

Agenda Item	6.6
Report No	PLS 009/18

HIGHLAND COUNCIL

Committee: South Planning Applications Committee

Date: 30 January 2018

Report Title: 17/03703/FUL: Black Corries Estate Management Ltd
Kingshouse Hotel, Glencoe, Ballachulish, PH49 4HY

Report By: Area Planning Manager – South/Major Developments

Purpose/Executive Summary

Description: Alterations and extension of Hotel, Landscaping and upgrade of drainage system

Ward: 21 – Fort William and Ardnamurchan

Development category: Local

Reason referred to Committee: Number of representations

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** planning permission as set out in section 11 of the report.

1. PROPOSED DEVELOPMENT

- 1.1 It is proposed to demolish a large part of the old Kings House Hotel and construct a new three storey extension to provide 57 bedrooms (reduced from 60) and reception/dining/function/back of house facilities. The extension is a rectangular building with a multi pitched roof (five sections) which is to be finished in natural slate, which is also to extend down to clad the side walls (east and west). The north and south elevations are to be clad in untreated Siberian larch, with the ground floor walls finished in granite coursed rubble walling. On the ground floor there is a projecting section on the south elevation and external terraces and a store and service yard. On the first and second floors is fairly uniform bedroom accommodation. A new car park is to be formed and some changes to the road layout around the entrance to the building. Two lochans are to be created, which form part of the landscaping and the surface water drainage scheme.
- 1.2 The existing vehicular access from the A82 Trunk Road is to be used and a new car parking area provided. Foul drainage is by private system. Connection is proposed to public water supply. SUDS are included in the proposal and include the construction of two lochans.
- 1.3 Pre Application Consultation: No formal pre application consultation.
- 1.4 Supporting Information: Flood Risk Assessment and further flood information, Design Statement, Landscape and Visual Impact Assessment, Supporting Statement, Protected Species Survey Report, and Visualisations.
- 1.5 Variations: Revised proposals to lower height of the building, adjust position on site, amend fenestration, reduce parking provision.

2. SITE DESCRIPTION

- 2.1 The site comprises part of the complex of land and buildings at the Kingshouse Hotel, Glencoe. Kingshouse is in an elevated, remote location within Glen Coe, on the edge of Rannoch Moor. The West Highland Way runs along the old Military Road which passes through the land at Kingshouse. The site itself comprises the existing hotel building which is to be largely demolished, retaining only part of the building and re-extended in a different form. The extent of the demolition (previously approved under application 15/04771/FUL) is significant, as are the proposals to rebuild. Since submission of this application a large extent of the previous extensions have been demolished. The Kingshouse was built c. 1750 as accommodation for troops and travellers. Records indicate it was renovated in the early 1960's without altering its essential character. This does not seem to be the case with later alterations and extensions undertaken in the 1980s. The Kingshouse Hotel was a listed building, however was removed from the List in 1985.
- 2.2 The proposed new part of the hotel is part on the footprint of the existing hotel and extends to the north west, parallel with the river. The existing bridge across the river to the east of the hotel is Category B Listed. To the immediate south east of the hotel is a house (no longer associated with the Hotel), and beyond that is the temporary café/bar and the new Bunkhouse. To the south of the Bunkhouse a new

car park is to be formed to serve the hotel. There is also an unauthorised biomass building in this location for which a separate retrospective application has been submitted to allow assessment of its acceptability. This area also has permission for staff accommodation buildings. To the south east of this cluster lie two further houses in separate private ownership.

