

THE HIGHLAND COUNCIL

NORTH PLANNING APPLICATIONS COMMITTEE
4 April 2017

Agenda Item	5.2
Report No	PLN/027/17

15/04749/FUL: Ark Estates
Land 80M NE of Cameron Crescent Munloch

Report by Area Planning Manager

SUMMARY

Description : Erection of affordable houses (10 units) with associated infrastructure and services.

Recommendation - GRANT

Ward : 10 - Black Isle

Development category : Local Development

Pre-determination hearing : Not required

Reason referred to Committee : Five or more third party objections

1. PROPOSED DEVELOPMENT

- 1.1 Planning permission is sought for a residential development of 10 units on 0.53 hectares of land north east of Cameron Crescent in Munloch. The development is a joint project by The Highland Housing Alliance and The Highland Council and consists of five semi detached 1 ½ storey units of the same house type, with the upper floor being contained within the roof space using rooflights. The site layout is set out with development on the upper side of an access road with the principal elevations fronting the road. Each property has private garden space to the rear and in curtilage parking for two cars to the front. A further three visitor spaces are provided at the road end. The land on the lower side of the road will contain the surface water drainage scheme and communal open space.
- 1.2 Informal pre-application advice was provided by the Planning Service.
- 1.3 The application is supported by statements regarding transport, drainage and trees. The submissions have been subject to several revisions in order to address the comments from internal consultees. The most recent submissions were received in February 2017.

1. **Variations:** Revised plans were submitted in February 2017 to address technical specifications for the construction of the road and drainage systems to ensure that the development meets the requirements of the council as Roads Authority and to satisfy the supplementary guidance for flood risk and drainage impact.

2. **SITE DESCRIPTION**

- 2.1 The site is an area of land at the east end of Munloch. It is bordered to the north by the A832. It lies to the north east of Cameron Terrace/Station Road; an established residential area. At the eastern end of the site the boundary is shared with a house known as Pole Cottage, 2 Millbank Road. The land falls from north to south across the site with the greatest difference in levels occurring in the south west corner where there is currently a difference of approximately 3m from the land to the north. To the south of the site lie a number of detached residential properties which are accessed from Millbank Road and Station Crescent. A row of mature trees is located at the end of Cameron Crescent. There is scrub vegetation along the boundary with the A832.

3. **PLANNING HISTORY**

- 3.1 None

4. **PUBLIC PARTICIPATION**

- 4.1 Advertised : Unknown Neighbour
Representation deadline : 19.02.2016
Timeous representations : 8

- 4.2 Material considerations raised are summarised as follows:

The comments relate to the initial submission, no further comments have been received following the submission of the additional and revised supporting information.

- Increase in number of units from that indicated in Local Development Plan.
- Loss of amenity; privacy and light to Pole Cottage and Lynmore, 2A Millburn Road
- Concern regarding potential footfall from development and use during construction phase of track to north Pole Cottage
- Concern regarding capacity of existing watercourse to deal with surface water drainage
- Impact on ground conditions by loss of trees and resulting impact on capacity of land and watercourse to deal with water run off.
- Exclusion zone required during construction to protect retained trees.
- Construction of development will introduce noise to the area.
- Additional traffic using Cameron Crescent which is already congested.
- Loss of parking spaces at the end of Cameron Crescent.
- Upgrade of Cameron Crescent required given its current state of disrepair.
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- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam. Access to computers can be made available via Planning and Development Service offices.

5. CONSULTATIONS

- 5.1 **Transport Planning Team:** No objection. Two consultation responses received. Initial response dated 10-02-2016

- A suitable gateway/traffic calming feature will be required at or near the interface with Cameron Crescent.
- Clarification regarding location of services.
- Further comment required from applicant with respect to connectivity of development to rest of village.
- Street lighting required as per council specifications.

Second response dated 28-10-2016

- Final details of gateway/traffic calming feature will be agreed through Road Construction Consent process.
- Street lighting design will need to be agreed with lighting section.
- Disappointing that no direct footpath link to B9161 can be provided.

- 5.2 **Flood Team:** Three consultation responses received.

Initial response dated 26-02-2016

- Object until further information is provided.

Second response 04-11- 2016

- Maintain objection to this development until further information is provided.

Third Response 09-03-2016

- Withdraw objection following a review of revised drainage assessment (February 2017). Following conditions required:
- Flooding - details of the proposed open sections of watercourse and the new culvert inlet at the downstream end must be submitted for review and approval. This must include detailed design of the culvert inlet fully compliant with CIRIA C689 Culvert Design and Operation Guide and include analysis of blockage scenarios and any proposed mitigation measures required. Details of the access route to the culvert inlet for monitoring and maintenance purposes must be included.
- Drainage - a detailed drainage design must be submitted for review and approval. This must include full details of the SUDS basin including maintenance access routes. Details of the long term maintenance of the proposed drainage system must be provided, including a maintenance schedule/agreement. Details of the party responsible for the maintenance of the on-site SUDS infrastructure until such time as it is vested are required.

- 5.3 **Forestry Officer :** Two consultation responses

Initial response dated 27-01-2016

- Object until further information is provided.

Second response dated 15 -03-2017

- Objection removed following submission of amended landscape plan and tree protection plan. Following conditions recommended:

- A suitably qualified landscape consultant must be employed at the applicant's expense to ensure that the approved Landscape and Planting Scheme (March 2017 Version F/V.2) is implemented to the agreed standard. Stages requiring supervision are to be agreed with the planning authority and certificates of compliance for each stage are to be submitted for approval. No development shall commence until a work instruction has been issued to the landscape consultant to enable them to undertake the necessary supervision unhindered for the duration of the project, and
- A suitably qualified arboricultural consultant must be employed at the applicant's expense to ensure that the Tree Protection Plan (Drg No. L(99)002_H) is implemented to the agreed standard. Stages requiring supervision are to be agreed with the planning authority and certificates of compliance for each stage are to be submitted for approval. No development shall commence until a work instruction has been issued to the arboricultural consultant to enable them to undertake the necessary supervision for the duration of the project.

5.4 **Estate Strategy Manager, Care and Learning, Highland Council:** Capacity available in primary and secondary schools - no developer contribution required.

5.5 **Housing Manager:** Confirm site was purchased by The Highland Council in December 2016 and that the development will provide 10 houses which meet the council's definition of affordable housing.

5.6 **SEPA:** Two consultation responses

Initial response dated 17-11-2016

- Object until further information is provided.

Second response 03—02- 2017

- Withdraw objection
- Recommend there is a formal agreement between the relevant parties for the continued maintenance of the proposed open channel.

5.7 **Transport Scotland:** No objection. Recommend that the following condition be attached to any planning permission granted.

- Prior to the occupation of any of the consented development arrangements for a Section 48 Agreement (Roads (Scotland) Act 1984) between the applicant and the Trunk Roads Authority for an agreed proportionate contribution to the cost of vehicle queue detectors and signage at the A9/B9161 Munloch junction must be concluded.

5.8 **Scottish Water :** No response.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

Policy 28 Sustainable Design

Policy 29 Design Quality and Placemaking

Policy 31	Developer Contributions
Policy 32	Affordable Housing
Policy 64	Flood risk
Policy 66	Surface Water Drainage

6.2 Inner Moray Firth Local Development Plan (IMFLDP): Adopted July 2015

Policy 2 Delivering Development

ML1 East of Cameron Crescent

7. OTHER MATERIAL CONSIDERATIONS

7.1 Highland Council Supplementary Planning Policy Guidance

- 7.2
- Developer Contributions
 - Flood Risk and Drainage Impact Assessment

7.3 Scottish Government Planning Policy and Guidance

SPP published June 2014

- Policy Principles: paragraphs 28-29,
- Development Planning paragraph 30,
- Placemaking – paragraphs 38-46,
- Development Planning paragraphs 48, 52 and 55,
- Enabling delivery of new homes paragraphs 110 -122.
- Affordable housing paragraphs 126-131.
- Managing Flood Risk and Drainage paragraph 258

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

8.3 Development Plan Policy Assessment

The application site consists of all of the land identified as site 'ML1 - East of Cameron Crescent' in the Inner Moray Firth Local Development Plan. The written statement indicates a housing capacity of 7 units.

