

THE HIGHLAND COUNCIL

SOUTH PLANNING APPLICATIONS COMMITTEE
28 February 2017

| | |
|-------------|------------|
| Agenda Item | 6.7 |
| Report No | PLS 017/17 |

16/05586/LBC: Eastgate Unit Trust
8 – 10 Academy Street, Inverness

Report by Area Planning Manager - South / Major Developments

SUMMARY

Description: Extension, alterations and partial demolition

Recommendation: GRANT

Ward: 15 – Inverness Central

Development category: Local

Pre-determination hearing: Not required

Reason referred to Committee: Manager's discretion

1. PROPOSED DEVELOPMENT

- 1.1 This proposal is Listed Building Consent for an extension to the existing category 'C' listed Filling Station restaurant which fronts onto Academy Street. The application for full planning permission is also included on this agenda. The extension is to the gable of the existing building and will extend out onto Falcon Square. The extension will join onto the gable elevation of the adjacent Falconer Building which is also listed category 'C'. It is a flat roofed single storey extension of contemporary design featuring glazed elevations. The proposal also includes the partial demolition of a wall and removal of a door on the easternmost corner of the existing building. It is essentially a redesign of the scheme that was submitted in 2016 and refused by members at the South Planning Applications Committee meeting on 27 September 2016.
- 1.2 The extension will be set back slightly from the principal elevation and extend out into Falcon Square by approximately 6.5 metres. It will run the remaining depth of the existing building before being brought back just behind the front facade of the Falconer building, enclosing the area between the existing buildings almost in an 'L' shaped footprint.
- 1.4 The applicant has engaged in informal pre-application discussions with officers in relation to the proposals. In addition, and since refusal of the previous application,

the applicant has engaged with the Inverness Design Review Panel.

- 1.5 The main access to the building will remain on the Academy Street façade however there will be a secondary access to the extension from Falcon Square itself. The existing foul and surface water drainage infrastructure will be amended to facilitate the proposal.
- 1.6 A Design and Access Statement has been submitted in support of the application.
- 1.7 **Variations:** Roof re-designed to feature thin cantilever edge and metal cladding upstand replaced with stone cladding.

2. SITE DESCRIPTION

- 2.1 The site forms part of the existing civic open space area of Falcon Square. To the north-east is the two storey listed building currently occupied by Pizza Express and Laura Ashley. To the south of the site is the remainder of Falcon Square bounded by Academy Street and Millburn Road.
- 2.2 The existing building is a two-storey detached building featuring rough ashlar walls, slate roof and gable chimney. There is a small area adjacent to the gable on Falcon Square that is used as an external seating area. There are three trees positioned parallel with the gable located just in front of the arches. The arches are to be retained and would become an internal feature of the extension whilst the trees would have to be removed/relocated.
- 2.3 The adjacent Falconer Building to which the extension will join is a two-storey detached building sub-divided into a restaurant and retail unit. It is rubble-built with ashlar dressings and has a slate roof featuring a tall French pyramidal attic projection.

3. PLANNING HISTORY

- 3.1 21.08.98: Advertisement consent and listed building consent granted for signage (98/00541/ADVIN and 98/00542/LBCIN);

13.03.00: Planning application and listed building consent application withdrawn for retaining existing ground floor as restaurant and first floor conversion for use as restaurant (00/00137/FULIN and 00/00138/LBCIN);

12.07.05: Planning permission and listed building consent granted to form windows and door in east gable with retractable roller awnings, fascia board to receive letters and velux windows (05/00257/FULIN and 05/00258/LBCIN);

08.09.05: Planning permission and listed building consent granted for change of use from restaurant to public house (05/00751/FULIN and 05/00752/LBCIN);

20.04.16: Advertisement consent and listed building consent granted for signage and pelmet light (05/01164/ADVIN and 05/01165/LBCIN);

27.09.16: Planning permission and Listed building consent refused for extension to restaurant and demolition of wall etc. (16/02798/FUL AND 16/02696/LBC).

4. PUBLIC PARTICIPATION

4.1 Advertised : listed Building. Expired 03.02.17

Representation deadline : 03.02.17

Timeous representations: None

Late representations: None

5. CONSULTATIONS

5.1 **Historic Environment Team:** Design broadly acceptable. Recommend that consideration be given to a natural stone upstand instead of the metal clad option and that roof edge design should be reconsidered.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 **Highland Wide Local Development Plan 2012**

57 Natural, Built and Cultural Heritage

7. OTHER MATERIAL CONSIDERATIONS

7.1 **Draft Development Plan**

Not applicable.

7.2 **Highland Council Supplementary Planning Policy Guidance**

Sustainable Design Guide
Highland Historic Environment Strategy

7.3 **Other**

Managing Change in the Historic Environment (Extensions), Historic Environment Scotland

8. PLANNING APPRAISAL

8.1 Section 59 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 requires the Planning Authority to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

8.2 In terms of preserving the character of the building this means preserving it either in its existing state or subject only to such alterations or extensions as can be carried out without serious detriment to its character.

8.3 **Development Plan Policy Assessment**

Policy 57 (Natural, Built and Cultural Heritage) of the Highland-wide Local Development Plan advises that development will normally be permitted providing it can be satisfactorily demonstrated that it will not have an unacceptable impact on natural, built or cultural heritage features. The key issue in assessing this application is therefore whether the proposed extension and related works preserve the character of the buildings listed as being of special interest.

8.4 **Material Considerations**

Design and Impact on building's character

8.4.1 Following concerns raised by members regarding the design of the previous extension and the subsequent refusal of the 2016 application, the applicant engaged with the Inverness Design Review Panel and presented several design options at their meeting on 20 October 2016.

8.4.2 The Panel subsequently prepared a feedback report to the applicant on 28 October 2016. A copy is appended to this report.

8.4.3 The executive summary states:

“The Panel supports the principle of extending the Filling Station to create an active frontage facing Falcon Square, which has significant potential to improve the ambience of this important civic space. More information is needed, however, to demonstrate how this will integrate with wider plans to alter and improve the square, and how this will enhance the character and appearance of the wider city centre environment. The Panel supports the use of high quality proprietary glazing to create a light, transparent extension to the Filling Station that is orthogonal in plan. Steps should be taken, however, to improve the proposed relationship between the extension and the existing built form. The design should also prioritise high quality lighting and signage.”

8.4.4 The redesigned extension reflects one of the Panel's overarching recommendations, which is to use high quality proprietary glazing to create a light, transparent extension that is orthogonal in plan. In addition, and following consultation with the Historic Environment Team, the roof design has been altered to create a thin cantilevered edge, which was also a recommendation from the Panel and stone cladding to the upstand, replacing the somewhat incongruous grey metal cladding. This modest contemporary intervention protects the character and appearance of the listed building. The redesigned extension meets the design principles set out in Historic Environment Scotland's guidance.

8.4.5 In addition to the above it is considered that the proposal will enhance the conservation area at this location in accordance with the Council's general duty under Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997.

8.5 **Other Considerations – not material**

Not applicable.

8.6 **Matters to be secured by Section 75 Agreement**

Not applicable.

9. **CONCLUSION**

9.1 Through the submission of this revised proposal, the applicant has demonstrated a willingness to engage with the Council in taking forward improvements to the original scheme, including attendance at the Design Review Panel and addressing many of the recommendations made by the Panel as well as addressing the concerns of members during deliberation of the original proposal. The net result is a significantly improved proposal that enhances the original design of the extension and its relationship with the main listed building, as well as that of the adjoining listed buildings.

9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations. In particular it is considered that the proposal will preserve the character and setting of the listed buildings to which it relates.

10. **RECOMMENDATION**

| | | |
|---|----------|--------------|
| Action required before decision issued | N | |
| Notification to Scottish Ministers | N | Not required |
| Notification to Historic Scotland | N | Not required |
| Conclusion of Section 75 Agreement | N | Not required |
| Revocation of previous permission | N | Not required |

Subject to the above, it is recommended the listed building consent be **Granted** subject to the following conditions and reasons / notes to applicant:

1. A detailed specification for all proposed external materials and finishes (including trade names and samples where necessary) shall be submitted to, and approved in writing by, the Planning Authority prior to installation. Thereafter, development and work shall progress in accordance with these approved details.

Reason: To ensure that the development is sensitive to, and compatible with, its

context and local architectural styles.

2. No plant, machinery or equipment shall be installed on the roof of the extension.

Reason: To preserve the character and setting of the listed building.

REASON FOR DECISION

The proposals accord with the provisions of the Development Plan and is not considered to detrimentally affect the character or setting of the listed buildings to which it relates and there are no material considerations which would warrant refusal of the application.

