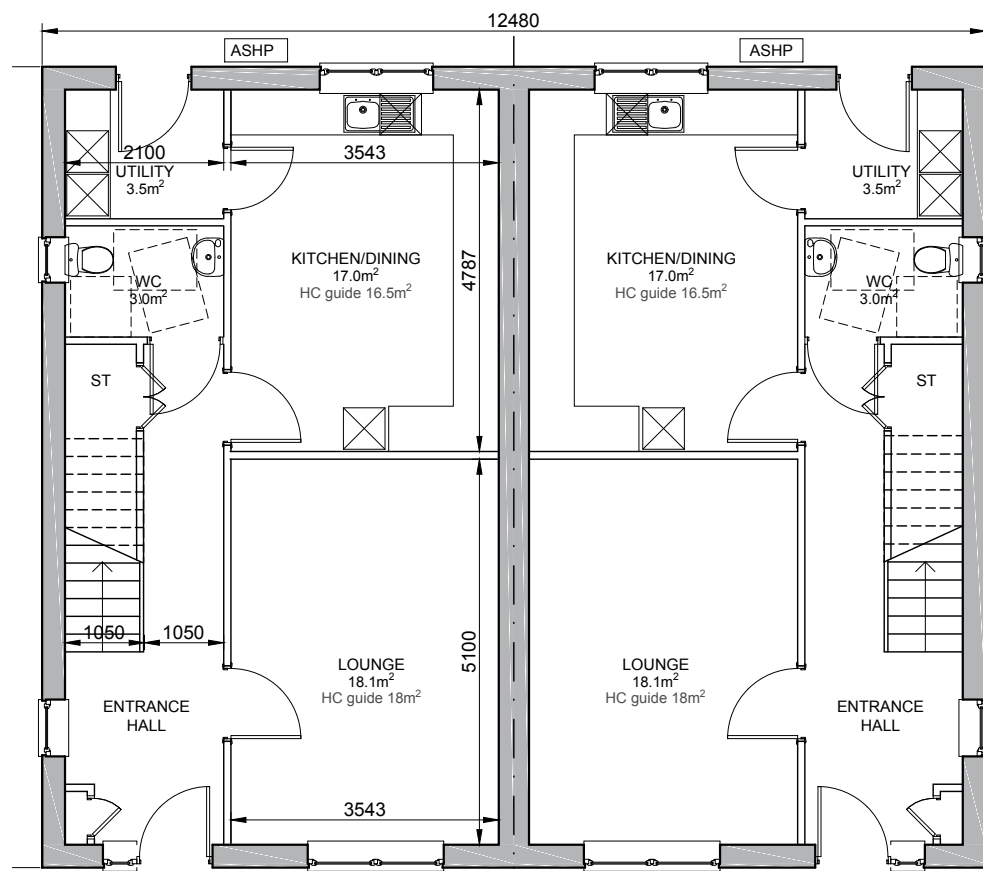


FIRST FLOOR



GROUND FLOOR
SIX PERSON - FOUR BED VILLA
GIA - 114m²



FRONT ELEVATION

Glass canopy over entry doors

GABLE ELEVATION



REAR ELEVATION

- Marley Modern anthracite roof tiles or insulated metal roof panels - dark grey or Insulated metal roof panels - dark grey
- Indicative PV locations - locations and numbers to be determined
- uPVC eaves & fascia - dark grey
- Windows (material tbc) - dark grey
- Marley Eternit board - colour tbc
- Smooth render - white
- Indicative ASHP location

REV	DATE	DESCRIPTION	DRN	CH'D
A	09.01.17	ROOM AREAS REVISED & MATERIALS ADDED	KM	

Bracewell Stirling

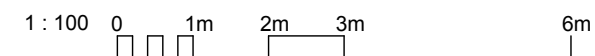
- 38 WALKER TERRACE, TILLCOUNTRY, FK13 6EF
TEL: 01259 750301
- 5 NESS BANK, INVERNESS, IV2 4SF
TEL: 01463 233760

LOCHYSIDE PRIMARY SCHOOL SITE
KILLMALLIE ROAD, FORT WILLIAM
HIGHLAND SMALL COMMUNITIES HOUSING TRUST

TITLE
SIX PERSON - FOUR BED VILLA

SCALE	DATE	BY	KM
1:100	30/11/2016		
	PURPOSE	PAPER	A3

DWG NO.-REV
4138-01-200 A





FRONT ELEVATION



GABLE ELEVATION (THREE BED)



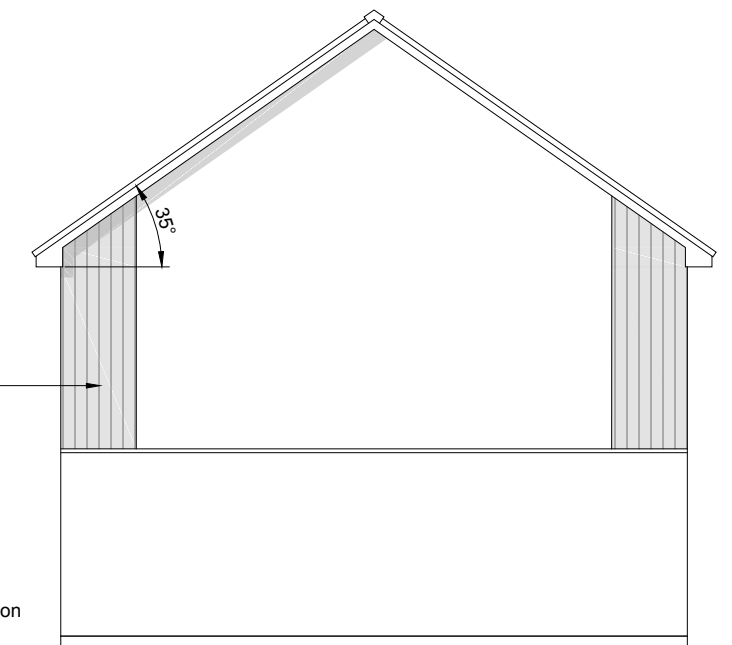
REAR ELEVATION

Insulated metal roof panels - dark grey

Marley Eternit Cedral board - dark grey

Smooth render - white

Indicative ASHP location



GABLE ELEVATION (TWO BED)

REV	DATE	DESCRIPTION	DRN	CH'D
A	09.01.17	ROOM AREAS REVISED & MATERIALS ADDED	KM	

Bracewell Stirling CONSULTING

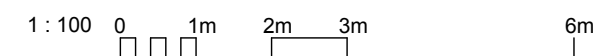
- 38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF
TEL: 01259 750301
- 5 NESS BANK, INVERNESS, IV2 4SF
TEL: 01463 233760

