));
- 3.4 26.01.2016: Planning permission refused for re-mix of Wester Inshes Phase 3 to form 113 dwellings, including 12 affordable units, with associated works. (14/03236/FUL).

#### **4. PUBLIC PARTICIPATION**

4.1 Advertised : Unknown Neighbour. Expired 18.10.16

Representation deadline : 18.10.16

Timeous representations : 1

Late representations : None

4.2 Material considerations raised are summarised as follows:

- The development will have an adverse impact on residential amenity due to increase in traffic levels, noise and pollution;
- The road infrastructure cannot accommodate additional traffic;
- The design of the site lacks character and is similar to volume housebuilding located elsewhere in the country and has no sense of place.

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet [www.wam.highland.gov.uk/wam](http://www.wam.highland.gov.uk/wam). Access to computers can be made available via Planning and Development Service offices.

#### **5. CONSULTATIONS**

5.1 **Transport Planning:** No objection. Additional information requested.

5.2 **Forestry Team:** No comment.

5.3 **SEPA:** No objection.

#### **6. DEVELOPMENT PLAN POLICY**

The following policies are relevant to the assessment of the application

##### **6.1 Highland Wide Local Development Plan 2012**

28	Sustainable Design
29	Design Quality and Place-Making
31	Developer Contributions
32	Affordable Housing
51	Trees and Development
52	Principle of Development in Woodland
56	Travel
57	Natural, Built and Cultural Heritage
64	Flood Risk
65	Waste Water Treatment
66	Surface Water Drainage
70	Waste Management Facilities
74	Green Networks
75	Open Space

## 6.2 **Inner Moray Firth Local Development Plan 2015**

2 Delivering Development

## 7. **OTHER MATERIAL CONSIDERATIONS**

### 7.1 **Highland Council Supplementary Planning Policy Guidance**

Inshes and Milton of Leys Development Brief

### 7.3 **Scottish Government Planning Policy and Guidance**

Scottish Planning Policy

## 8. **PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

### 8.3 **Development Plan Policy Assessment**

8.3.1 The Development Plan consists of the Highland-wide Local Development Plan (HWP) and the Inner Moray Firth Local Development Plan (IMFP).

8.3.2 The site is allocated for development in the IMFP and Policy 2 'Delivering Development' indicates allocated sites will be supported where the necessary infrastructure, services and facilities are provided.

8.3.3 In terms of the HWP there are a number of policies against which the development must be assessed. Section 6 above lists the policies. This proposal is essentially a re-mix of a consented development, the principle of which is well established both in terms of the site's development plan allocation and the Inshes and Milton of Leys Development Brief.

8.3.4 The key issues in assessing this application are whether the development represents sensitive siting and high quality design and whether it would make a positive contribution to the architectural and visual quality of the area.

### 8.4 **Material Considerations**

8.4.1 Section 42 of the Act requires the Planning Authority to consider only the question of the conditions subject to which planning permission should be granted. If it is decided that planning permission should be granted subject to different conditions, it should be granted accordingly and if it is decided that permission should be granted subject to the same conditions the Planning Authority is obliged to refuse the application.

- 8.4.2 The proposal is a significant improvement on the earlier 2014 submission for 113 units for the site. Whilst the layout of the development is similar, how the development is to be integrated into the site has been substantially improved. The earlier scheme essentially split the site into four developable platforms with engineered embankments linking each platform.
- 8.4.3 Concerns were raised that the proposal failed to demonstrate sensitive siting and high quality design in keeping with local character and the natural environment. The design and layout of this proposal has addressed those concerns and the development now integrates more sympathetically to the contours of the site.
- 8.4.4 There is still a need for a retaining embankment where the site splits between the two access roads. However, overall the development fits more naturally to the topography of the land and avoids an overly engineered appearance. This has the added benefit of improving the usability of the landscaped open space areas within the site.
- 8.4.5 Transport Planning advised that additional information should be submitted, including a transport statement, drainage impact assessment and a flood risk assessment. In the case of the latter two matters SEPA was consulted on flooding and advised that they have no objection to the proposal. On that basis it is not considered necessary or appropriate for the applicant to provide further information in relation to flooding or drainage impact. As this proposal is also a significant improvement over the extant planning permission it is also not considered necessary for a transport statement to be submitted.
- 8.4.6 A number of other matters highlighted by Transport Planning can be conditioned or will otherwise be adequately addressed as part of the road construction consent process.
- 8.4.7 One representation has been received objecting to the proposal on the grounds of adverse impact on residential amenity due to increase in traffic levels, noise and pollution, inadequate road infrastructure, and that the design of the site lacks character, in that it is similar to volume housebuilding located elsewhere in the country and has no sense of place. In response, the principle of development is well established for this site. In addition to the development plan allocation there is an extant planning permission in place for the erection of 107 units at the site. The proposal will have no more of an impact than the previously granted scheme and the design and layout is a significant improvement over the earlier planning permission.

## 8.5 **Other Considerations – not material**

None.

## 8.6 Matters to be secured by Section 75 Agreement

In the event that members are minded to grant planning permission for this proposal the applicant will need to enter into a new Section 75 Agreement as additional contributions will be required over and above those sought through the previous Section 75 which was related to the earlier 2012 planning permission. As well as the provision of 12 affordable housing units and an infrastructure contribution of £3,800 (index linked), contributions towards secondary schools and public art provision will be sought.

## 9. CONCLUSION

- 9.1 The proposal represents a significant improvement over the extant permission. The design of the layout, in particular how the development will integrate with the topography of the site is far more sympathetic and minimises the need for an overly engineered design solution involving split-level houses and large retaining wall structures. The revised layout enables better use to be made of the surrounding open space areas.
- 9.2 As the effect of granting a Section 42 application is to grant a new planning permission for the development the remaining conditions previously imposed on the 2012 planning permission have been revised to conform to the standard conditions now routinely used for such applications.
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## 10. RECOMMENDATION

<b>Action required before decision issued</b>	N
Notification to Scottish Ministers	N
Notification to Historic Environment Scotland	N
Conclusion of Section 75 Agreement	N
Revocation of previous permission	N

**Subject to the above**, it is recommended planning permission be **Granted** subject to the following conditions and reasons / notes to applicant / reasons for refusal:

1. No development, including any demolition works, shall commence until a Construction Method Statement has been submitted to, and approved in writing by, the Planning Authority. The statement shall provide for:
  - i. the parking of vehicles of site operatives and visitors;
  - ii. loading and unloading of plant and materials;

- iii. storage of plant and materials used in constructing the development;
- iv. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;
- v. wheel washing facilities;
- vi. measures to control the emission of dust and dirt during construction; and
- vii. a scheme for recycling/disposing of waste resulting from demolition and construction works.

The approved Construction Method Statement shall be adhered to throughout the construction period.

**Reason:** In order to safeguard the amenity of neighbouring properties and occupants.

2. No development shall commence until a scheme for the layout, design and construction of the play area shown adjacent to plots 86 and 87 on the site layout drawing number 2787-02-001 Rev H has been submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented in full and in accordance with the timescales contained therein.

**Reason:** In order to comply with the requirements of the Council's Open Space in New Residential Development supplementary planning guidance (adopted 20th May 2009) and to ensure that sufficient play equipment exists within the application site to serve future residents needs.

3. No development shall commence until details of additional footpath connections between the site and Stevenson Road have been submitted to, and approved in writing by, the Planning Authority. Thereafter development shall progress in accordance with the approved details and the footpath connections shall be complete prior to occupation of the 80<sup>th</sup> unit on the site.

**Reason:** To improve the connectivity of the site with the surrounding road network and to ensure that the footpath connections are provided timeously in the interests of amenity.

4. No development shall commence until full details of how the proposed extension to Wester Inshes Place will impact on Dell of Inshes Road has been submitted to, and approved in writing by, the Planning Authority. Thereafter development shall progress in accordance with the approved details.

**Reason:** To ensure that the extension of Wester Inshes Place takes account of any impact on Dell of Inshes Road to ensure that the

5. No development shall commence until a scheme for the maintenance, in perpetuity, of all on-site green spaces, SUDS facility, woodland and the play area have been submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented in full and in accordance with the timescales contained therein.

**Reason:** To ensure that all communal spaces, facilities and landscaping areas are

properly managed and maintained.

6. No development shall commence until full details of all surface water drainage provision within the application site (which should accord with the principles of Sustainable Urban Drainage Systems (SUDS) and be designed to the standards outlined in Sewers for Scotland Second Edition, or any superseding guidance prevailing at the time) have been submitted to, and approved in writing by, the Planning Authority. Thereafter, only the approved details shall be implemented and all surface water drainage provision shall be completed prior to the first occupation of any of the development.

**Reason:** To ensure that surface water drainage is provided timeously and complies with the principles of SUDS; in order to protect the water environment.

7. No development shall commence until full details of the covered and secure communal bicycle storage/racking systems for bicycles for use by occupiers of the flatted dwellings have been submitted to, and approved in writing by, the Planning Authority. Thereafter, the storage/racking system shall be installed in accordance with these approved details prior to the first occupation of the flatted dwellings to which the storage system relates.

**Reason:** In order to facilitate the use of a variety of modes of transport

8. Prior to the commencement of development, a programme of archaeological work for the preservation and recording of any archaeological features affected by the proposed development, including a timetable for investigation, shall be submitted to and require the approval in writing of the Planning Authority in consultation with the Highland Archaeologist. All arrangements thereby approved shall be implemented in accordance with the approved timetable for investigation.

**Reason:** In order to ensure the protection of the archaeological interest of the site.

9. Prior to the commencement of development, cross-sectional details through the site to show existing ground levels and finished floor levels shall be submitted to and agreed in writing by the Planning Authority.

**Reason:** In order to ensure that the proposed development has a satisfactory relationship to the existing topography.

10. No houses or flats hereby approved shall be occupied until the existing distributor road is extended and the access junction with the proposed development site constructed, completed and demarcated to a standard suitable for the grant of road construction consent.

**Reason:** To ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity.

11. All roads and pavements within the application site shall be formed to base course level prior to the first occupation of any of the development. Thereafter, the final wearing surface shall be applied concurrently with the construction of the last house or flatted dwelling within the development, or upon the expiry of a period of



three years from the date of first occupation, whichever is the sooner.

**Reason:** In the interests of road safety and amenity.

12. The 2 metre wide informal paths shown on the approved site layout drawing number 2787-02-001 Rev H shall be constructed and completed concurrently with the construction of the last house or flatted dwelling within the development, or upon the expiry of a period of three years from the date of first occupation, whichever is the sooner.

**Reason:** To ensure that the informal paths are provided timeously in the interests of amenity.

13. All landscaping works shall be carried out in accordance with the scheme and plans hereby approved. All planting, seeding or turfing as may be comprised in the approved scheme and plans shall be carried out in the first planting and seeding seasons following the commencement of the development, unless otherwise stated in the approved scheme. Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

**Reason:** In order to ensure that the approved landscaping works are properly undertaken on site.

## **REASON FOR DECISION**

The proposals accord with the provisions of the Development Plan and there are no material considerations which would warrant refusal of the application.

## **TIME LIMITS**

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

## **FOOTNOTE TO APPLICANT**

### **Initiation and Completion Notices**

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

### **Accordance with Approved Plans & Conditions**

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

### **Flood Risk**

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (p.198), planning permission does not remove the liability position of developers or owners in relation to flood risk.

### **Scottish Water**

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

### **Local Roads Authority Consent**

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

[http://www.highland.gov.uk/info/20005/roads\\_and\\_pavements/101/permits\\_for\\_working\\_on\\_public\\_roads/2](http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2)

### **Mud & Debris on Road**

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

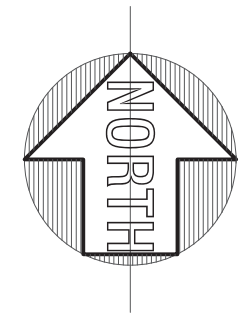
Signature: Nicola Drummond  
Designation: Area Planning Manager – South/Major Developments  
Author: John Kelly  
Background Papers: Documents referred to in report and in case file.  
Relevant Plans: Plan 1 – Location Plan  
Plan 2 – Site Layout Plan  
Plan 3 – Landscaping Plan ( 1 of 2)  
Plan 4 – Landscaping Plan (2 of 2)  
Plan 5 – Rear Aspect Cluster Flats - Elevations  
Plan 6 – Front Aspect Cluster Flats – Front Elevation  
Plan 7 – Front Aspect Cluster Flats – Rear Elevation  
Plan 8 – Affordable Flats – Floor/Elevation Plan  
Plan 9 – Broom Cottage Flat – Floor/Elevation Plan  
Plan 10 – Insh Cottage Flat – Floor/Elevation Plan  
Plan 11 – Affric House Type  
Plan 12 – Calder House Type  
Plan 13 – Cedar House Type (detached)  
Plan 14 – Cedar House Type (semi-detached)  
Plan 15 – Corran House Type  
Plan 16 – Cruachan House Type  
Plan 17 – Etive House Type  
Plan 18 – Kinglass House Type (front aspect)  
Plan 19 – Kinglass House Type (gable aspect)  
Plan 20 – Lochalsh House Type

Plan 21 – Lochy House Type

Plan 22 – Rannoch House Type

Plan 23 – Tarvie House Type

Plan 24 – Tweed House Type



**Bracewell Stirling CONSULTING**

● 38 WALKER TERRACE, TILLCOUNTRY, FK13 6EF TEL : 01259 750301 ●

○ 5 NESS BANK, INVERNESS, IV2 4SF TEL : 001463 233760 ○

WESTER INSHES, PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.

TITLE  
 LOCATION PLAN  
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SCALE	1:2500	DATE	26/05/2016	BY	AMcL
		PURPOSE	WARRANT	PAPER	A3

DWG NO.-REV 2787-02-002 REV H



ACCOMMODATION SCHEDULE:

ANNAN	2
CORRAN	2
TORRIN	9
CALDER	6
AFFRIC	9
TWEED	4
ETIVE	5
TARVIE	5
LOCHALSH	8
RANNOCH	1
CRUACHAN	2
CEDAR	2
CEDAR Detached	2
KINGLASS FA	2
KINGLASS GA	1
LOCHY	2
<b>SUB-TOTAL</b>	<b>51</b>

INSH	2 Bed Cottage Flats	8
BROOM	2 Bed Cottage Flats	6

Front Aspect Blk	Type D: 2 Bed Ens	6	} 30
Front Aspect Blk	Type E1 & E2: 2 Bed Ens	6	
Rear Aspect Blk	Type A1 & A2: 2 Bed Ens	6	
Rear Aspect Blk	Type B1 & B2: 2 Bed Ens	6	
Rear Aspect Blk	Type C: 2 Bed	6	
<b>SUB-TOTAL</b>		<b>44</b>	

AFFORDABLE	4P2BCF	12
<b>SUB-TOTAL</b>		<b>12</b>

<b>TOTAL UNITS</b>		<b>107</b>
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2.0metre wide informal paths (no lighting)  
 Excavate path tray to width of 2m and depth of 0.3m.  
 All excavated material to be used on site or removed to a registered site. Lay and compact to failure with 1:25 centre camber or crossfall with 290mm Type 1 imported sub-base over medium grade geotextile laid to width of path base overlapping ends by 1m. Geogrid [such as Tensar TS20] to be used above geotextile and below sub-base on sections where the gradient exceeds 6 degrees and on benched crossfalls. Top with 10mm graded surfacing material of maximum particle size 6mm compacted to form a 1:25 centre camber or crossfall. The surface regularity should be to a maximum of 5mm under a 3m straight edge laid along the length of the path. The path shoulder should be level with the path edge and should allow surface water to shed onto the verge. No geotextile or geogrid to be left exposed above the path surface



Bracewell Stirling CONSULTING

38 WALKER TERRACE, TULLICOLTRY, FK13 6EF  
 TEL: 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF  
 TEL: 001463 233760

WESTER INSHES, PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.

TITLE  
 SITE PLAN 1 TO 500

SCALE	1:500	DATE	26/05/2016	BY	AMAL
		PURPOSE		PAPER	AD

DWG NO./REV 2787-02-001 Rev I



**KEY**

- Existing woodland along humides to adjoining site - retained and protected to BS5857: 2012.
- Native species tree and shrub thickets planting with tree and shrub shelters and / or guards (outwith sewer wayleaves) - enclosed with post and wire rabbit proof fencing. Woodland areas to be seeded with a wildflower / grass seed mix and only bases of plants weed-killed with herbicide applications - (To protect plants during establishment period.)
- Proposed low growing shrub planting within visibility splays.
- Proposed Beech hedging maintained at 1m high.
- Proposed 3-3.5m tall, selected standard fastigate avenue tree planting.
- Proposed 3-3.5m tall, selected standard tree planting.
- Proposed 2-2.5m feathered trees.
- Proposed 1.5m high feathered conifer trees.
- Proposed close mown grass.
- Proposed front gardens - turfed.
- Proposed rear gardens - soiled and cultivated.
- Proposed grassed service strips.
- Proposed species rich long grass areas - maintained with annual cut in late September / October.

**REVISIONS**

A: 11.07.16 Landscape proposals updated to revised Revised Starting Site Plan 02/08 Rev C as requested. Landscape works at date revised to new layout and to revised house mix / layout. Front garden treatment varied and service strips amended KW  
 B: 21.07.16 Additional woodland planting added to open space areas between housing (Flats plots 45-50 and 51-56 and Detached Houses 57-67) with removal of ground engineered slopes, as requested KW

ALL DIMENSIONS TO BE CHECKED ON SITE WORK TO FIGURED DIMENSIONS ONLY REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT AT ONCE BEFORE PROCEEDING

**HIGHLAND LANDSCAPE DESIGN**  
 MORVEN,  
 CAROLINE STREET,  
 FORRES,  
 MORAYSHIRE,  
 SCOTLAND,  
 IV 36 1AN.  
 TEL: 01509 678800  
 FAX: 01509 678515  
 jlm@highlandlandscapedesign.co.uk

Client  
**TULLOCH HOMES LTD**

KEITH L WOOD BA (HONS) CMLI  
 LANDSCAPE ARCHITECT  
 1, Old Branziel Cottage, Balmore, By Torrance,  
 Glasgow, G64 4AH.  
 Tel: 01360 620358 Mob: 07584 054586  
 email: keith.l.wood@btopenworld.com

Project Title  
 HOUSING DEVELOPMENT, WESTER INSHES  
 PHASE 3, INVERNESS.  
 Drawing Title  
 SOFT LANDSCAPE PROPOSALS-  
 PLANTING PLAN (1 OF 2).

Scale: 1:250/PA0 Date: 05/11/14  
 Drawn: k.wood Approved: J. League  
 Drawing No. Rev.  
 HLD K188.14/SL-02 B



Plant	Height	End Use	Specification	Quantity	Number
Acacia dealbata	10.00m	10.00m	10.00m	10.00m	10.00m
Alnus glutinosa	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium adnigrum	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium platyneuron	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium septentrionale	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium thelypteris	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium trichomanes	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium viviparum	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium adnigrum	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium platyneuron	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium septentrionale	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium thelypteris	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium trichomanes	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium viviparum	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium adnigrum	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium platyneuron	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium septentrionale	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium thelypteris	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium trichomanes	10.00m	10.00m	10.00m	10.00m	10.00m
Asplenium viviparum	10.00m	10.00m	10.00m	10.00m	10.00m

**REVISIONS**

- A: 11.07.16 Landscape proposals updated to revised Bracedell Shilling Site Plan 02-001 Rev G as requested. Landscape works at flats revised to new layout and to revised house mix / layout. Front garden treatment varied and service strip amended. A/V
- B: 21.07.16 Additional woodland planting added to open space areas between housing (Flats plots 45-50 and 51-56 and Potentially Houses 57-67) with removal of ground engineered slopes, as requested. A/V

ALL DIMENSIONS TO BE CHECKED ON SITE WORKS TO FIGURED DIMENSIONS ONLY REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT AT ONCE BEFORE PROCEEDING

**HIGHLAND LANDSCAPE DESIGN**  
 MORVEN,  
 CAROLINE STREET,  
 FORRES,  
 MORAYSHIRE,  
 SCOTLAND,  
 IV 56 1AN.  
 TEL: 01509 676800  
 FAX: 01509 676515  
 jim@highlandlandscape.com

Client  
**TULLOCH HOMES LTD**

KEITH L WOOD BA (HONS) CMLI  
 LANDSCAPE ARCHITECT  
 1, Old Branziel Cottage, Balmore, By Torrance,  
 Glasgow, G64 4AH.  
 Tel: 01360 620588 Mob: 07584 054586  
 email: keith.l.wood@btopenworld.com

Project Title  
 HOUSING DEVELOPMENT, WESTER INSHES  
 PHASE 3, INVERNESS.  
 Drawing Title  
 SOFT LANDSCAPE PROPOSALS-  
 PLANTING PLAN (2 OF 2).

Scale 1:250MPAD Date 03/11/14  
 Drawn k.wood Approved J. League  
 Drawing No. Rev.  
 HLD K188.14/SL-03 B

**LANDSCAPE NOTES**  
 All areas to be soft landscaped to be litter picked and all site debris / stones etc to be removed from site. All subsoil to be thoroughly de-compacted to ensure that they are free draining.  
 Samples of proposed topsoil to be approved by Highland Landscape Design and subsoil areas to be topsoiled will be inspected by HLD prior to topsoil being spread.  
 Shrub planted areas to be formed with a minimum 500mm depth of premium quality topsoil laid on a clean de-compacted subsoil layer. Shrub beds topsoil to be mixed with GREEN-TREE soil improver (improver to be spread at 85mm depth over topsoil and worked into the planting pits. Incorporate Osmocote Pro 16-11-10+2MgO+TE slow release fertilizer - 50g/m2).  
 Standard and large feathered trees to be pit planted into 900 x 900 x 600mm deep pits with base broken up for a further 500mm. Pits to be backfilled with premium quality topsoil mixed with GREEN-TREE soil improver (improver to be spread at 85mm depth over topsoil and worked into backfill mixture. Incorporate Osmocote Pro 16-11-10+2MgO+TE slow release fertilizer - 50g/m2).  
 Small feathered trees pit planted as above in 600 x 600 x 450mm deep pits.  
 All trees to be secured with a single 50mm diameter machine rounded stake. Joints into base of pit and finished 500mm above ground level. Trees secured to stakes with bestias tree ties to HLD detail.  
 Any failures in planting in the first five years after planting will be replaced by the client with plants of a similar species / size (in the next planting season).  
 Refer to Maintenance schedule for details of the proposed maintenance regime for the site to be undertaken for the first five years.  
 Close mown grass areas to be weed-killed, cultivated and sown with Riee 2 pass technique using BHA22 low maintenance mix sown at 50g/m2.  
 Front gardens to be weed-killed, cultivated and turfed with Roloway or equivalent premium grade turfing. Proposed species rich grass land areas to be weed-killed (twice prior to seeding) with Scotts seeds 'Highland Grassland Mix' sown at 5g/m2. (Areas to be maintained as long grass areas - 1m annual cut.)

**WOODLAND TREE, SHRUB AND HEDGING PLANTING PROTECTION**  
 All woodland tree and shrub transplants to be protected with mesh guards as follows:  
 Tree species transplants to be protected with Acorn Treeguards - Green 1.2m high, 8-11cm diameters, secured with 2 ratchet ties to 52 x 52mm timber stakes.  
 Shrub species transplants to be protected with Acorn Treeguards for shrubs - Green 0.6m high, 15-16cm, 15-18cm and 17-20cm diameters, secured with 2 ratchet ties to 52 x 52mm timber stakes.  
 All feathered and standard trees in woodland areas to be protected with Acorn standard slittermesh guards.  
 Hedging transplants to be protected with clear pvc spirals 0.45m high, 88-90mm diameter and to include single bamboo canes.