TIME LIMITS

In accordance with Section 16 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

FOOTNOTE TO APPLICANT

Accordance with Approved Plans & Conditions

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

Signature: Nicola Drummond
Designation: Area Planning Manager – South/Major Developments
Author: John Kelly
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 – Location Plan
Plan 2 – Site Plan
Plan 3 – Ground Floor Plan
Plan 4 – Roof Plan
Plan 5 – Falcon Square Elevation

Plan 6 - Academy Street Elevation

Plan 7 – Station Lane Elevation

Plan 8 – Section AA

Plan 9 – Section BB

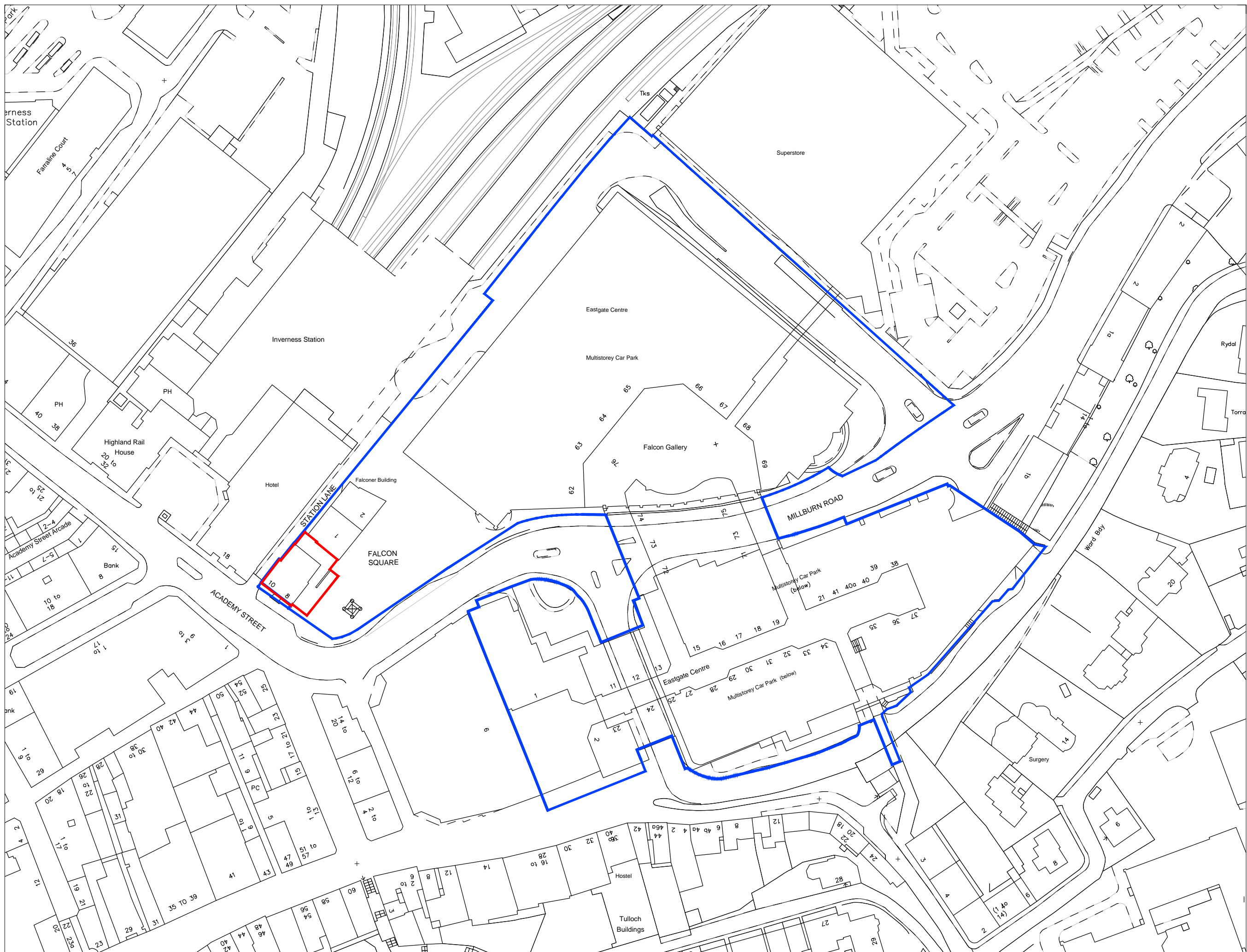
Plan 10 – Masterplan

Visualisation A – Falcon Square Elevation

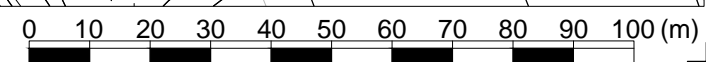
Visualisation B – North View Close Up

KEY
 APPLICATION BOUNDARY
 OWNERSHIP BOUNDARY

These drawings and associated notes are to indicate intent only for the purposes of a town planning submission only.



1. LOCATION PLAN 1:1250



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Drawing Title
LOCATION PLAN

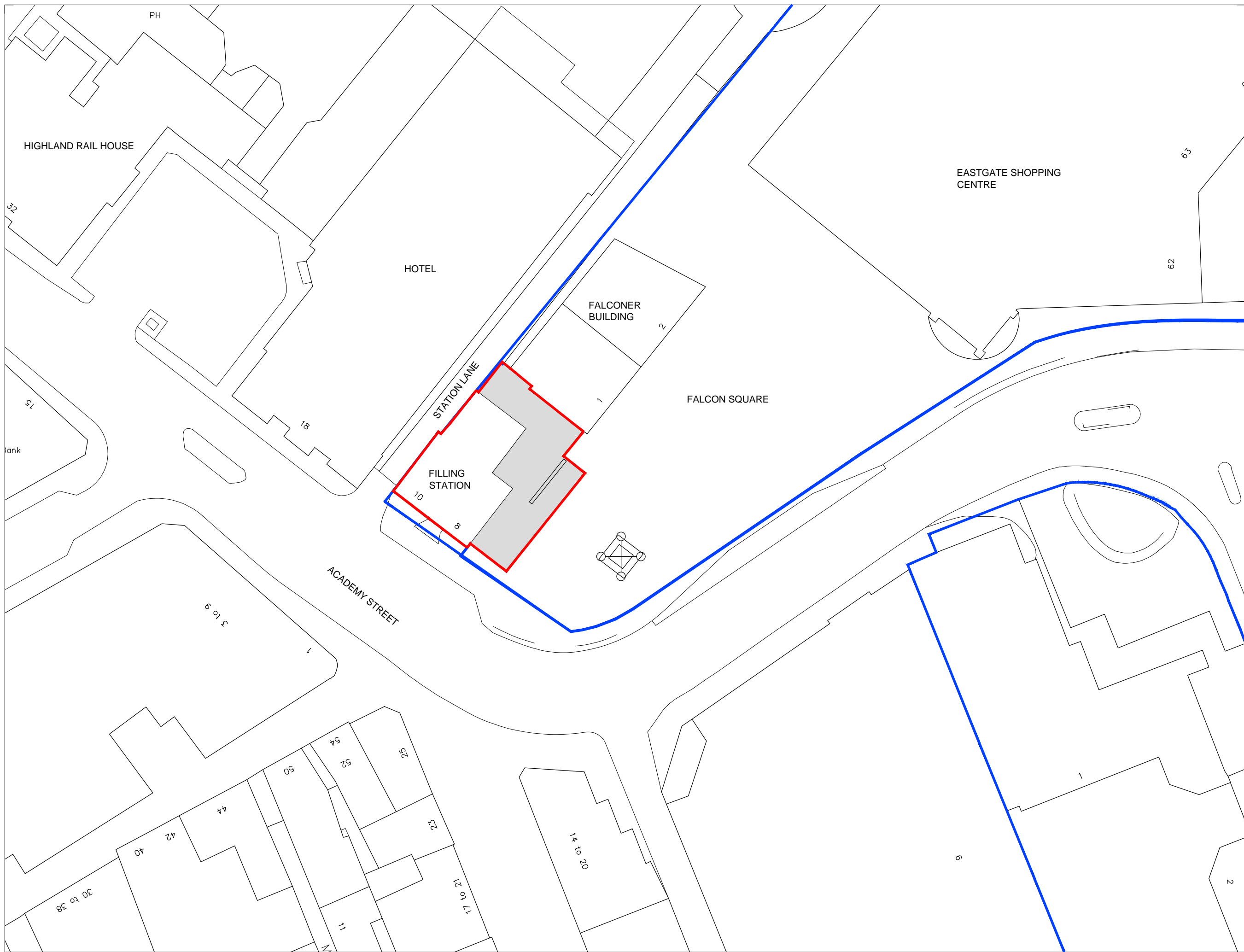
Status
TOWN PLANNING
FOR FILLING STATION
EXTENSION

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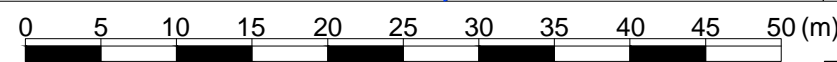
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| Project no. | Drawing no. | | Revision |
| 122 | TP04_002 | | 00 |

- KEY**
- APPLICATION BOUNDARY
 - OWNERSHIP BOUNDARY
 - EXTENSION AREA

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1. SITE PLAN 1:500



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Drawing Title
SITE PLAN

Status
TOWN PLANNING FOR FILLING STATION EXTENSION

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Note:
Drawing based on J.A. Leask Architects drawing supplied to POD by Eastgate Shopping Centre management- Drawing ASG 25416/(1-103C Proposed Ground Floor Plan

Drawing based on Derek Lovejoy Partnership- Drawing DL/E1/E01(97).H10

Drawing based on Malcolm Hollis DWG drawings: 50937-E-01-REVA 50937-T-01-REVB

AREAS

165 sq m Seating area
21.5 sq m Kitchen
7 sq m Bin Storage

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Indicative interior layout shown. Final proposal to tenants' interior architect design.