8.4 **Material Considerations**

8.5 **Layout and Design**

8.6 It is acknowledged that the number of units proposed is greater than that indicated in the Inner Moray Firth Local Development Plan (IMFLDP). However the capacities suggested are indicative only and paragraph 2.12 of the IMFLDP provides for different capacities than that specified when the detailed design demonstrates efficient use of the land and a satisfactory site layout. The proposed layout and density of development is considered acceptable for the characteristics of the site and is in general conformity with the settlement pattern in this part of Munlochy. The properties are to be set out in a linear fashion which is similar to the houses on Cameron Crescent which lies to the west. The layout provides the majority of the houses with an open aspect to the south whilst maintaining a modest and acceptable size of private garden ground to the rear. It is considered that the general form and layout of development is acceptable; the density is no greater than that of Cameron Crescent/Cameron Drive to the west.

8.7 The design of the houses is considered to respect the local vernacular by virtue of the modest footprint of the houses, the height and massing of the buildings which are similar to Cameron Crescent and the simple palette of materials to be used. Natural slate is proposed for the roof, the exterior walls will be finished in panels of vertical timber cladding painted white with coloured horizontal feature cladding boards at the entrances.

8.8 **Residential Amenity**

8.9 Concerns have been expressed regarding the impact the development will have on the privacy and amenity of Pole Cottage and Lynmore, 2A Millburn Road due to the proximity of the proposed units which will occupy the eastern end of the site. These units will share boundaries with the above properties. Pole Cottage is set back from its western boundary by 11m, or thereby and presents a gable elevation to the new development. There is a single window at ground floor level on this elevation which looks out onto a domestic outbuilding which is located between the gable of the house and the boundary. The ground level of Pole Cottages is approximately one metre below that of the existing ground level of the development site. It is proposed to construct the two houses in a manner that will result in the finished floor levels being set at the existing ground level. The houses will be set back from the boundary with Pole Cottage by 7.5m and therefore there will be a separation distance of 18.5 m between the properties. There are no windows at first floor level of the proposed houses, light and ventilation being provided to the upper floor by rooflights. Boundary fencing 1.8m high shall be provided for the entire length of the boundary with Pole Cottage. On this basis it is not considered that there will be a significant loss of privacy or overshadowing to Pole Cottage. Furthermore, the existing outbuilding in the grounds of Pole cottage will help to protect the existing property from any 'sense' of overlooking from ground floor windows. Comment has been made regarding the use of land on the north side of Pole cottage, which lies between the house and the A832, by construction traffic and pedestrians following completion of the development. This land lies outwith the planning application site and is in separate ownership. It is recommended that

details of the site compound are agreed with the Planning Service and that this matter can be dealt with by a planning condition. As regards pedestrians using this land, there is no means of access from the development, as the eastern site boundary will be enclosed by 1.8m timber fencing.

- 8.10 2A Millburn Road lies to the south of the proposed houses. It sits more than 3m below the ground level of the development site. The south gable of the most adjacent proposed house has no windows. Given the difference in ground levels and the design of the proposed house it is considered that the development will have no significant impact on the privacy or overshadowing of this property.

8.11 **Flooding and surface water drainage**

- 8.12 The change in ground levels across the site means that ground water naturally runs to the southern boundary and in particular the south western corner before exiting the site. There is an existing water course which runs down the western boundary of the site. The majority of this water course is culverted. The developer has been required to demonstrate how surface water will be dealt with in accordance with the requirements of the Council's supplementary guidance on Flooding and Drainage. Following the submission of a flood risk assessment and proposals for Suds, the flood team are satisfied that an acceptable scheme; which will provide a Suds basin within the site, removing parts of the existing culvert and installing a new culvert inlet which will meet the requirements of Sewers for Scotland 2nd Edition. The implementation of this scheme will be addressed by imposing a planning condition.

8.13 **Trees and landscaping**

- 8.14 The development will require the removal of four trees to allow for the access road to be formed from Cameron Crescent. Compensatory planting will be provided in the communal areas of open space. Details of this together with suitable tree protection measures for trees which lie close to the construction corridor for the road have been provided in a landscaping plan and tree protection plan. The forestry officer is satisfied with the content of these plans. The implementation of this landscaping scheme and the tree protection measures will be dealt with by way of a planning condition. As required by the IMFLDP a landscaped buffer will be provided along the north boundary of the site with the A832 which will include specimen native trees such as cherry and Scots pine.

8.15 **Road Network**

- 8.16 The proposed development is one of a number of applications where Transport Scotland has requested a formal consultation. This request follows on from discussions with Transport Scotland regarding vehicle movement at the A9 trunk road/B9161 Munloch junction. In their consultation response they request that the Planning Authority apply a condition to the permission which requires a developer contribution toward improved signage; this request is consistent with other consultation responses which have been received from Transport Scotland which have involved housing development for sites on the south side of the Black Isle allocated in the Inner Moray Firth Local Development Plan.

8.17 Concern has been expressed by third parties regarding additional traffic using Cameron Crescent, the loss of parking as a result of the formation of the access and the deterioration of the road surface of Cameron Crescent. The increase in vehicles using Cameron Crescent by the construction of 10 units is not considered to be significant. In their consultation response the Transport Planning Team did not raise the increase in traffic as an issue. The end of Cameron Crescent currently forms a turning area and therefore should not be used for parking as suggested by third parties. The formation of the access road into the site will remove the turning head and this will be replaced by a new turning head at the end of the proposed road. The existing condition of the road surface is a matter for the Roads Authority and is outwith the consideration of this planning application.

8.18 **Developer contributions**

8.19 In relation to the policy and supplementary guidance on developer contributions no contributions are required in this instance other than a public art feature which can be secured by condition. The development will deliver 10 units the occupancy of which meets the council's definition of affordable homes. The site is owned by the Council and will be developed in collaboration with the Highland Housing Alliance. No contribution towards Education or Infrastructure is required. Care and Learning have confirmed that there is sufficient capacity within both the local primary and secondary schools. The transport planning team made no comment regarding infrastructure comment in their consultation response.

8.20 **Other Considerations – not material**

8.21 A comment has been received from the owner of 1 Station Court indicating that permission will not be given to allow the foul water drainage pipe to cross their land. A connection to the public system will be required, and in this regard the developer will require to secure all necessary permissions including the agreement of all affected landowners. However for the purposes of the determination of the planning application the agreement of the landowner is not required. Scottish Water received a consultation on the planning application but have not responded. Noise during the construction phase has been raised as a concern, this is acknowledged and understood. The developer will require to comply with statutory regulations which are addressed by the Environmental Health section of Community Services. As with many planning permissions issued by the Council, it is recommended that informative note regarding this matter is attached to the planning permission.

9. **CONCLUSION**

9.1 In summary, planning permission is sought for the development of an allocated site. The matters raised by third parties have through the assessment process been considered and addressed. Technical issues regarding flooding and surface water drainage has necessitated the submission of additional information which has been analysed. The outcome of this process is a development that is considered to meet the requirements of the development plan by delivering a high quality residential development which will contribute towards the provision of much needed affordable homes in the area.

- 9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. RECOMMENDATION

Action required before decision issued N

Subject to the above, it is recommended the application be Granted subject to the following conditions and reasons, and notes to applicant:

1. All housing within this development shall comprise affordable housing (which meets the definition of affordable housing outlined in The Highland Council's Affordable Housing definition as set out in Supplementary Planning Guidance: Developer Contributions dated 2013 (as amended, revoked or replaced; with or without modification)

Reason: In accordance with the development for which planning permission has been submitted and to secure the provision of affordable housing in accordance with the Council's Supplementary Planning Guidance: Developer Contributions dated 2013 (as amended, revoked or replaced; with or without modification)

2. No development shall commence on site until details of the proposed location of the site compound, storage of equipment and associated facilities including staff parking has been submitted to and agreed in writing by the Planning Authority. Thereafter the development shall be undertaken in accordance with the approved details.