**NOTES**  
**TIMING OF LANDSCAPE WORKS**  
 The earthworks to form the house / road / path base levels will be the first operation to be undertaken and the proposed areas for woodland thicket planting will be made available for planting in the first season following their creation.  
**WOODLAND THICKET PLANTING**  
 All areas of woodland and shrub thicket planting to be enclosed with 1m high post and wire fencing with rabbit mesh attached (and buried below ground).  
 Any dead or dying trees or shrubs to be replaced by Tulloch Homes for the first five years after planting (in the next following planting season.)



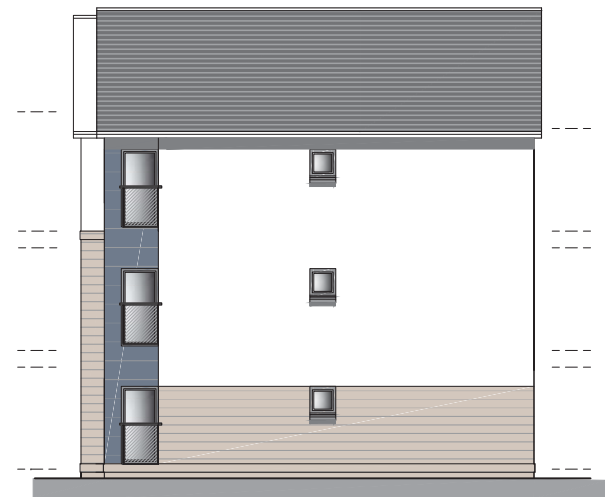


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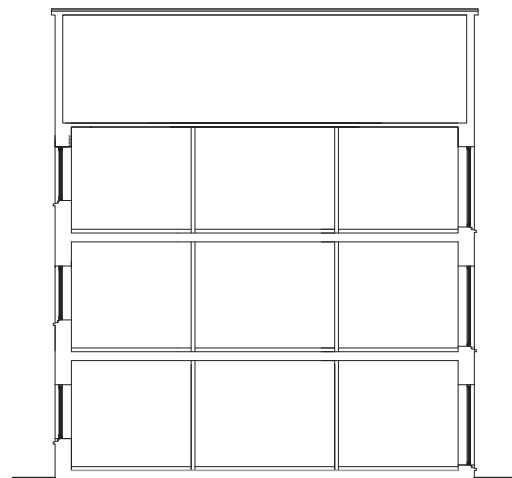
- External Finishes**
- Walls**
- Render - Essno dry dash render
  - Pre-cast stone through coloured buff
  - Composite cladding panel (dark grey to match windows)
- Roof**
- Marley Modern dark grey concrete roof tiles
  - Soffit and fascia - timber painted dark grey to match windows
  - Rainwater goods - Black uPvc
- Windows & Doors**
- Dark gray with cladding board infill panel
  - Glazed Juliet balconies
  - Curtain wall to stairwells



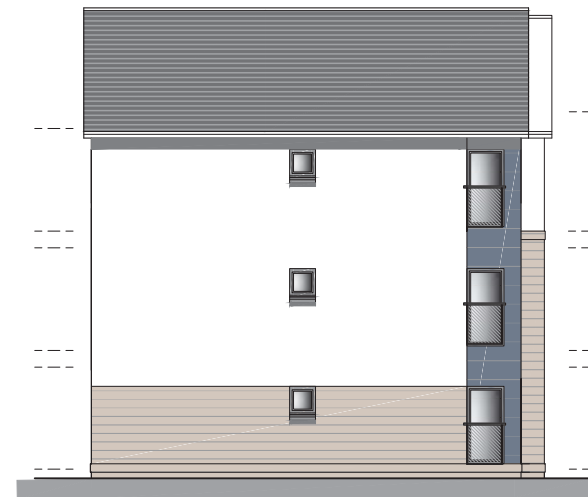
Rear (Entrance) Elevation



Gable Elevation



Typical Section

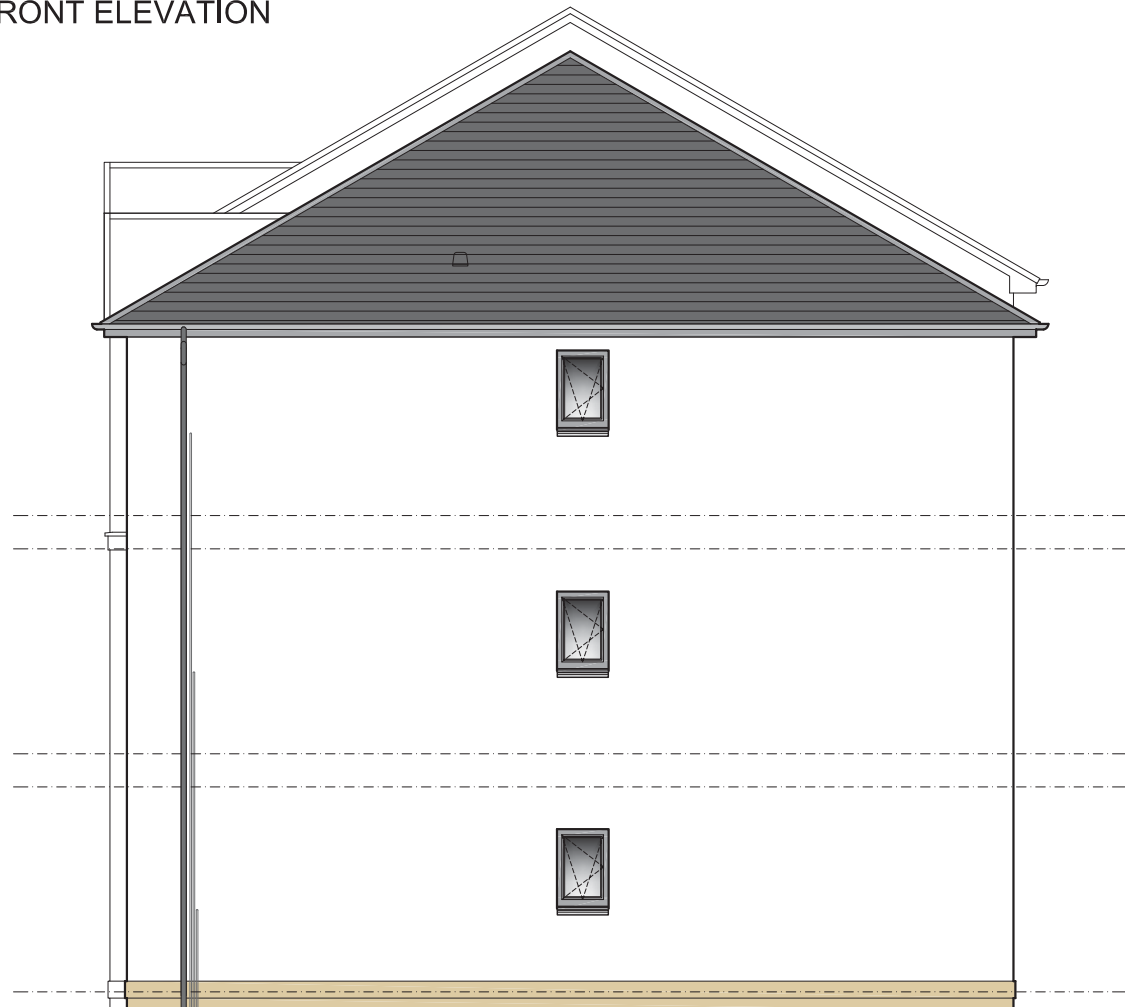


Gable Elevation

WESTER INSHES, PHASE 3 INVERNESS TULLOCH HOMES LTD			
ELEVATIONS & SECTION REAR ASPECT CLUSTER FLATS			
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		PLANNING	BY
DWG NO	2787-04-010	DWG SIZE	A1
		REV	A

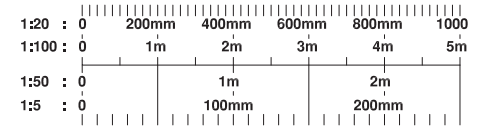


FRONT ELEVATION



GABLE ELEVATION

PLOTS 45-56



A REVISIONS Planning drawings updated July 2016



Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOLTRY, FK13 6EF  
 TEL: 01259 750301 FAX: 01259 752365  
 5 NESS BANK, INVERNESS, IV2 4SF  
 TEL: 01463 233760 FAX: 01463 233785

WESTER INSHES PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.

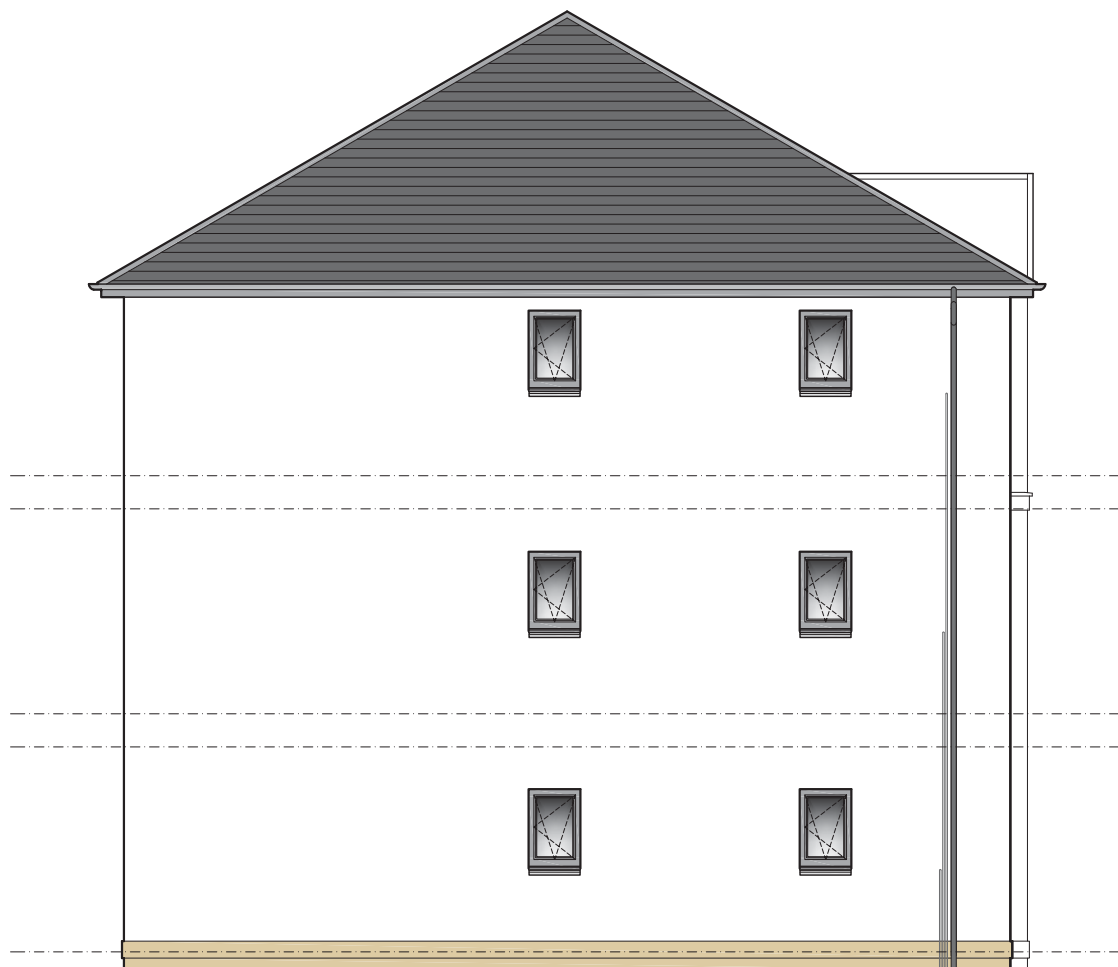
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 TITLE ELEVATIONS

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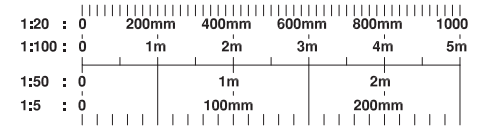


FRONT ELEVATION



GABLE ELEVATION

PLOTS 45-56



A REVISIONS Planning drawings updated July 2016



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○ 38 WALKER TERRACE, TILlicOLTRY, FK13 6EF TEL: 01259 750301 FAX: 01259 752365  
 ● 5 NESS BANK, INVERNESS, IV2 4SF TEL: 01463 233760 FAX: 01463 233785

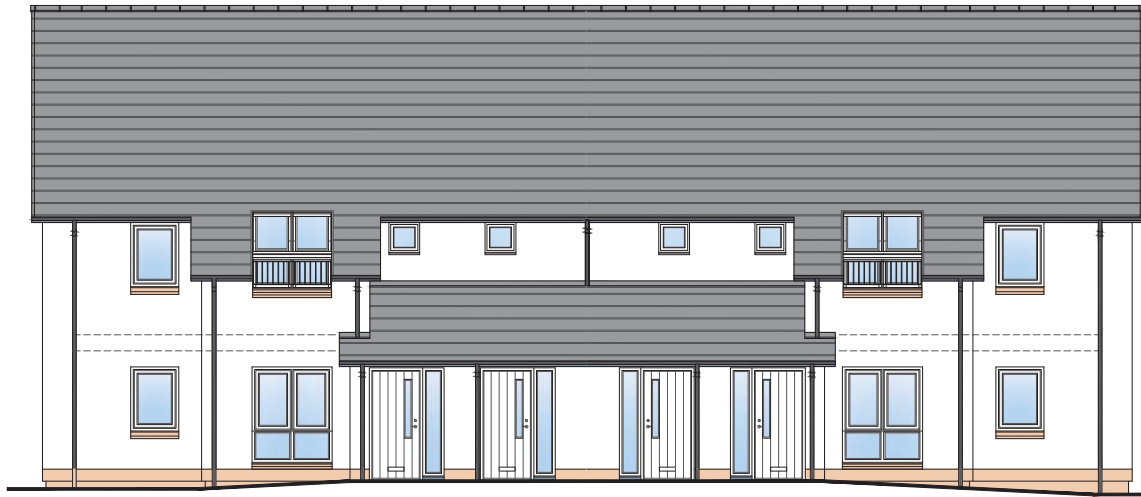
WESTER INSHES PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.

TYPE WALK-UP FLATS -FRONT ASPECT  
 VERSION 13 / 1 - GAS  
 TITLE ELEVATIONS

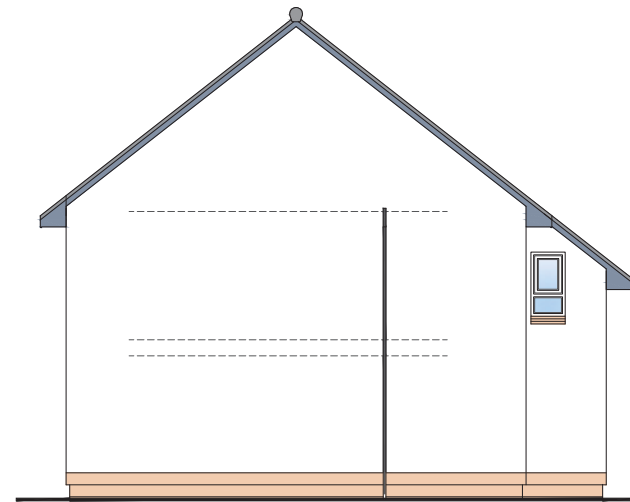
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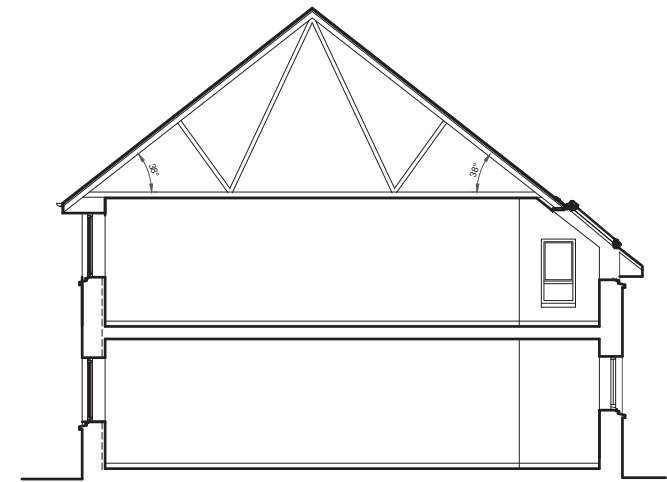
2B 4P COTTAGE FLATS



Front Elevation

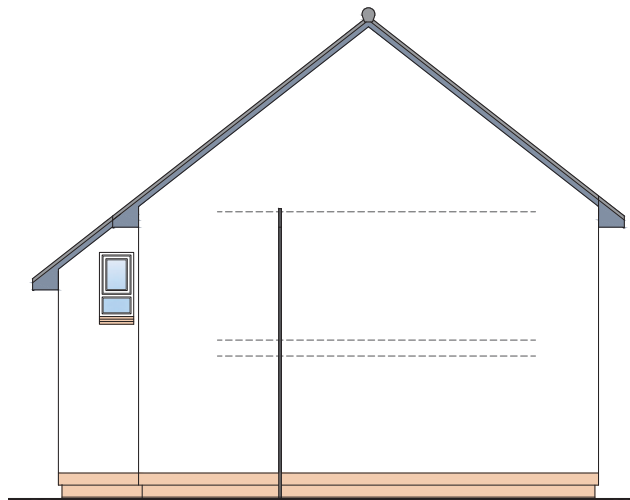


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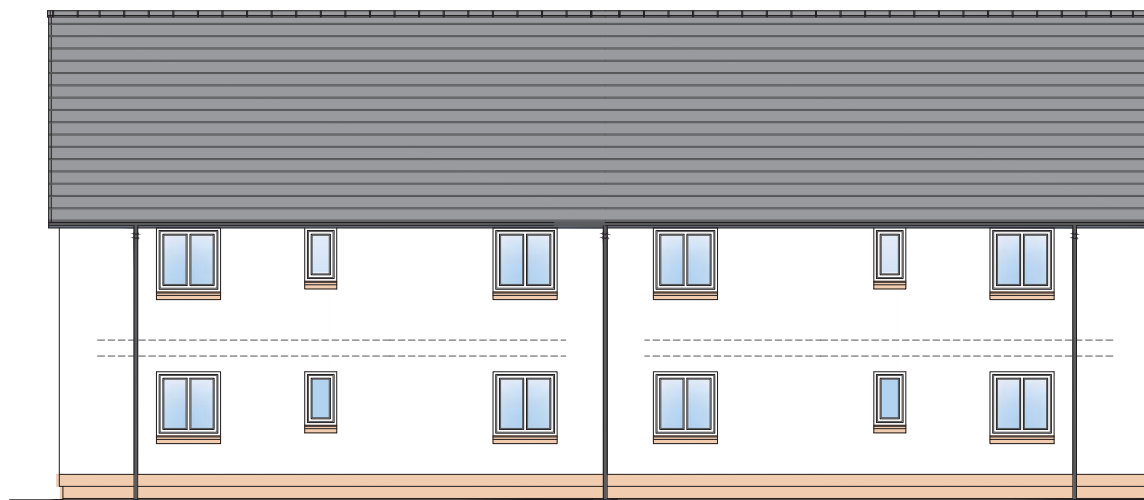


Section

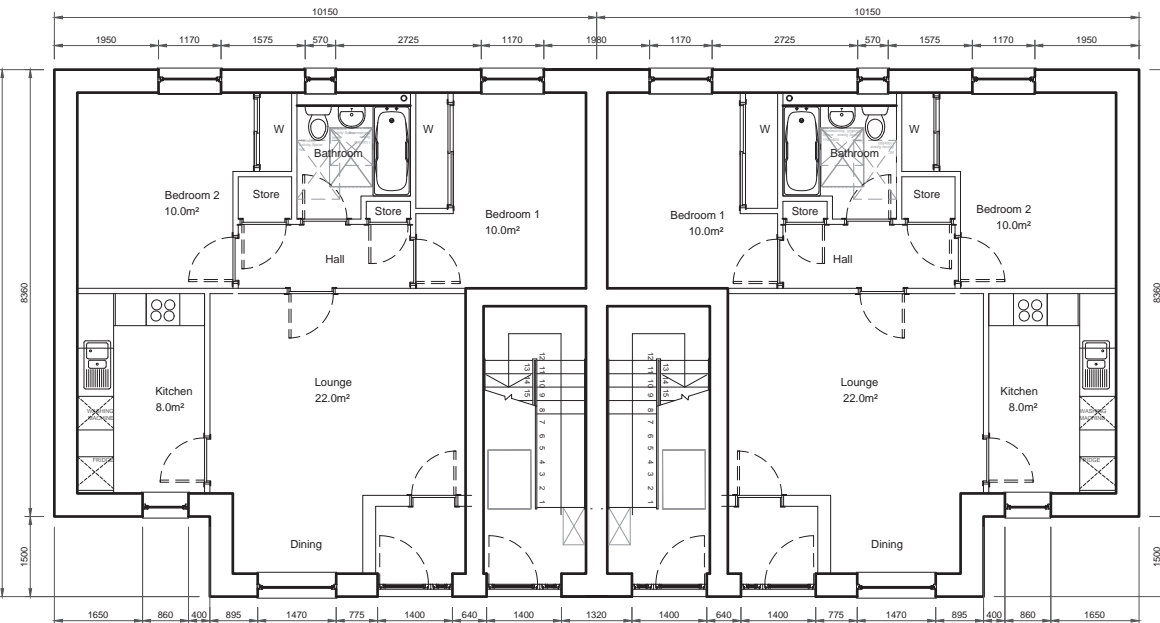
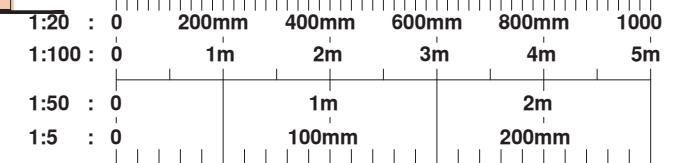
- General Materials & Finishes
- Roof - Marley Modern dark grey concrete tile
  - Soffits & fascia - Timber finished with white stain
  - Rainwater goods - Black uPvc
  - Walls - Essno dry dash render
  - Base course - Pre-cast stone through coloured buff
  - Lintels, Cills etc - Pre-cast stone through coloured buff
  - Windows & doors - Timber finished with white stain



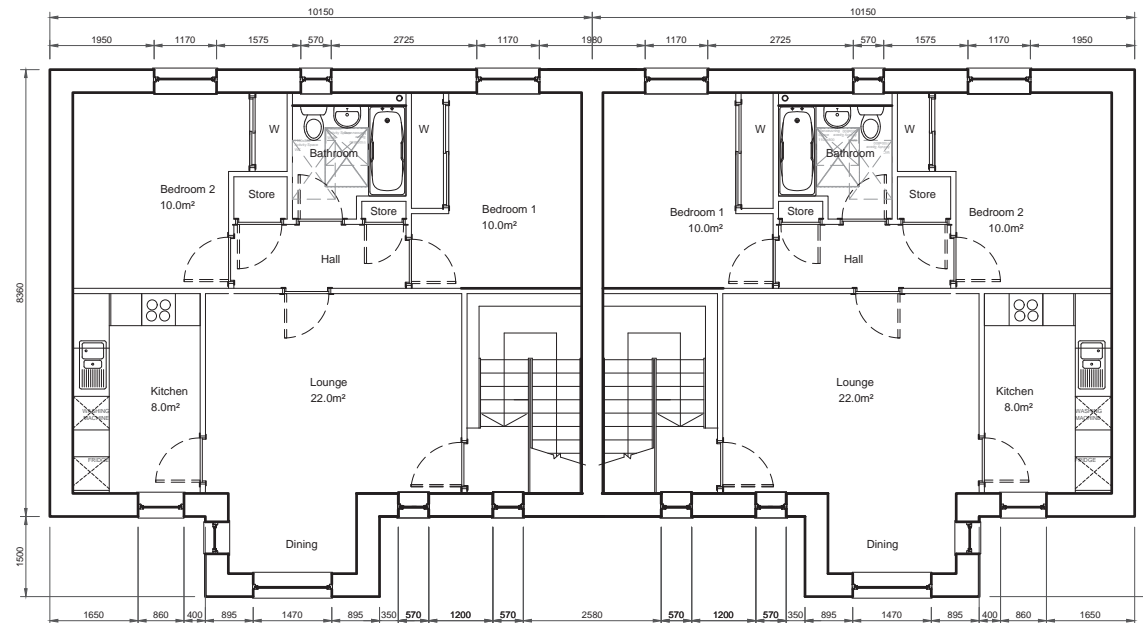
Side Elevation



Rear Elevation



GROUND FLOOR PLAN



FIRST FLOOR PLAN



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WESTER INSHES - PHASE 3  
INVERNESS  
TULLOCH HOMES LTD.