DESIGN PANEL RECOMMENDATIONS INCLUDED IN PROPOSAL:

1. EXISTING WINDOWS REMOVED TO CREATE OPENINGS IN FILLING STATION GABLE WALL TO ENHANCE THE VISUAL EFFECT OF LAYERED SPACE.

2. INTERNAL LEVEL DIFFERENCE BETWEEN OUTSIDE LEVEL INCREASES TOWARDS ACADEMY STREET ELEVATION IN ORDER TO CREATE A DEGREE OF SEPARATION BETWEEN DINERS AND STREET USERS.

3. FRITTING ACROSS HIGH QUALITY GLAZING IN ORDER TO INTRODUCE OPAQUE ELEMENTS ACROSS FACADE.

4. PUBLIC ENHANCEMENT SCHEME FOR FALCON SQUARE PROVIDES, SEATING, LIGHTING, CYCLE PARKING, BIN STORAGE, TREE REPLACEMENT AND SOFT LANDSCAPING FEATURES.

| | | | | |
|-----|----------|---|-----|-----|
| 01 | 10/02/17 | Existing RVP on corner of Filling Station gable wall repositioned to follow revised roof and parapet detail | RPP | PS |
| Rev | Date | Revision Description | Dm | Chk |

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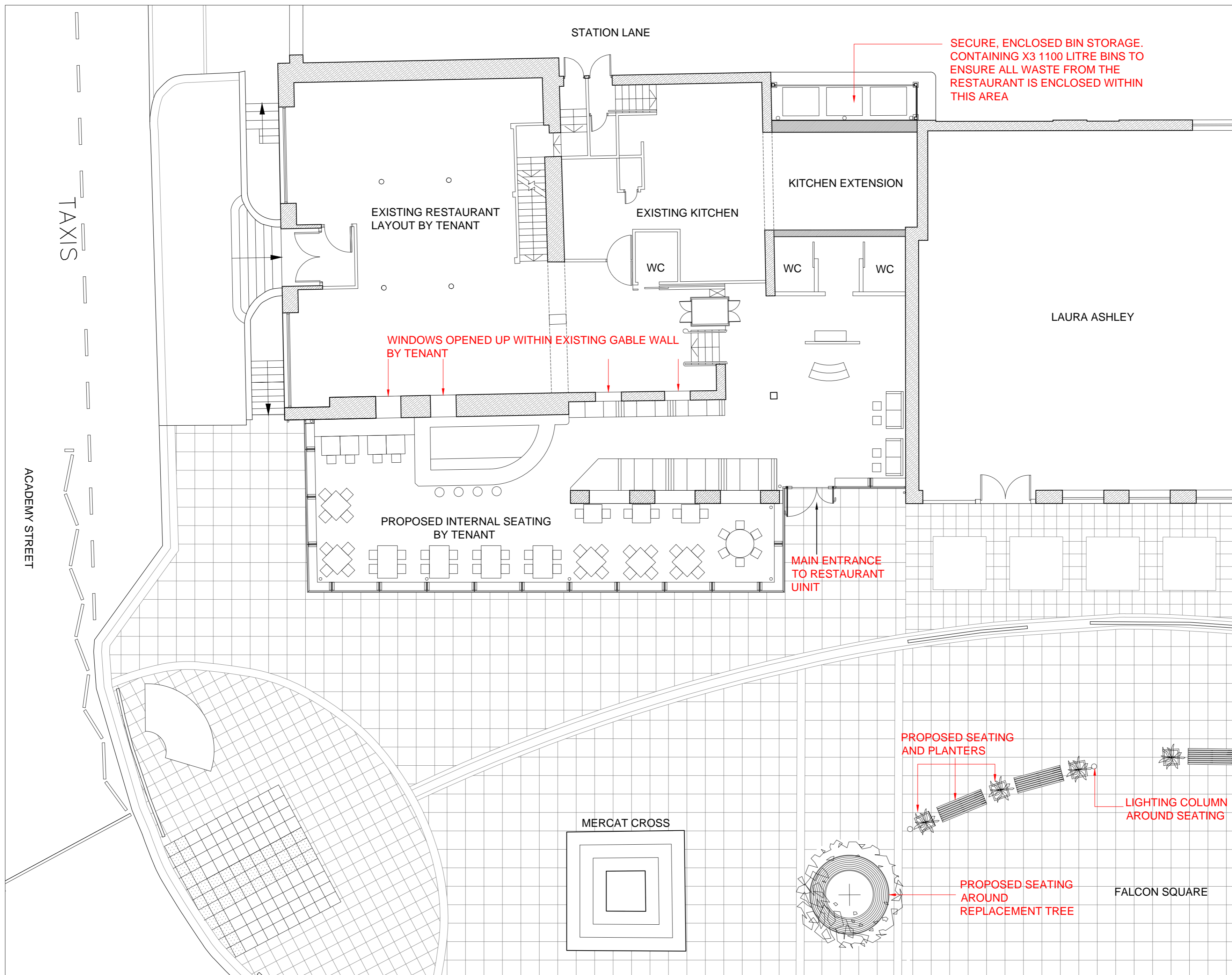
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Drawing Title
PROPOSED GROUND FLOOR PLAN

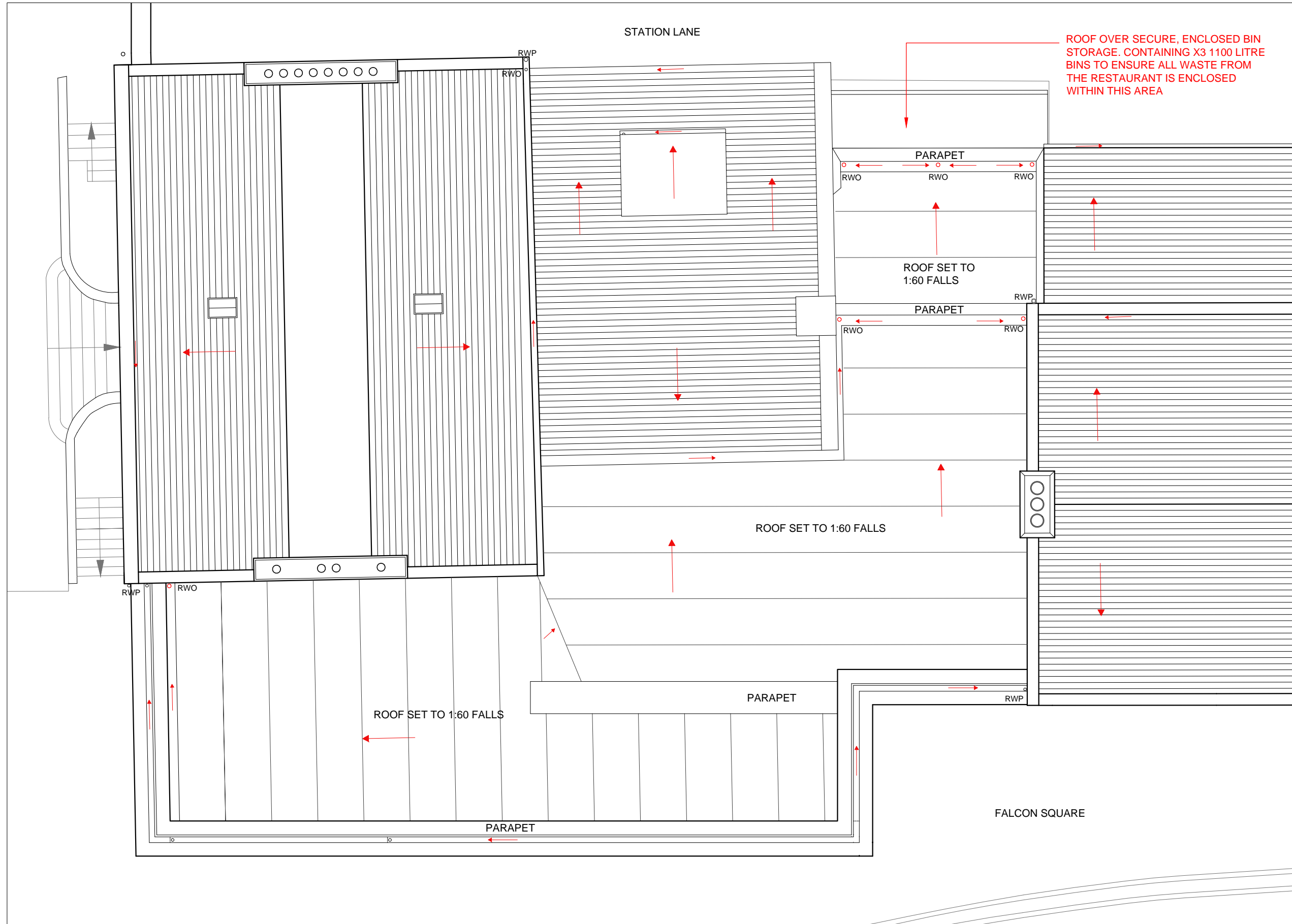
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| Project no. | Drawing no. | | Revision |
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1. GROUND FLOOR PLAN 1:100



1. ROOF PLAN 1:100

KEY:

- Roof slope
- Drainpipe slope
- RWP** Rainwater pipe
- RWO** Rainwater outlet

Note:
 Drawing based on J.A.Leask Architects drawing supplied to POD by Eastgate Shopping Centre management- Drawing ASG 25416/(1-)-03C Proposed Ground Floor Plan