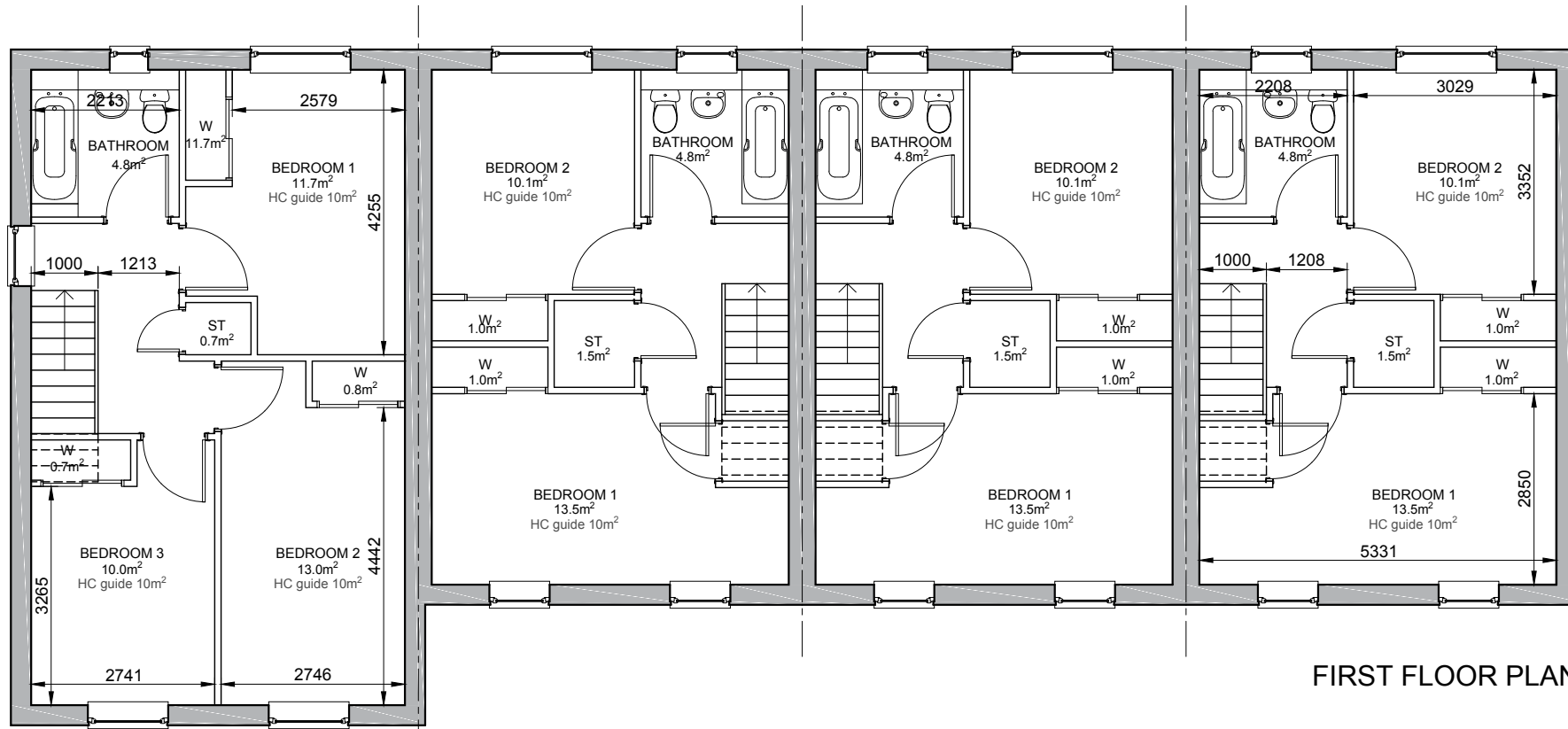
LOCHYSIDE PRIMARY SCHOOL SITE
KILLMALLIE ROAD, FORT WILLIAM
HIGHLAND SMALL COMMUNITIES HOUSING TRUST

TITLE
PLOTS 35-38 ELEVATIONS

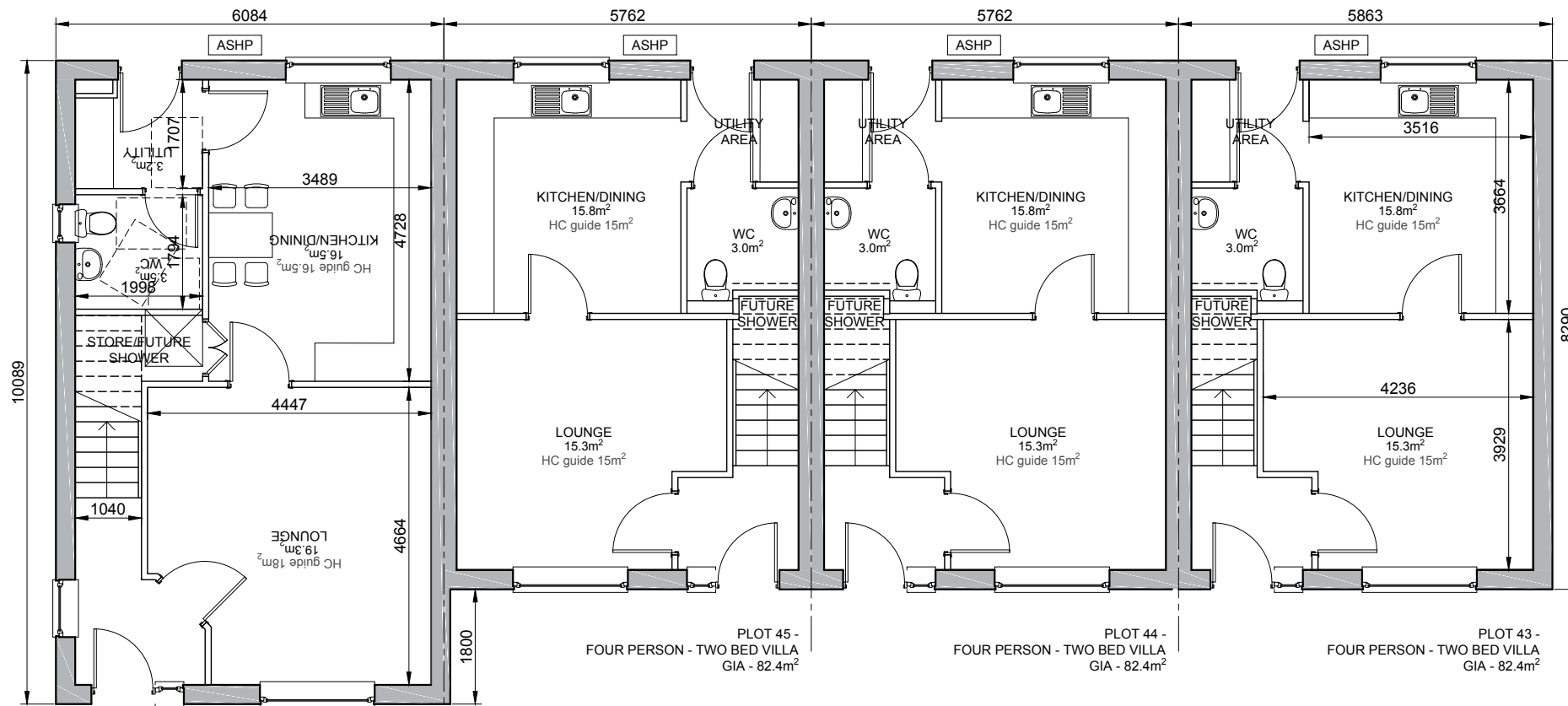
SCALE	DATE	BY
1:100	27/03/2017	KM
	PURPOSE	PAPER
	PLANNING	A3