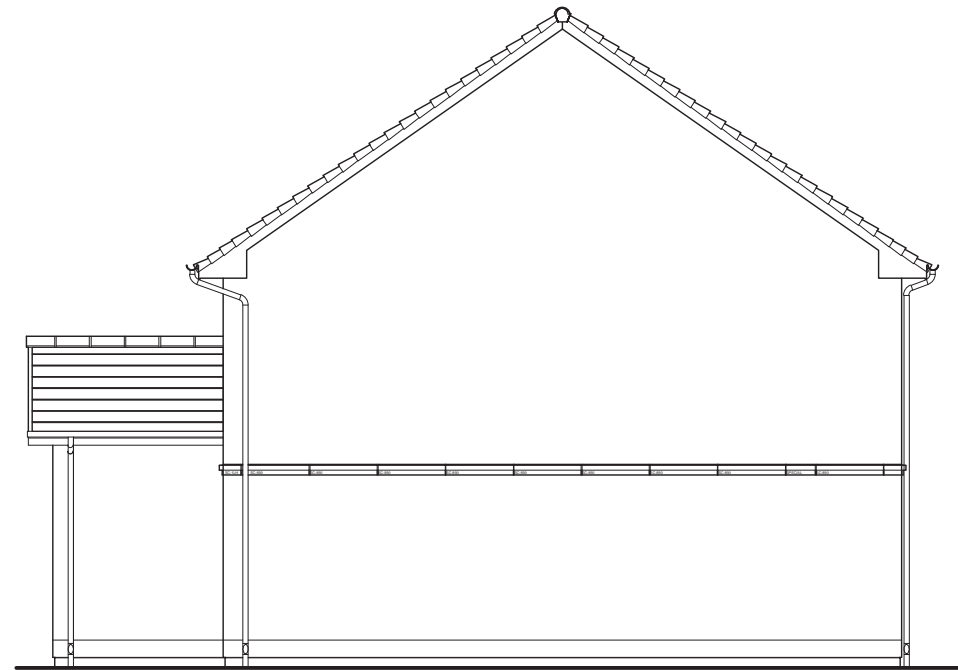
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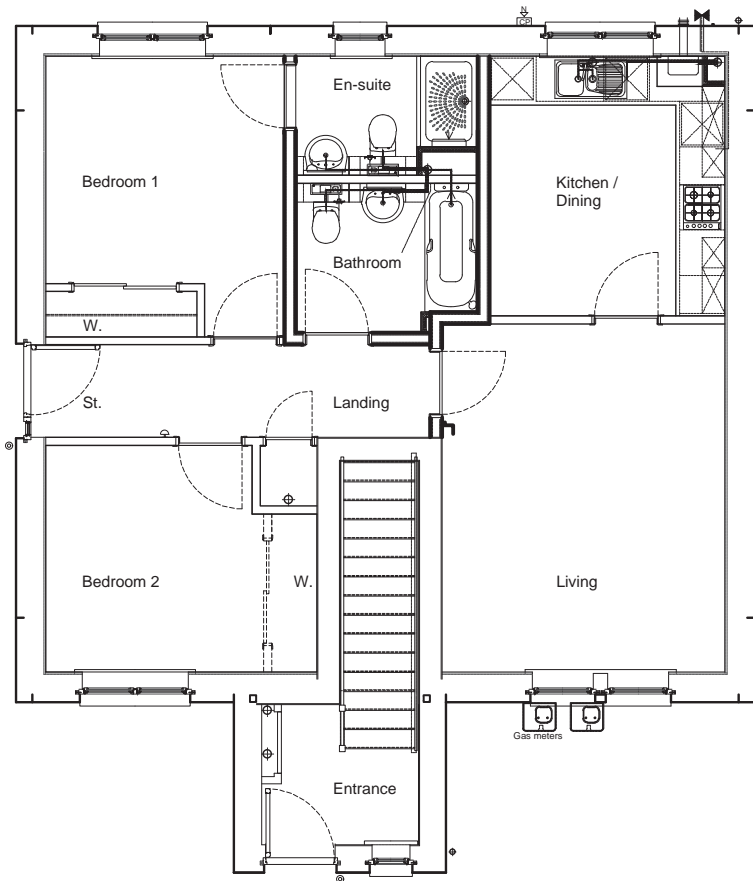
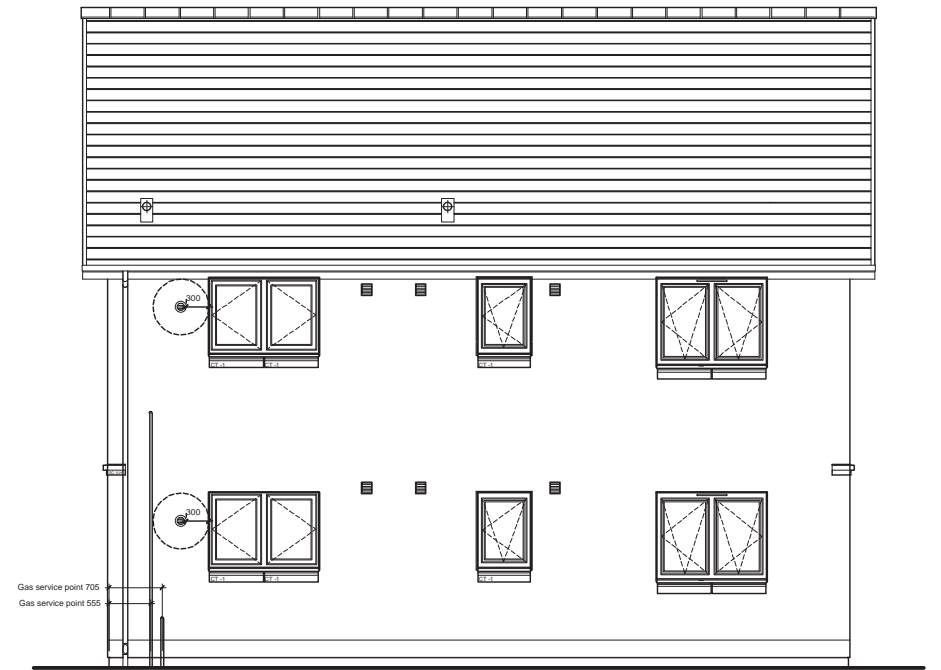
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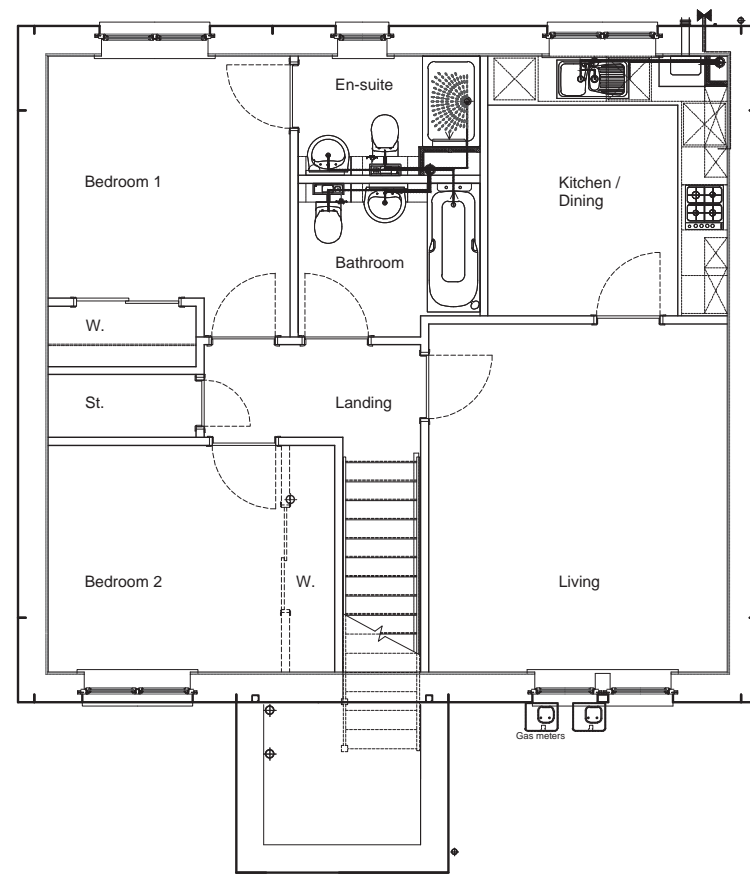
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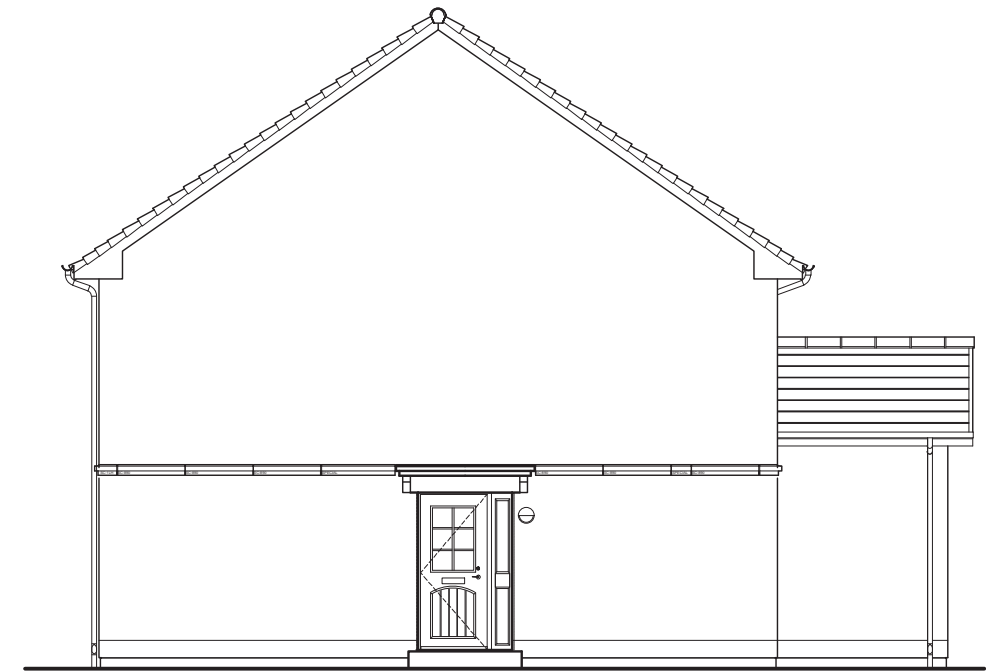
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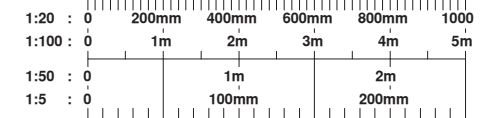
Ground Floor Plan



Upper Floor Plan



Gable Elevation



**Tulloch Homes**

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WESTER INSHES - PHASE 3  
INVERNESS  
TULLOCH HOMES LTD.

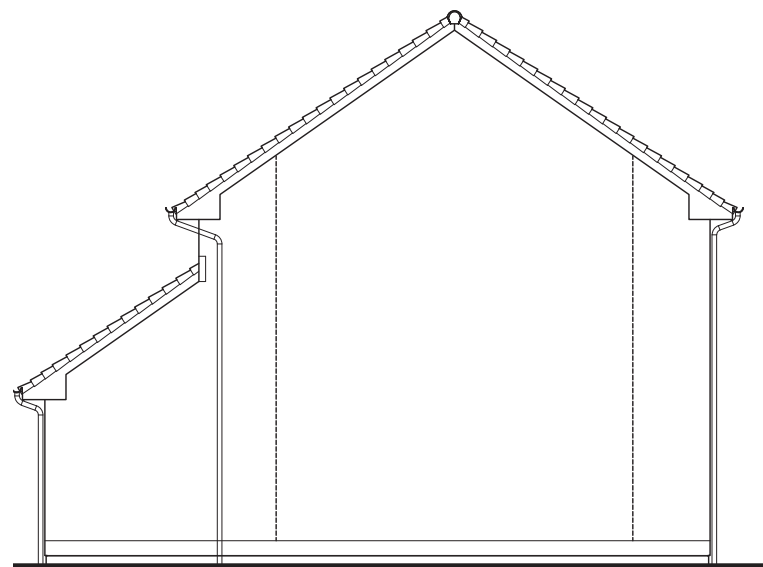
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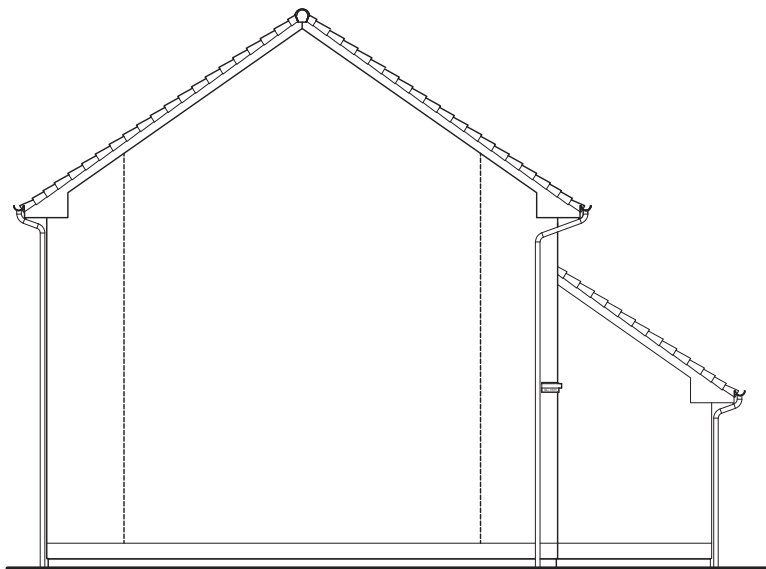
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Front Elevation



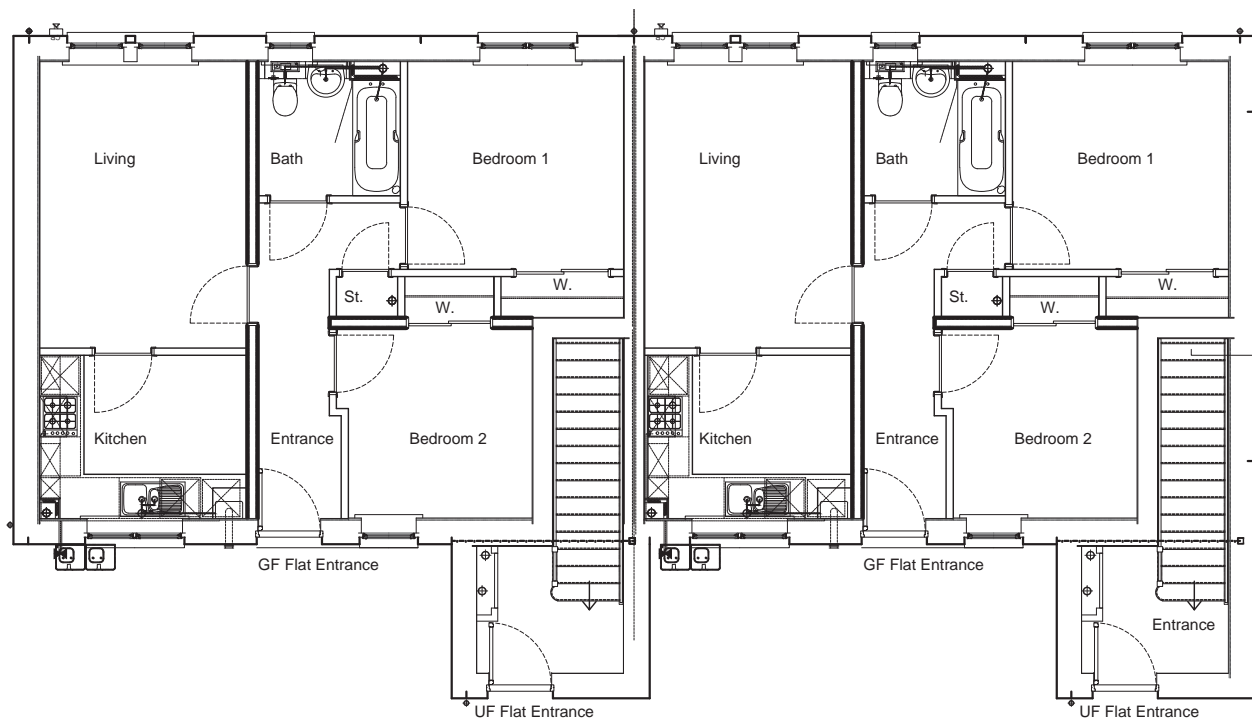
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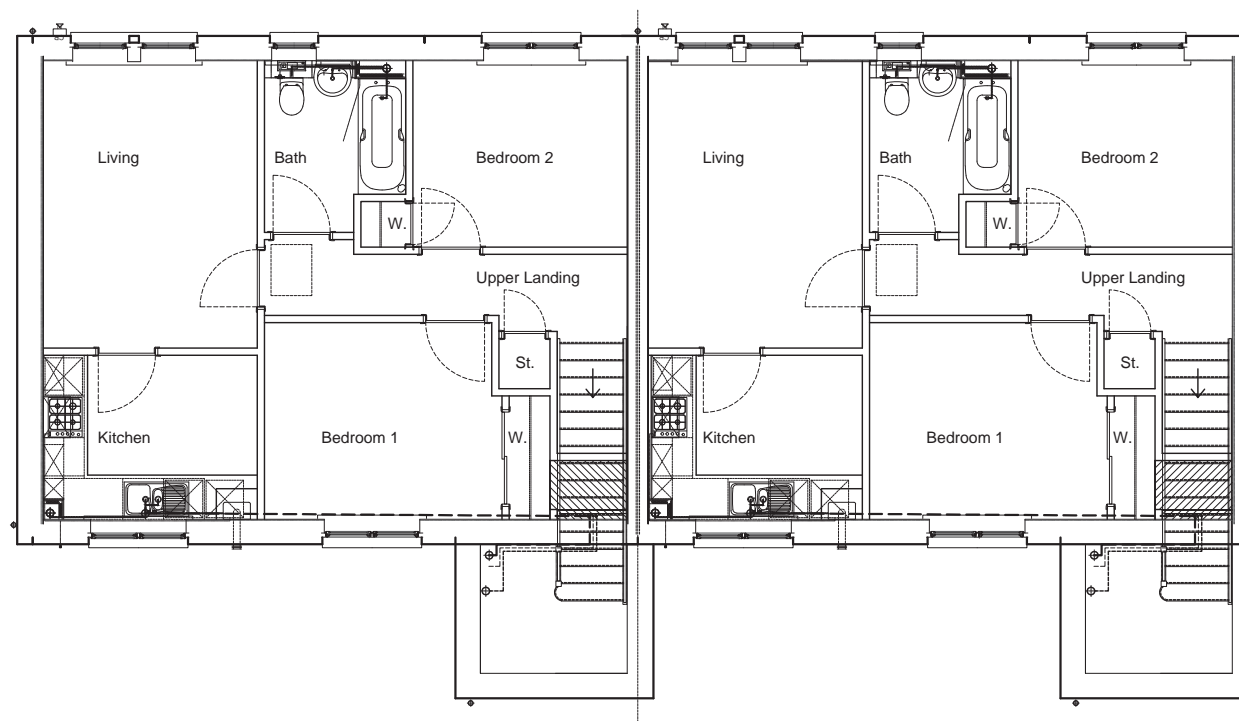
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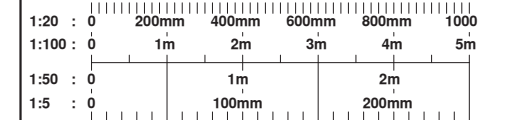
Rear Elevation



Ground Floor Plan



Upper Floor Plan



**Tulloch Homes**

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WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.