3. PLANNING HISTORY

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|-----|----------------|--|---------------------------|
| 3.1 | 12 August 2016 | 15/04771/FUL – Alterations & Extension (including demolition of previous extensions), upgrade of access road, landscaping works & lochans, installation of new surface water drainage & underground services & up-grade of foul drainage | Granted |
| 3.2 | No decision | 17/04859/FUL - Proposed erection of a single storey pitched roof utility building to service proposed hotel extension | Pending Consideration |
| 3.3 | 30 August 2016 | 16/02965/FUL - Erection of pitched roof entrance porch to south elevation and mono pitch boiler house on north elevation, installation of cooler unit for beer store (Way Inn) | Granted |
| 3.4 | 12 August 2016 | 16/01366/FUL - Erection of single storey ancillary building and service yard for the hotel, car parking and recycling yard, replacement bridge and removal and rejuvenation of clumps of trees | Granted |
| 3.5 | 31 May 2016 | 16/01360/FUL- Temporary change of use of part of the existing staff accommodation block to a cafe/bar | Granted (temp to 30.5.19) |
| 3.6 | 12 August 2016 | 16/00501/FUL - 4 dwellings to serve the Kingshouse Hotel | Granted |
| 3.7 | 5 May 2016 | 15/04188/FUL - New building to provide hostel accommodation with 30 bed-spaces and relocation of existing climbers hut | Granted |

4. PUBLIC PARTICIPATION

4.1 Advertised: Yes

Date Advertised: 24.8.17, 9.11.17 and 28.12.17

Representation deadline: 28.12.17)

Timeous representations: 44 (households/organisations) – 39 against, 4 in support and 1 neutral.

Late representations: 0

4.2 Material considerations raised are summarised as follows:

Support

1. Understand need for the scale of development
2. Creation of employment in community
3. Help trade and tourism in the area
4. Improved facilities and function space for local community
5. Will preserve old Kingshouse
6. Investment welcomed

Against

7. Impact on landscape
8. Impact on National Scenic Area
9. Impact on Wild Land
10. Unacceptable design
11. Building too high and out of scale
12. Building out of character with the landscape
13. Inappropriate materials
14. Impact on important historic building and listed bridge
15. Flood Risk
16. Inappropriate design for harsh environment
17. Unsympathetic window pattern
18. History and function of old Kings House Hotel will be lost
19. Lack of Landscape and Visual Impact Assessment
20. Disagrees with conclusions of Landscape and Visual Impact Assessment
21. No condition report on original building
22. Impact on structural stability of listed bridge
23. Impact on residential amenity/health
24. Impact on protected species and nesting birds
25. Omission of climber's bar
26. Adverse impact on local economy due to inappropriate development
27. Disagrees with design principles
28. Creation of jobs does not justify inappropriate development
29. Concerns about the demolition work
30. Demolition of former building does not justify inappropriate development
31. Visual impact from nearby summits

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Transport Planning Team** – Response dated 30.8.17. No issues raised.

5.2 **Flood Risk Management Team** – Responses dated 6.9.17 and 16.1.18. Original objection on grounds of flood risk and drainage has been overcome.

5.3 **Access Officer** – Response dated 4.9.17. Notes applicant's intention to maintain

public access throughout construction and suggests a condition to underpin this.

- 5.4 **Historic Environment Team** – concerns raised over potential impact on setting of the original building and the nearby Listed bridge and highlight preference to retain more of the original building. Notwithstanding comments they have recommended a conditions to provide a full photographic record of the building (this was completed and submitted prior to the demolition of the building).
- 5.5 **SEPA** – Responses dated 11.10.17, 18.12.17 and 16.1.18. Original objection on grounds of flood risk has been overcome, subject to the amended drawing (302507-005 Rev A) becoming an approved layout plan.
- 5.6 **Scottish Natural Heritage** – Response dated 9.10.17. Originally requested a landscape and visual impact assessment which was subsequently provided. Also met with the agent to discuss minimising impact on National Scenic Area. No objection raised, however suggest impacts could be minimised by lowering overall height of building. Scheme subsequently amended to lower the height.
- 5.7 **Transport Scotland** – Response dated 24.8.17. No objection subject to conditions
- 5.8 **Lochaber Disability Access Panel** – Responses dated 8.9.17 and 12.1.18. Confirmation of issues sought and concerns raised over ease of movement through the building – requested meeting with the agent to discuss. Meeting has since taken place and the Panel now support the application subject to continued dialogue with the agent.