DWG NO.-REV
4138-01-604





FIRST FLOOR PLAN



GROUND FLOOR PLAN

A	09.01.17	ROOM AREAS REVISED & MATERIALS ADDED	KM
REV	DATE	DESCRIPTION	DRN CH'D

Bracewell Stirling CONSULTING

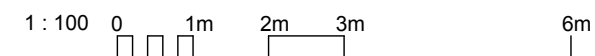
- 38 WALKER TERRACE, TILLCOUNTRY, FK13 6EF
TEL: 01259 750301
- 5 NESS BANK, INVERNESS, IV2 4SF
TEL: 01463 233760

LOCHYSIDE PRIMARY SCHOOL SITE
 KILLMALLIE ROAD, FORT WILLIAM
 HIGHLAND SMALL COMMUNITIES HOUSING TRUST

TITLE
 PLOTS 35-38 FLOOR PLANS

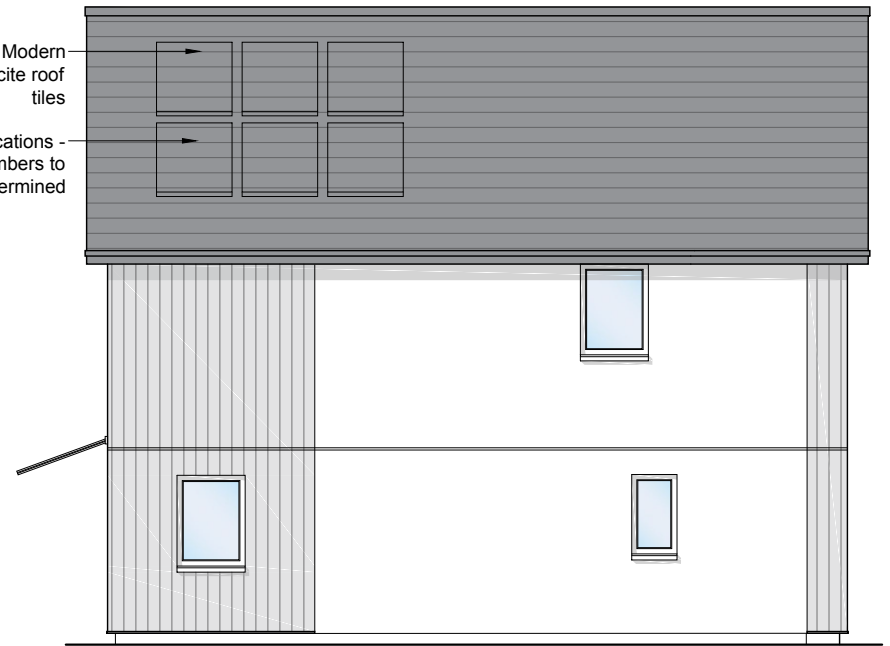
SCALE	DATE	BY	KM
1:100	27/03/2017		
	PURPOSE	PAPER	A3
	PLANNING		

DWG NO.-REV
 4138-01-603





FRONT ELEVATION

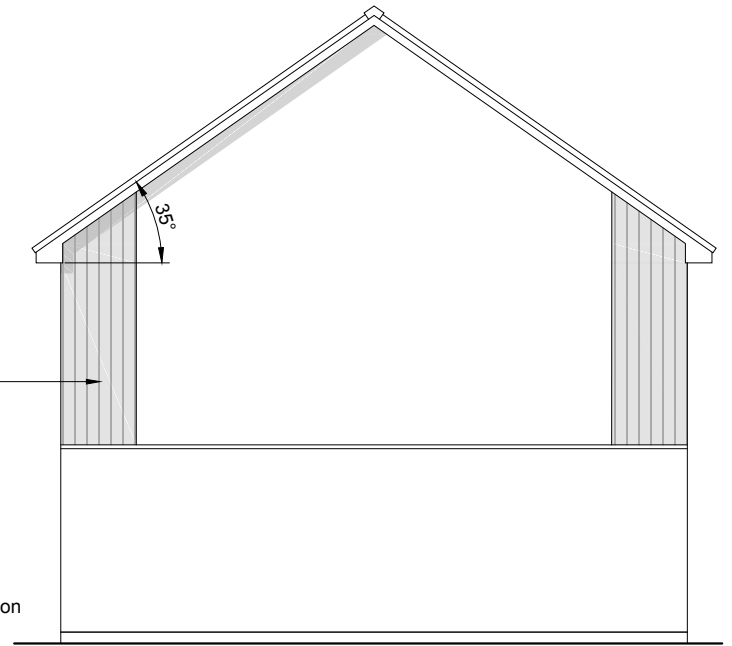


GABLE ELEVATION (THREE BED)

Marley Modern anthracite roof tiles
Indicative PV locations - locations and numbers to be determined



REAR ELEVATION



GABLE ELEVATION (TWO BED)

Insulated metal roof panels - dark grey

Marley Eternit Cedral board - dark grey

Smooth render - white

Indicative ASHP location

REV	DATE	DESCRIPTION	DRN	CH'D
A	09.01.17	ROOM AREAS REVISED & MATERIALS ADDED	KM	

Bracewell Stirling CONSULTING

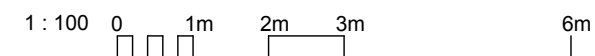
- 38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF
TEL: 01259 750301
- 5 NESS BANK, INVERNESS, IV2 4SF
TEL: 01463 233760

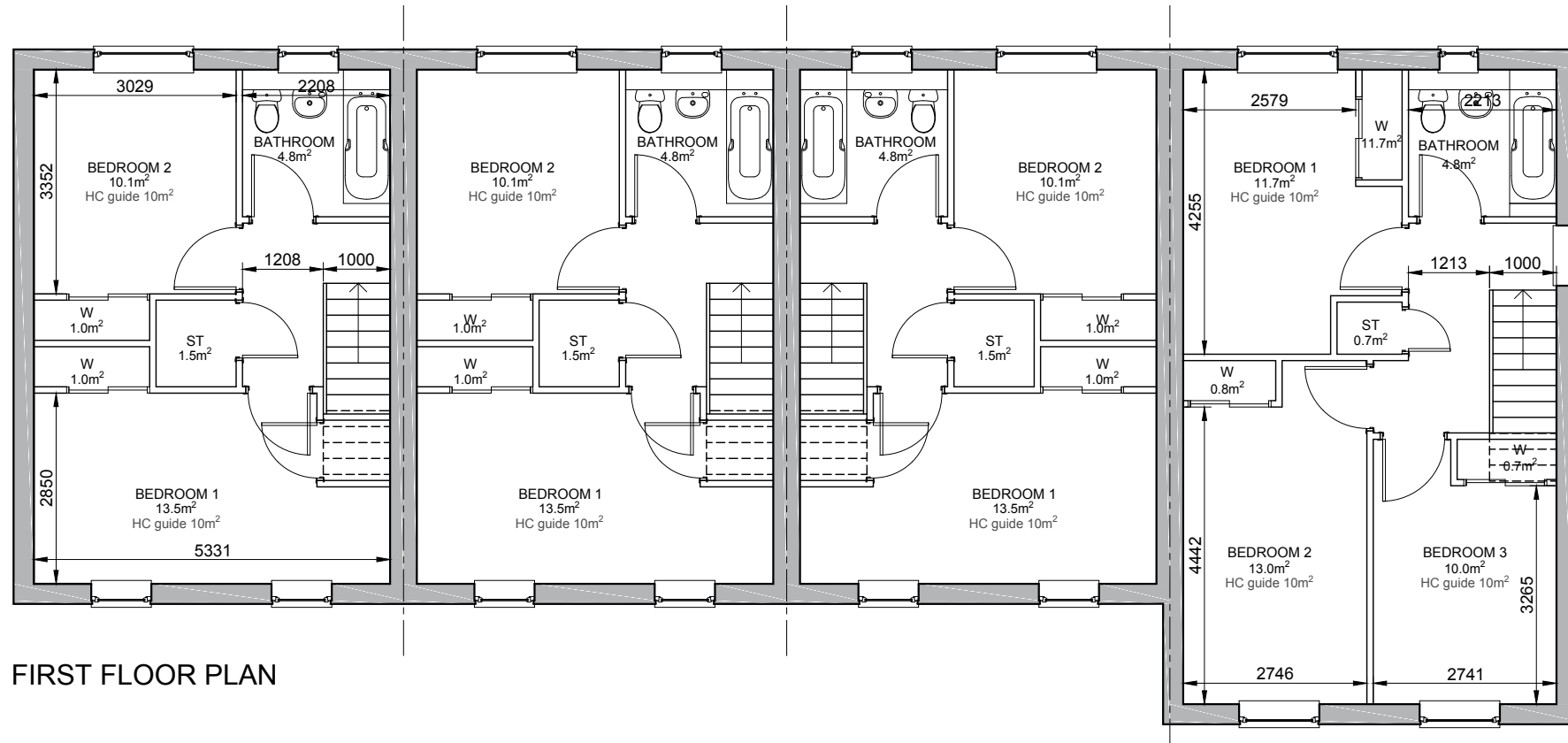
LOCHYSIDE PRIMARY SCHOOL SITE
KILLMALLIE ROAD, FORT WILLIAM
HIGHLAND SMALL COMMUNITIES HOUSING TRUST