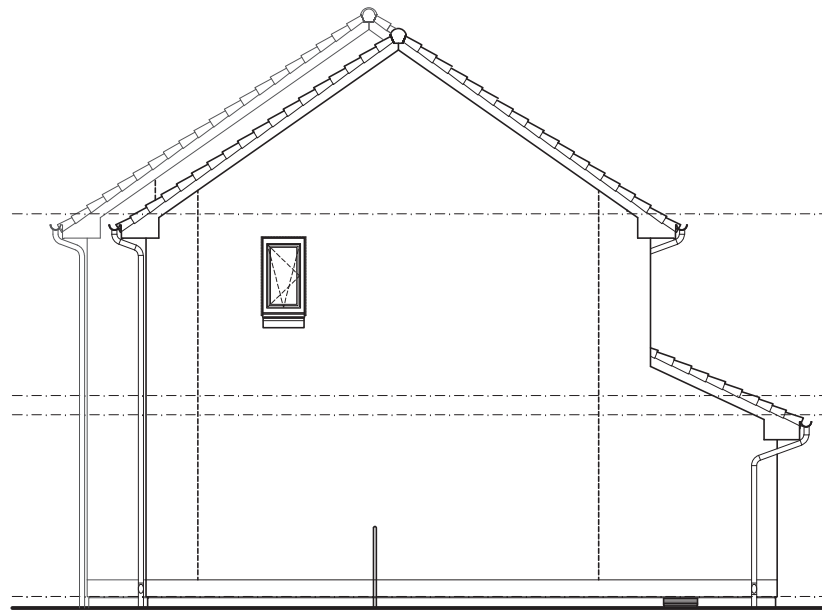
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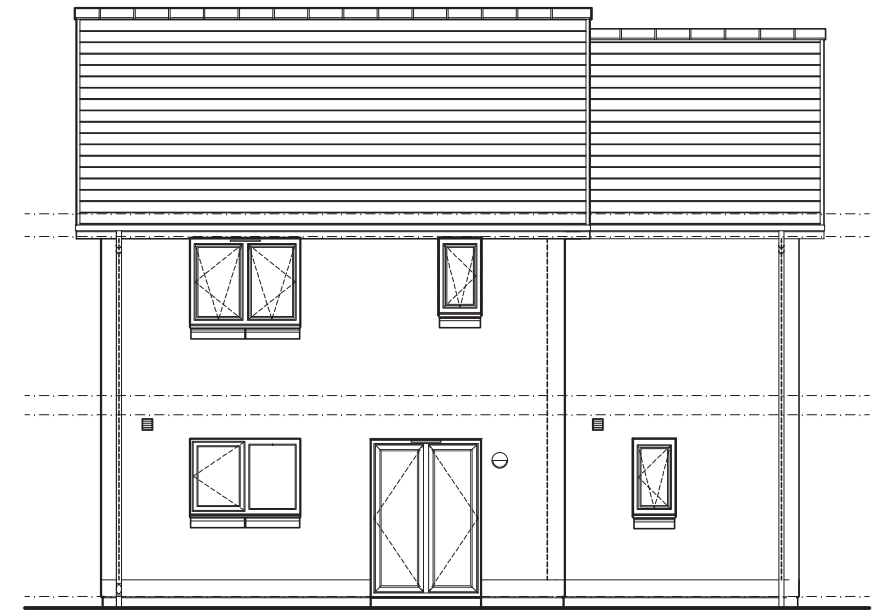
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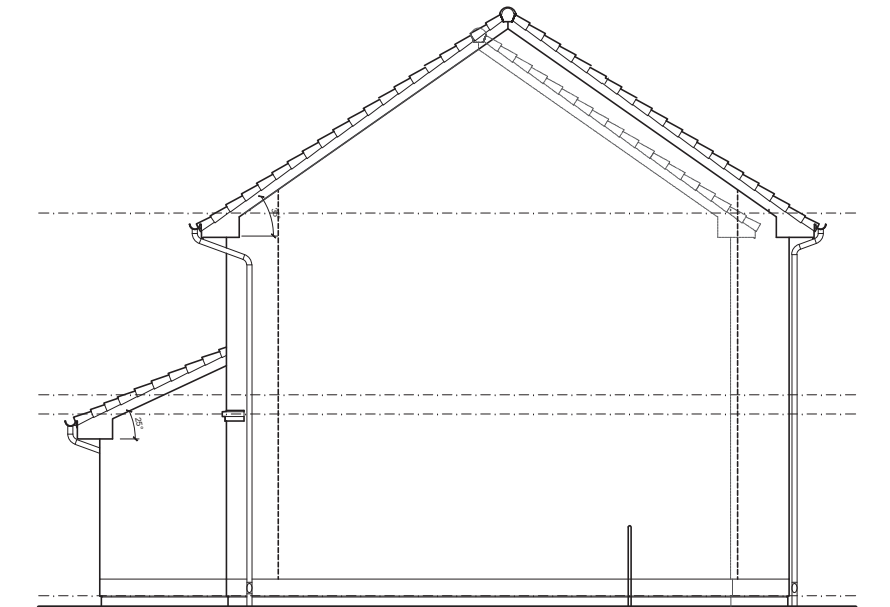
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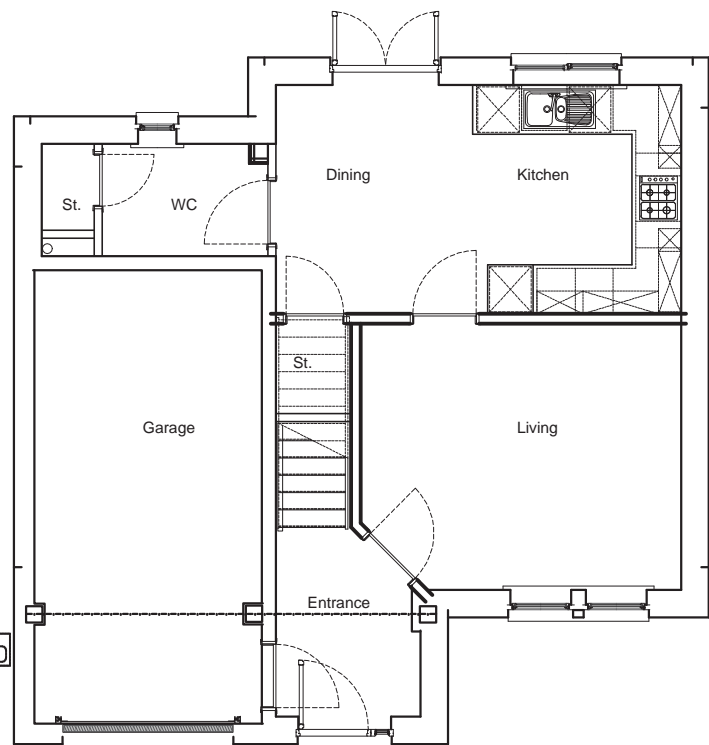
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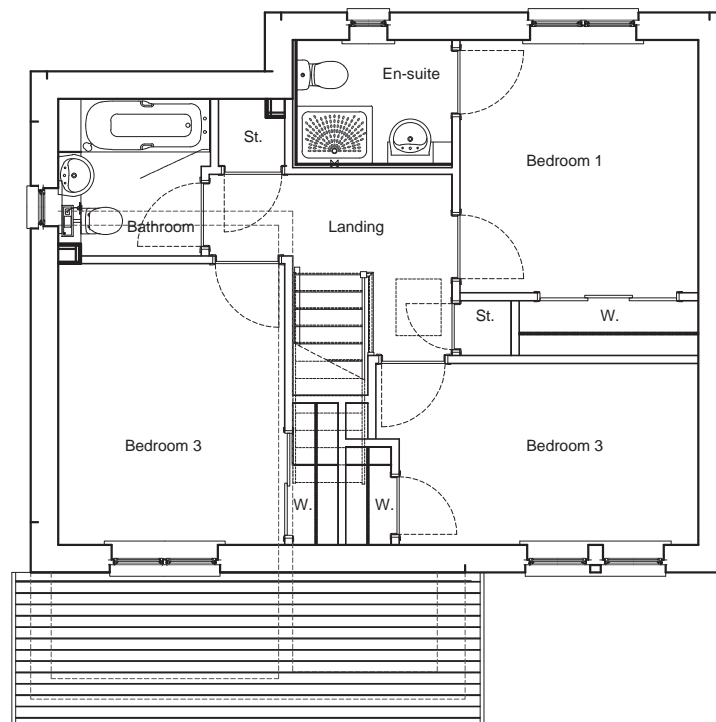
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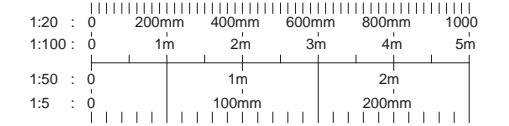
Gable Elevation



Ground Floor Plan



Upper Floor Plan



**Tulloch Homes**

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**WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.**

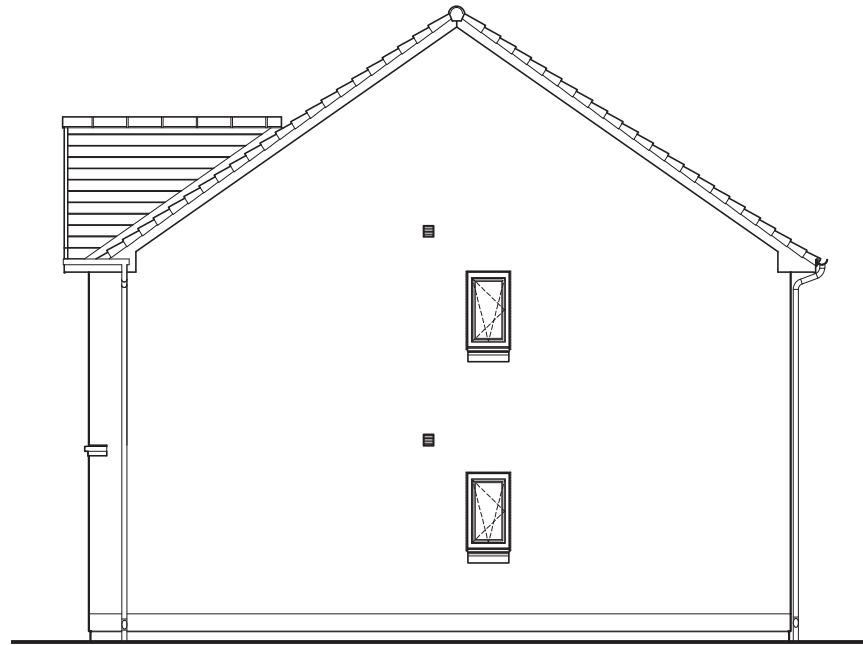
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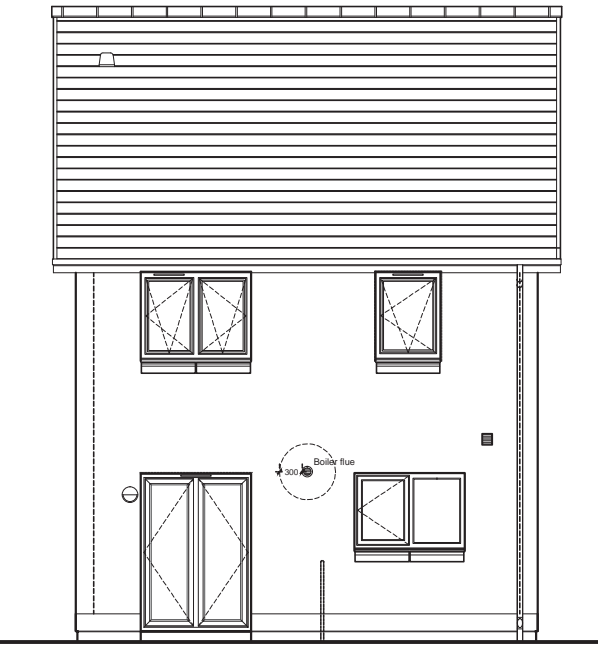
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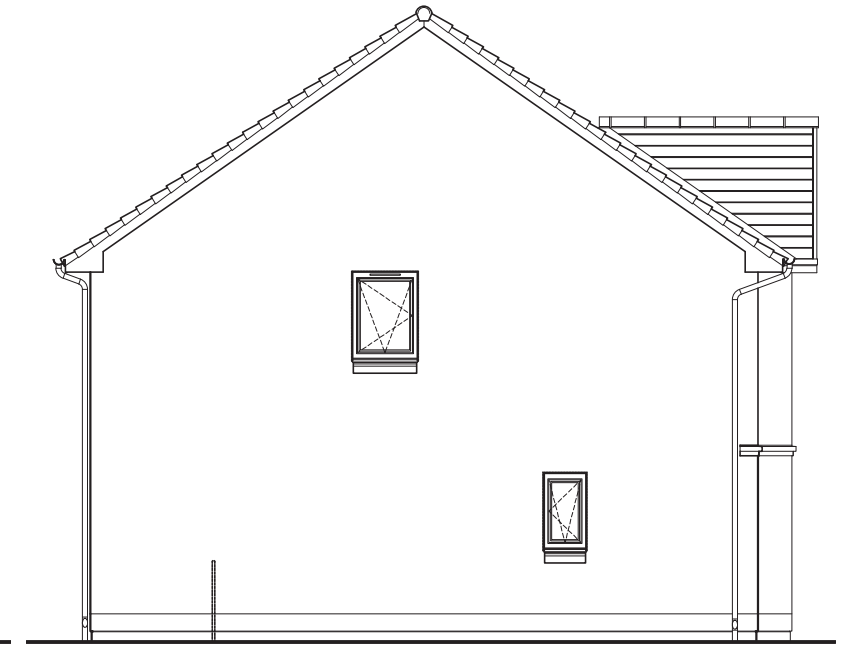
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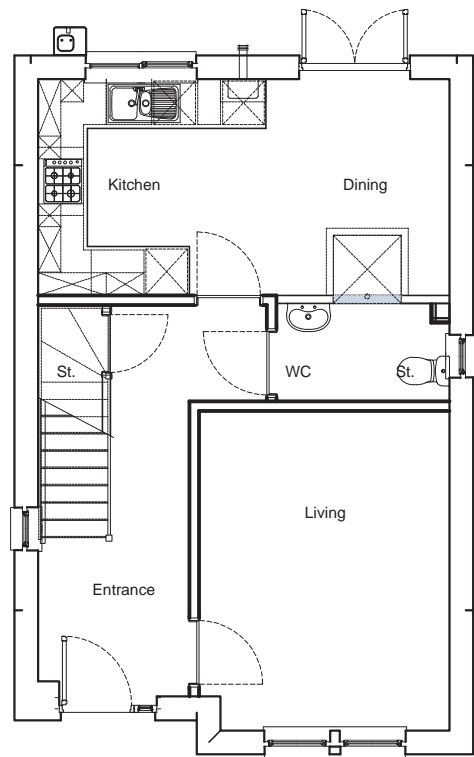
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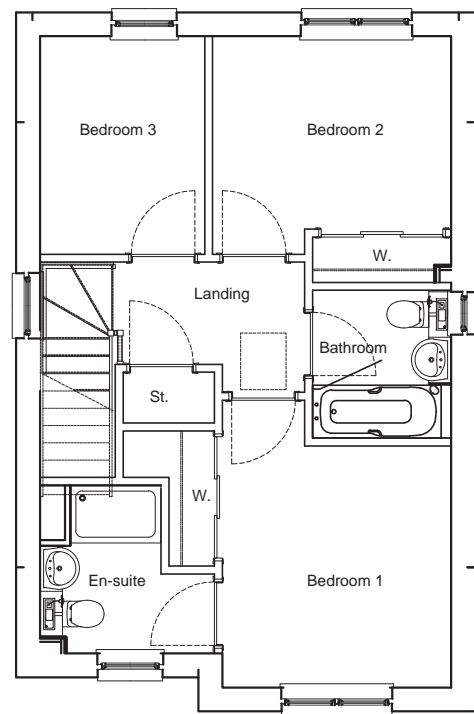
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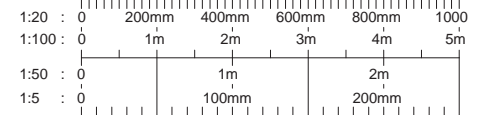
Gable Elevation



Ground Floor Plan



Upper Floor Plan



**Tulloch Homes**

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WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.

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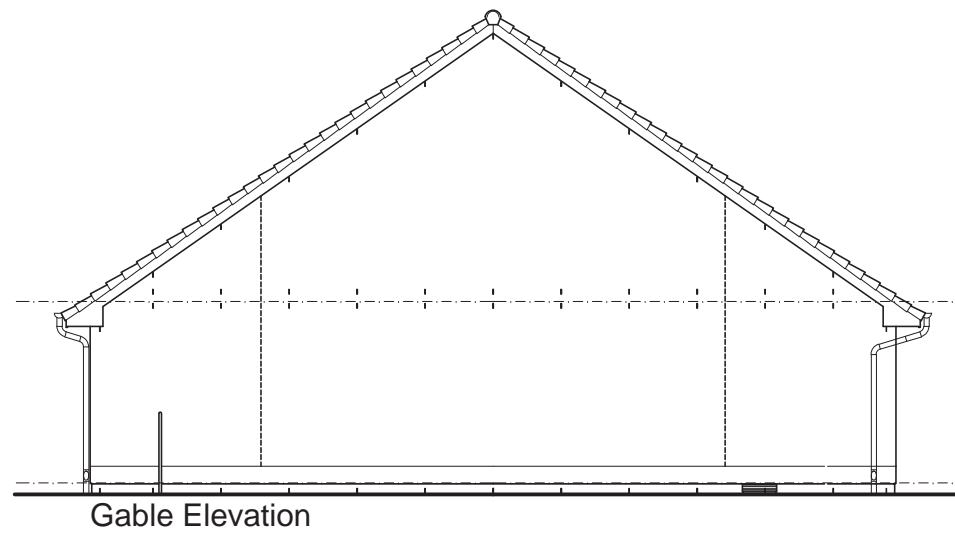
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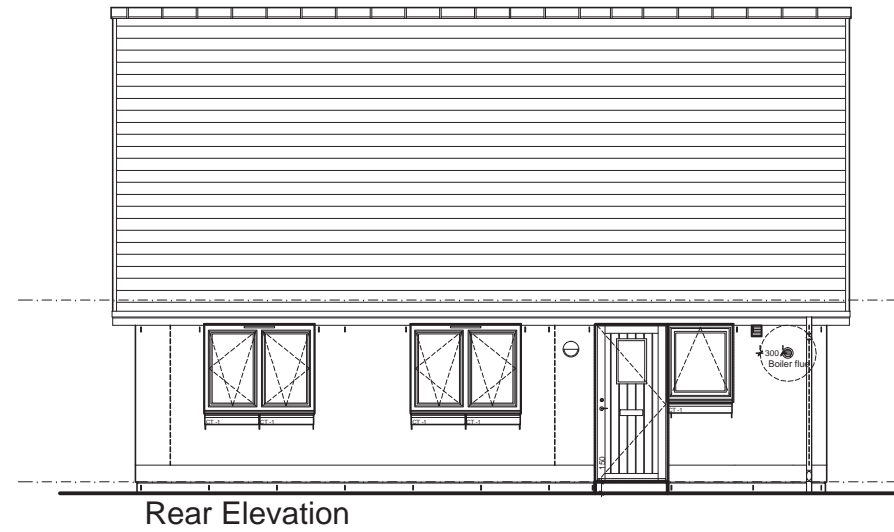




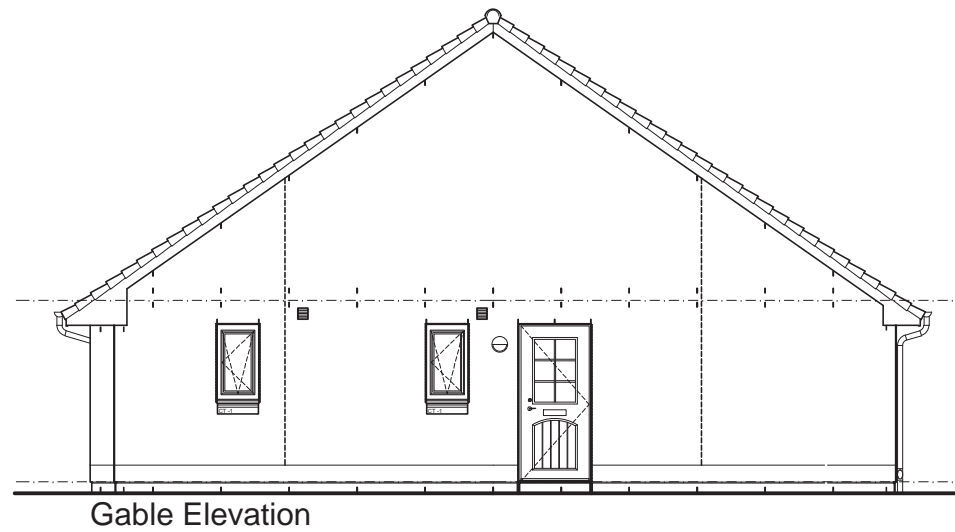
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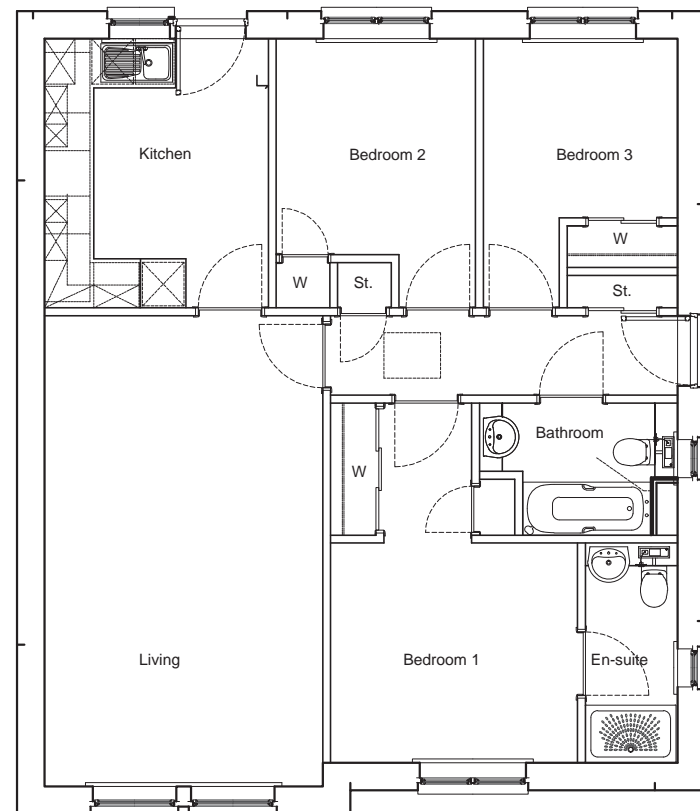
Gable Elevation



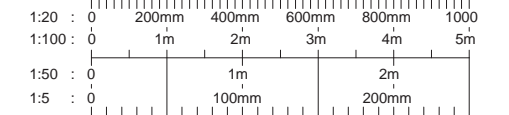
Rear Elevation



Gable Elevation



Ground Floor Plan



**Tulloch Homes**

**Bracewell Stirling CONSULTING**

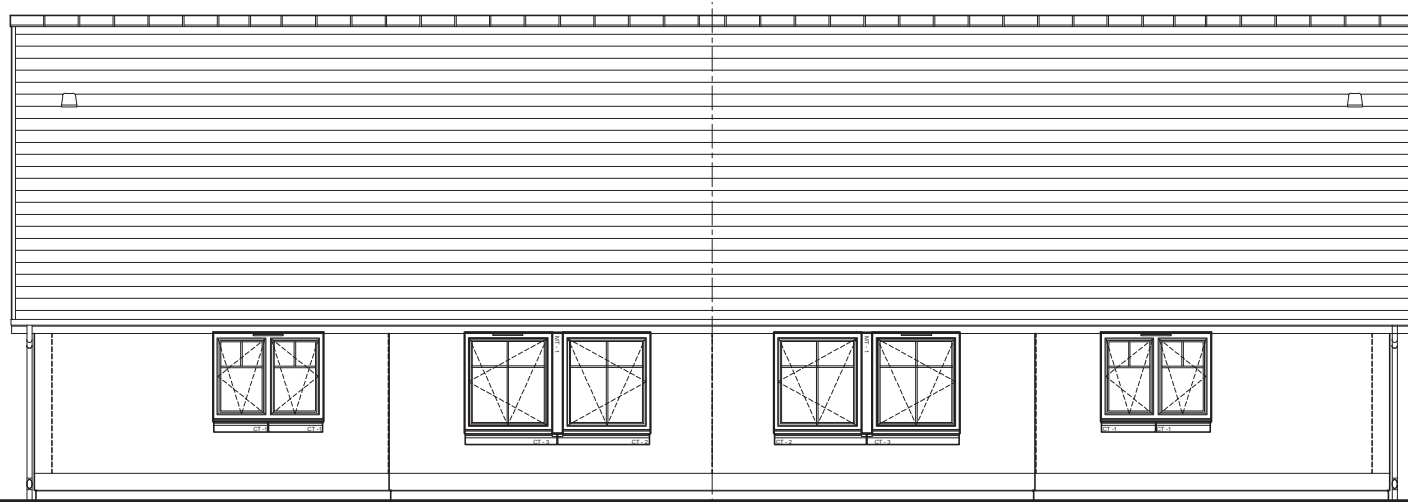
○ 38 WALKER TERRACE, TILlicULTRY, FK13 6EF ○  
 TEL: 01259 750301 FAX: 01259 752365  
 ● 5 NESS BANK, INVERNESS, IV2 4SF ●  
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WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.