Reason : In the interest of residential amenity

3. A suitably qualified landscape consultant shall be employed at the applicant's expense to ensure that the approved Landscape and Planting Scheme (March 2017 Version F/V.2) is implemented to the agreed standard. Stages requiring supervision shall be agreed with the planning authority and certificates of compliance for each stage shall be submitted for approval. No development shall commence until a work instruction has been issued to the landscape consultant to enable them to undertake the necessary supervision unhindered for the duration of the project.

Reason: In order to ensure that the approved landscaping works are properly undertaken on site.

4. A suitably qualified arboricultural consultant shall be employed at the applicant's expense to ensure that the Tree Protection Plan (Drg No. L(99)002_H) is implemented to the agreed standard. Stages requiring supervision shall be agreed with the planning authority and certificates of compliance for each stage are to be submitted for approval. No development shall commence until a work instruction has been issued to the arboricultural consultant to enable them to undertake the necessary supervision unhindered for the duration of the project

Reason : In order to ensure the protection of retained trees, which are important amenity assets, both during construction and thereafter

5. Prior to the commencement of development details of the proposed open sections of watercourse and the new culvert inlet at the downstream end shall be submitted for consideration and the written approval of the Planning Authority in consultation with the Flood Risk Management Team. The submission shall include a detailed design of the culvert inlet that is fully compliant with the CIRIA C689 Culvert Design and Operation Guide and include analysis of blockage scenarios and any proposed mitigation measures required. Details of the access route to the culvert inlet for monitoring and maintenance purposes shall be included. Thereafter the development shall be completed in accordance with the details agreed

Reason : To ensure that all flood mitigation infrastructure, required in order to reduce the risk of flooding occurring both within and outwith the application site, is provided timeously.

6. Prior to the commencement of development a detailed drainage design shall be submitted for consideration and approval. The submission shall include full details of the SUDS basin including maintenance access routes. Details of the long term maintenance of the proposed drainage system shall be provided, including a maintenance schedule/agreement. Full details of the party responsible for the maintenance of the on-site SUDS infrastructure until such time as it is vested shall be provided in writing.

Reason : To ensure that surface water drainage is provided timeously and complies with the principles of SUDS; in order to protect the water environment

7. Prior to commencement of development, details of a factoring agreement shall be submitted for the written approval of the Planning Authority in consultation with Forestry Officer and the Flood Risk Management Team to ensure the future maintenance of the communal landscaped areas and the Suds scheme is secured. The development shall thereafter be managed in accordance with such approved factoring agreement in perpetuity. Until such time as the factor is appointed the maintenance of these features shall remain the responsibility of the developer unless otherwise formally agreed in writing

Reason : To ensure that all communal spaces and elements of the drainage scheme which will remain in private ownership within the application site are subject to an ongoing maintenance agreement to ensure proper management/maintenance of those areas; in the interests of amenity and to reduce the risk of flooding

8. All roads and pavements within the application site shall be formed to base course level and street lighting shall be installed and operational prior to the first occupation of any of the houses. Thereafter, the final wearing surface shall be applied concurrently with the construction of the last house within the development, or upon the expiry of a period of three years from the date of first occupation, whichever is the sooner.

Reason: In the interest of road safety.

9. No development or work shall commence until a detailed specification of the colours to be applied to the timber cladding on the houses has been submitted to, and approved in writing by, the Planning Authority. Thereafter, development and work shall progress in accordance with these approved details.

Reason: In order to enable the planning authority to consider this matter(s) in detail prior to the commencement of development; in the interests of amenity.

10. No development shall commence until details of a proposed feature of Public Art to be provided on site in compliance with the Council's Public Art Strategy supplementary guidance; and proposals for its installation and maintenance; have been submitted to and approved in writing by the Planning Authority. The Public Art feature shall thereafter be installed and maintained in accordance with such details.

Reason: In accordance with Highland wide Local Development Plan Policy 31 (Developer Contributions) and associated supplementary planning guidelines on Developer Contributions, Open Space and Public Art Strategy

11. Prior to the occupation of any of the development vehicle queue detectors and signage shall be installed at the A9/B9161 Munloch junction to the satisfaction of the Planning Authority in consultation with Transport Scotland. If the works referred to above are to be implemented by Transport Scotland, then an agreement under Section 48 of the Roads (Scotland) Act 1984 between the developer and Transport Scotland for an agreed proportionate contribution to the cost of the works shall be concluded before construction commences on any of the development.

Reason: To mitigate against intermittent queuing of vehicles turning right from the A9, which will be exacerbated by this and other housing developments, identified in the Inner Moray Firth Local Development Plan, on the south side of the Black Isle.

12. Prior to occupation of either of the houses which share a boundary with Pole Cottage a 1800mm boundary fence, between the houses and this property shall be erected. The fence shall be designed as shown on plan L(99)004 REV B and shall be maintained in perpetuity.

Reason: In the interests of residential amenity.

REASON FOR DECISION

The proposals accord with the provisions of the Development Plan and there are no material considerations which would warrant refusal of the application.

TIME LIMIT/DIRECTION

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

FOOTNOTE TO APPLICANT

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (p.198), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at:
<http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_or_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

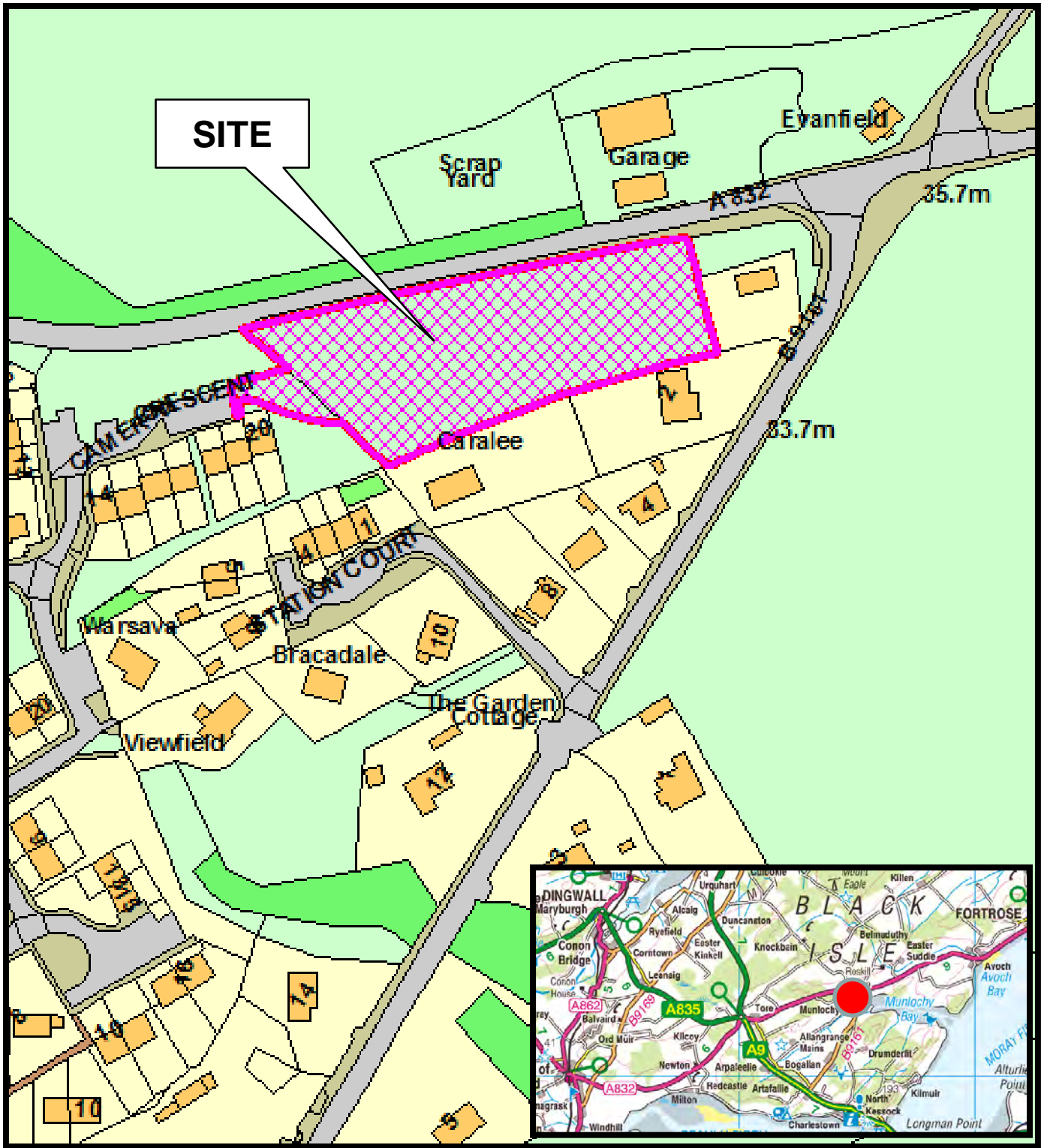
Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species - Halting of Work