TITLE
PLOTS 39-42 ELEVATIONS

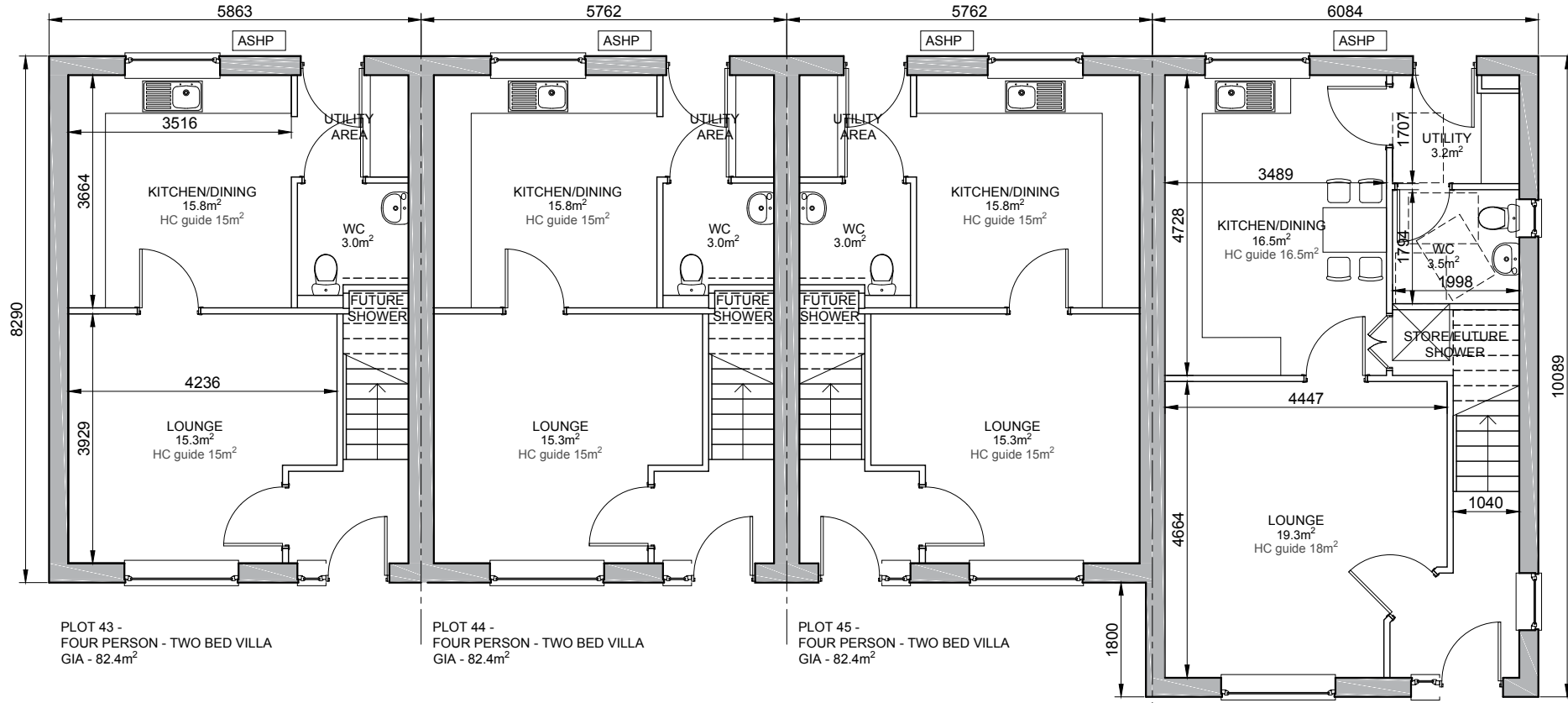
SCALE	DATE	BY	KM
1:100	12/01/2017		
	PURPOSE	PAPER	A3

DWG NO.-REV
4138-01-601





FIRST FLOOR PLAN



GROUND FLOOR PLAN

PLOT 43 -
FOUR PERSON - TWO BED VILLA
GIA - 82.4m²

PLOT 44 -
FOUR PERSON - TWO BED VILLA
GIA - 82.4m²

PLOT 45 -
FOUR PERSON - TWO BED VILLA
GIA - 82.4m²

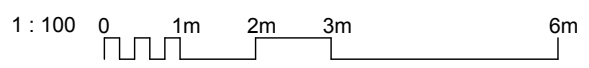
PLOT 46 -
SIX PERSON - THREE BED VILLA
GIA - 106m²

A	09.01.17	ROOM AREAS REVISED & MATERIALS ADDED	KM
REV	DATE	DESCRIPTION	DRN CH'D

Bracewell Stirling CONSULTING

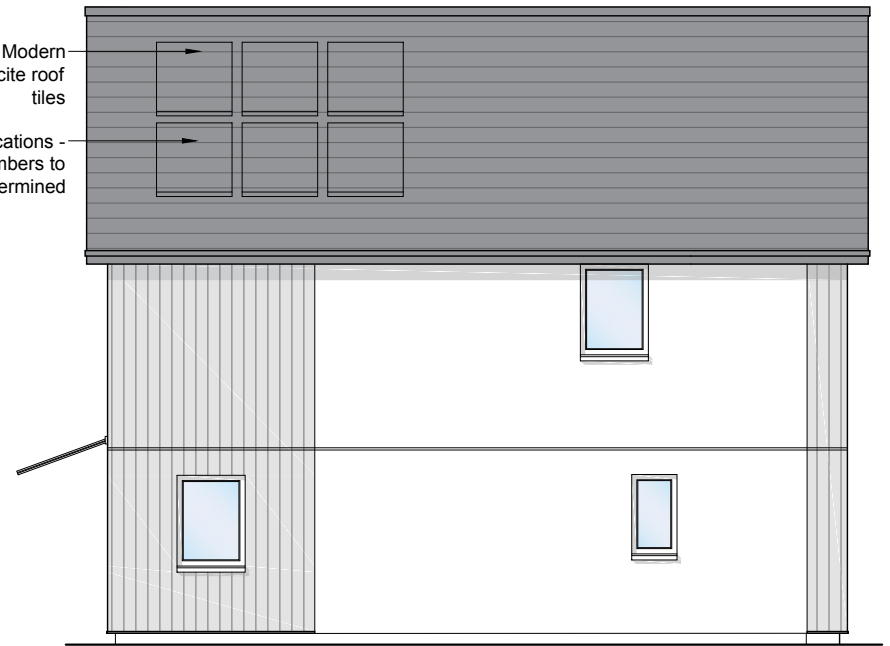
- 38 WALKER TERRACE, TILLCOUNTRY, FK13 6EF
TEL: 01259 750301
- 5 NESS BANK, INVERNESS, IV2 4SF
TEL: 01463 233760