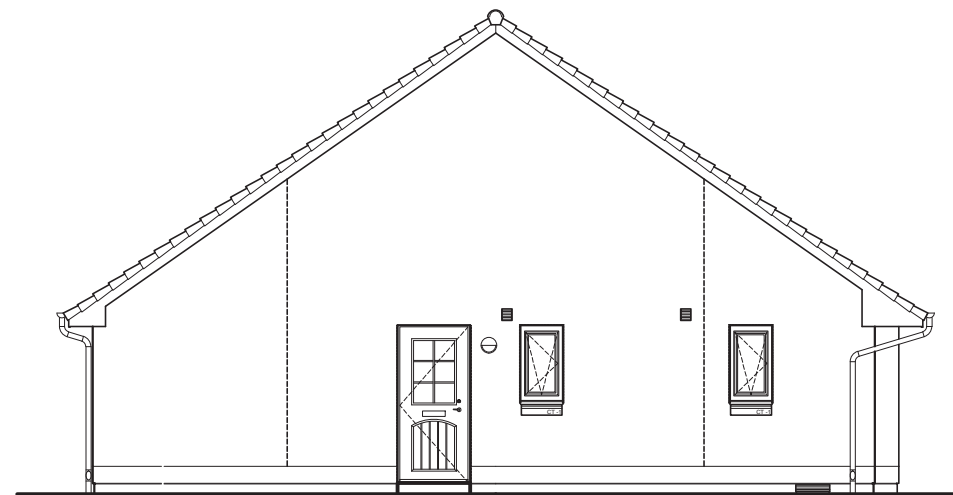
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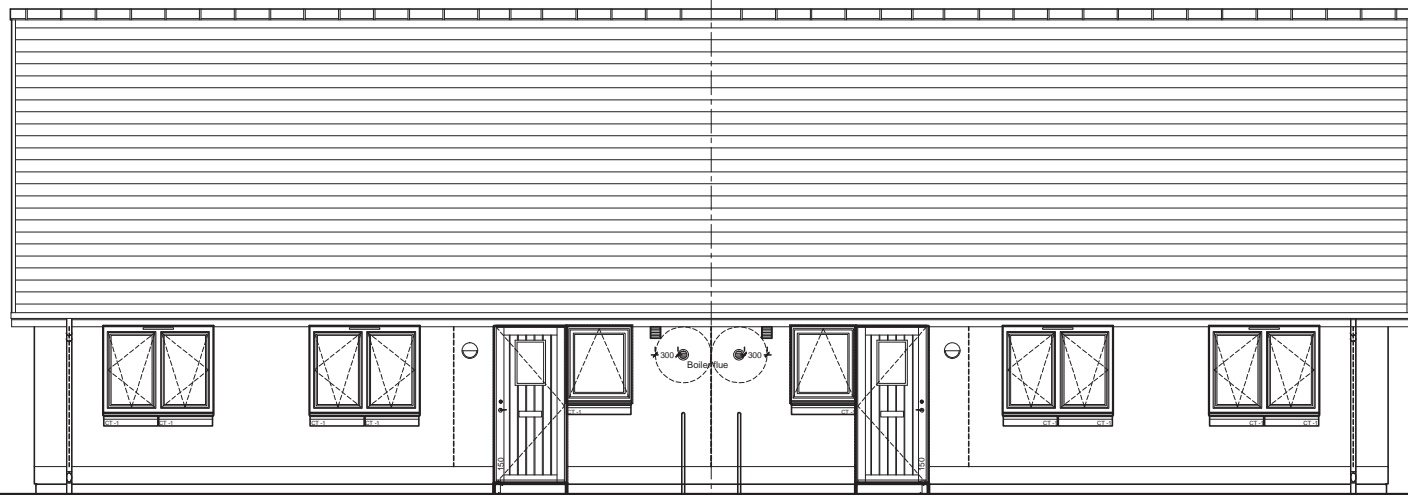
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Front Elevation



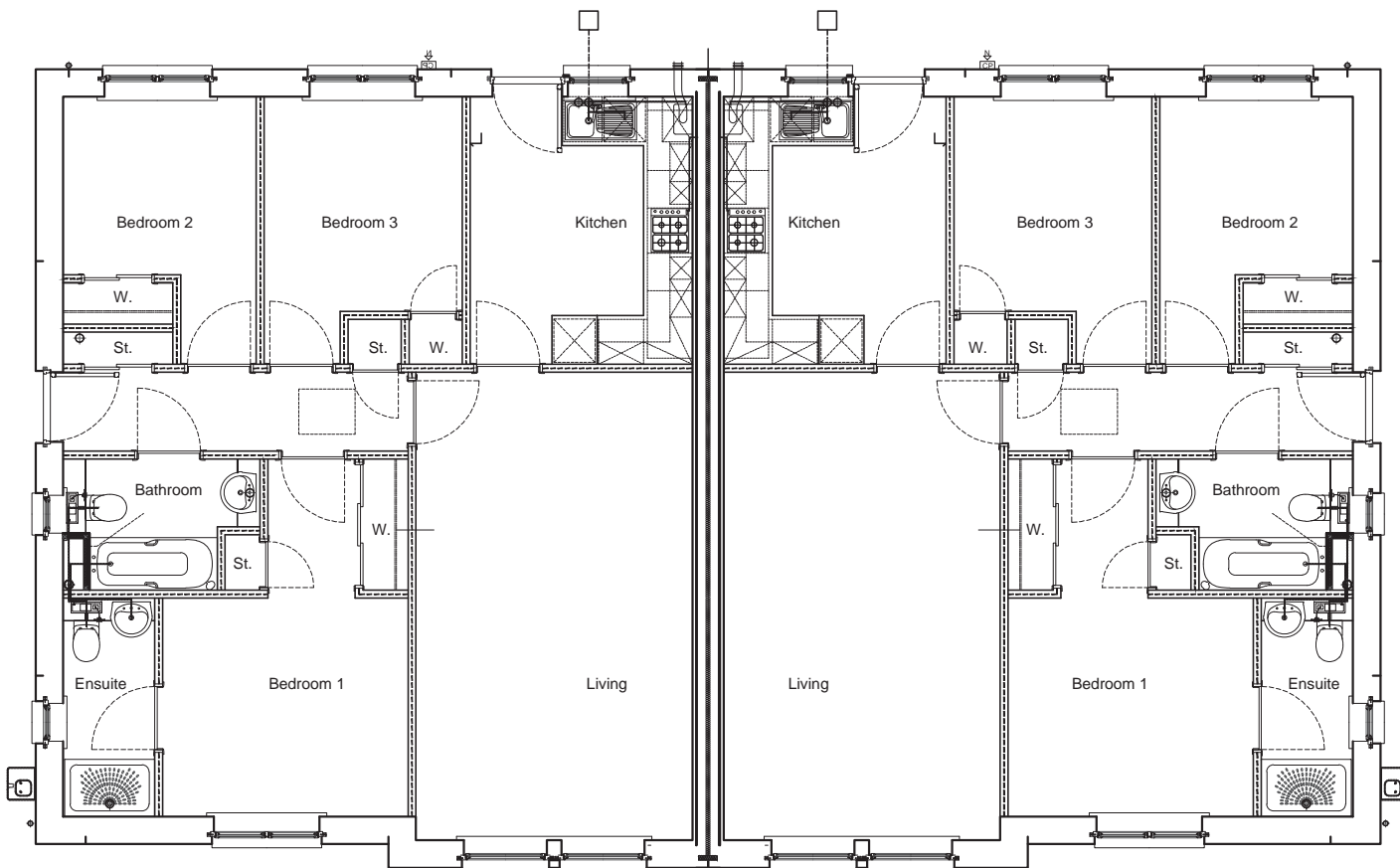
Gable Elevation



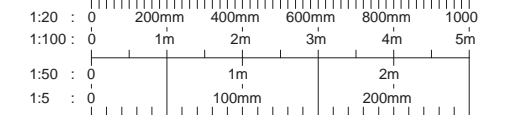
Rear Elevation



Gable Elevation



Ground Floor Plan



**Tulloch Homes**

**Bracewell Stirling CONSULTING**

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 ● 5 NESS BANK, INVERNESS, IV2 4SF ●  
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WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES Ltd.

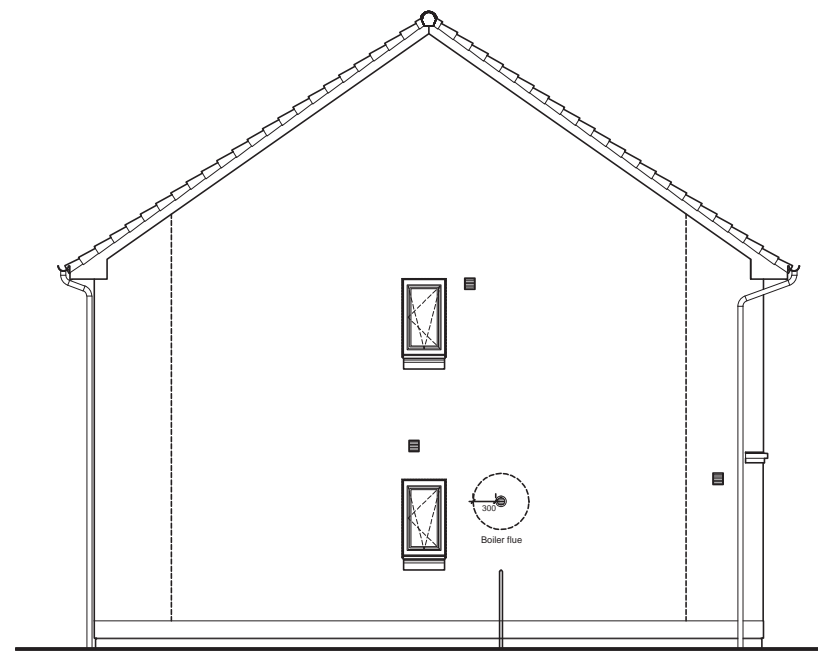
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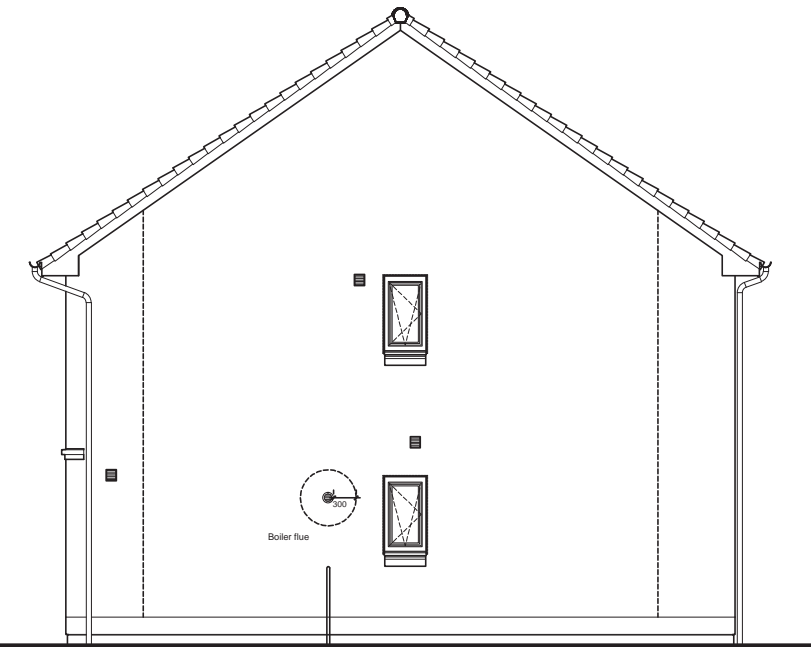
Front Elevation



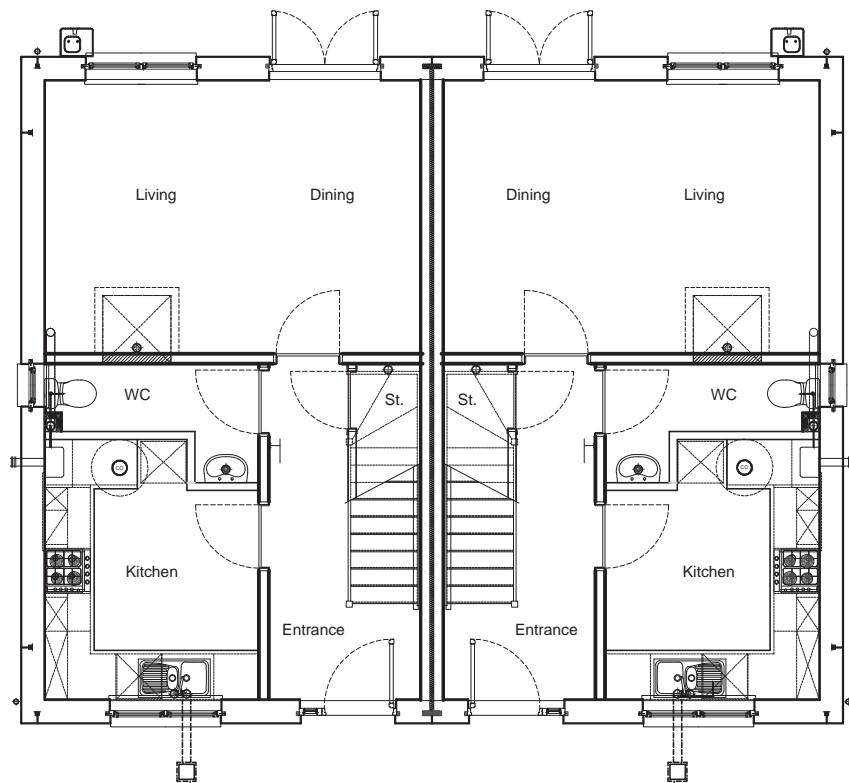
Gable Elevation



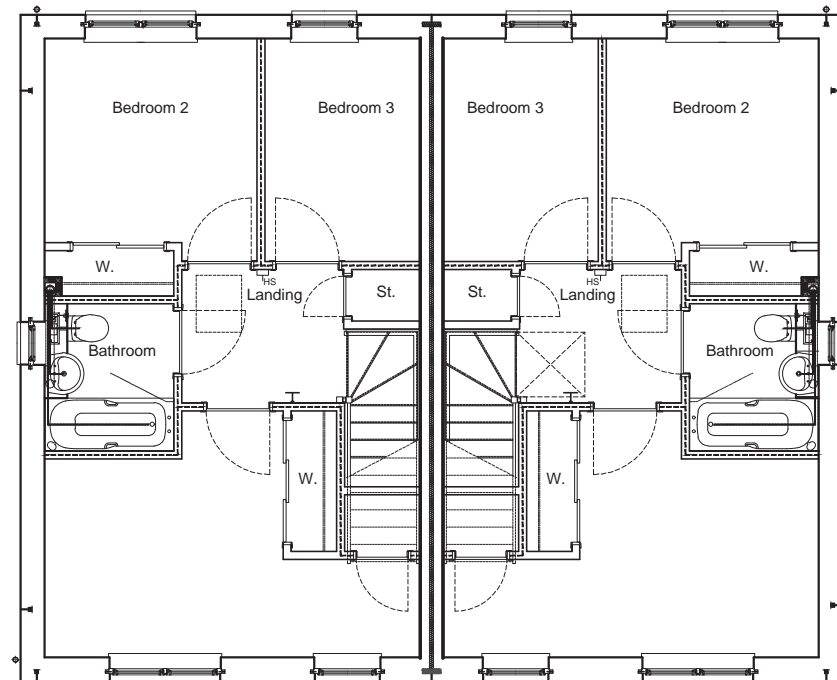
Rear Elevation



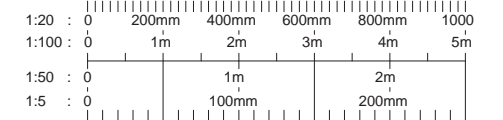
Gable Elevation



Ground Floor Plan



Upper Floor Plan



**Tulloch Homes**

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**WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD**

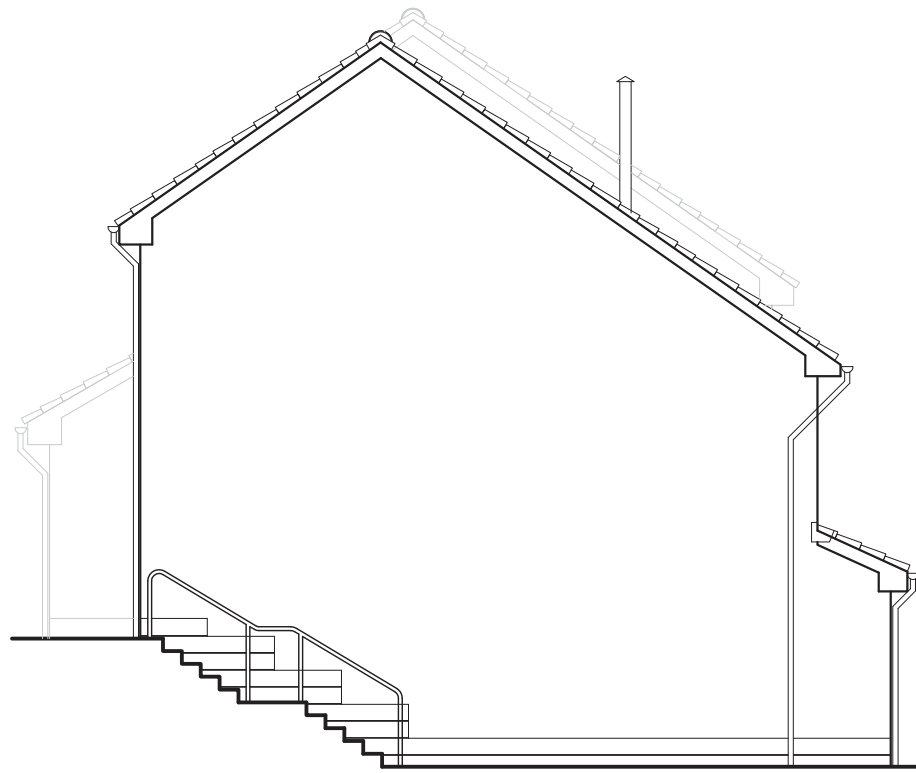
**TYPE 3SV 81 - CORRAN  
 TITLE GENERAL DETAILS**