6. **DEVELOPMENT PLAN POLICY**

The following policies are relevant to the assessment of the application

6.1 **Highland Wide Local Development Plan 2012**

- 28 - Sustainable Design
- 29 - Design Quality & Place-making
- 36 - Development in the Wider Countryside
- 42 - Previously Used Land
- 43 - Tourism
- 44 - Tourist Accommodation
- 51 - Trees and Development
- 52 - Principle of Development in Woodland
- 56 - Travel
- 57 - Natural, Built & Cultural Heritage
- 58 - Protected Species
- 59 - Other important Species
- 61 - Landscape
- 64 - Flood Risk
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage
- 73 - Air Quality
- 77 - Public Access
- 78 - Long Distance Routes

6.2 **West Highland and Islands Local Plan 2010 (as continued in force 2012)**

N/a

7. OTHER MATERIAL CONSIDERATIONS

7.1 **Highland Council Supplementary Planning Policy Guidance**

Flood Risk & Drainage Impact Assessment (Jan 2013)

Highland Historic Environment Strategy (Jan 2013)

Highland's Statutorily Protected Species (March 2013)

Managing Waste in New Developments (March 2013)

Physical Constraints (March 2013)

Public Art Strategy (March 2013)

Sustainable Design Guide (Jan 2013)

Trees, Woodlands and Development (Jan 2013)

7.2 **Scottish Government Planning Policy and Guidance**

Scottish Planning Policy (The Scottish Government, June 2014)

Tourism Development Strategy for Scotland

Planning Advice Note 60 – Natural Heritage

Planning advice Note 61 – Sustainable Urban Drainage Systems

Planning Advice Note 66 – Planning Applications Affecting Trunk Roads

Planning Advice Note 68 – Design Statements

Planning Advice Note 69 – Flood Risk (+update June 2015)

Planning Advice Note 75 – Planning for Transport

Planning Advice Note 78 – Inclusive Design

Planning Advice Note 79 – Water and Drainage

Planning and Waste Management Advice

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

8.3 The key considerations in this case are:

- a) compliance with the development plan and other planning policy

- a) Impact on Natural, Cultural and Heritage resources
- b) Siting and Design
- c) Economic Benefit
- d) Impact on protected species
- e) Impact on residential amenity
- f) Flooding and drainage
- g) Servicing and Infrastructure
- h) any other material considerations.

Development plan/other planning policy

- 8.4 Development plan policy is set out in the Highland-wide Local Development Plan and statutorily adopted supplementary guidance, and aligns with the Scottish Planning Policy. The key policies of the development plan are discussed below and individual policies relating to flooding, servicing and infrastructure etc are included in the assessment.
- 8.5 The current proposal seeks a significant redevelopment of the Kingshouse Hotel. The Kingshouse Hotel has been an important facility due to its remote location and positioning immediately next to the West Highland Way. The adopted development plan supports proposals in the countryside where development can be achieved without adversely affecting the landscape character or the Natural, Built or Cultural heritage features of the area; and, it is consistent with the guidance on siting and design set out in Policy 36 of the development plan. The development plan supports growth in high quality tourism development. The proposal seeks to demolish the majority of the existing hotel premises (largely 1960s and 80s extensions, but with some older sections), retain the original building, and build a significant extension onto the building to replace and improve the previous facilities. There is an established demand for facilities in the area and the proposal represents a significant investment in an existing business.
- 8.6 Policy 28 of the Highland wide Local Development Plan sets out the requirement for all development to be designed in the context of sustainable development. This is the overarching policy within the Local Plan which requires developments to conserve and enhance the character of the Highland area; use resources efficiently; minimise the environmental impact of development; and enhance the viability of Highland communities. For the reasons discussed below the proposal is considered to be compatible with Policy 28.
- 8.7 Policy 29 of the Highland wide Local Development Plan requires new development to be designed to make a positive contribution to the architectural and visual quality of the place in which it is located. Applicants should demonstrate sensitivity and respect towards the local distinctiveness of the landscape, architecture, design and layouts in their proposals. Policy 29 also requires the incorporation of public art as part of their proposals. For the reasons discussed below the proposal is considered, on balance, to be compatible with Policy 29.