LOCHYSIDE PRIMARY SCHOOL SITE KILLMALLIE ROAD, FORT WILLIAM HIGHLAND SMALL COMMUNITIES HOUSING TRUST			
TITLE PLOTS 39-42 FLOOR PLANS			
SCALE	DATE	BY	KM
1:100	12/01/2017		
PURPOSE		PAPER	
PLANNING		A3	
DWG NO.-REV		4138-01-600	





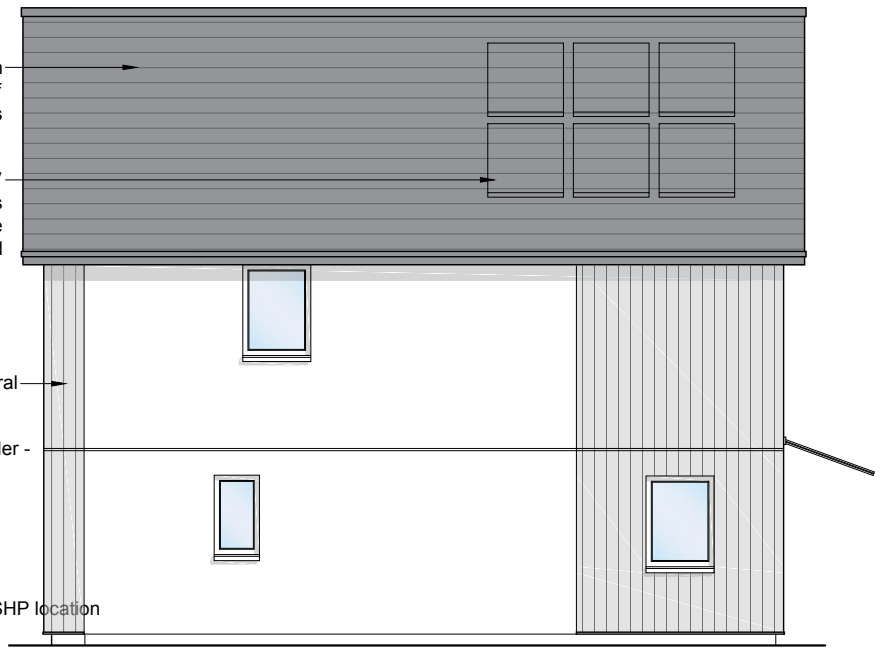
FRONT ELEVATION



GABLE ELEVATION (THREE BED)



REAR ELEVATION



GABLE ELEVATION (THREE BED)

REV	DATE	DESCRIPTION	DRN	CH'D
A	09.01.17	ROOM AREAS REVISED & MATERIALS ADDED	KM	

Bracewell Stirling CONSULTING

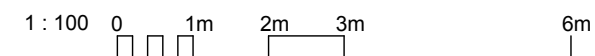
- 38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF
TEL: 01259 750301
- 5 NESS BANK, INVERNESS, IV2 4SF
TEL: 01463 233760