SCALE 1:100 DATE JULY '14 BY DL  
 DWG SIZE A3

DWG NO 2787 / 3SV81 - 90 REV A



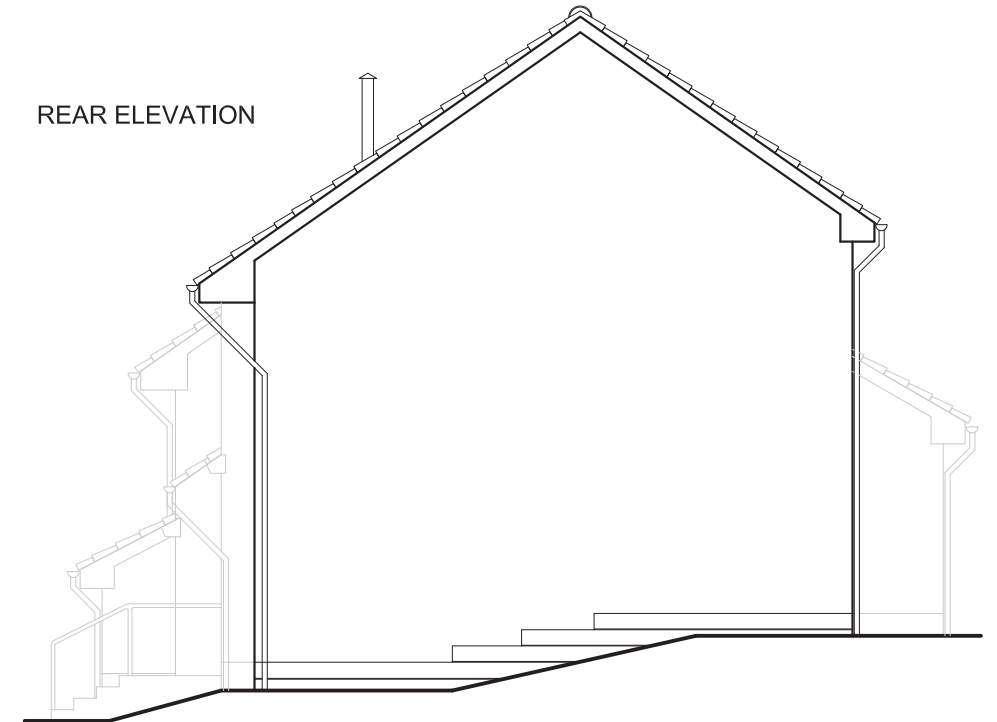
FRONT ELEVATION



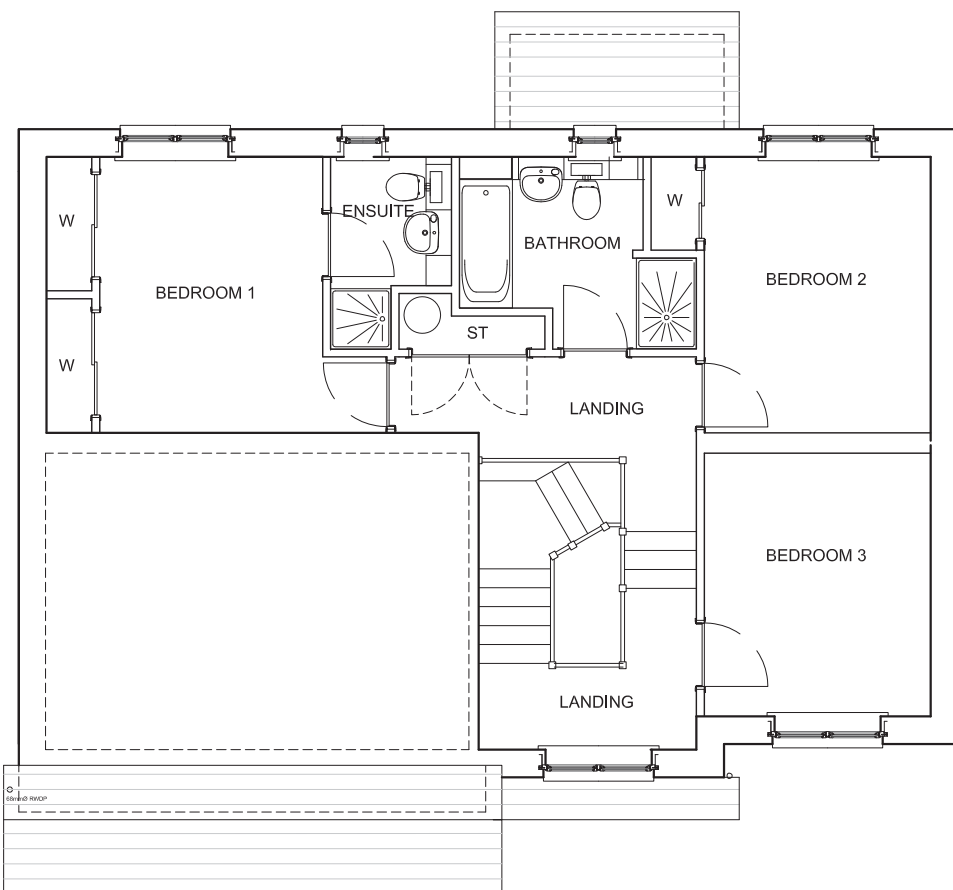
GABLE ELEVATION



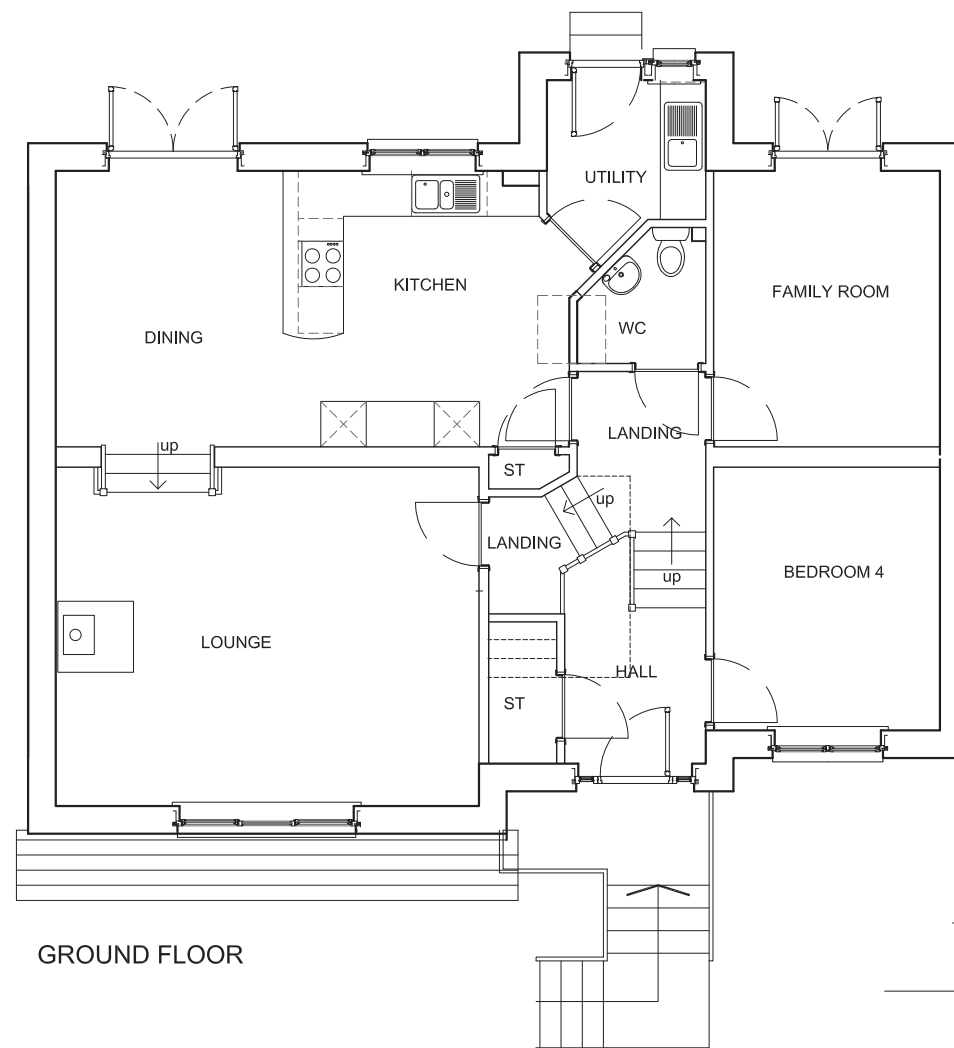
REAR ELEVATION



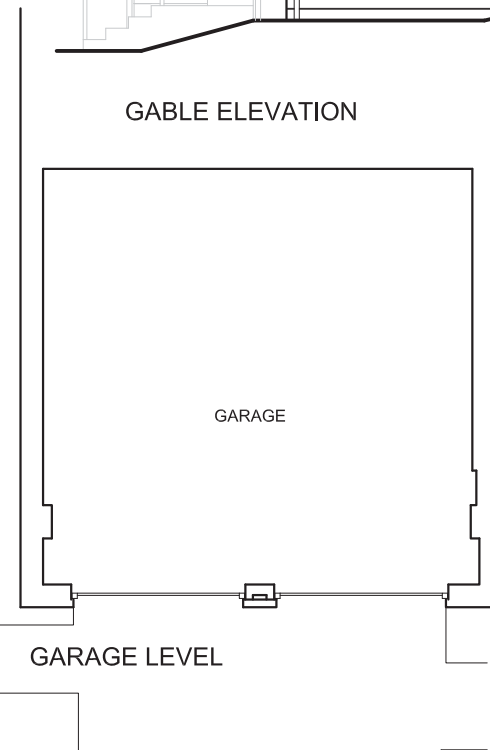
GABLE ELEVATION



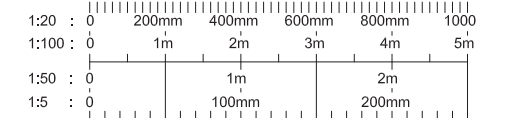
FIRST FLOOR



GROUND FLOOR



GARAGE LEVEL



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 TEL: 01463 233760 FAX: 01463 233785

WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.

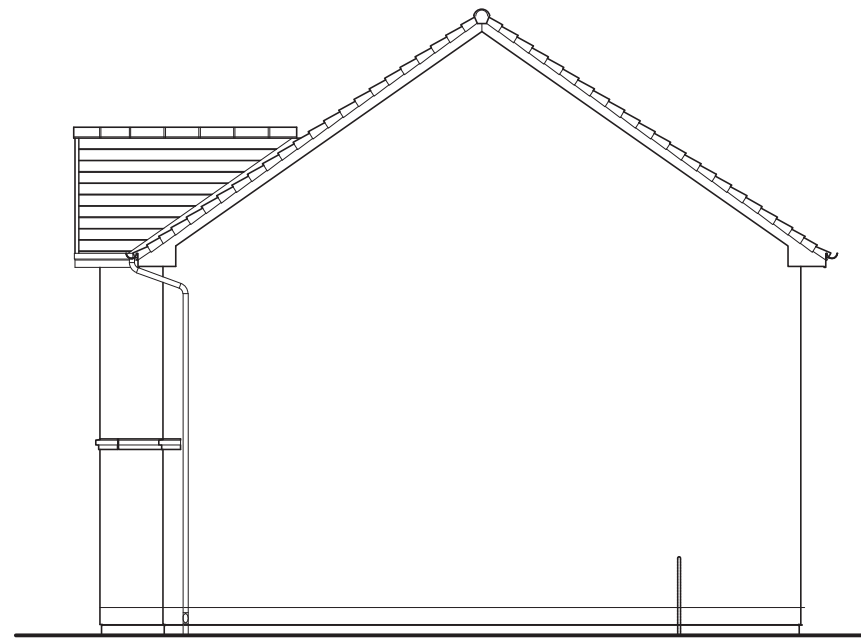
TYPE **4SL 158 - CRUACHAN**  
 TITLE **GENERAL DETAILS**

SCALE 1:100 DATE JULY '14 BY DL  
 DWG SIZE A3

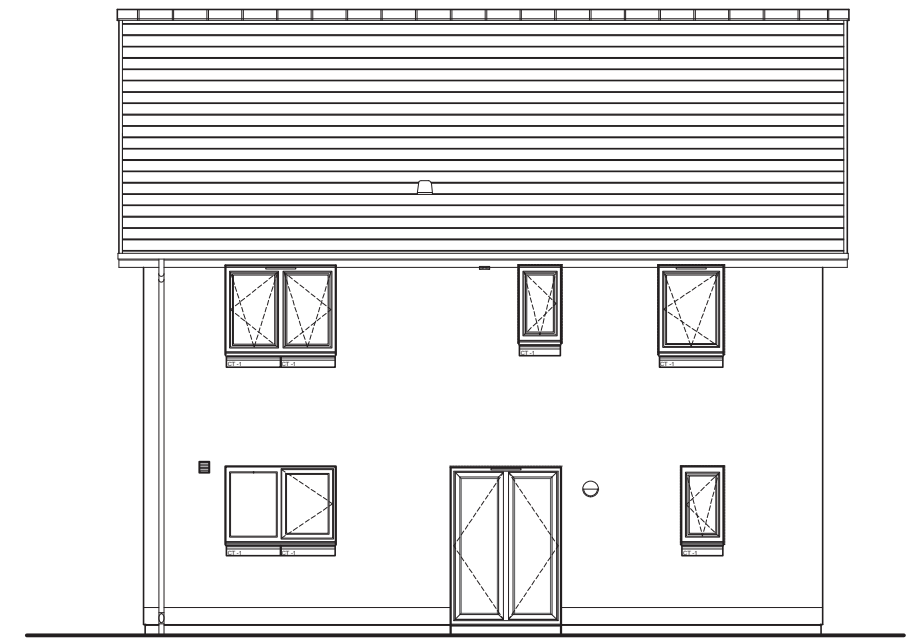
DWG NO 2787/4SL158-90 REV A



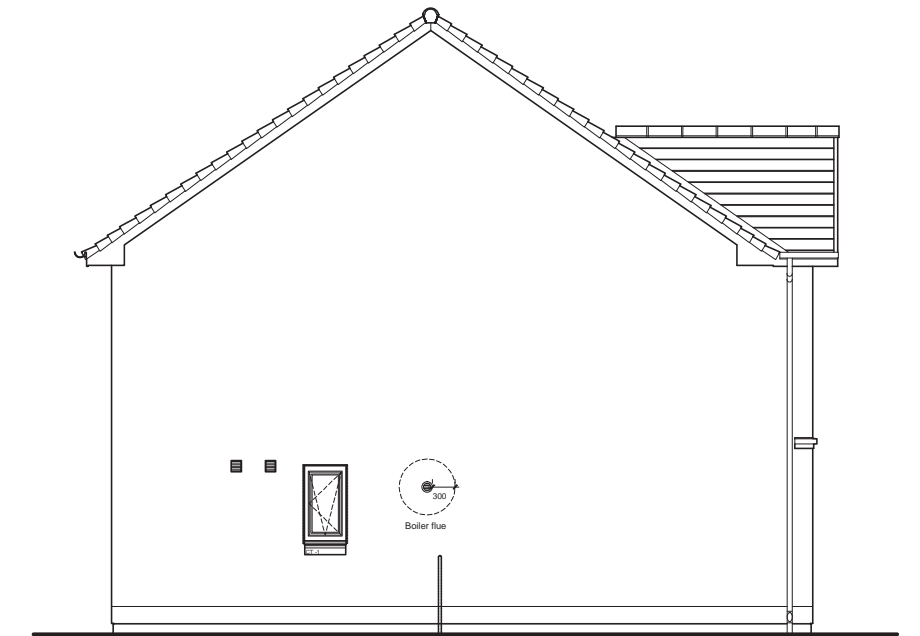
Front Elevation



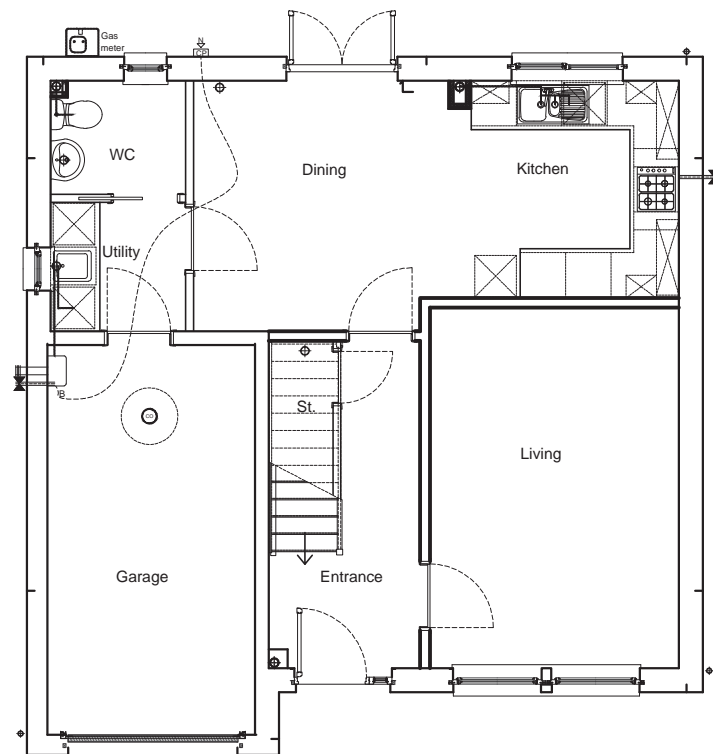
Gable Elevation



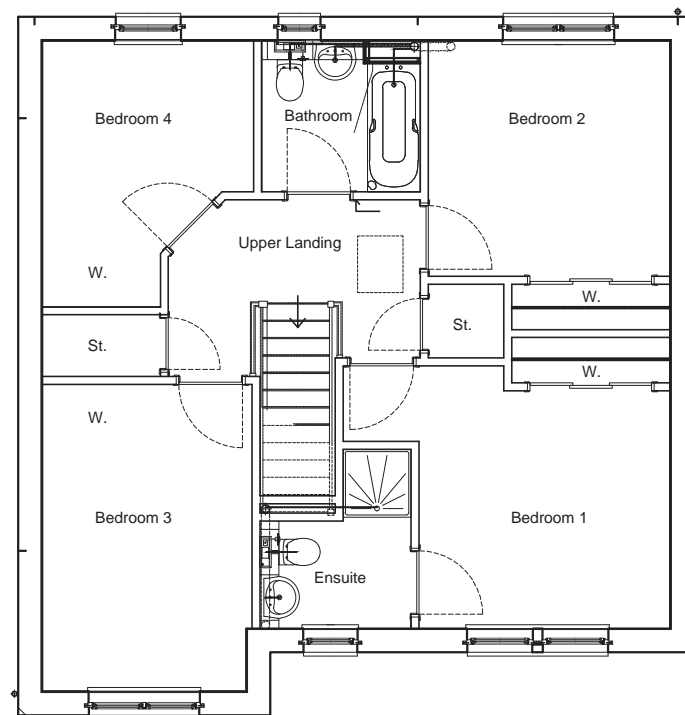
Rear Elevation



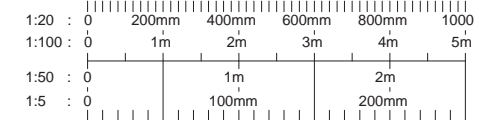
Gable Elevation



Ground Floor Plan



Upper Floor Plan



**Tulloch Homes**

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**WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.**

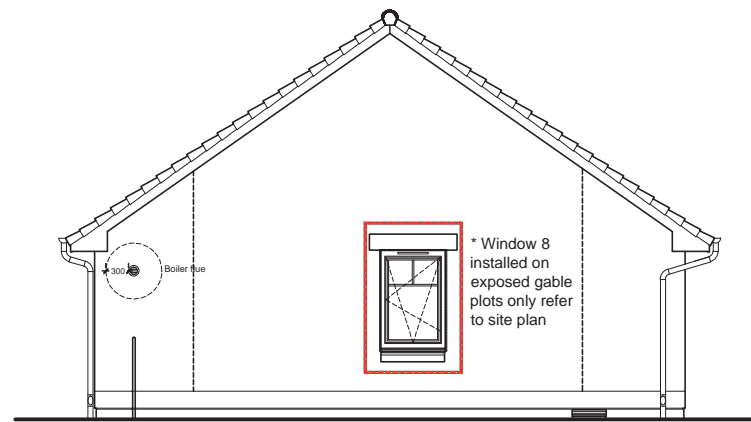
TYPE **4DV 118 - ETIVE**  
 TITLE **GENERAL DETAILS**

SCALE **1:100** DATE **JULY '14** BY **DL**  
 DWG SIZE **A3**

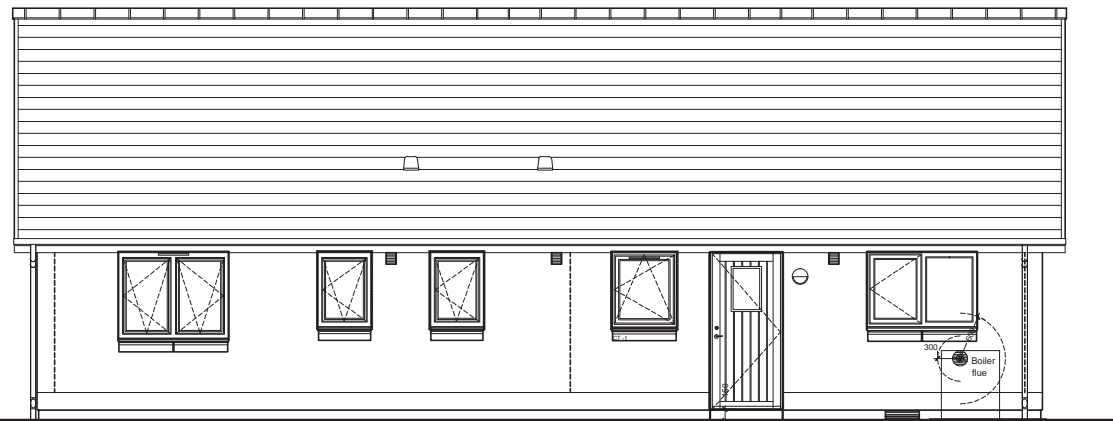
DWG NO **2787 / 4DV 118 - 90** REV **A**



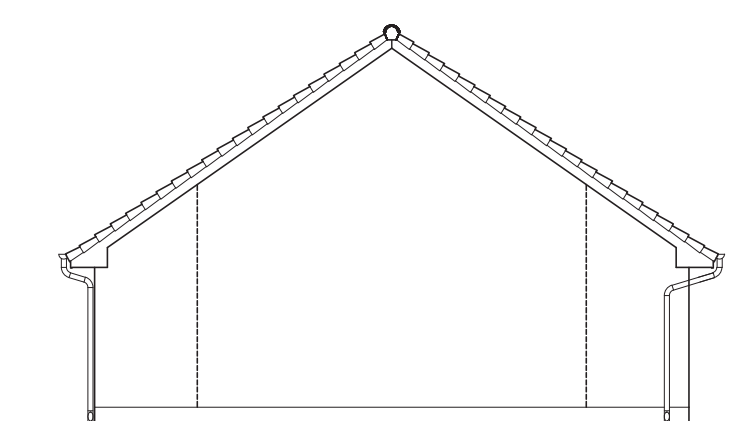
Front Elevation / Street Elevation



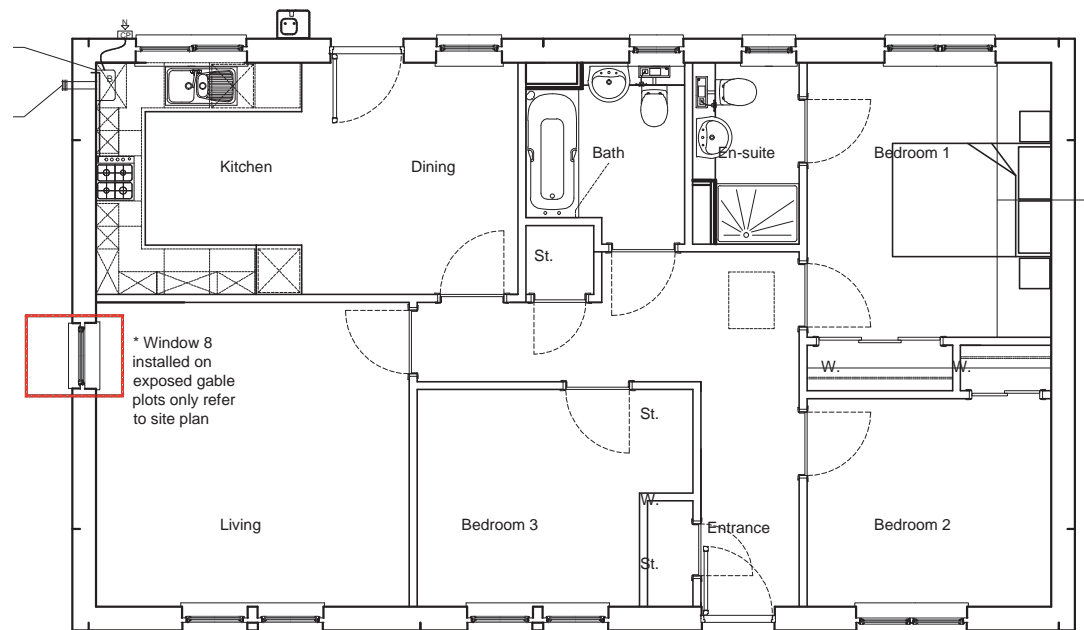
Gable Elevation



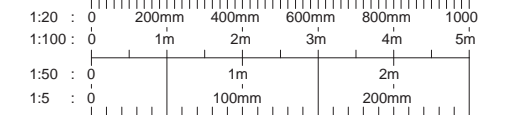
Rear Elevation / Garden Elevation



Gable Elevation



Ground Floor Plan



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WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.

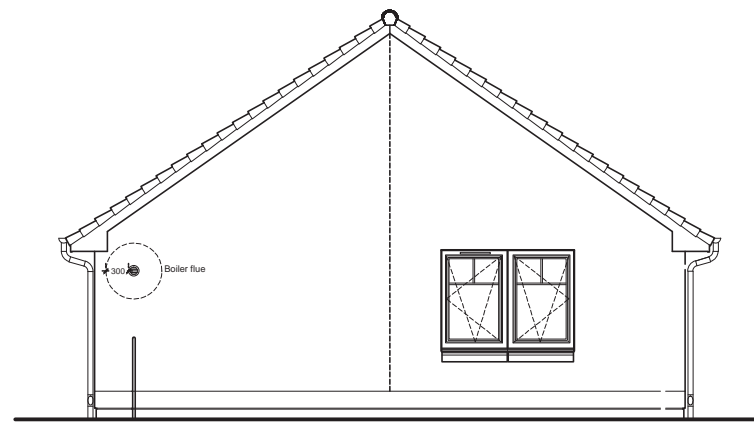
TYPE **3DB 91 - KINGLASS FA**  
 TITLE **GENERAL DETAILS**

SCALE **1:100** DATE **JULY '14** BY **DL**  
 DWG SIZE **A3**

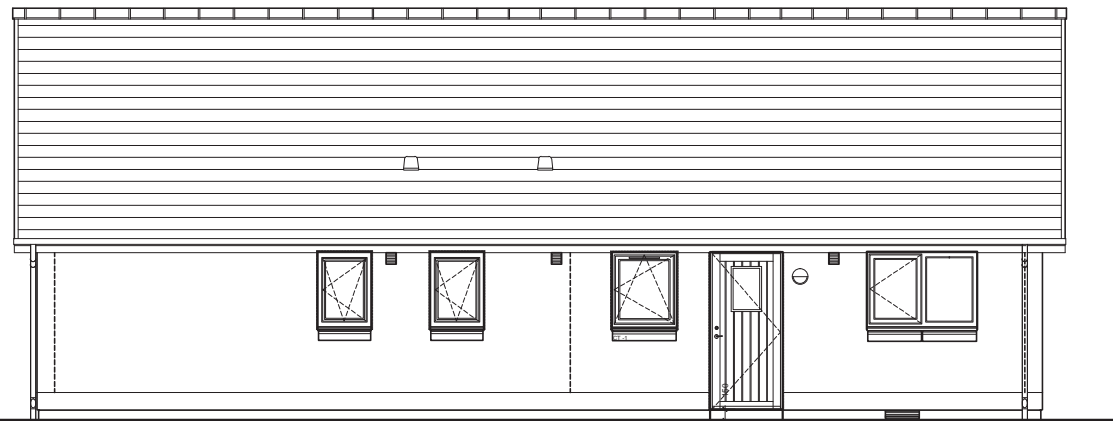
DWG NO **2787 / 3DB91FA - 90** REV **A**



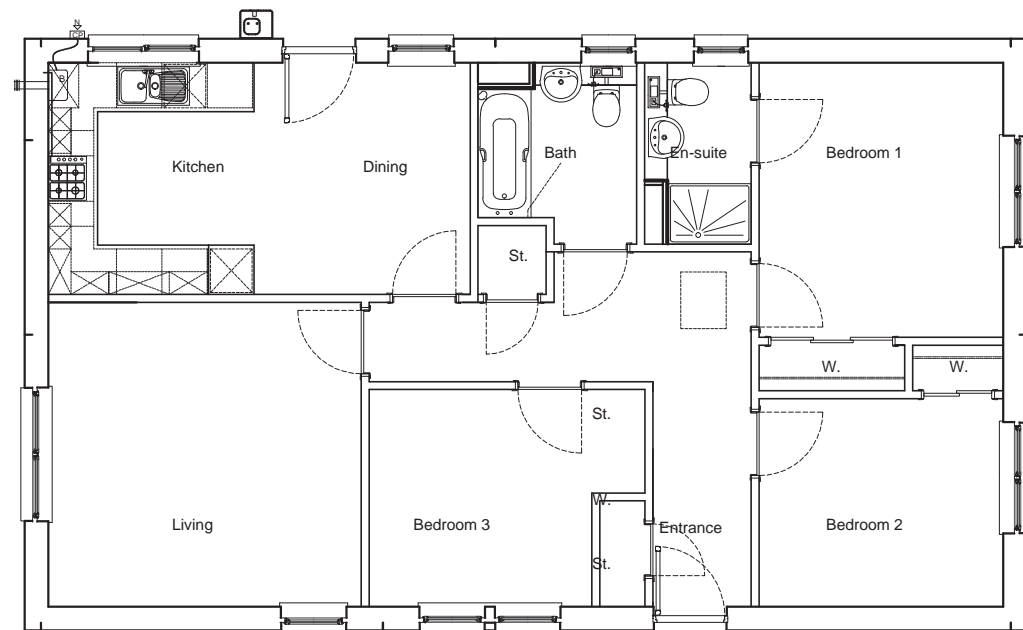
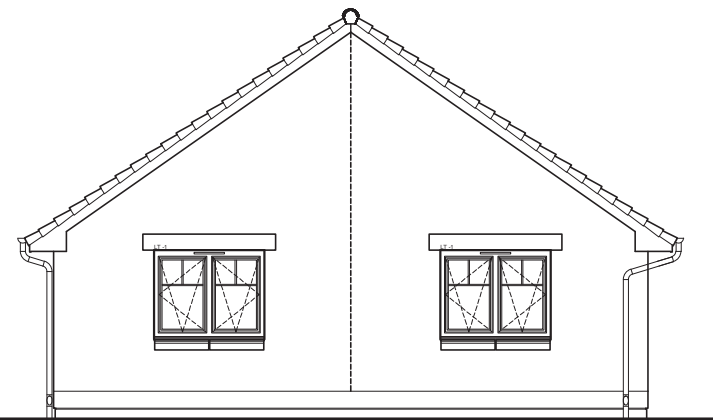
Side Elevation



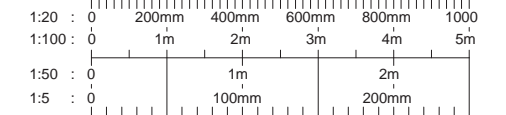
Front Elevation / Street Elevation



Side Elevation



Ground Floor Plan



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WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.