You are advised that work on site must stop immediately, and Scottish Natural Heritage must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from SNH: www.snh.gov.uk/protecting-scotlands-nature/protected-species

Signature: Dafydd Jones
Designation: Area Planning Manager - North
Author: Erica McArthur
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 – Location Plan
Plan 2 – SITE LAYOUT PL(90)002 REV B
Plan 3 – ELEVATION PLAN PL(20)002 REV B
Plan 4 – FLOOR/ELEVATION PL(20)001 REV B
Plan 5 – DRAINAGE LAYOUT CTCH-J1094C-005 REV C
Plan 6 – LANDSCAPING PLAN L(99)003
Plan 7 – FENCING PLAN L(99)004 REV B



The Highland Council
Comhairle na Gàidhealtachd

Planning & Development Service

15/04749/FUL
Erection of 10 houses with associated infrastructure and services at Land to North East of Cameron Crescent, Munloch





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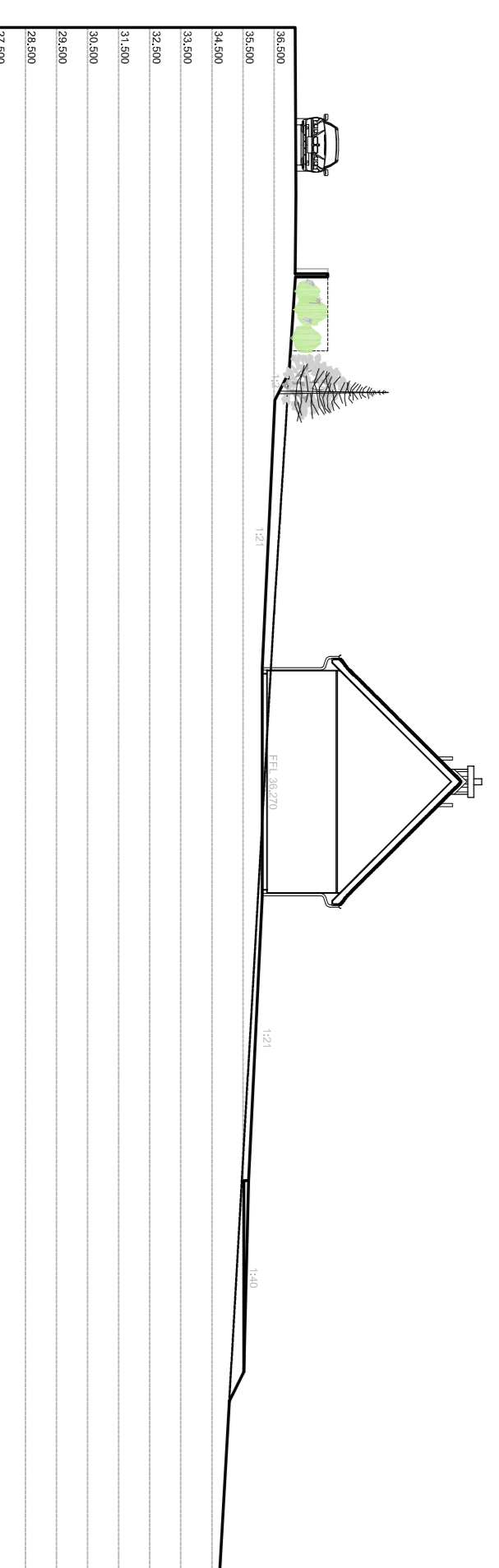
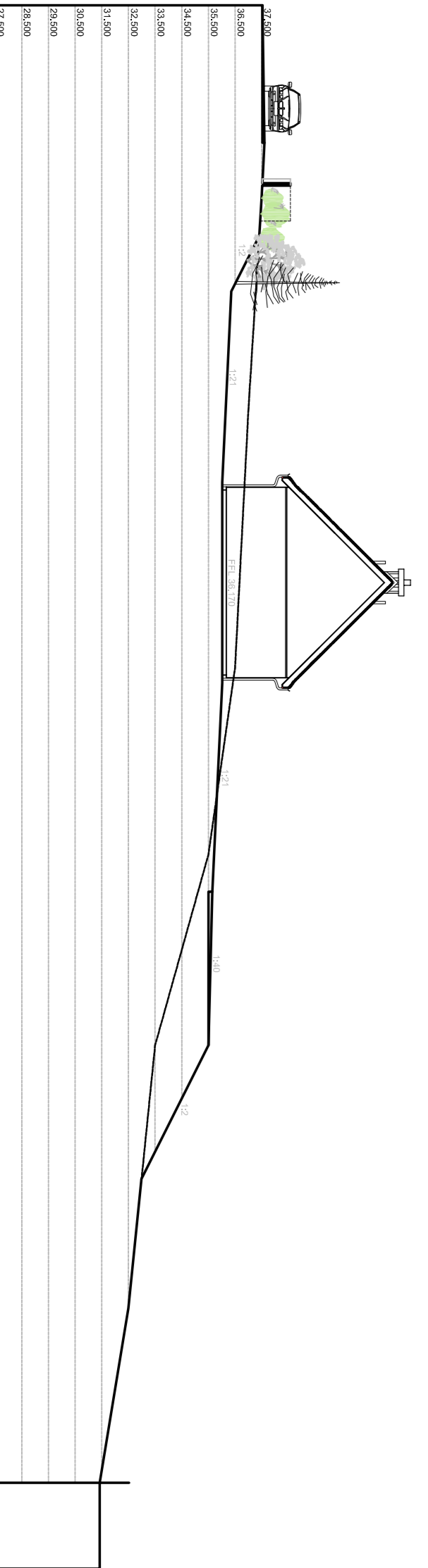
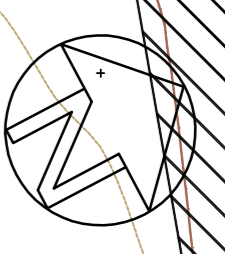
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Caralee

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Section A-A

Section B-B

Scale 1:200



Drawn:	CHK:	QMS:
Revised:	CHK:	QMS:
Drawn:	CHK:	QMS:
Revised:	CHK:	QMS:
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Revised:	CHK:	QMS:

keppie
 PROJECT
 75 The Quadrant
 Perth
 WA 6000
 Tel: 08 9438 8888
 www.keppiedesign.com.au