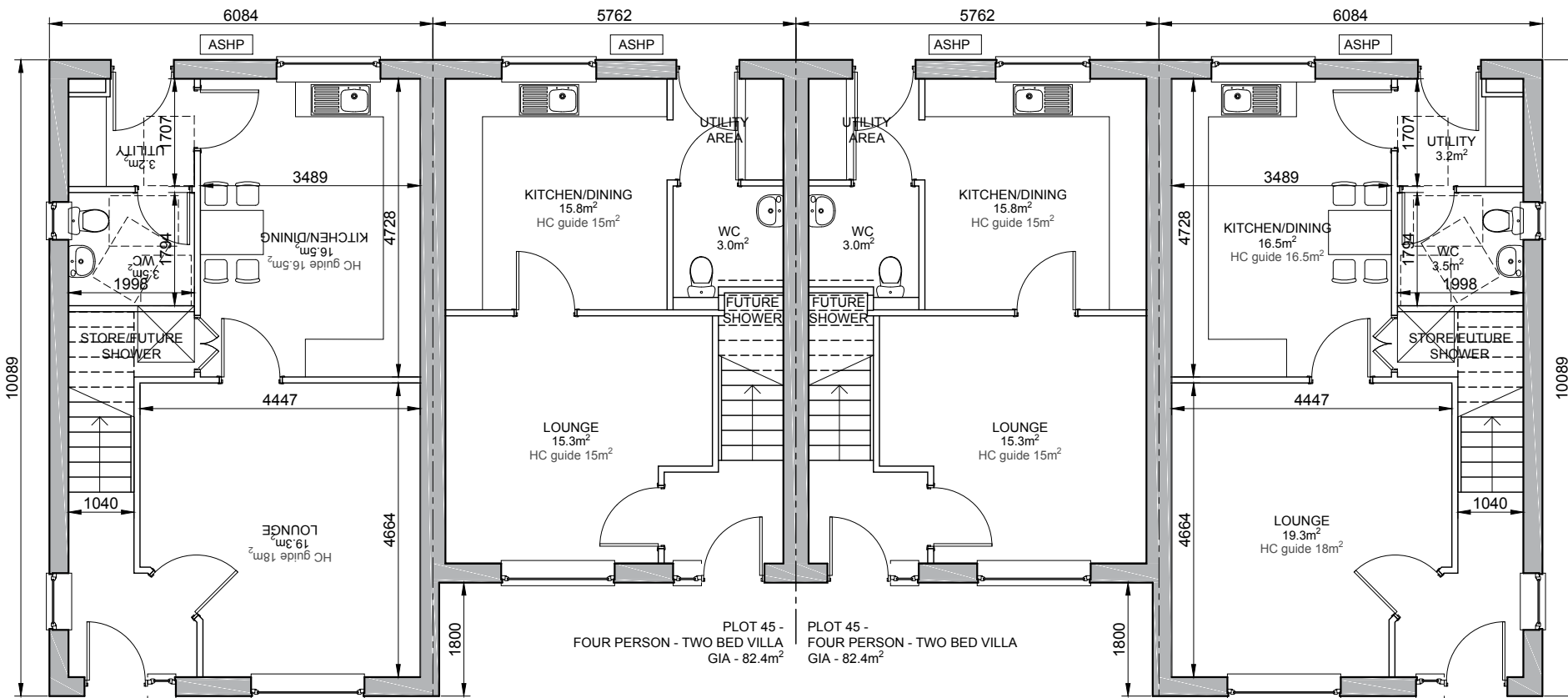
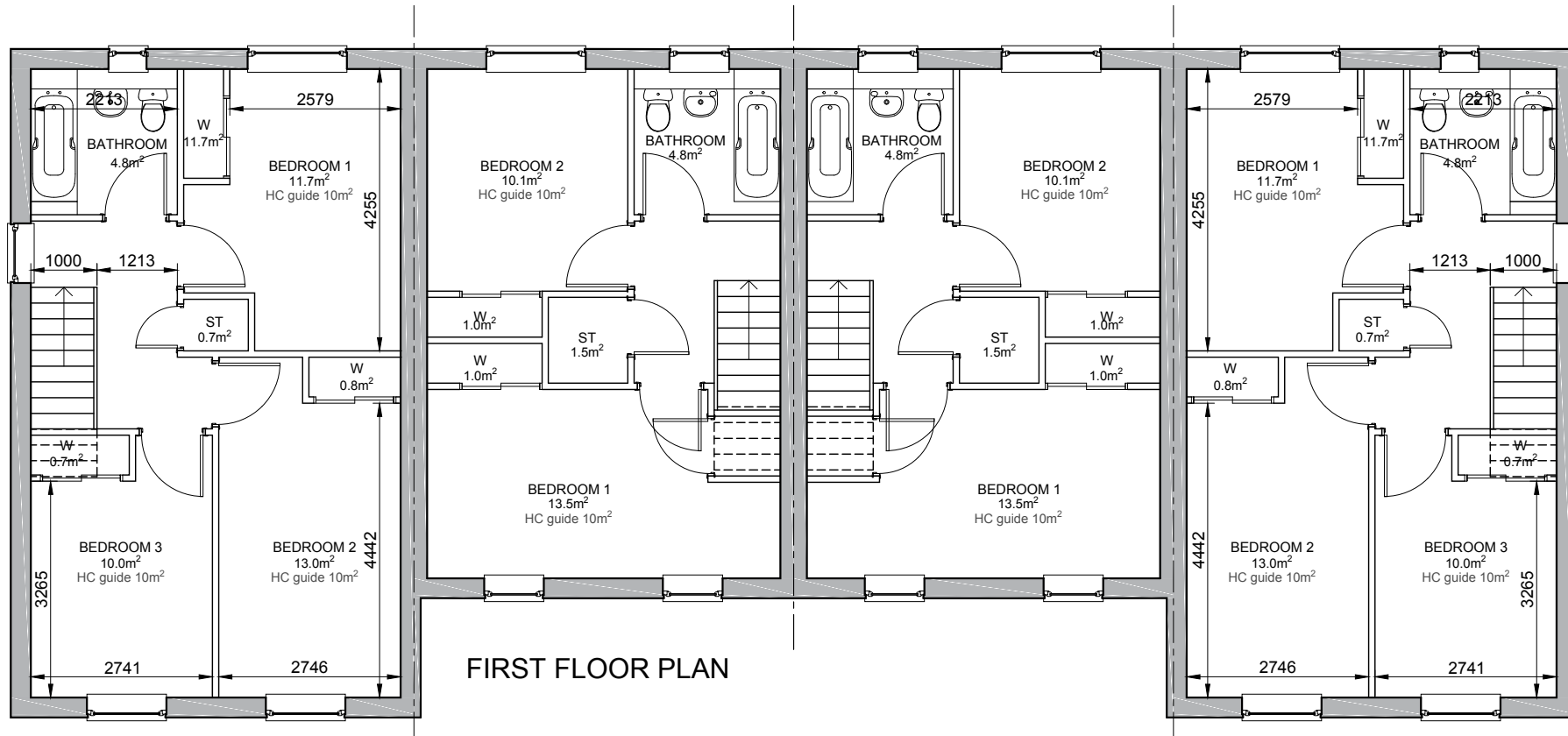
LOCHYSIDE PRIMARY SCHOOL SITE
KILLMALLIE ROAD, FORT WILLIAM
HIGHLAND SMALL COMMUNITIES HOUSING TRUST

TITLE
PLOTS 43-46 ELEVATIONS

SCALE	DATE	BY
1:100	27/03/2017	KM
	PURPOSE	PAPER
	PLANNING	A3

DWG NO.-REV
4138-01-621





PLOT 46 - SIX PERSON - THREE BED VILLA
GIA - 106m²

PLOT 45 - FOUR PERSON - TWO BED VILLA
GIA - 82.4m²

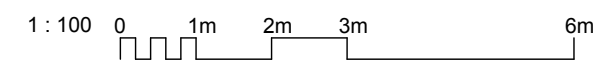
PLOT 46 - SIX PERSON - THREE BED VILLA
GIA - 106m²