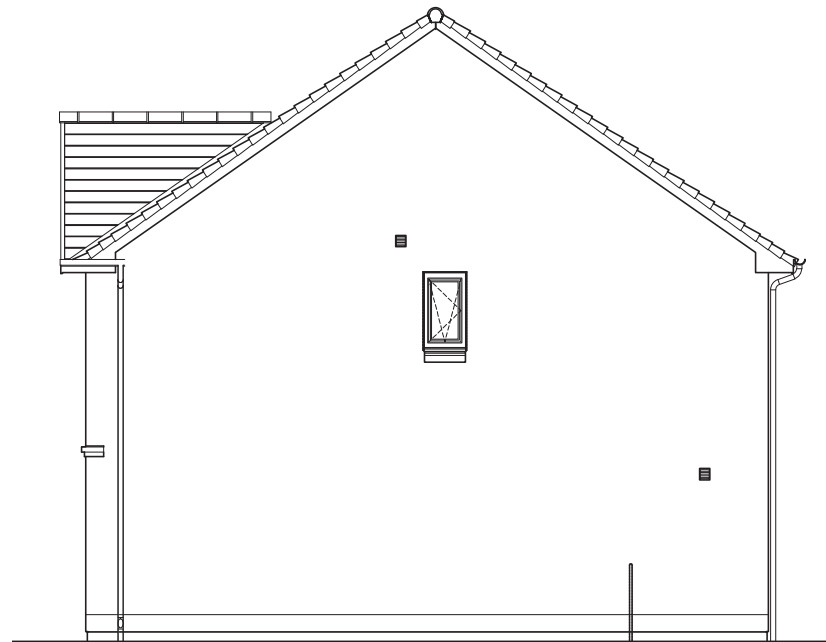
TYPE **3DB 91 - KINGLASS GA**  
 TITLE **GENERAL DETAILS**

SCALE **1:100** DATE **JULY '14** BY **DL**  
 DWG SIZE **A3**

DWG NO **2787 / 3DB91GA - 90** REV **A**



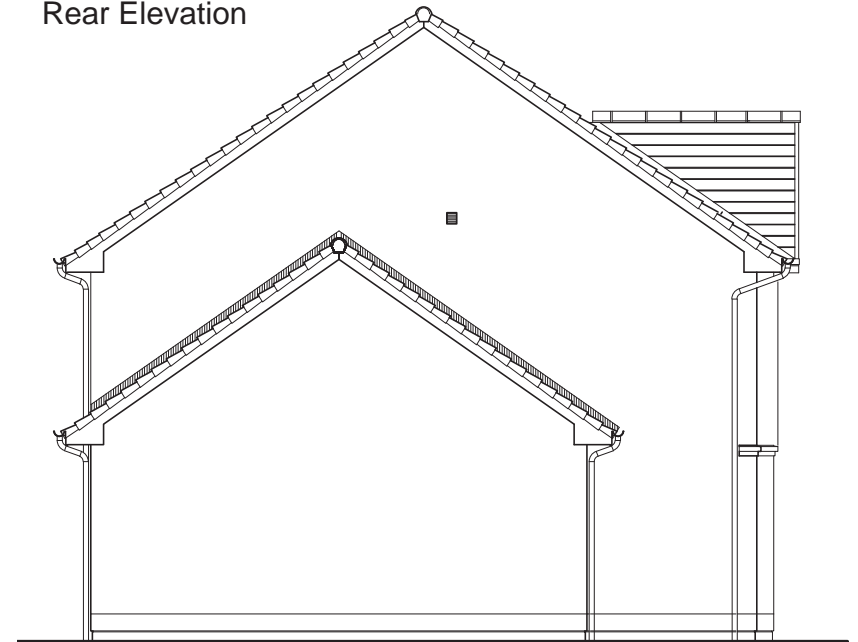
Front Elevation



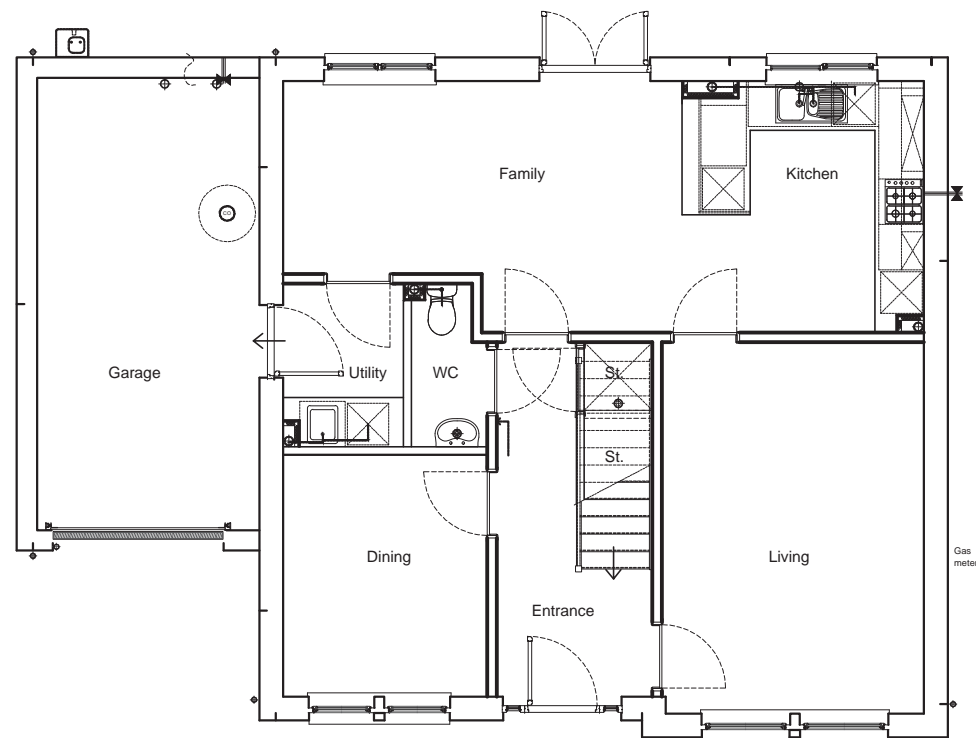
Gable Elevation



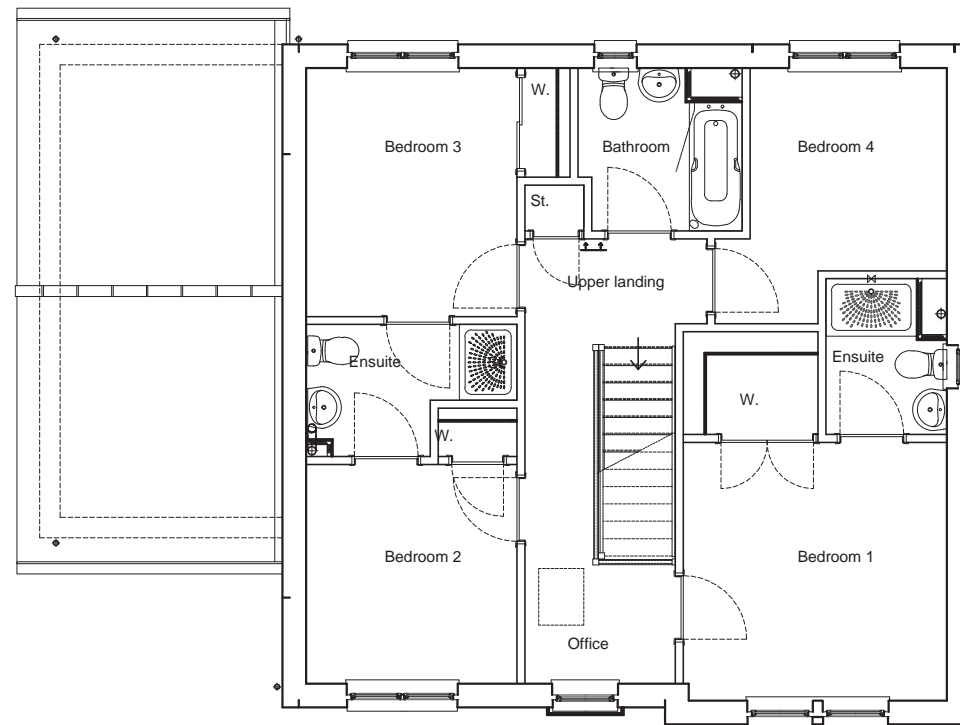
Rear Elevation



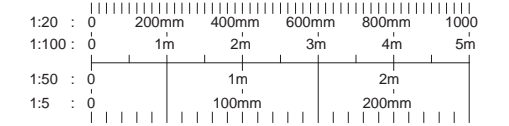
Gable Elevation



Ground Floor Plan



Ground Floor Plan



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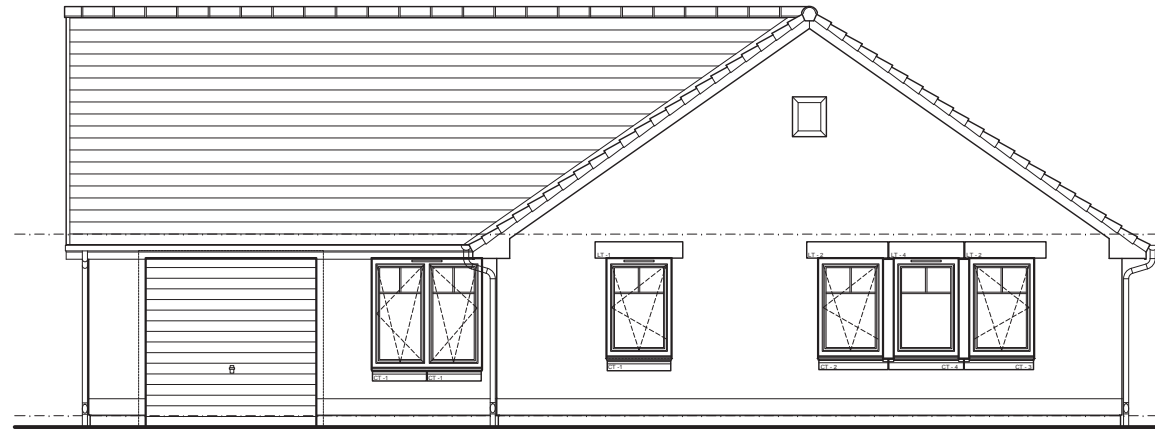
WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.

TYPE **4DV139 - LOCHALSH**  
 TITLE **GENERAL DETAILS**

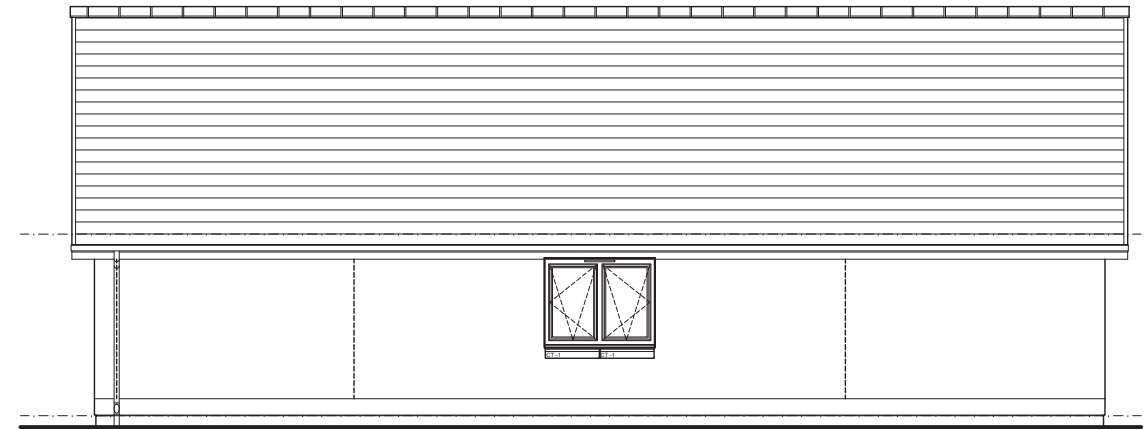
SCALE 1:100 DATE JUNE '14 BY DL  
 DWG SIZE A3

DWG NO 2787 / 4DV139 - 90 REV A

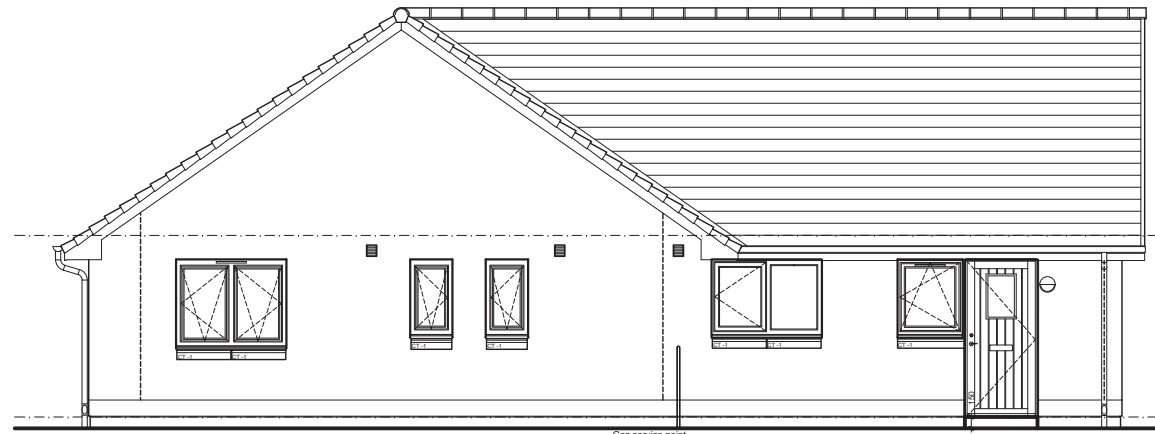




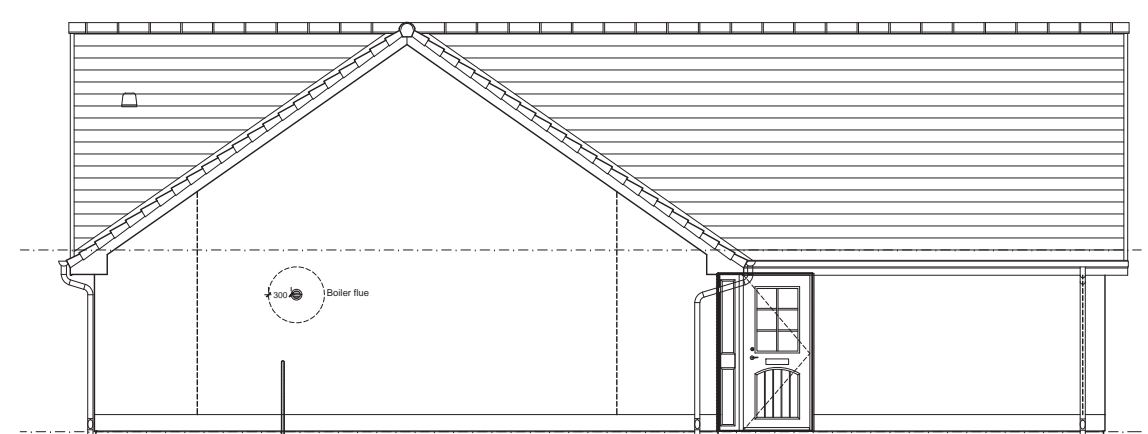
Front Elevation



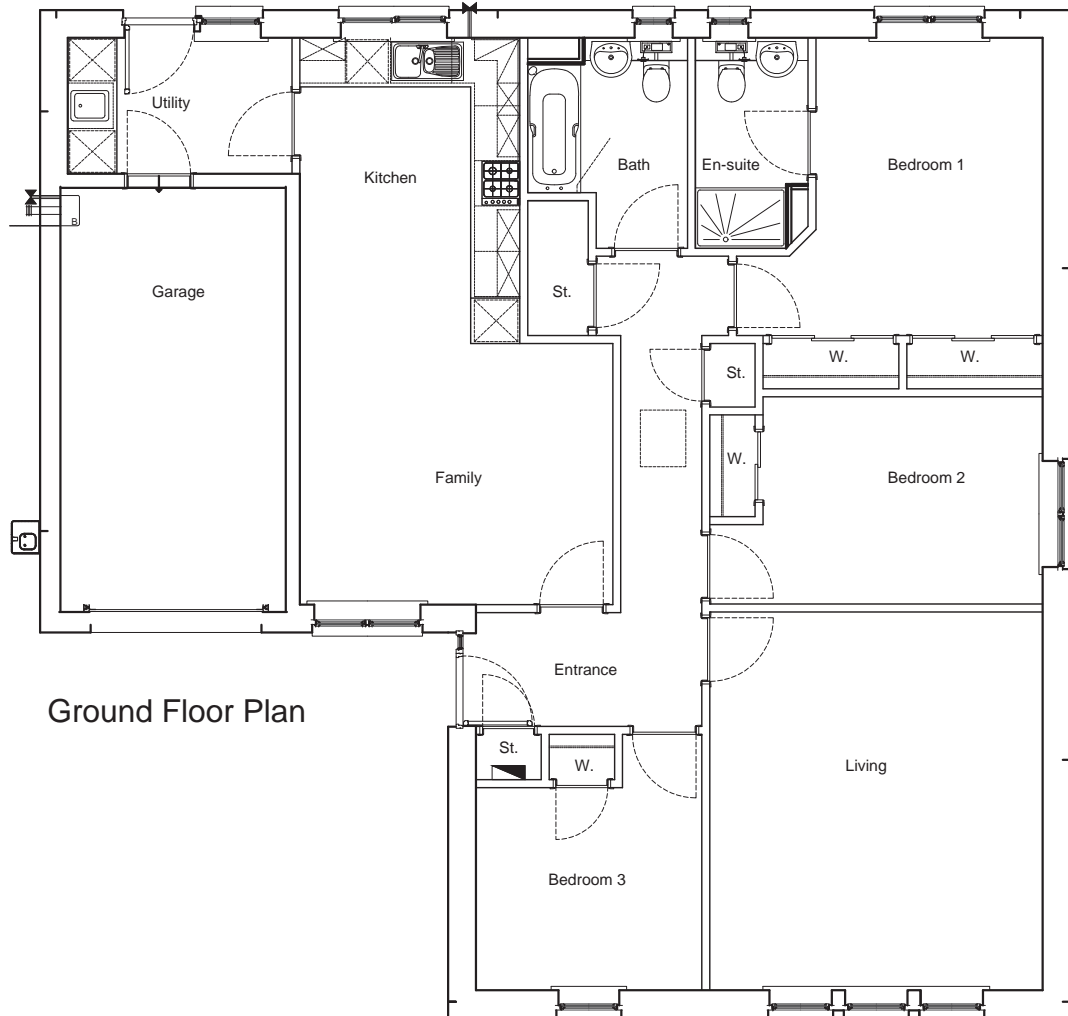
Gable Elevation



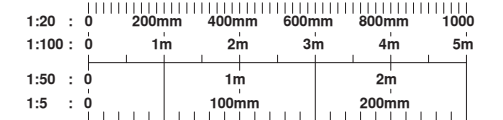
Rear Elevation



Gable Elevation



Ground Floor Plan



**Tulloch Homes**

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WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.