Client
William Gray Construction Ltd

Project
**Cameron Crescent, Murdoch
 10 Residential Units**

Drawings
Site Plan

Project No.
P15-191

Drawing No.
PL(00)002

Sheet
B

PLANNING

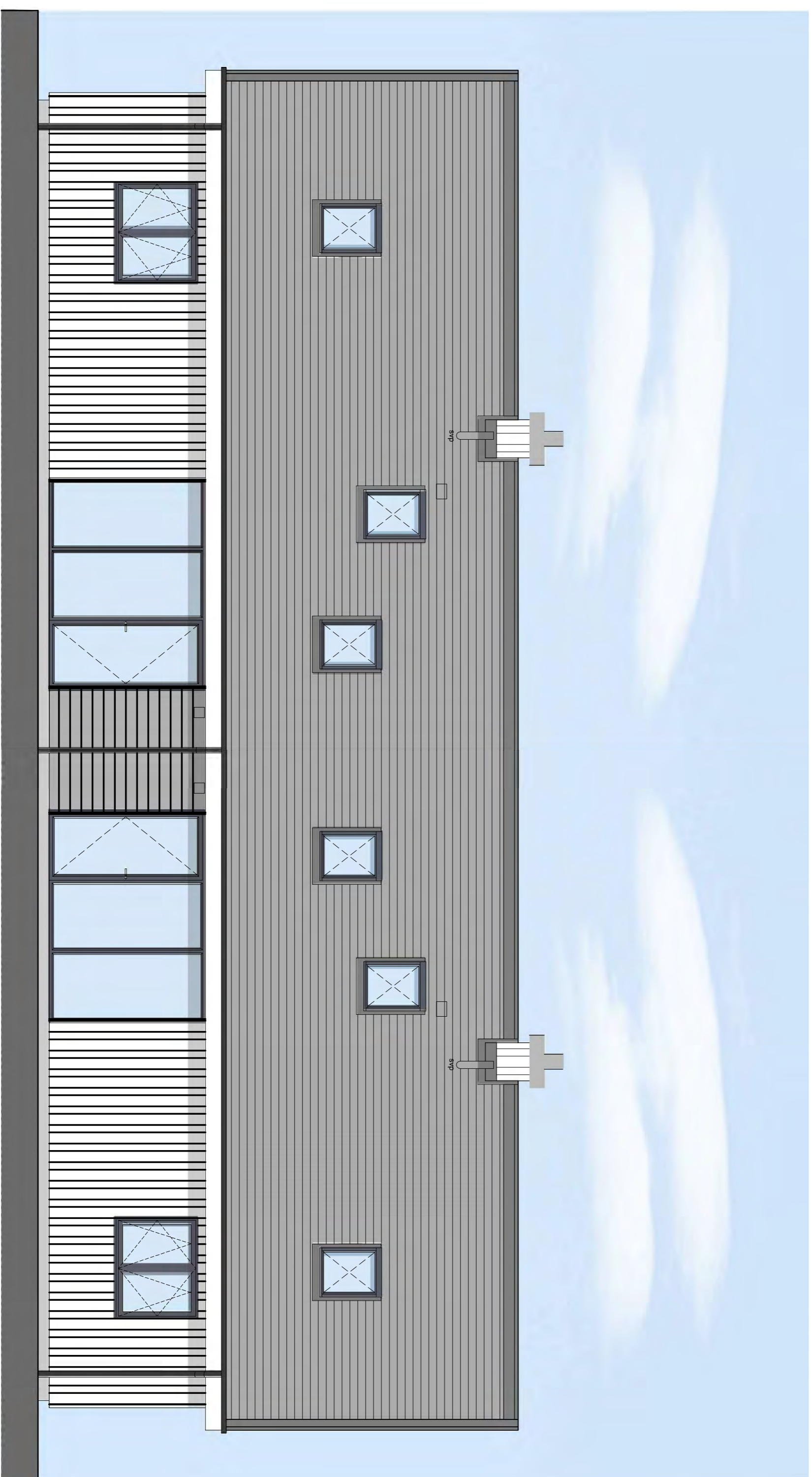
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Materials Palette:

- Timber framed wall construction
- Vertical timber cladding boards painted white
- Feature coloured horizontal timber cladding boards at entrance
- Natural slate tile roof finish
- uPVC gutters and RWPS
- Roof mounted photovoltaic panels (exact locations TBC dependent upon orientation and final calculations)



Rear Elevation



Front Elevation

0 5m
Scale 1:50

Revisions

Revision	Description	Date
1	Issue for Planning	15/11/15
2	Client updated and re-issued for Planning	15/11/15

keppie

PROJECT
78 Tay Street,
Pennywell,
Glasgow G12 8TJ
Tel: 01738 811 881
www.keppiedesign.co.uk

Client
William Gray Construction Ltd

Project
Cameron Crescent, Murchydy
10 Residential Units

Drawing
Semi-detached
Block Elevation

Project No.
P/15-191
Drawing No.
PL/20/002
Status
B
PLANNING

Created By: JG
Date: 15/11/15
Scale: 1:50
@ A1

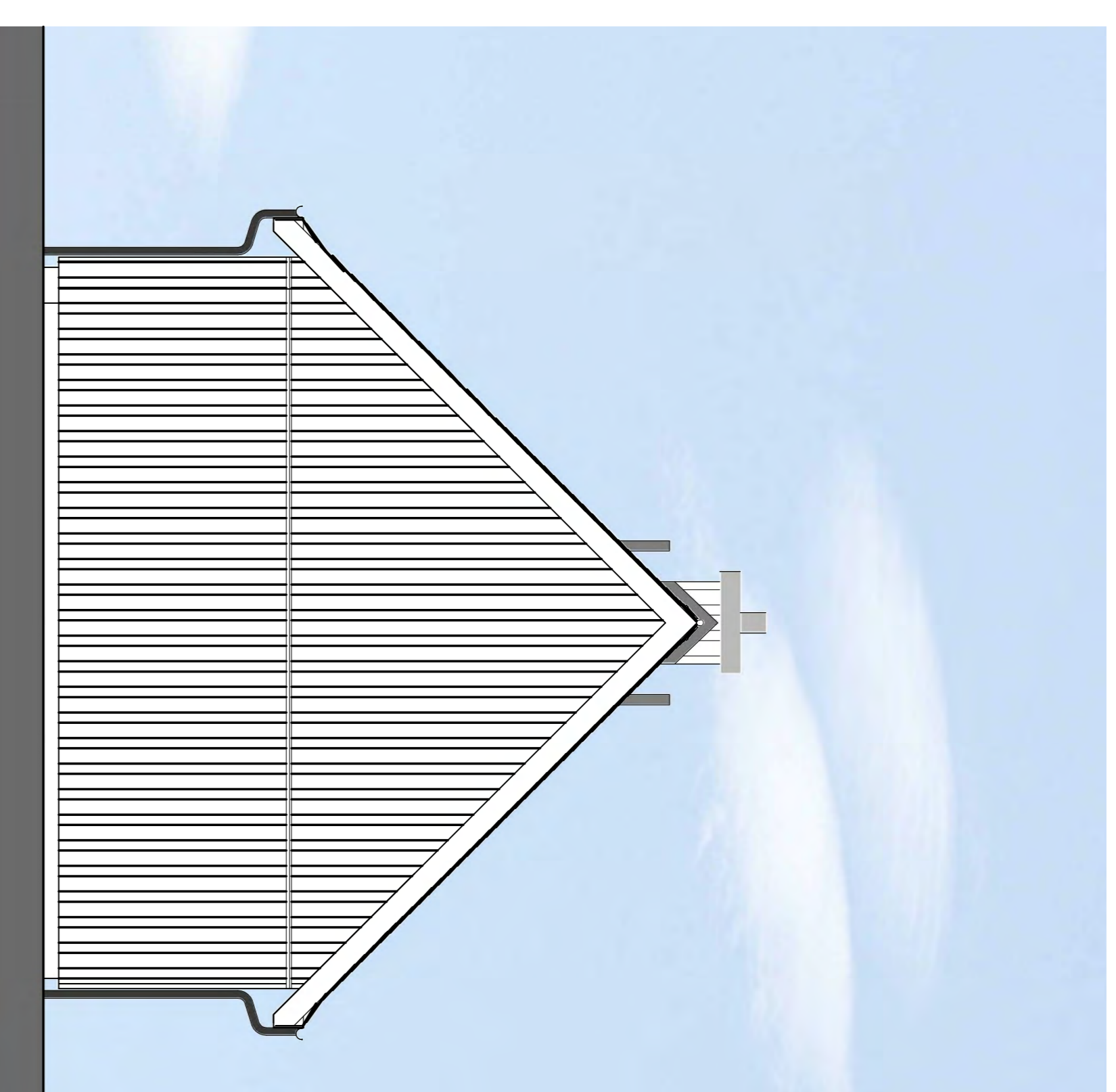
- Materials Palette:**
- Timber framed wall construction
 - Vertical timber cladding boards painted white
 - Feature coloured horizontal timber cladding boards at entrance
 - Natural slate tile roof finish
 - uPVC gutters and RWPs
 - Roof mounted photovoltaic panels (exact locations TBC dependent upon orientation and final calculations)