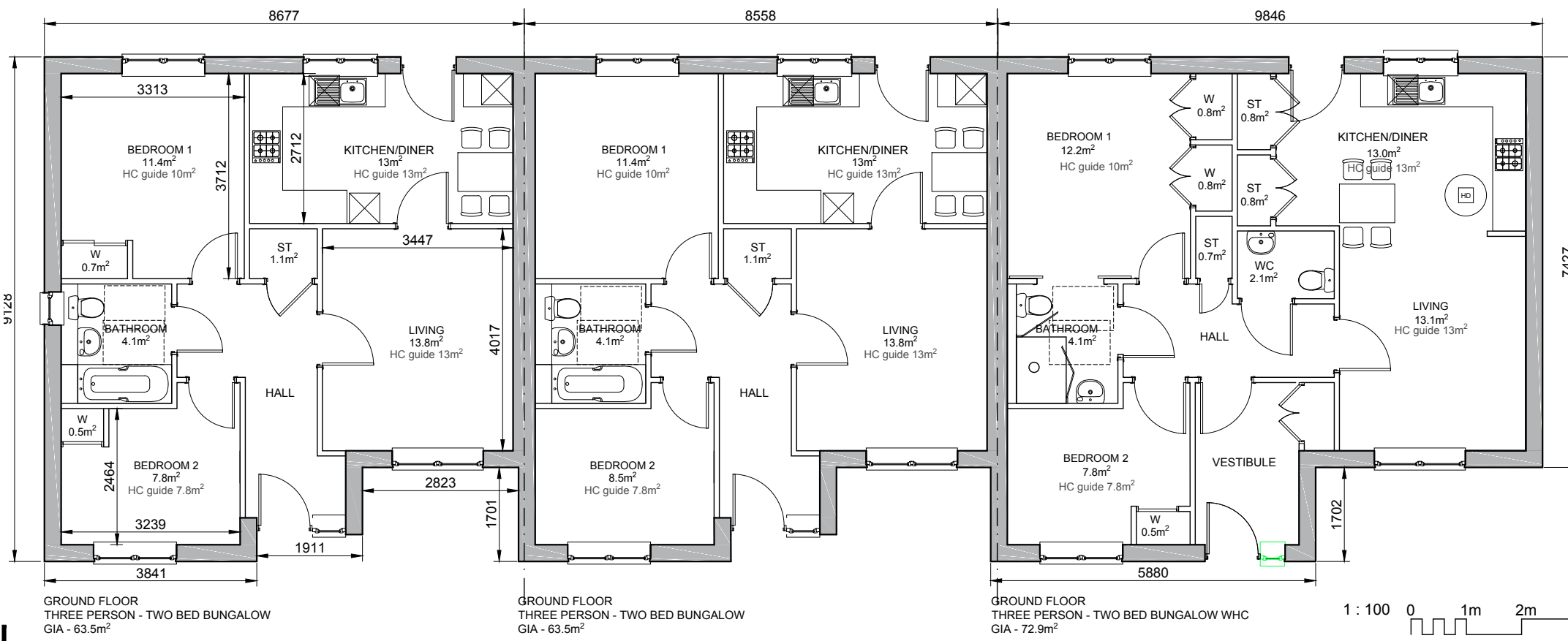
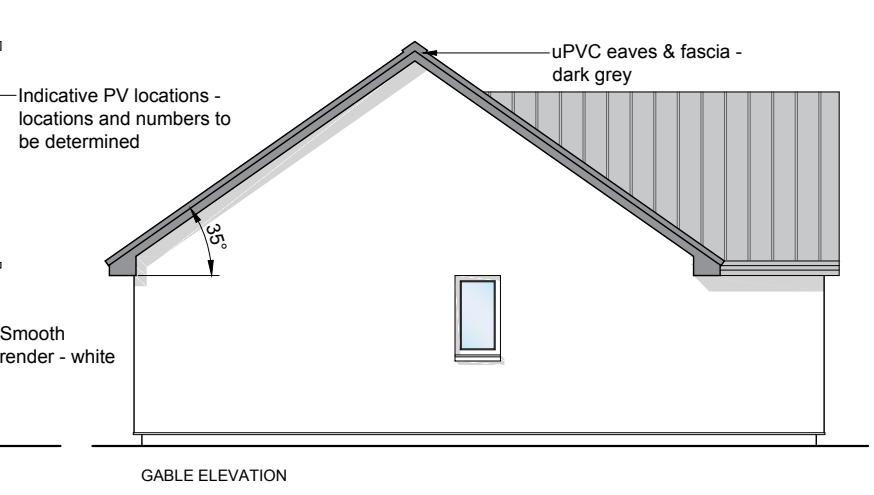
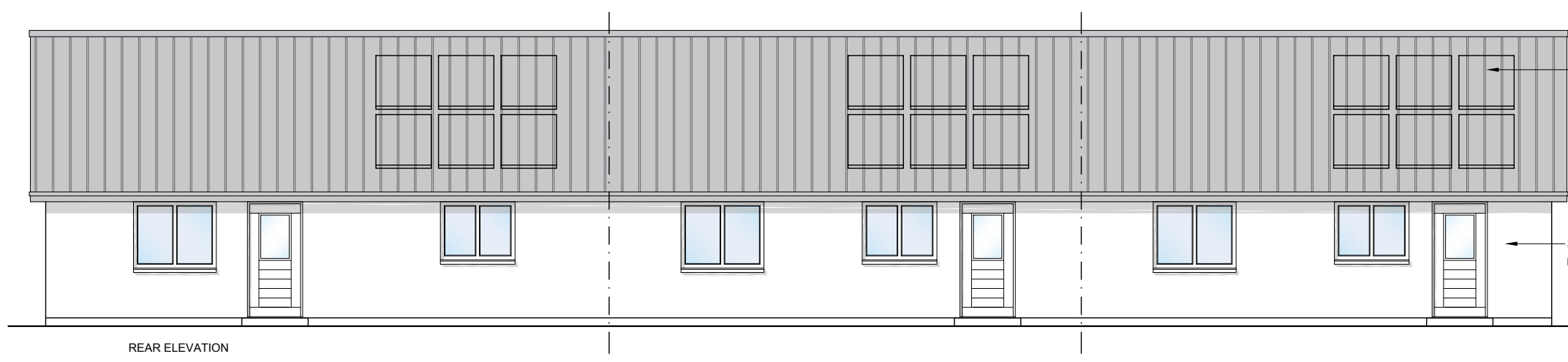
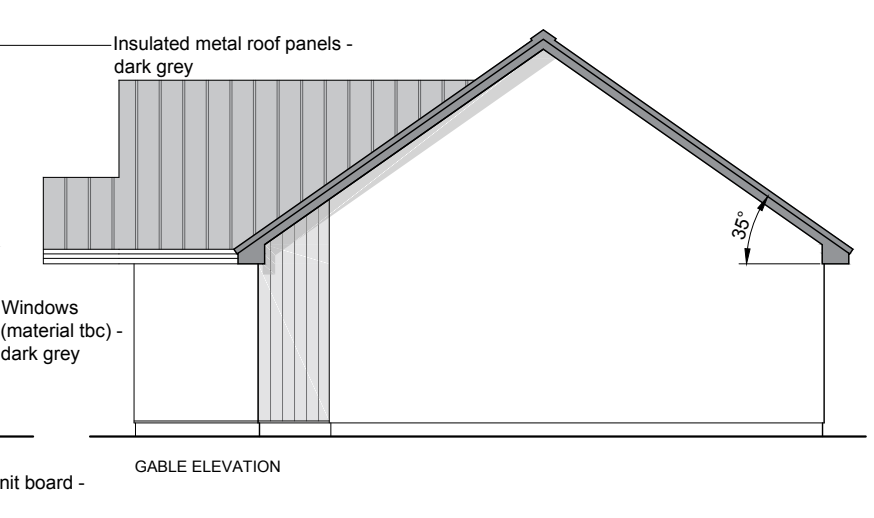
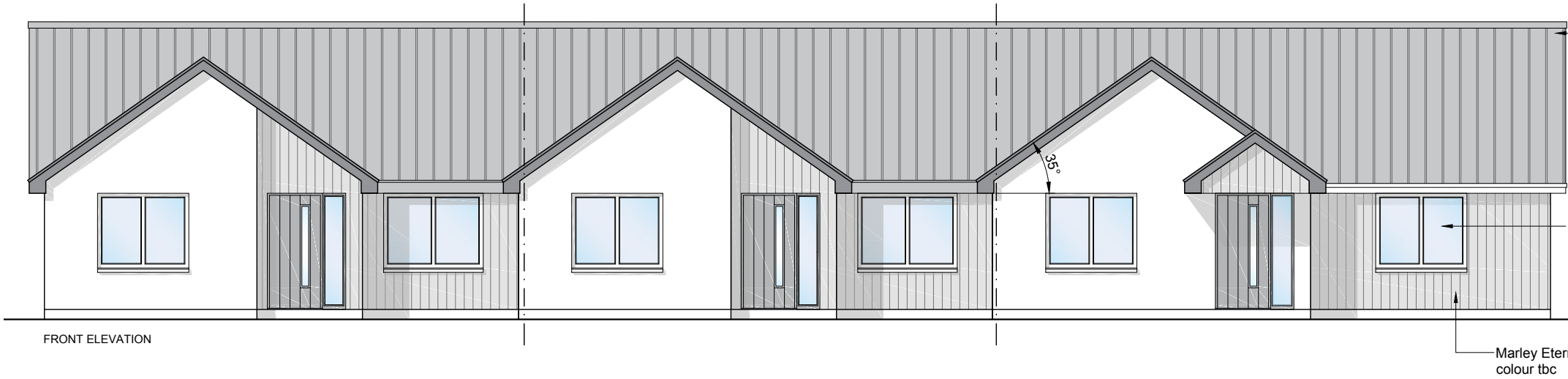
REV	DATE	DESCRIPTION	DRN	CH'D
A	09.01.17	ROOM AREAS REVISED & MATERIALS ADDED	KM	