TYPE **3DB 117 - LOCHY**  
 TITLE **GENERAL DETAILS**

SCALE 1:100 DATE JULY '14 BY DL  
 DWG SIZE A3

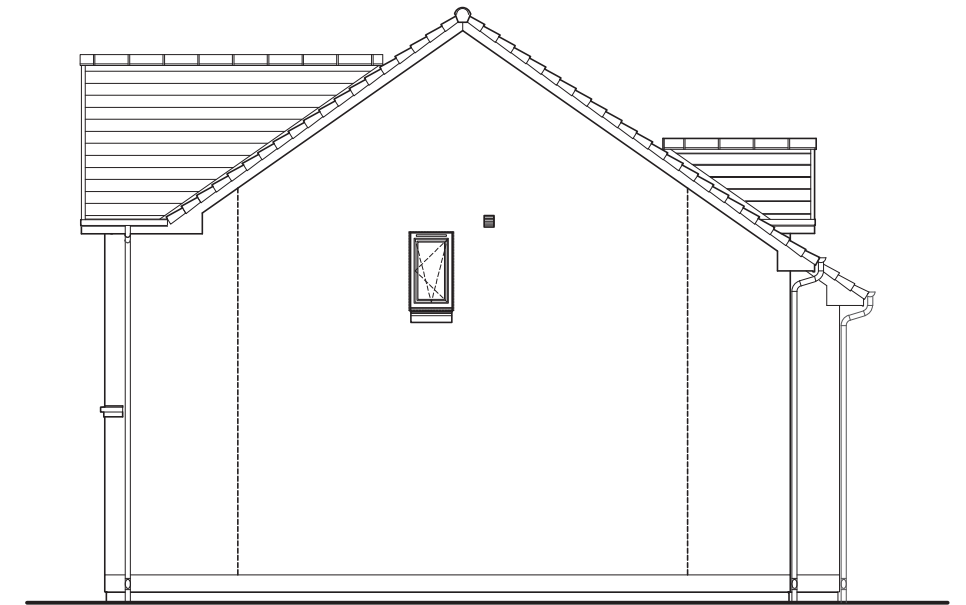
DWG NO 2787 / 3DB117 - 90 REV A



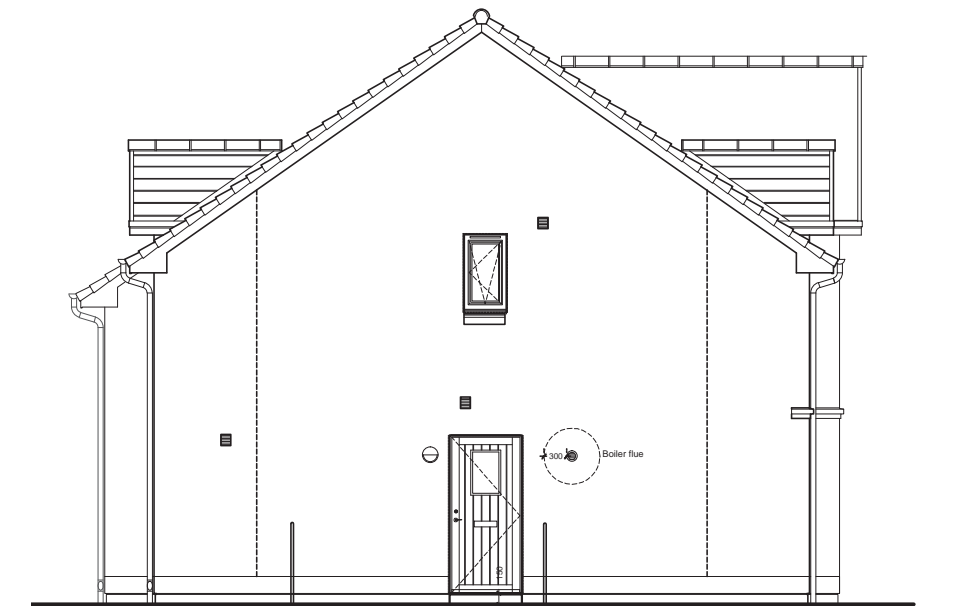
Front Elevation



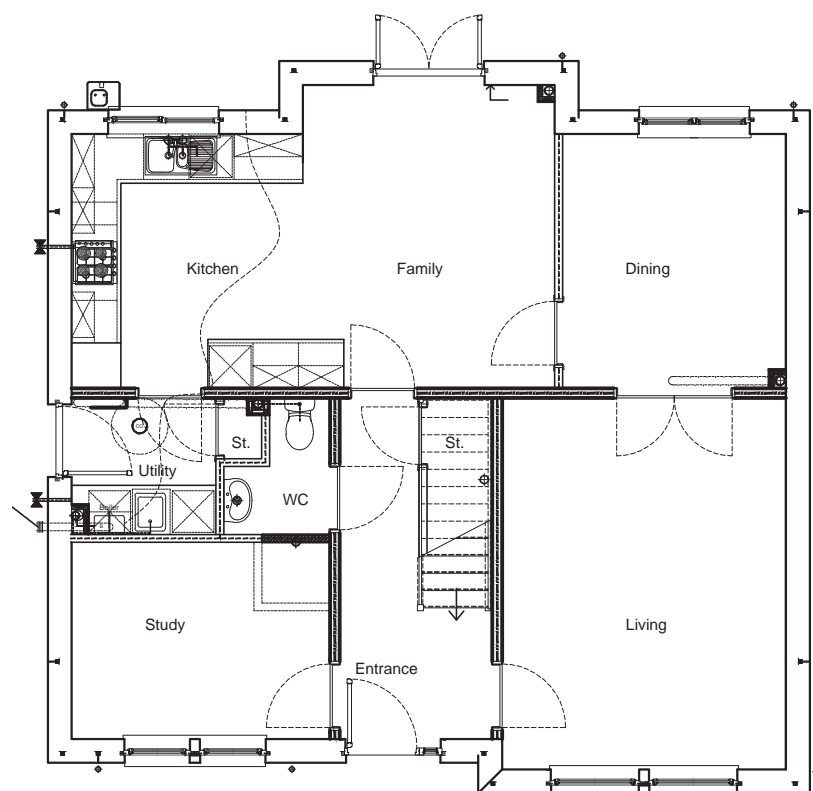
Rear Elevation



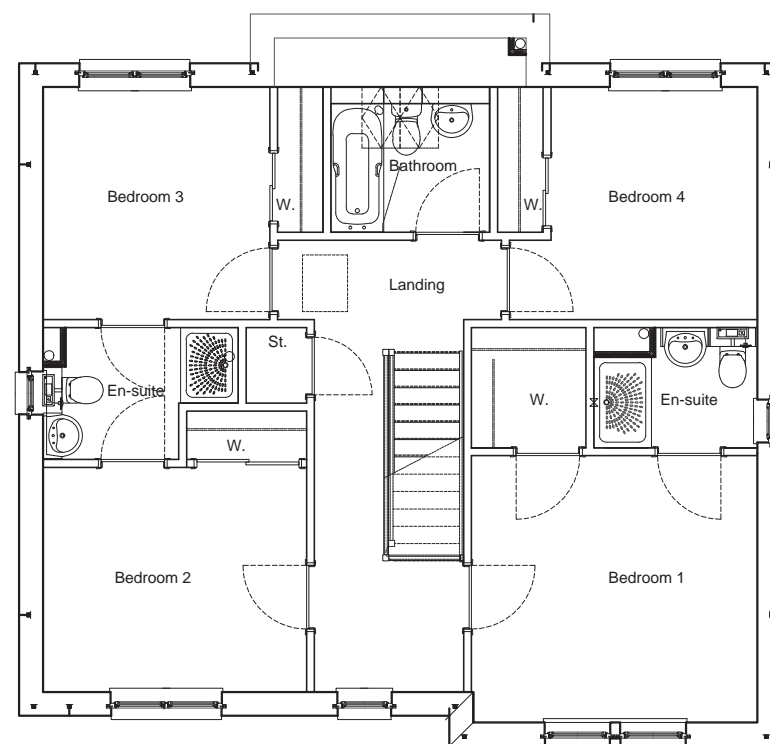
Gable Elevation



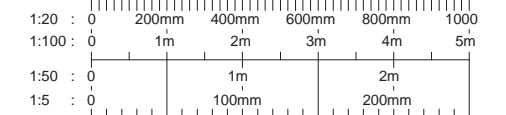
Gable Elevation



Ground Floor Plan



Upper Floor Plan



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**WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.**

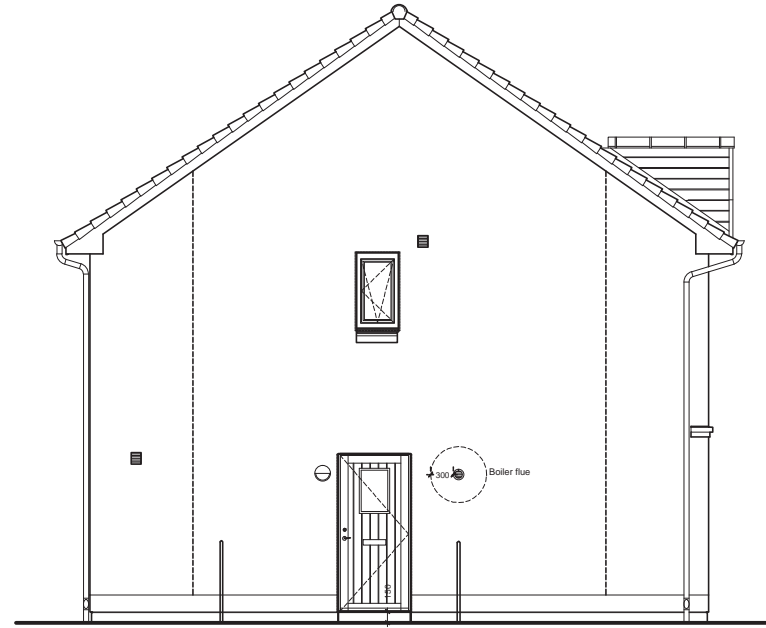
TYPE **4DV156 - RANNOCH**  
 TITLE **GENERAL DETAILS**

SCALE 1:100 DATE JULY 14 BY DGL  
 DWG SIZE A3

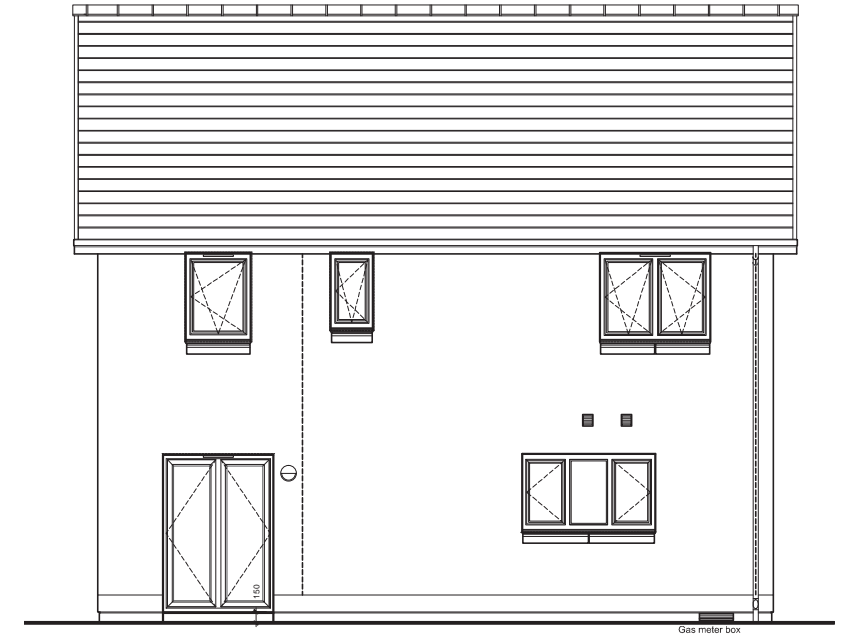
DWG NO 2787 / 4DV156 - 90 REV A



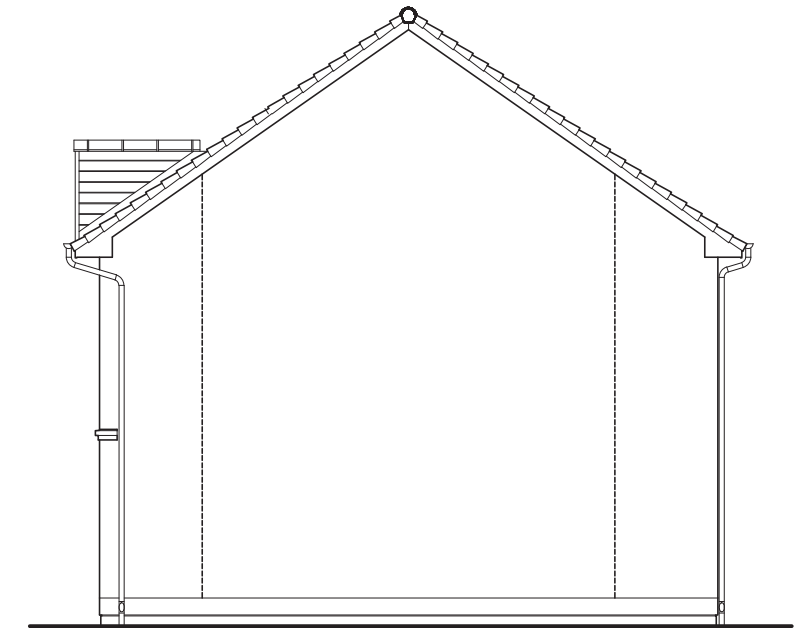
Front Elevation



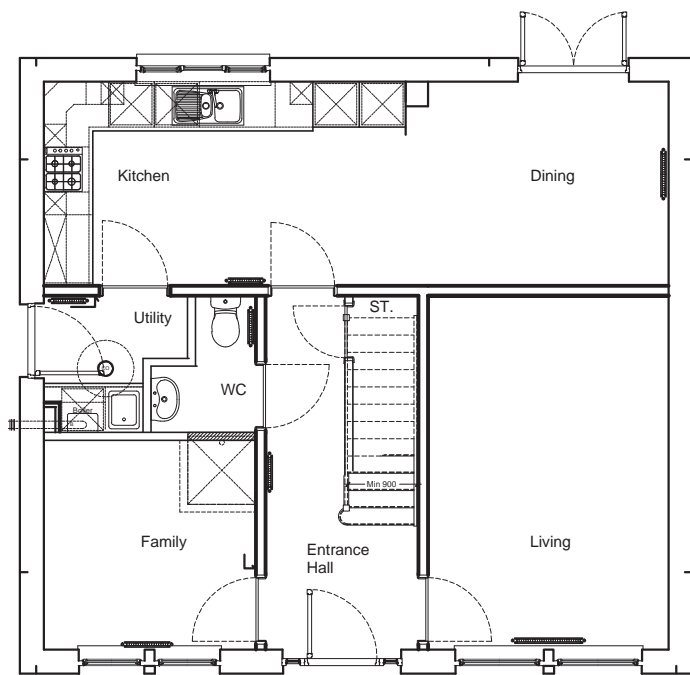
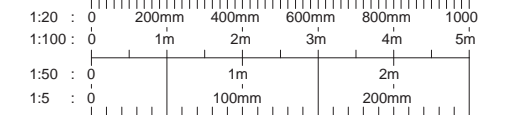
Gable Elevation



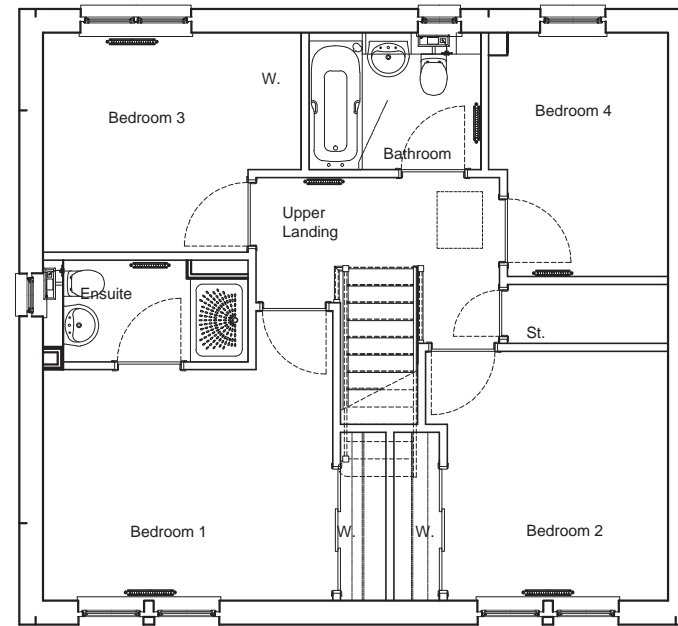
Rear Elevation



Gable Elevation



Ground Floor Plan



Upper Floor Plan

**Tulloch Homes**

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**WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.**

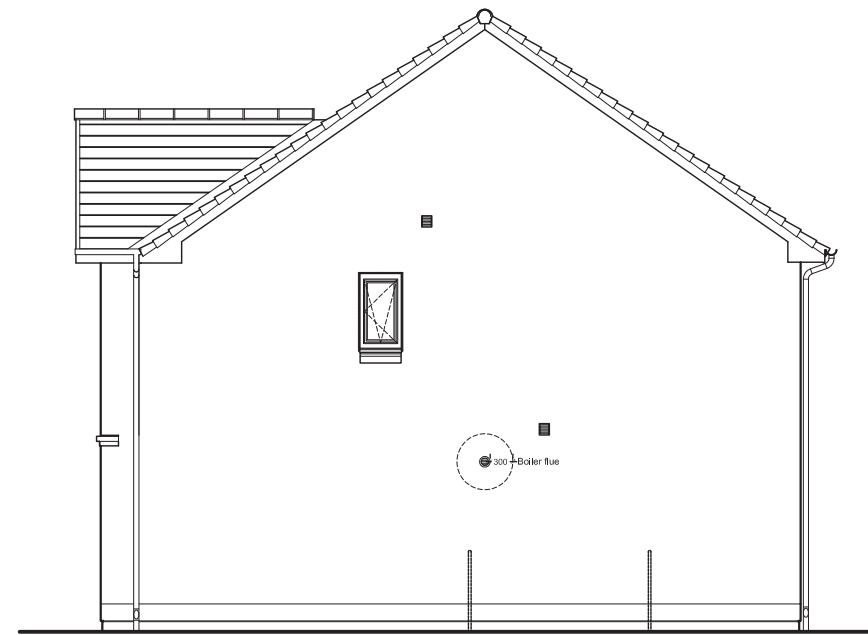
TYPE **4DV124 - TARVIE**  
 TITLE **GENERAL DETAILS**

SCALE 1:100 DATE JULY '14 BY DL  
 DWG SIZE A3

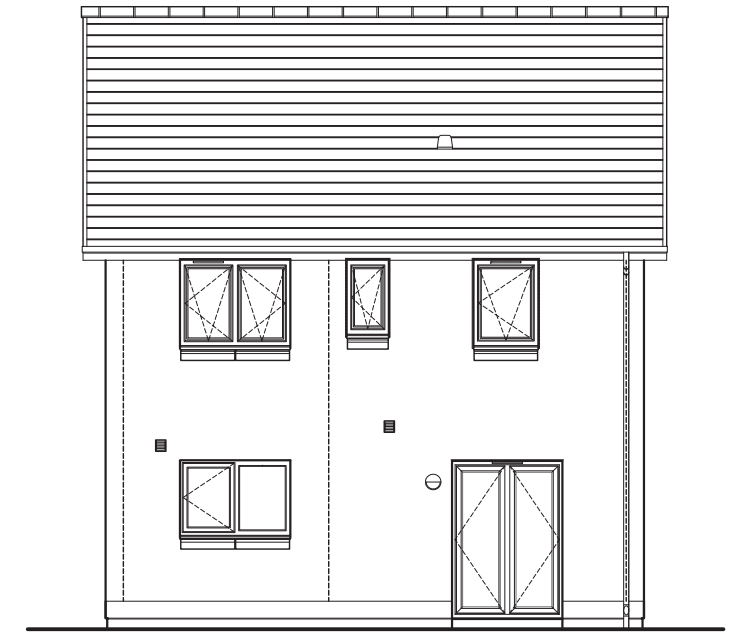
DWG NO 2787 / 4DV124 - 90 REV A



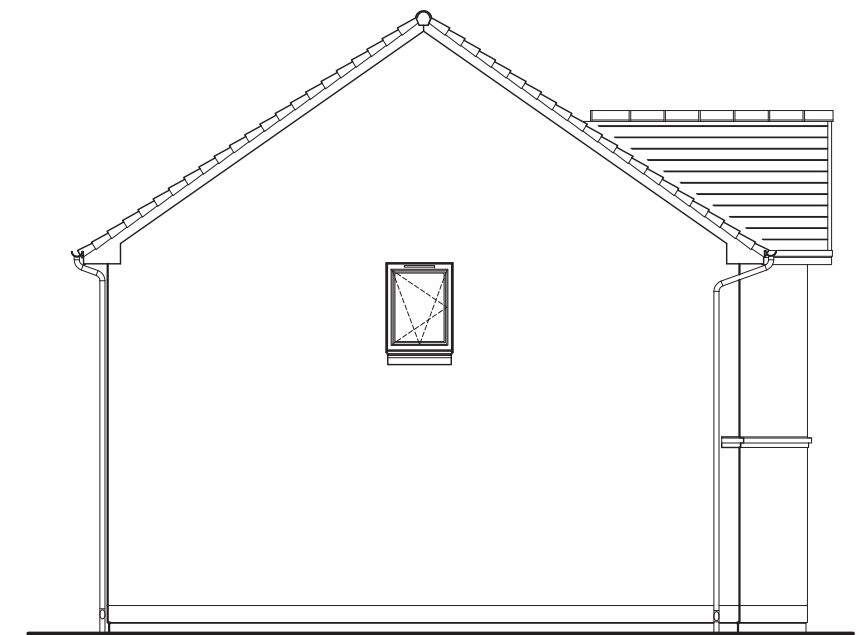
Front Elevation



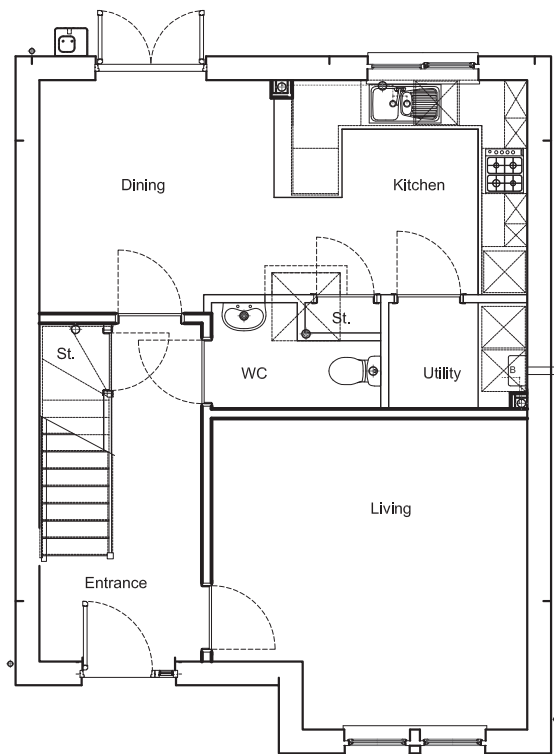
Gable Elevation



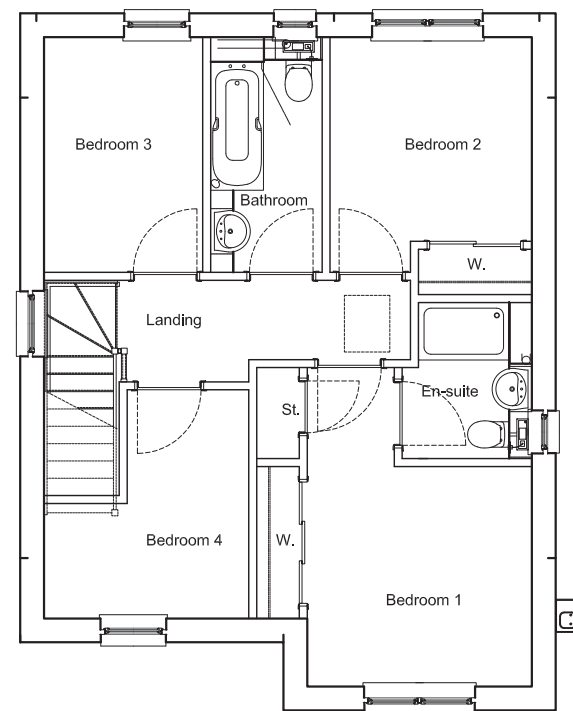
Rear Elevation



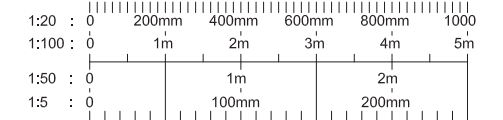
Gable Elevation



Ground Floor Plan



Upper Floor Plan



**Tulloch Homes**

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**WESTER INSHES - PHASE 3  
 INVERNESS  
 TULLOCH HOMES LTD.**

TYPE **4DV105 - TWEED**  
 TITLE **GENERAL DETAILS**

SCALE **1:100** DATE **JULY '14** BY **DGL**  
 DWG SIZE **A3**

DWG NO **2787 / 4DV105 - 90** REV **A**