Drawing based on Derek Lovejoy Partnership- Drawing DL/E1/E01(97).H10

Drawing based on Malcolm Hollis DWG drawings:
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 50937-T-01-REVB

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1. ROOF PROFILE DESIGNED TO ACHIEVE SKINNY, RAZOR SHARP PROFILE. THICKNESS OF ROOF IS THE SMALLEST ACHIEVABLE FOR THE STRUCTURAL BUILD UP OF THE ROOF

| Rev | Date | Revision Description | Dim | Chk |
|-----|----------|--|-----|-----|
| 01 | 10/02/17 | Roof plan updated to reflect revised roof and parapet detail | RPP | PS |

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Drawing Title
PROPOSED ROOF PLAN PLAN

Status
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1. ELEVATION A 1:100

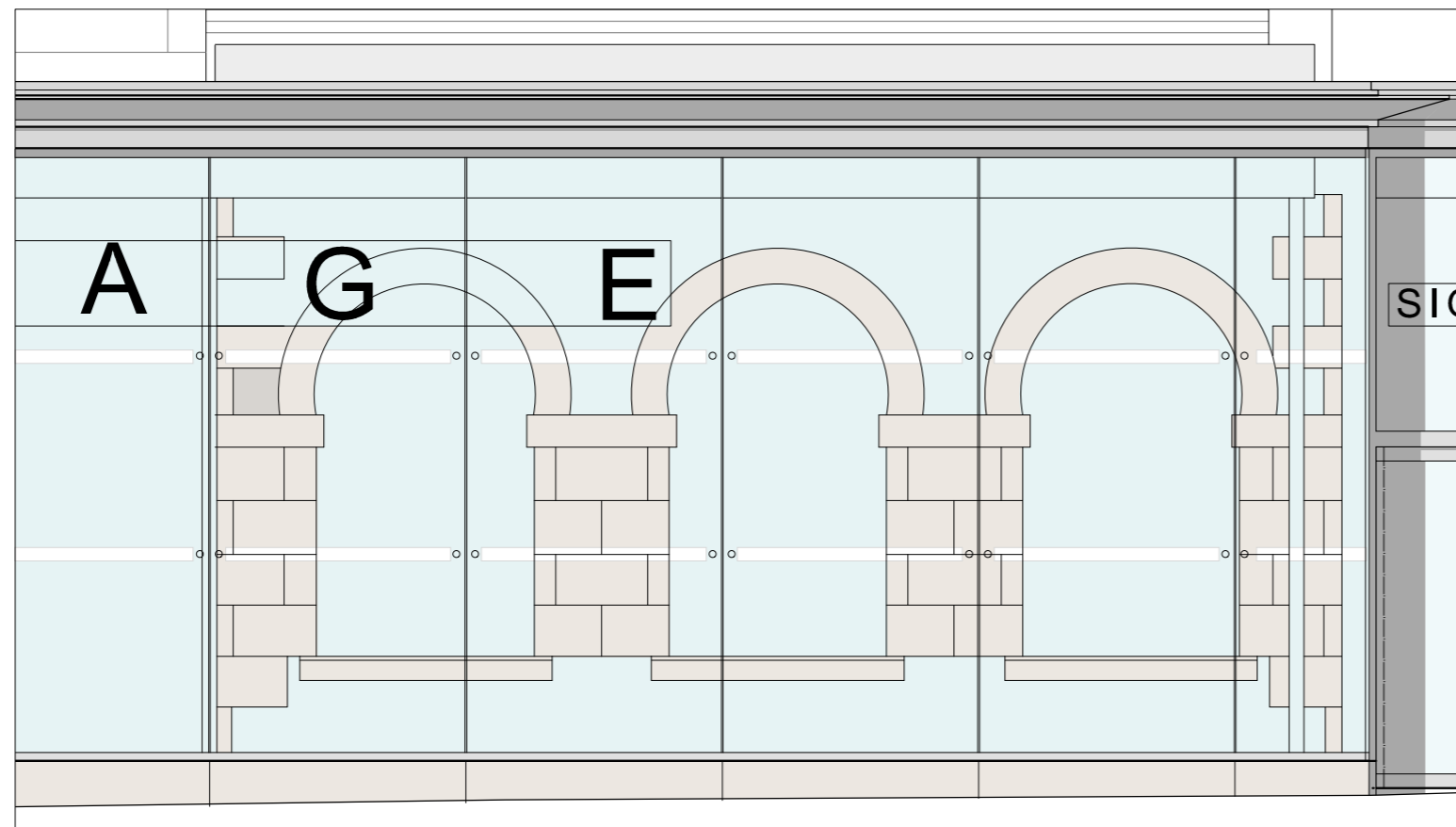
FACADE MADE UP OF STRUCTURAL GLAZING SYSTEM WITH SIGNAGE TO INTERNAL FACE OF GLAZING WHERE INDICATED.

WINDOWS OPENED UP WITHIN EXISTING GABLE WALL

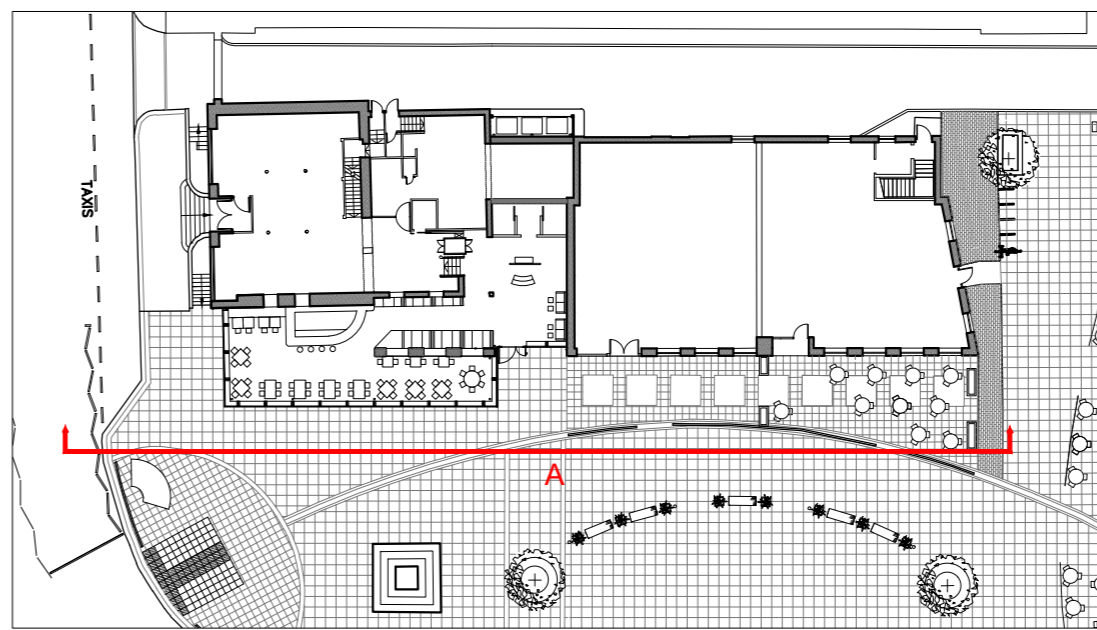
NATURAL STONE PANELS TO UPSTAND

FRITTING ACROSS GLAZING

MAIN ENTRANCE DOOR FITTED WITH PUSH BUTTON POWER ASSSITED OPENING, STAINLESS STEEL PULL HANDLES. DOOR TO BE MADE OF LAMINATED 17.5MM GLASS.



2. ARCHES ENCLOSED IN PROPOSAL 1:50



3. KEY PLAN 1:500

DESIGN PANEL RECOMMENDATIONS INCLUDED IN PROPOSAL:

- EXISTING WINDOWS REMOVED TO CREATE OPENINGS IN FILLING STATION GABLE WALL TO ENHANCE THE VISUAL EFFECT OF LAYERED SPACE.
- INTERNAL LEVEL DIFFERENCE BETWEEN OUTSIDE LEVEL INCREASES TOWARDS ACADEMY STREET ELEVATION IN ORDER TO CREATE A DEGREE OF SEPARATION BETWEEN DINERS AND STREET USERS.
- FACADES OF THE EXTENSION ARE GLAZED. THE GLAZING ENABLES THE PROPOSAL TO CREATE A LIGHT TRANSPARENT DESIGN WHICH IS THE PREFERRED MATERIAL CHOICE FROM THE DESIGN PANEL.
- FRITTING ACROSS HIGH QUALITY GLAZING IN ORDER TO INTRODUCE OPAQUE ELEMENTS ACROSS FACADE.
- PUBLIC ENHANCEMENT SCHEME FOR FALCON SQUARE PROVIDES, SEATING, LIGHTING, CYCLE PARKING, BIN STORAGE, TREE REPLACEMENT AND SOFT LANDSCAPING FEATURES.
- ROOF PROFILE DESIGNED TO ACHIEVE SKINNY, RAZOR SHARP PROFILE. THICKNESS OF ROOF IS SMALLEST ACHIEVABLE FOR THE STRUCTURAL BUILD UP OF THE ROOF. TOP OF PARAPET FOLLOWS LINE OF STONE BANDING ON FALCONER BUILDING.
- SERVICES ARE NOT VISIBLE FROM FALCON SQUARE OR ACADEMY STREET.
- APPROPRIATE LIGHTING WILL BE UTILISED FOR THE PROPOSAL. THIS WILL BE PUT FORWARD TO THE TENANT TO ENSURE THAT THIS IS DEVELOPED IN THE TENANT FIT OUT.