Bracewell Stirling CONSULTING

- 38 WALKER TERRACE, TILLCOUNTRY, FK13 6EF
TEL: 01259 750301
- 5 NESS BANK, INVERNESS, IV2 4SF
TEL: 01463 233760

LOCHYSIDE PRIMARY SCHOOL SITE KILLMALLIE ROAD, FORT WILLIAM HIGHLAND SMALL COMMUNITIES HOUSING TRUST			
TITLE PLOTS 43-46 FLOOR PLANS			
SCALE	DATE	BY	KM
1:100	27/03/2017		
PURPOSE		PAPER	
PLANNING		A3	
DWG NO.-REV		4138-01-620	





B	10.03.17	END BUNGALOW REVISED TO WHEELCHAIR UNIT AT CLIENT REQUEST.	KM	
A	09.01.17	ROOM AREAS REVISED & MATERIALS ADDED	KM	
REV	DATE	DESCRIPTION	DRN	CH'D

Bracewell Stirling

● 38 WALKER TERRACE, TILLCOUNTRY, FK13 6EF
TEL: 01259 750301

○ 5 NESS BANK, INVERNESS, IV2 4SF
TEL: 01463 233760

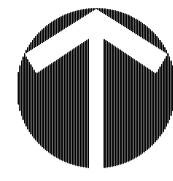
LOCHYSIDE PRIMARY SCHOOL SITE
KILLMALLIE ROAD, FORT WILLIAM
HIGHLAND SMALL COMMUNITIES HOUSING TRUST

TITLE
THREE PERSON - TWO BED BUNGALOWS


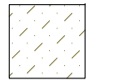
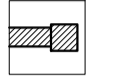

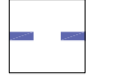

SCALE	DATE	BY	KM
1:100	01/12/2016		
PURPOSE	PLANNING	PAPER	A3

DWG NO.-REV

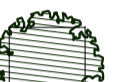







4138-01-300 B



Hard Landscaping

-  Tarmac footpath
(with timber or PCC pin kerb edge)
-  Gravel
(10mm locally sourced stone chippings)
-  Play bark
(300mm depth over geo-textile - timber edged where necessary)
-  Stone wall gateway
(1m high, local stone and workmanship)
-  Decorative steel railings
(900mm-1m high)
-  Decorative timber fence
(Architect's specification)
-  Timber benches
(local craftsperson/community involvement)
-  Cycle stands
(Sheffield style, stainless steel)

Soft Landscaping

-  Specimen trees
(refer to planting schedule for species codes)
-  Structure planting mix
-  Amenity shrub planting
(refer to planting schedule for species list - beds TBC)
-  Existing Leylandii hedge
(plus extension planting - see note on dwg.)
-  Beech hedge
(to be maintained between 0.75-1m, depending on location)
-  Garden turf
(to include 300mm gravel strip around building)
-  Amenity grass seeding
-  Existing green space
(to be retained)

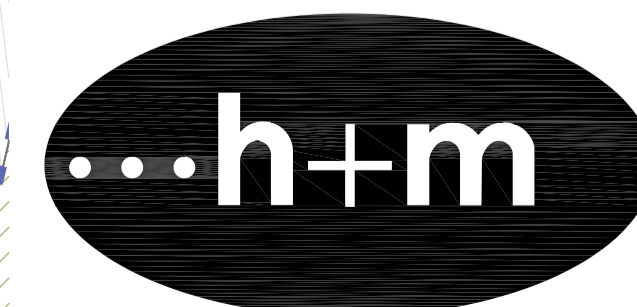
Note: Roads, pavements, and garden/drying areas to Architect's/Engineer's specification.

Play Equipment (Playdale)

- A Mushroom Seats (1 seat, and 3 and 4 seats with table)
- B Ben Nevis Climbing Wall TLE/4/S
- C Snake Tunnel UT/31X
- D Playspace 5

A	03.02.17	KW	Soft landscape areas and play equipment revised.
Rev. No.	Date	By	Description

Client	The Highlands Small Communities Housing Trust	Date	05.12.16
Project	Lochside, Fort William	Status	PLANNING
Drawing Title	Landscape Proposals	Drawing No	964 LS LP 01
		Scale	1: 200 at A1



horner + maclellan
landscape architects

No1 Dochfour Business Centre Dochgarroch Inverness IV3 8GY
tel 01463 861 460 fax 01463 861 452 inv@hornermaclellan.co.uk





Existing Leylandii hedge - to be extended perpendicular across end of access track with same species. Protect with appropriate temporary fencing during construction works; seek Arboriculturalist's advice regarding Root Protection Area.

Existing Leylandii within private curtilage - care to be taken when excavating within close proximity; seek Arboriculturalist's advice regarding Root Protection Area.

Existing chainlink fence (replaced to match new play area fencing)

Existing cycle track (to be retained and enhanced by extending open green space and play provision to the immediate west)

Existing open green space (to be retained and enhanced by extending open green space and play provision to the immediate west)

New footpath link to tie into existing footpath

Hard Landscaping

- Tarmac footpath (with timber or PCC pin kerb edge)
- Gravel (10mm locally sourced stone chippings)
- Play bark (300mm depth over geo-textile - timber edged where necessary)
- Stone wall gateway (1m high, local stone and workmanship)
- Decorative steel railings (900mm-1m high)
- Decorative timber fence (Architect's specification)
- Timber benches (local craftsperson/community involvement)
- Cycle stands (Sheffield style, stainless steel)

Soft Landscaping

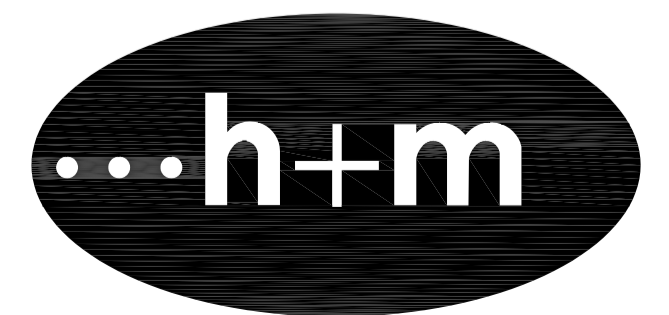
- Specimen trees (refer to planting schedule for species codes)
- Structure planting mix
- Amenity shrub planting (refer to planting schedule for species list - beds TBC)
- Existing Leylandii hedge (plus extension planting - see note on dwg.)
- Beech hedge (to be maintained between 0.75-1m, depending on location)
- Garden turf (to include 300mm gravel strip around building)
- Amenity grass seeding
- Existing green space (to be retained)

Note: Roads, pavements, and garden/drying areas to Architect's/Engineer's specification.

Play Equipment (Playdale)
 A Mushroom Seats (1 seat, and 3 and 4 seats with table)
 B Ben Nevis Climbing Wall TLE/4/S
 C Snake Tunnel UT/31X
 D Playspace 5

B	31.03.17	KW	Fence line to play area revised.
A	03.02.17	KW	Soft landscape areas and play equipment revised.
Rev	Date	By	Description

Client	The Highlands Small Communities Housing Trust	Date	05.12.16
Project	Lochside, Fort William	Status	PLANNING
Drawing Title	Landscape Proposals	Drawing No	964 LS LP 02
		Scale	1: 200 at A1



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 landscape architects

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