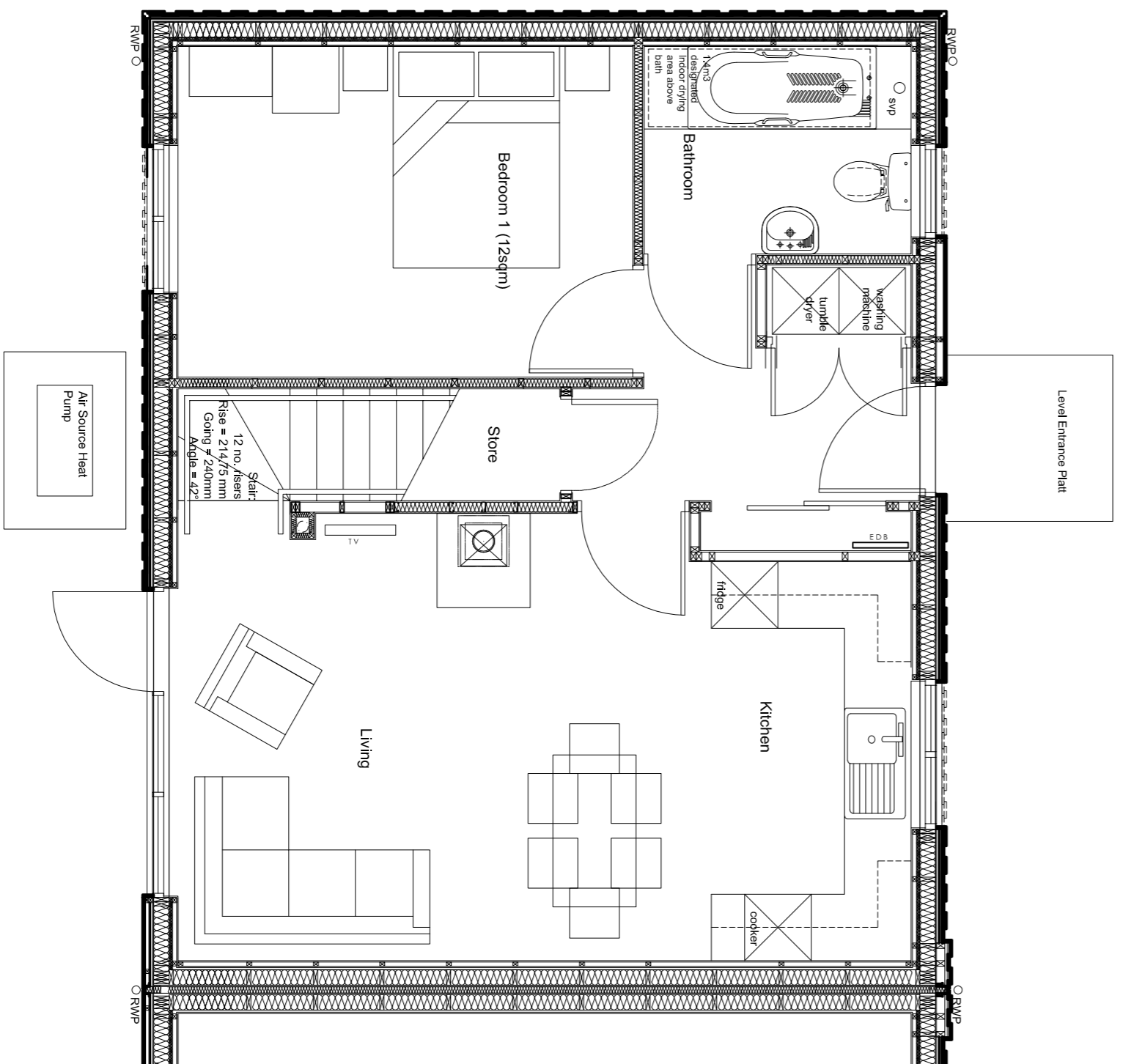
Front Elevation



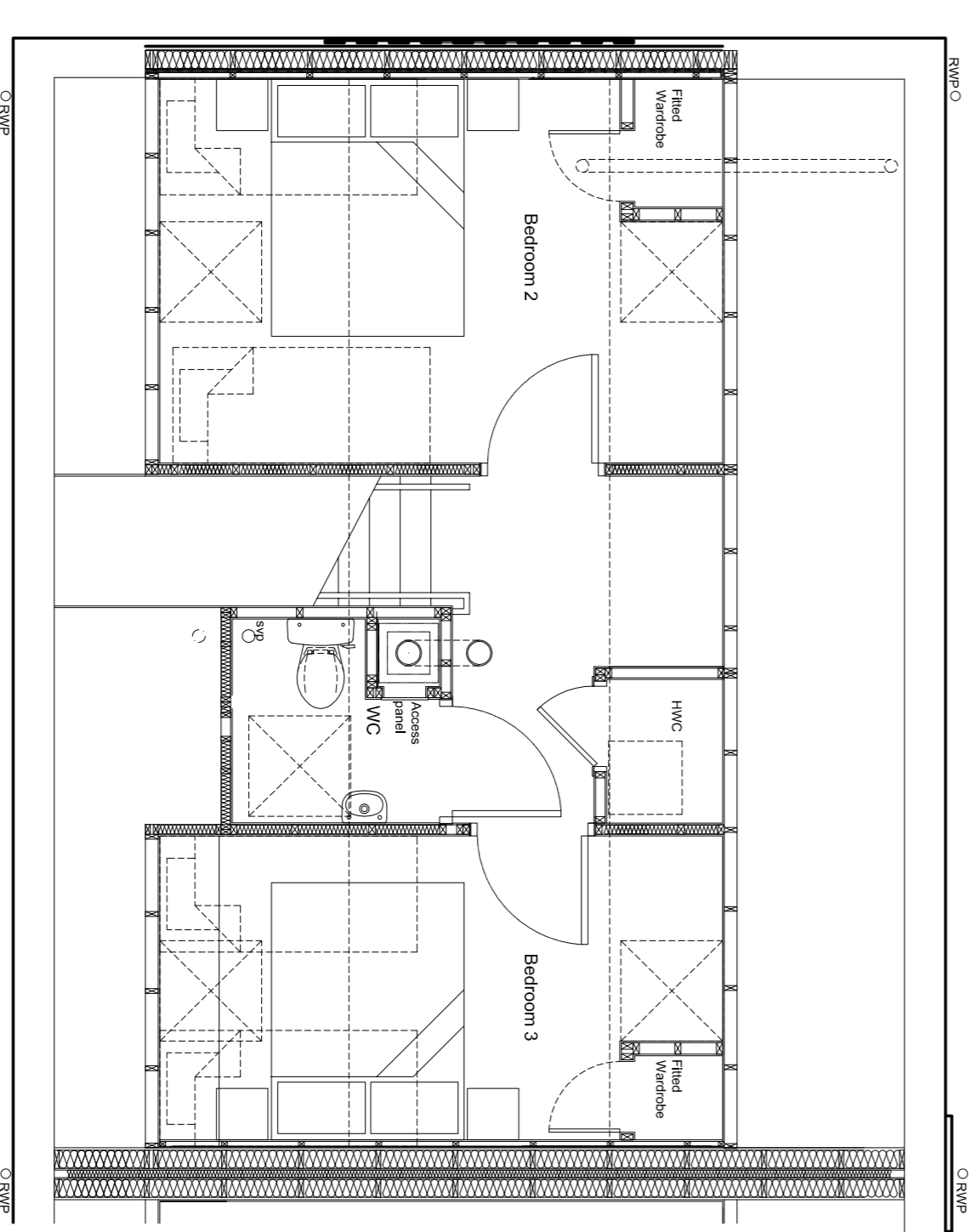
Rear Elevation



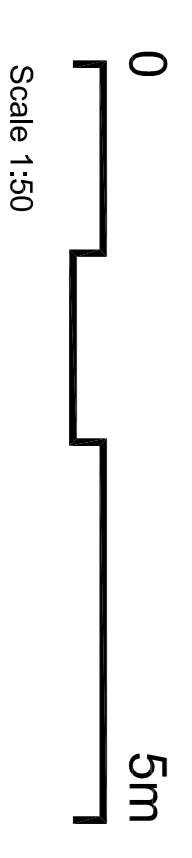
Side Elevation



Ground Floor Plan



First Floor Plan



keppie
 architecture • interior design • planning • renovation • refurbishment

PROJECT
 78 Tay Street,
 Perth
 Tel: 01738 811 811
 www.keppiedesign.co.uk

Client
 William Gray Construction Ltd

Project
 Cameron Crescent, Muthochy
 10 Residential Units

Drawings
 Plans + Elevations
 House Type B - End

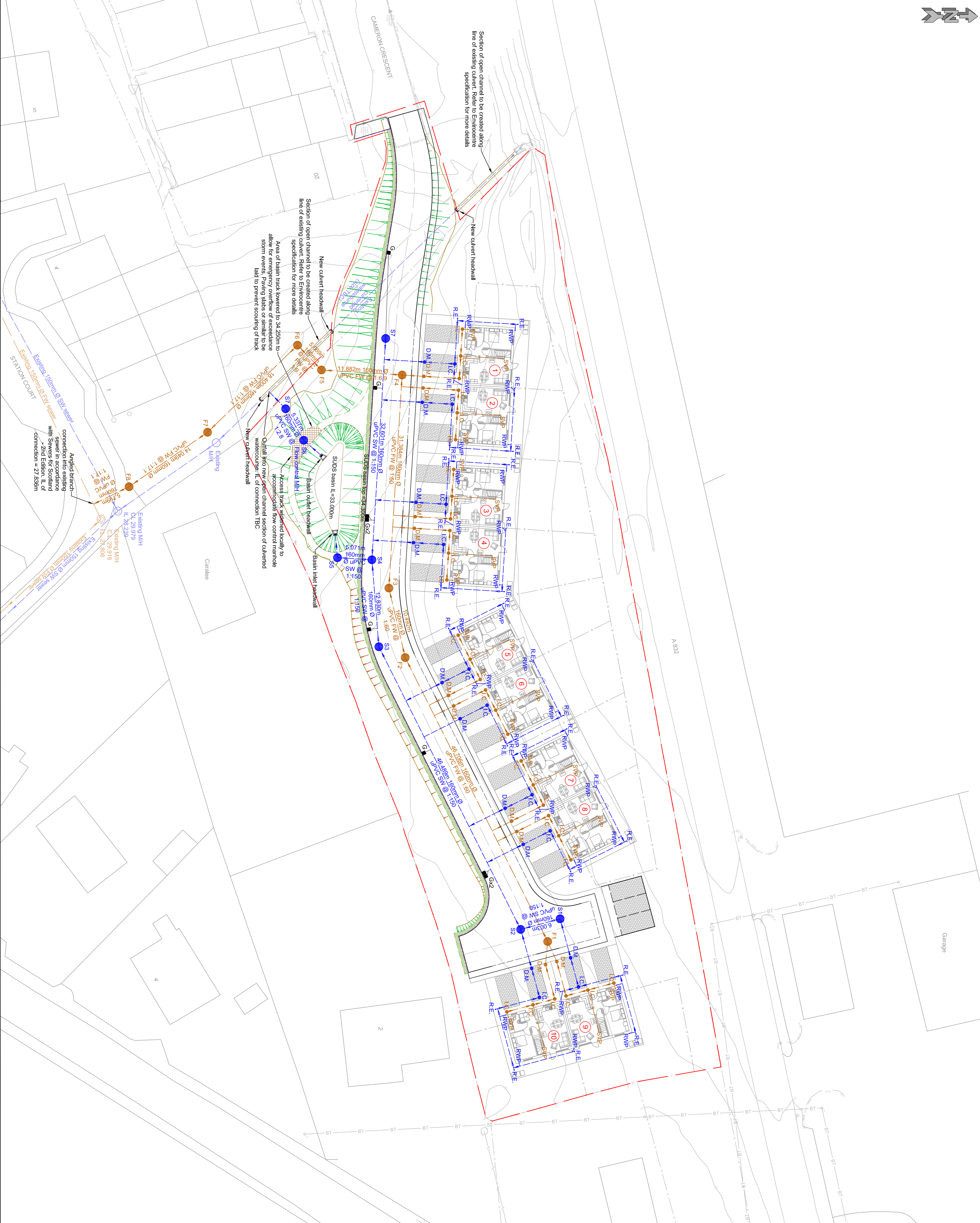
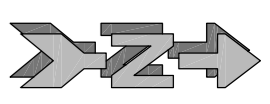
Project No.
 P15-191

Drawing No.
 PL/20/001

Status
 B

PLANNING

Consent • 48 • 481
Date • 14.10.15 • 1.10.19 @A1



NOTES:-

1. Refer to Cairtech drawing J1094C-009 for the drainage construction details.
2. Refer to Cairtech drawing J1094C-010 for the drainage longitudinal sections.
3. Drainage to be constructed, installed & tested in accordance with the recommendations in BS EN 752:2008, BS EN 1610:1996, S.E.F.A. GRN10 & Sewers for Scotland - 3rd Edition.
4. A minimum of 600mm cover to be provided to all pipework within garden/landscaped areas, a minimum of 900mm below any parking area and a minimum of 1200mm below any road. Concrete slab protection to be provided where minimum cover below road is not achievable.
5. Site plan extract taken from Kepple Design site layout.
6. Refer to the Architect's drawings for the position of the roof water downpipes and internal foul drainage outlets.