Note:
Drawing based on J.A.Leask Architects drawing supplied to POD by Eastgate Shopping Centre management- Drawing ASG 25416/(2-0)2D Proposed Elevations

Drawing based on Derek Lovejoy Partnership- Drawing DL/E1/E01(97).H10

Drawing based on Malcolm Hollis DWG drawings: 50937-E-01-REVA 50937-T-01-REVB

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| Rev | Date | Revision Description | Dim | Chk |
|-----|----------|--|-----|-----|
| 01 | 10/02/17 | Roof and parapet detail revised, Stone panels to upstand | RPP | PS |

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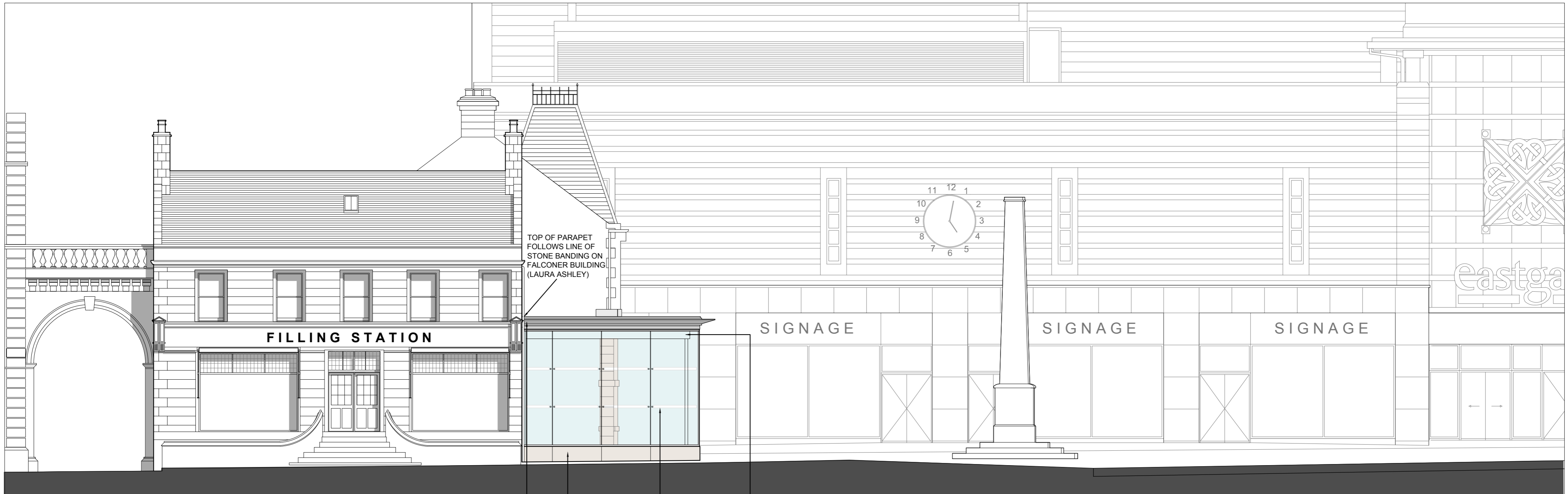
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Drawing Title
PROPOSED ELEVATION A

Status
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1. ELEVATION B 1:100

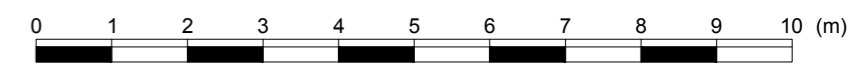
TOP OF PARAPET FOLLOWS LINE OF STONE BANDING ON FALCONER BUILDING (LAURA ASHLEY)

NATURAL STONE PANELS TO BASE

DARK GREY METAL CLADDING TO PARAPET

FACADE MADE UP OF STRUCTURAL GLAZING SYSTEM WITH SIGNAGE TO INTERNAL FACE OF GLAZING WHERE INDICATED. FRITTING ACROSS GLAZING

RECESSED INTERNAL BULKHEAD



Note:
Drawing based on J.A.Leask Architects drawing supplied to POD by Eastgate Shopping Centre management- Drawing ASG 25416/(2-)02D Proposed Elevations

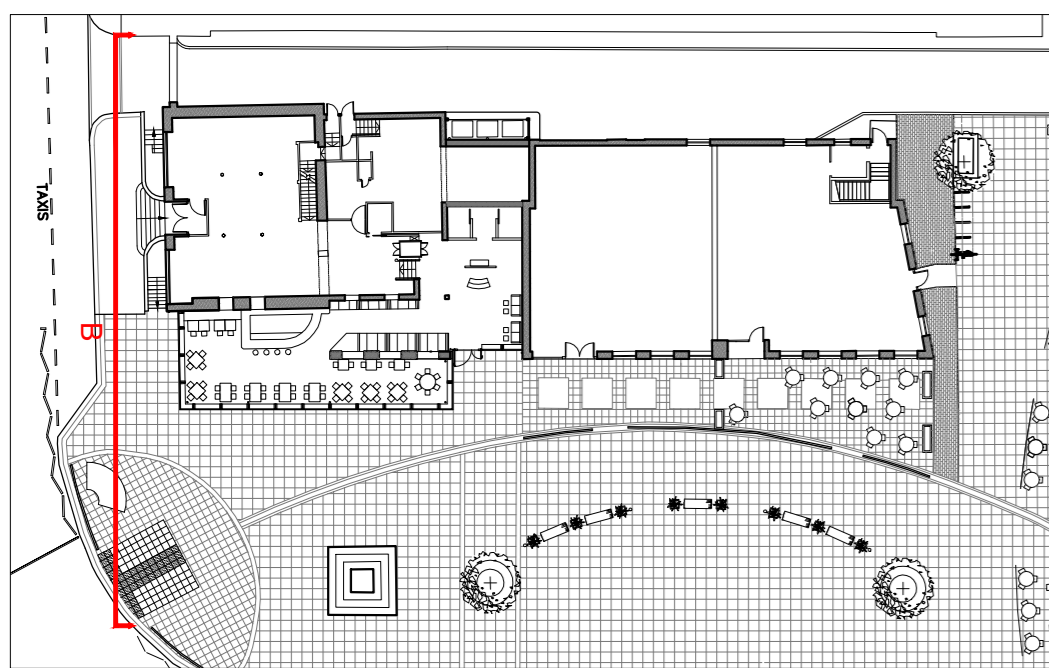
Drawing based on Derek Lovejoy Partnership- Drawing DL/E1/E01(97),H10

Drawing based on Malcolm Hollis DWG drawings:
50937-E-01-REVA
50937-T-01-REVB

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| Rev | Date | Revision Description | Dim | CHK |
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| 01 | 10/02/17 | Roof and parapet detail revised, Stone panels to upstand | RPP | PS |

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2. KEY PLAN 1:500

DESIGN PANEL RECOMMENDATIONS INCLUDED IN PROPOSAL:

- EXISTING WINDOWS REMOVED TO CREATE OPENINGS IN FILLING STATION GABLE WALL TO ENHANCE THE VISUAL EFFECT OF LAYERED SPACE.
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- PUBLIC ENHANCEMENT SCHEME FOR FALCON SQUARE PROVIDES, SEATING, LIGHTING, CYCLE PARKING, BIN STORAGE, TREE REPLACEMENT AND SOFT LANDSCAPING FEATURES.
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- SERVICES ARE NOT VISIBLE FROM FALCON SQUARE OR ACADEMY STREET.
- APPROPRIATE LIGHTING WILL BE UTILISED FOR THE PROPOSAL. THIS WILL BE PUT FORWARD TO THE TENANT TO ENSURE THAT THIS IS DEVELOPED IN THE TENANT FIT OUT.