- 8.8 The site lies within open countryside where Policy 36 of the Highland wide Local Development Plan supports developments which are judged to be not significantly detrimental under the terms of this policy. Proposals require to be assessed for the extent to which they are acceptable in terms of siting and design; are sympathetic to existing patterns of development; are compatible with the landscape character and capacity; and can be adequately serviced. For the reasons discussed below the proposal is considered to be compatible with Policy 36.
- 8.9 The proposed development is for redevelopment and extension of an existing hotel. Policy 44 of the Highland wide Local Development Plan supports developments of tourist accommodation within the open countryside where it can be demonstrated that a demand exists for this type of accommodation; that it can be achieved without adversely affecting the landscape character or the Natural, Built and Cultural Heritage features of the area; and is consistent with other guidance in Policy 36. For the reasons discussed below the proposal is considered to be compatible with Policy 44.
- 8.10 The site lies within the Ben Nevis and Glencoe National Scenic Area and adjacent to a Category B Listed bridge. Policy 57 of the Highland wide Local Development Plan. For feature of National importance support is proposed for developments that can be shown not to compromise the natural environment, amenity and heritage resource. For the reasons discussed below the proposal is considered to be compatible with Policy 57.

Impact on Natural, Cultural and Heritage resources

- 8.11 The site lies within the Ben Nevis and Glen Coe National Scenic Area (NSA). The special qualities of the NSA include its classic highland vistas, mountain grandeur, human settlement dwarfed by mountain and moorland and the expansive Moor of Rannoch. In this part of the NSA, as it crosses Rannoch Moor, there are only two nodes of development, Kingshouse and the Ski Centre. The site and its immediate environs are not pristine and have been subject to earlier developments which have introduced man-made, and not altogether sensitive, features. Over time, this particular area has developed into a node of development, built around the original Kingshouse and the bridge. To maintain the character of the area it is important that development does not spread beyond these nodes of development. The current proposal seeks to redevelop the existing hotel building within the boundaries of the general node of development at Kingshouse, incorporating (and extending) the footprint of the former building. Due to the large expanse of the National Scenic Area, the proposal being a re-development of an existing facility and the level of existing development and visual disturbance in this immediate area, it is not considered that the redevelopment of this site will adversely affect the wider character of the National Scenic Area.
- 8.12 Although it is considered the wider character of the National Scenic Area will not be adversely affected, there is potential for individual important characteristics to be affected by inappropriate development.
- 8.13 This area, although with a remote feel, is well used and visited, and largely experienced by road or on foot. The A82 cuts between the Kingshouse

development and the Ski Centre development. Both developments are set back from the public road and are visually read at a distance. Approaching the Kingshouse from the south east, across Rannoch Moor, the Kingshouse development is not visible in the landscape until at fairly close range. The road is dropping down at this stage as the area transitions from the Moor down towards Glen Coe. At this point the Kingshouse Hotel is visible off to the side of the main vista towards Glen Coe, with Buachaille Etive Mor dominating this view.