7. Position of any existing services must be accurately located on site prior to construction work commencing.

LEGEND:-

	New 110mm Ø uPVC (160mm Ø from D.M. to existing sewer) foul water pipework (arrowhead denotes direction of flow)
	New 110mm Ø uPVC roof water pipework (arrowhead denotes direction of flow)
	New 160mm Ø uPVC foul sewer & 1.2m Ø precast concrete manhole (arrowhead denotes direction of flow)
	New 450mm Ø uPVC (disconnecting manhole (maximum depth 1.2m))
	New 450mm Ø uPVC inspection chamber (maximum depth 1.2m)
	New 450mm Ø uPVC disconnecting manhole (maximum depth 1.2m)
	Concrete block paving driveway/parking area
	Indicates site boundary

Code	Description	Material	Notes
C	23/21/7	Overflow channel in basin outlet, section of open channel along line of existing culvert outlet.	KGT GCN
B	4/8/16	Roof water & driveway surface water run-off discharged into basin. Design altered to suit, to include lengths & gradients.	KGT GCN
A	5/2/16	Foul sewer and road drain pipe details updated.	KGT GCN

**Housing Development at
Cameron Crescent, Munchloch
Drainage Layout Plan**

LAND & BUILDING SERVICES: HYDROGRAPHIC SURVEYING
 SETTING OUT/ENGINEERS: VOLUNTARY SURVEYING
 CIVIL ENGINEERING DESIGN: DIMENSIONAL CONTROL SERVICES
 LASER SCANNING SERVICES: AUTOCAD DRAUGHTING SERVICES

PROJECT MANAGER: FRANKIE MURPHY
 DESIGNER: IAN BURNETT
 CHECKER: IAN BURNETT
 DATE: 12/05/2015
 DRAWING NO: J1094C-005

William Gray Construction Ltd.