Project
FILLING STATION
8-10 ACADEMY STREET
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Drawing Title
PROPOSED ELEVATION B

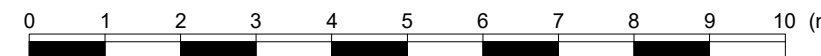
Status
TOWN PLANNING FOR FILLING STATION EXTENSION

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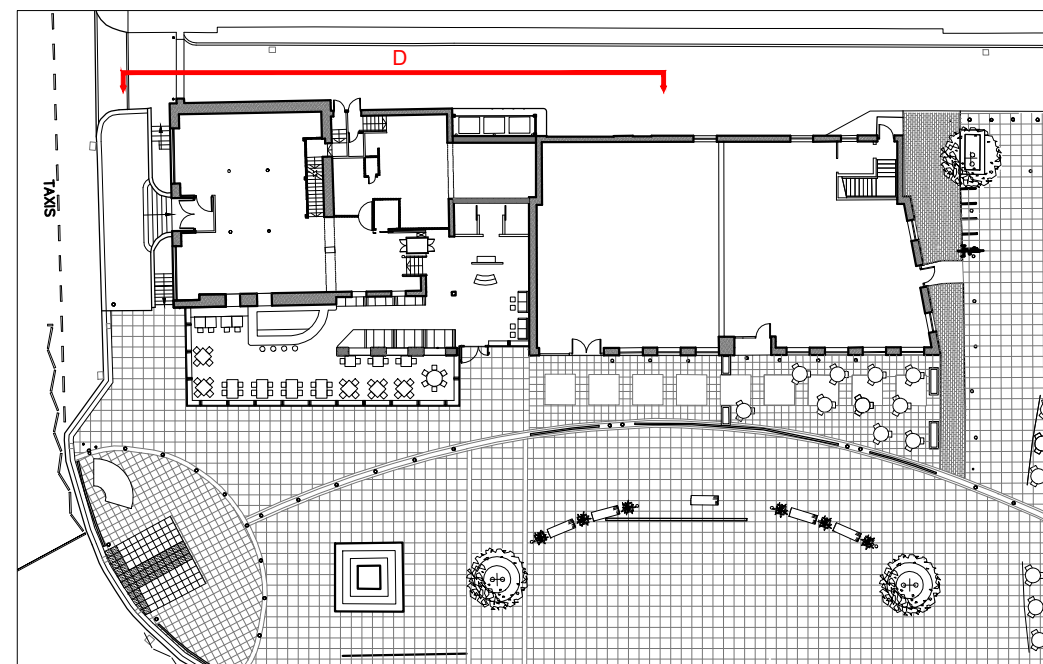


1. ELEVATION D 1:100



- BLOCKWORK WALL WITH RENDER TO MATCH ADJACENT
- ENCLOSED BIN STORAGE WITH SECURED ROLLER SHUTTER. CONTAINING X3 1100 LITRE BINS TO ENSURE ALL WASTE FROM THE RESAURANT IS ENCLOSED WITHIN THIS AREA
- PROPOSED CONDENSER UNITS 1345 X 900 X 320MM, 1338 X 1050 350MM
- EXISTING CONDENSER UNITS
- PROPOSED KITCHEN AIR INTAKE 1025 X 525MM

DESIGN PANEL RECOMMENDATIONS INCLUDED IN PROPOSAL:
1. SERVICES ARE NOT VISIBLE FROM FALCON SQUARE OR ACADEMY STREET.



2. KEY PLAN 1:500

Note:
 Drawing based on J.A.Leask Architects drawing supplied to POD by Eastgate Shopping Centre management- Drawing ASG 25416/(3-)02A Proposed Sections

Drawing based on Derek Lovejoy Partnership- Drawing DL/E1/E01(97).H10

Drawing based on Malcolm Hollis DWG drawings: 50937-E-01-REVA 50937-T-01-REVB

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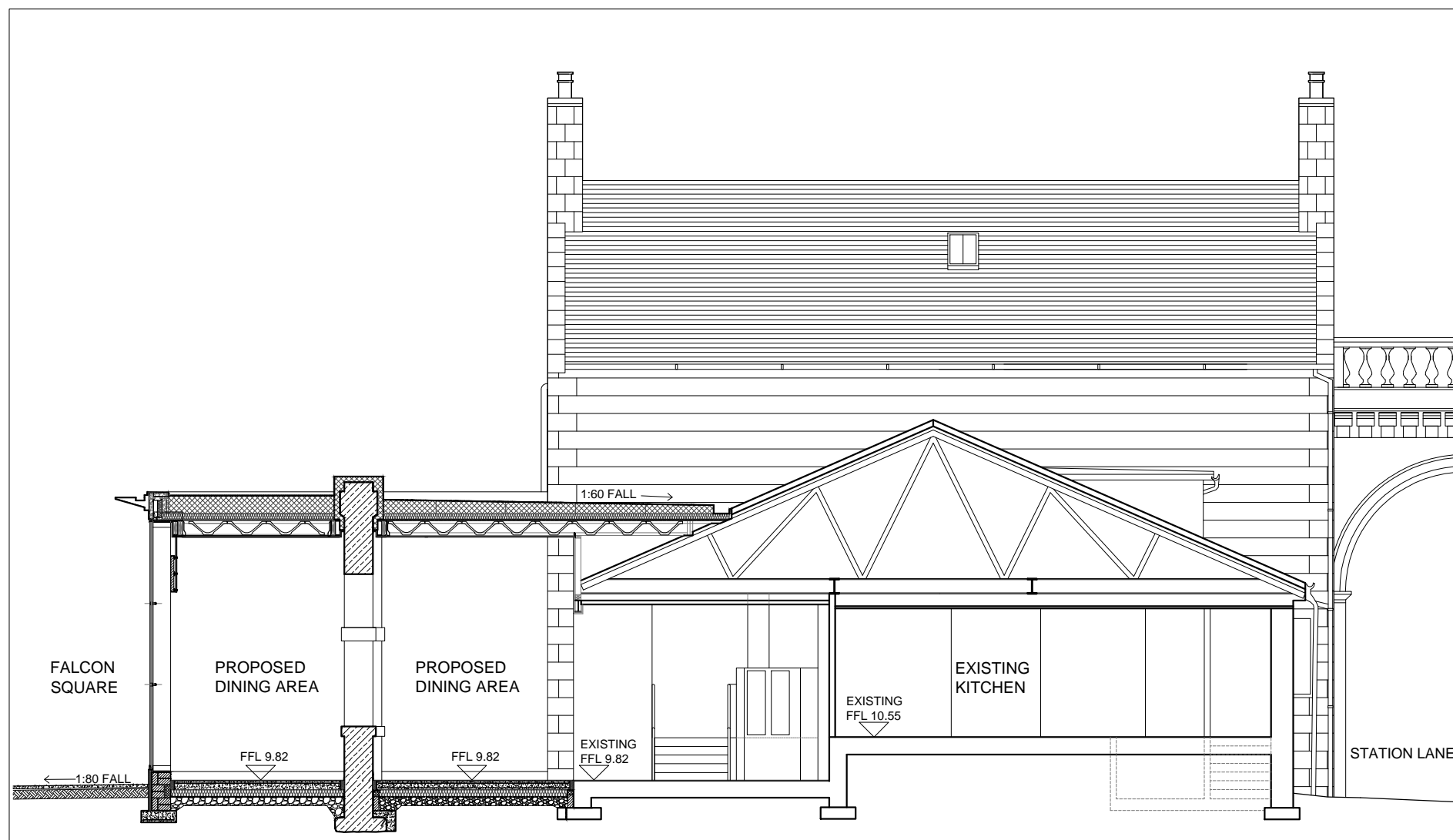
Project
FILLING STATION
 8-10 ACADEMY STREET
 INVERNESS, IV1 1JT

Drawing Title
PROPOSED ELEVATION D

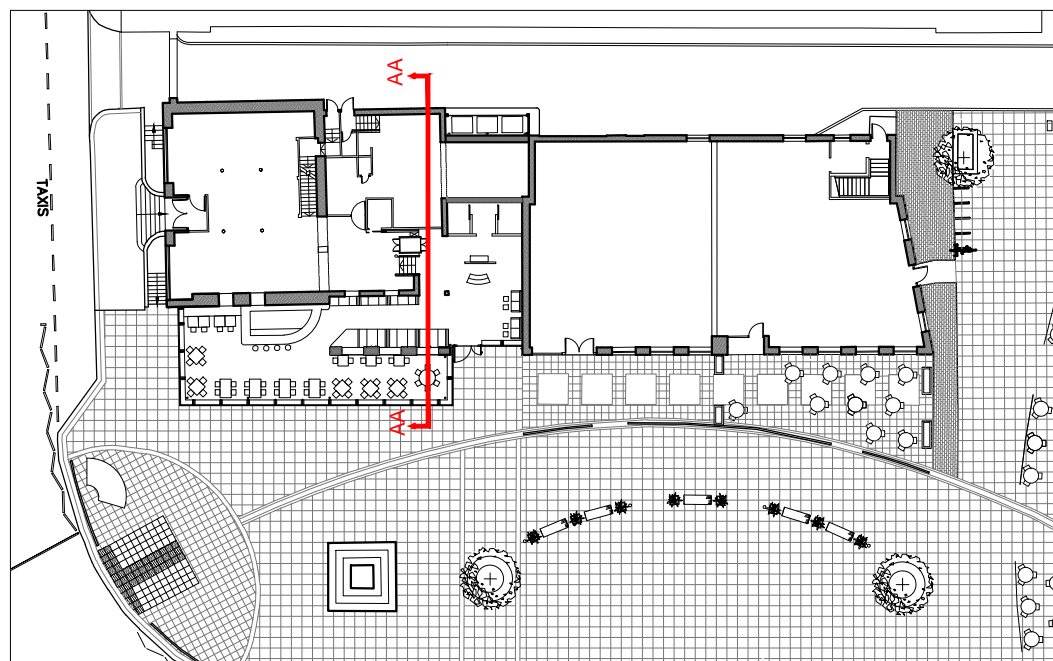
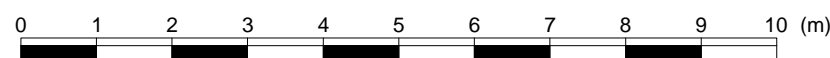
Status
TOWN PLANNING FOR FILLING STATION EXTENSION

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| North | Sheet | Scale | Drawn |
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| | A3 | 1:100 | MF |
| | Date | 09/12/16 | Checked PS |
| Project no. | Drawing no. | Revision | |
| 122 | TP04_053 | 00 | |



1. SECTION AA 1:100



2. KEY PLAN 1:500

DESIGN PANEL RECOMMENDATIONS INCLUDED IN PROPOSAL:

1. EXISTING WINDOWS REMOVED TO CREATE OPENINGS IN FILLING STATION GABLE WALL TO ENHANCE THE VISUAL EFFECT OF LAYERED SPACE.