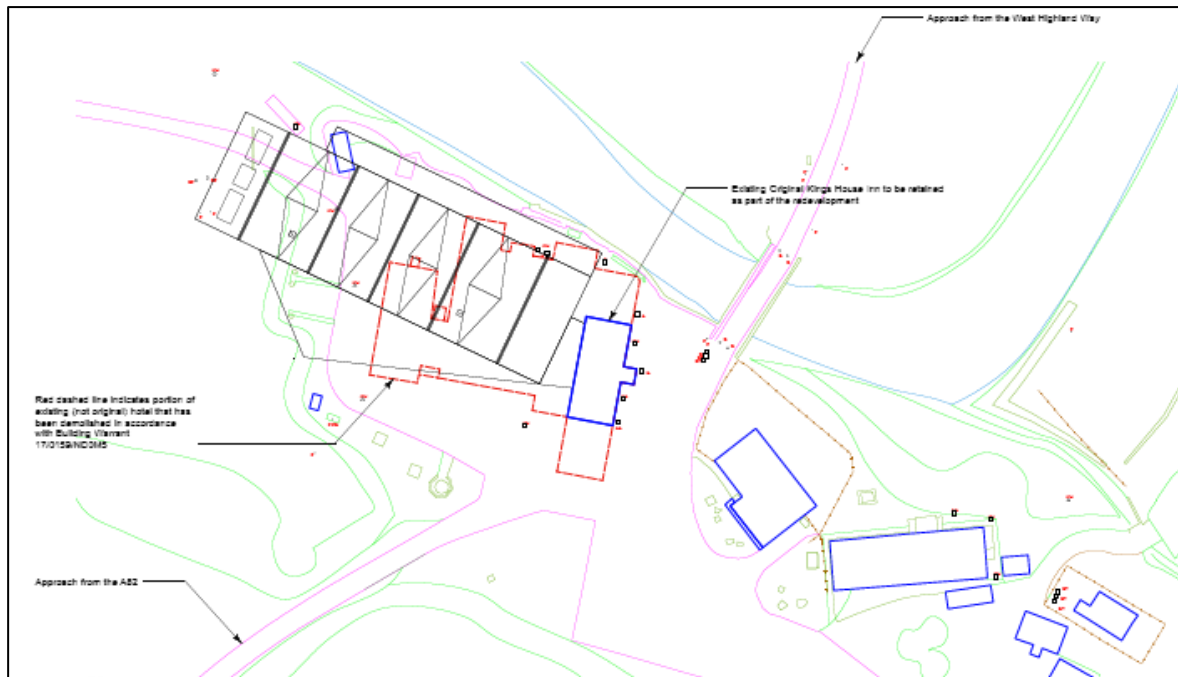
- 8.14 By road from the west the development at Kingshouse is more within view as the road leaves Glen Coe and climbs towards the Moor. Views are generally distanced and the existing conifer compartments in and around the Kingshouse node of development draws the eye as an alien feature in this landscape. From this viewpoint the proposed new building will be end on and, bar the glazing, will be wrapped in natural slates (walls and roof), and the use of this recessive material will reduce longer distance impacts of the building.
- 8.15 In either direction by road, the main close range view of the proposed building will be either side of the vehicle entrance to the Kingshouse Hotel. This is a position where the whole node of development can be viewed, although intermittently due to the conifer compartments. The immediate views of the proposed building are also limited for road users due to the short distance of view at a reasonable high speed.
- 8.16 The on-foot experience of this part of the National Scenic Area is very different to the road based experience. There are many walkers that visit and travel through this area, primarily walking/cycling the West Highland Way, using the Ski Centre or climbing the surrounding hills.
- 8.17 From the south east the West Highland Way passes through the Kingshouse development, passing the existing houses, the bunk house, the café and then across the front of the original part of the Kingshouse Hotel, crossing the Caulfield bridge, then continuing west. It is considered that users of the West Highland Way will experience the greatest change as a result of the proposals being at close range to the proposed building. To ensure this is not an unacceptable change, the siting and design of the proposed redevelopment scheme requires to be appropriate for this site.
- 8.18 There will be a lesser impact on those walking/climbing on the surrounding hills due to more distanced views of the development and the largely downward view of the building. In these views, the existing Kingshouse, prior to the demolition works, featured as a fairly large building, with mixed rooflines, although with a more traditional design. The proposed building is longer than the previous Kingshouse complex, but narrower, and occupies a similar location within the existing node of development at Kingshouse. In contrast to the Kingshouse prior to demolition, the new building is a more contemporary design.
- 8.19 One of the key characteristics of the National Scenic Area is human settlement dwarfed by mountain and moorland and, although the impact on the wider character of the National Scenic Area is considered to be acceptable, it is important that this individual characteristic is not adversely affected by the development. For the reasons discussed in the section on Siting and Design below, it is not

considered the proposal will have a significant adverse impact on this key characteristic of the National Scenic Area.