Drawn By: KGT	Checked By: GCN	Surgeoned By: TRJS	Surgeoned Date: 12/05/2015
Drawing Status: PLANNING		Drawing Date: 21/12/2015	
Drawing Scale: 1:250 @ A1		Drawing No: CTCH-J1094C-005	
Our Job Ref: J1094C		Rev: C	

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














All levels and dimensions to be checked on site prior to construction / fabrication; report discrepancies immediately. Do not scale dimensions from this drawings. This drawing is copyright protected.

REVISION	DESCRIPTION	DATE	BY
E	01-11-16 First issue - For Planning queries	01-11-16	JR
F	22-02-17 Trees 8-11 relocated	22-02-17	JR
G	23-02-17 Trees 8+10 relocated	23-02-17	JR
H	01-03-17 Amended following NR comments	01-03-17	JR
I	07-03-17 Shrub beds and trees 23-31 added	07-03-17	JR



Landscape Key:

-  Buffer Zone
-  Enclose private rear gardens - seeded
-  Private front gardens - gravel
-  Communal amenity space- seeded
-  SUDs basin
-  Informal shrub beds A-D- See Planting schedule for details
-  Formal shrub beds E-G - See Planting schedule for details
-  Trees 1,2 +20 - See Planting schedule for details
-  Trees 3-5, 18 + 22 + 25 + 27 - See Planting schedule for details
-  Trees 6-17, 19, 21, 23, 24, 26 + 28-31 - See Planting schedule for details
-  Existing retained trees incorporated into planting design plan
-  1800mm Timber fencing with pedestrian gates
-  900mm Timber fencing

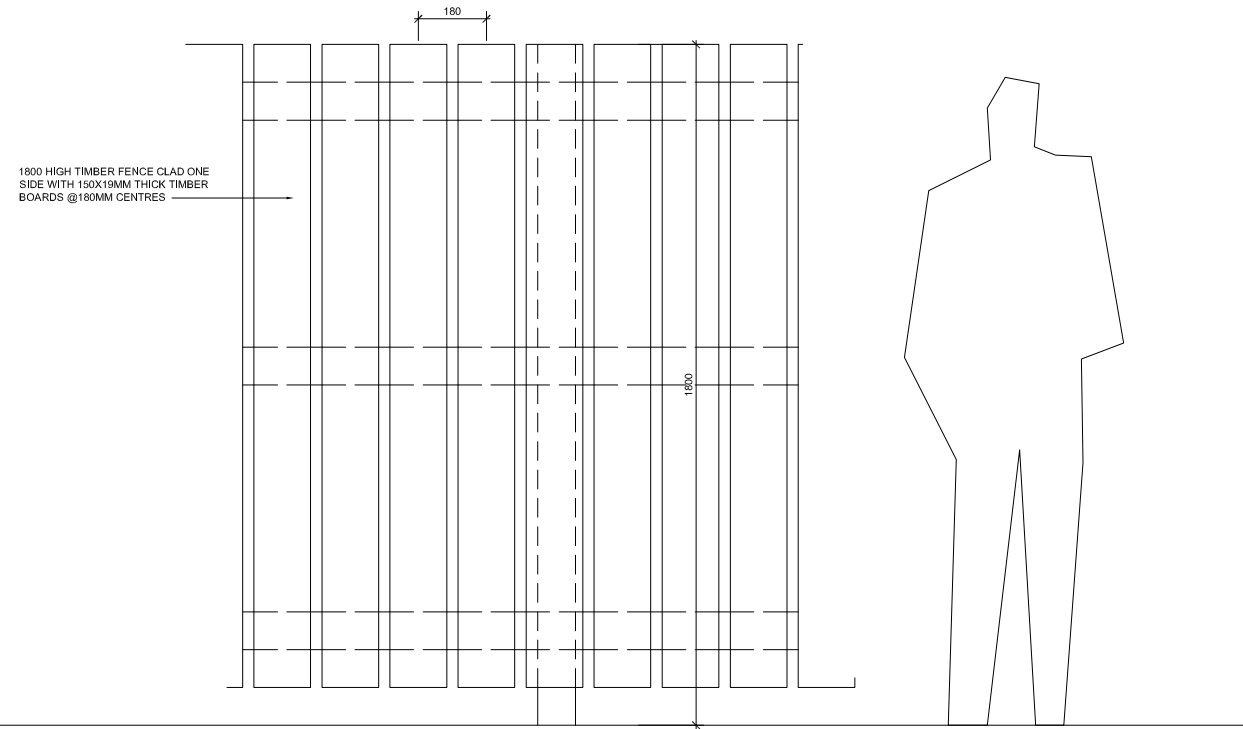
SCALE	DATE	DRAWN	CHECKED
200	01-11-16	JR	MPE

PROJECT
10 Residential Units
Cameron Crescent, Munlochy
for Ark Estates

DRAWING
Landscape Plan

Threesixty Architecture
12 CARPENTER STREET
PERTH
PH1 5LZ
t 01738 230360
www.360architecture.com

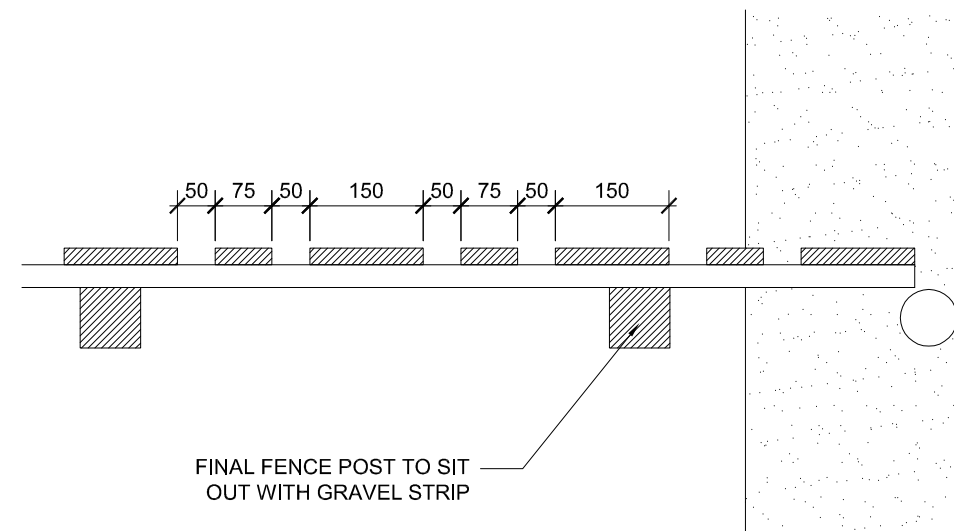
DRAWING No.
L(99)003_i



Fencing - perimeter - 1:20



Fencing - between + around houses - nts



Fencing - between + around houses - 1:10

Revision

Drawn : Chk'd : Date :
Revision

Drawn : Chk'd : Date :
Revision

Drawn : Chk'd : Date :
Revision

A First Draft for review

Drawn : JR Chk'd : Date : 15-07-16
Revision

B For Planning

Drawn : JR Chk'd : Date : 05-08-16

Client
William Gray Construction Ltd

Project
Cameron Crescent, Munloch
10 Residential Units

Drawing
Proposed Timber Fencing

Project No.
P15-191

Drawing No. L(99)004 Rev. B

Status
PLANNING

Created : JR Checked : MPE
Date : 15-07-16 Scale : 1:10 @ A3