2. INTERNAL LEVEL DIFFERENCE BETWEEN OUTSIDE LEVEL INCREASES TOWARDS ACADEMY STREET ELEVATION IN ORDER TO CREATE A DEGREE OF SEPARATION BETWEEN DINERS AND STREET USERS.

3. FACADES OF THE EXTENSION ARE GLAZED. THE GLAZING ENABLES THE PROPOSAL TO CREATE A LIGHT TRANSPARENT DESIGN WHICH IS THE PREFERRED MATERIAL CHOICE FROM THE DESIGN PANEL.

4. FRITTING ACROSS HIGH QUALITY GLAZING IN ORDER TO INTRODUCE OPAQUE ELEMENTS ACROSS FACADE.

5. PUBLIC ENHANCEMENT SCHEME FOR FALCON SQUARE PROVIDES, SEATING, LIGHTING, CYCLE PARKING, BIN STORAGE, TREE REPLACEMENT AND SOFT LANDSCAPING FEATURES.

6. ROOF PROFILE DESIGNED TO ACHIEVE SKINNY, RAZOR SHARP PROFILE. THICKNESS OF ROOF IS SMALLEST ACHIEVABLE FOR THE STRUCTURAL BUILD UP OF THE ROOF

7. SERVICES ARE NOT VISIBLE FROM FALCON SQUARE OR ACADEMY STREET.

8. APPROPRIATE LIGHTING WILL BE UTILISED FOR THE PROPOSAL. THIS WILL BE PUT FORWARD TO THE TENANT TO ENSURE THAT THIS IS DEVELOPED IN THE TENANT FIT OUT.

Note:
Drawing based on J.A.Leask Architects drawing supplied to POD by Eastgate Shopping Centre management- Drawing ASG 25416/(3-)02A Proposed Sections

Drawing based on Derek Lovejoy Partnership- Drawing DL/E1/E01(97).H10

Drawing based on Malcolm Hollis DWG drawings: 50937-E-01-REVA 50937-T-01-REVB

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| Rev | Date | Revision Description | RPP | PS |
|-----|----------|---------------------------------|-----|----|
| 01 | 10/02/17 | Roof and Parapet detail revised | RPP | PS |

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Project
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INVERNESS, IV1 1JT

Drawing Title
PROPOSED SECTION AA

Status
TOWN PLANNING FOR FILLING STATION EXTENSION

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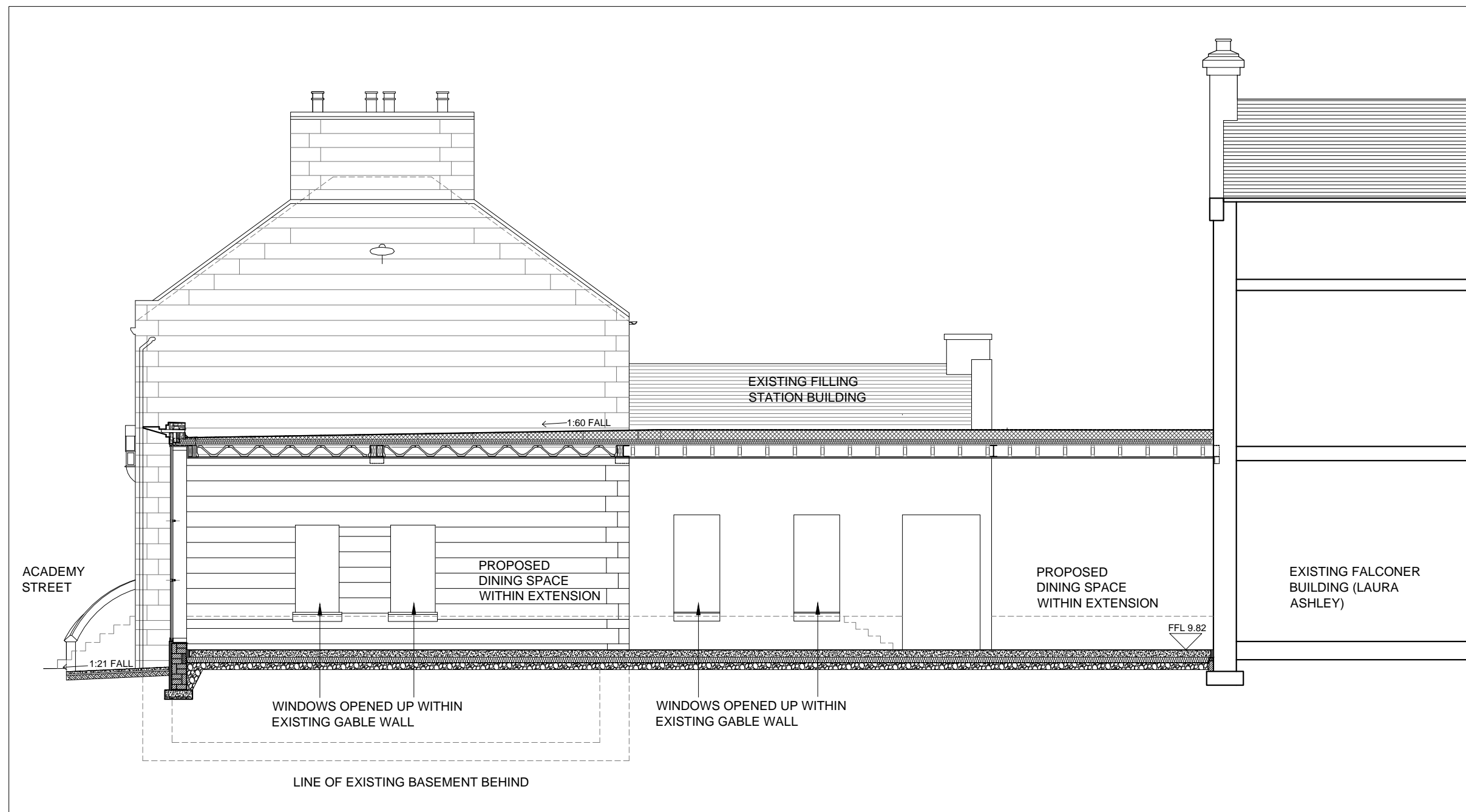
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| Project no. | Drawing no. | Revision | |
| 122 | TP04_060 | 01 | |

Note:
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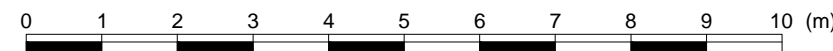
Drawing based on Derek Lovejoy Partnership- Drawing DL/E1/E01(97).H10

Drawing based on Malcolm Hollis DWG drawings: 50937-E-01-REVA 50937-T-01-REVB

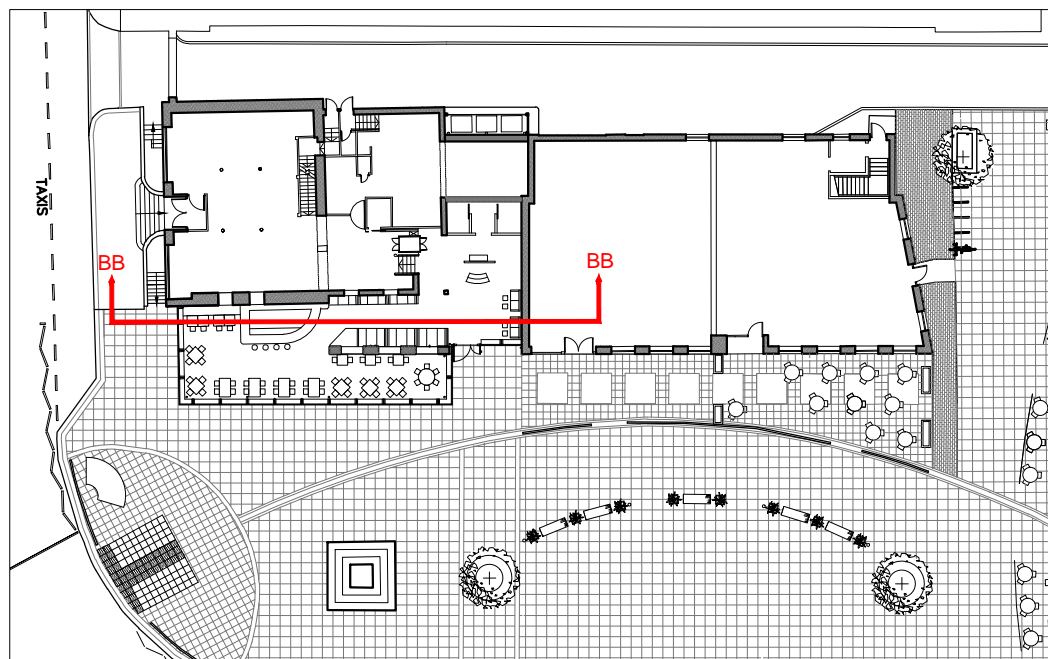
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1. SECTION BB 1:100



| Rev | Date | Revision Description | Dim | Chk |
|-----|----------|---------------------------------|-----|-----|
| 01 | 10/02/17 | Roof and parapet detail revised | RPP | PS |



2. KEY PLAN 1:500

DESIGN PANEL RECOMMENDATIONS INCLUDED IN PROPOSAL:

1. EXISTING WINDOWS REMOVED TO CREATE OPENINGS IN FILLING STATION GABLE WALL TO ENHANCE THE VISUAL EFFECT OF LAYERED SPACE.
2. INTERNAL LEVEL DIFFERENCE BETWEEN OUTSIDE LEVEL INCREASES TOWARDS ACADEMY STREET ELEVATION IN ORDER TO CREATE A DEGREE OF SEPARATION BETWEEN DINERS AND STREET USERS.
3. FACADES OF THE EXTENSION ARE GLAZED. THE GLAZING ENABLES THE PROPOSAL TO CREATE A LIGHT TRANSPARENT DESIGN WHICH IS THE PREFERRED MATERIAL CHOICE FROM THE DESIGN PANEL.
4. FRITTING ACROSS HIGH QUALITY GLAZING IN ORDER TO INTRODUCE OPAQUE ELEMENTS ACROSS FACADE.
5. PUBLIC ENHANCEMENT SCHEME FOR FALCON SQUARE PROVIDES, SEATING, LIGHTING, CYCLE PARKING, BIN STORAGE, TREE REPLACEMENT AND SOFT LANDSCAPING FEATURES.
6. ROOF PROFILE DESIGNED TO ACHIEVE SKINNY, RAZOR SHARP PROFILE. THICKNESS OF ROOF IS SMALLEST ACHIEVABLE FOR THE STRUCTURAL BUILD UP OF THE ROOF
7. SERVICES ARE NOT VISIBLE FROM FALCON SQUARE OR ACADEMY STREET.
8. APPROPRIATE LIGHTING WILL BE UTILISED FOR THE PROPOSAL. THIS WILL BE PUT FORWARD TO THE TENANT TO ENSURE THAT THIS IS DEVELOPED IN THE TENANT FIT OUT.

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Project
FILLING STATION
 8-10 ACADEMY STREET
 INVERNESS, IV1 1JT

Drawing Title
PROPOSED SECTION BB

Status
TOWN PLANNING FOR FILLING STATION EXTENSION

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| 122 | TP04_061 | 01 | |



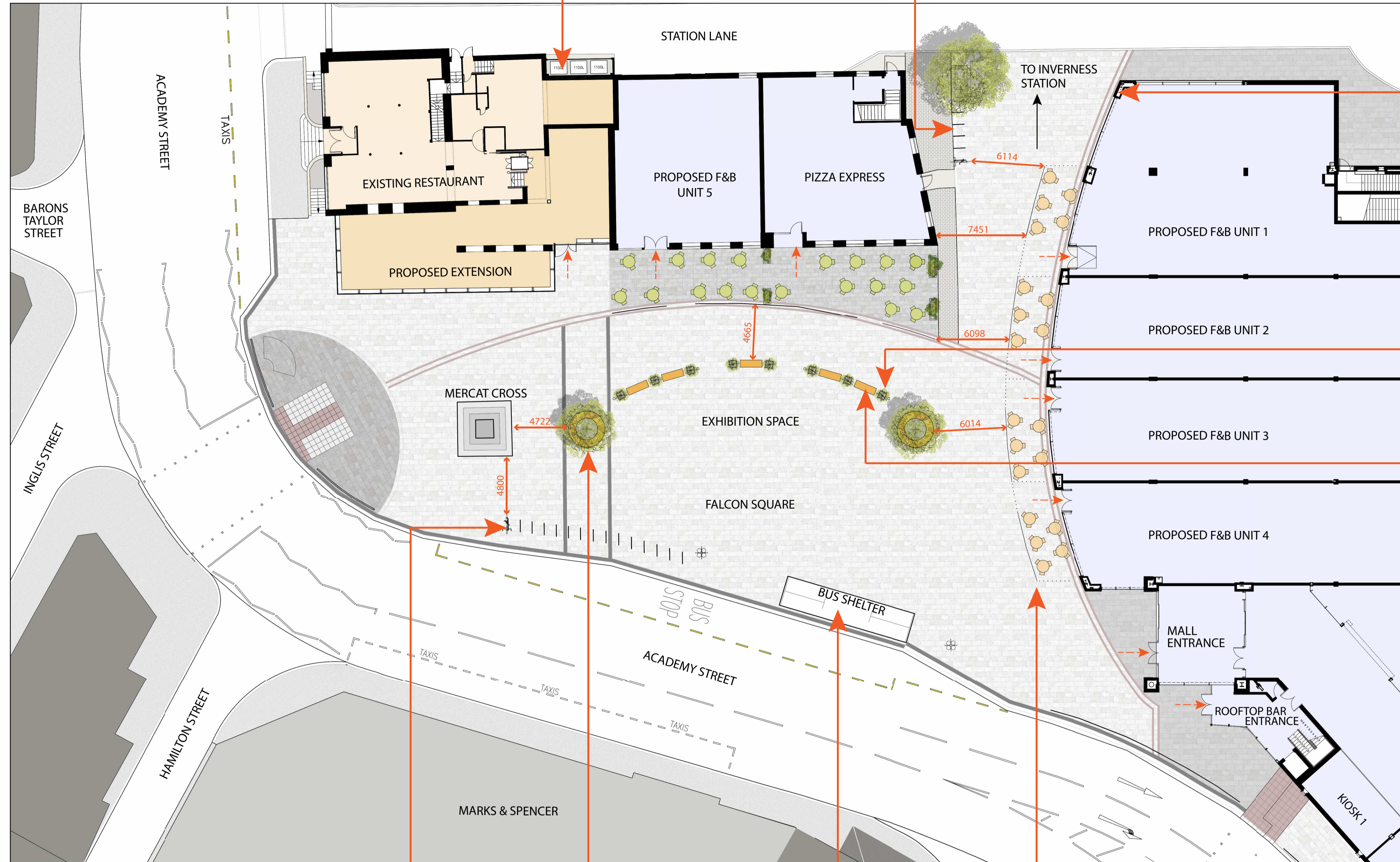
LIGHTING
 EXISTING LIGHTING COLUMNS RE-POSITIONED AROUND PROPOSED SEATING AREA IN FALCON SQUARE



WASTE MANAGEMENT
 ENCLOSED SECURE BIN STORAGE CONTAINING 3 1100 LITRE BINS FOR FILLING STATION PROPOSAL. ALL WASTE TO BE CONTAINED WITHIN THIS AREA. WASTE MANAGEMENT FOR PROPOSED F&B UNITS 1-4 SECURELY STORED IN EXISTING LOADING BAY 1.



CYCLE STANDS
 5 PROPOSED BIKE STANDS TO MATCH EXISTING D-SHAPED PROFILE BIKE STANDS



1. MASTERPLAN

LIGHTING



PROPOSED LIGHTING ACROSS FACADE OF PROPOSED EXTENSION TO EASTGATE SHOPPING CENTRE TO ENSURE ROUTE TO AND FROM INVERNESS STATION IS WELL LIT.

PLANTERS



8 PROPOSED POWDER COATED STEEL PLANTERS IN BRIGHT COLOUR

PUBLIC SEATING



5 PROPOSED STEEL SEATING IN BRIGHT COLOUR. SEATING SET OUT TO REFLECT SEATING AREA ADJACENT TO FALCONER BUILDING. PROPOSED SEATING POSITIONED IN ORDER TO CREATE AN EXHIBITION SPACE IN FALCON SQUARE WHILST MAINTAINING KEY ACCESS ROUTES AROUND THE SQUARE.

CYCLE STANDS



15 EXISTING D-SHAPED PROFILE BIKE STANDS RE-POSITIONED IN FALCON SQUARE. BIKES STANDS POSITIONED IN ACCESSIBLE LOCATIONS AROUND THE SQUARE.

PROPOSED TREES AND SEATING



2 REPLACEMENT TREES POSITIONED WITHIN CIRCULAR POWDER COATED STEEL SEATING IN FALCON SQUARE.

BUS SHELTER



PROPOSED ENLARGED BUS SHELTER 11M X 2.5M

FIXED CAFE SCREEN



CAFE SCREEN SYSTEM AROUND OUTSIDE SEATING AREAS FOR PROPOSED F&B UNITS 1-4. SYSTEM COMPRISED OF FABRIC AND POST SYSTEM FIXED INTO GROUND.

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Drawing Title
MASTERPLAN

Status
TOWN PLANNING

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| Project no. | Drawing no. | | Revision |
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| 01 | 10/02/17 | Revised roof and parapet detail | RPP PS |
| Rev | Date | Revision Description | Dn Chk |

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Drawing Title
PROPOSED VISUAL 5
ELEVATION VIEW

Status
TOWN PLANNING
FOR FILLING STATION
EXTENSION

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| 01 | 10/02/17 | Revised roof and parapet detail | RPP/PS |
| Rev | Date | Revision Description | Dim/Chk |

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Project
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Drawing Title
PROPOSED VISUAL 4
NORTH VIEW - CLOSE UP

Status
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FOR FILLING STATION
EXTENSION

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| Project no. | Drawing no. | | Revision |
| 122 | TP04_073 | | 01 |