- 8.20 Scottish Natural Heritage has advised they consider the proposal will not have an adverse effect on the integrity of the Ben Nevis and Glen Coe National Scenic Area or the objectives of the designation. They consider there will be some local impacts on the National Scenic Area special quality 'Human settlement dwarfed by mountain and moorland' which could be reduced by reducing the height of the building. As discussed below the design was amended during the course of the planning application to reduce the height to address concerns.
- 8.21 Objection has been raised regarding the impact on Wild land. The site does not lie within a Wild Land designation. Within this area the wild land areas excludes the areas around the A82 trunk road corridor and the Ski Centre, Kingshouse and up to Black Corries; ie. the existing areas that feature and are influenced by man made development. It is acknowledged that developments outwith identified Wild Land Areas can have an impact on the character of Wild Land by introducing man made features which can be seen and experienced from within the wild land areas. As the development is within an existing node of development, and as the elevation of the wild land areas nearest the site directs views largely downwards and from a distance, it is considered the proposal will not have an unacceptable impact on wild land.
- 8.22 The Kingshouse Hotel is not a Listed Building. It was listed in 1963 however was delisted in 1985. Permission is therefore not required to demolish the building in its entirety. The design of the proposed scheme has sought to retain the original part of the building and incorporate it into the redevelopment. Whilst the retention of the more historic part of the building is welcomed, it has introduced some design challenges in relation to the relationship between old and new and the applicant's aspirations for the site.
- 8.23 To the immediate east of the Kingshouse Hotel building is the Old Bridge over the River Etive. This is a Category B Listed Building. The original part of the hotel fronts the road to the bridge and this part of the building is to be retained. In terms of impact on the setting of the Bridge, the main aspect where the bridge reads with the building is from the northern side of the bridge looking back towards the hotel. The setting of the Listed bridge is already disturbed by previous development and it is considered that the introduction of a fairly simple, albeit large, contemporary building in place of the building's previous extensions will not significantly impact on the setting of the bridge.
- 8.24 For the reasons discussed above it is considered the proposed development will not have an unacceptable impact on natural, built or cultural heritage features, taking into account the siting and design comments below.

Siting and Design

- 8.25 It is proposed to redevelop the existing Kingshouse Hotel. The original Kingshouse building is to be retained, however much of the previous later extensions are to be demolished (substantial demolition works have been undertaken since submission of the application – planning permission not required). The proposed new building is a large structure arranged over three floors. During the course of the application the height of the building has been reduced (by up to 2.5 metres), the roof pitch pattern changed, the fenestration adjusted and the position of the building on the site altered slightly.
- 8.26 As part of their supporting information the agent has advised that the original 18th Century Kings House Inn building will be restored and reinstated as The Way Inn' replacing the already popular temporary café of the same name on the site. The original Climbers bar will heavily influence its interior where salvaged panelling from the climber's bar will be reinstated. The Way Inn will mark the arrival point for walkers on the West Highland Way and will maintain its role at the heart of the development. There will be pictorial tributes throughout the development celebrating its rich history and connecting the original 18th century inn with the new extension.
- 8.27 The building is of a modern design featuring a series of pitched roofs. Finishes include natural slate on the end walls and roof, timber cladding on the upper level front and rear elevations and natural stone on the ground floor level. The main part of the new building has a rectangular footprint measuring approximately 60 metres by 19 metres. A glazed flat roof link is proposed to join the original building with the new building and to provide visual separation between the two buildings.
- 8.28 The application has also been subject to representations, the majority of which raise concerns over the size, height and modern design of the proposed new building, and its resultant impact on the landscape character of the area.
- 8.29 Officer concerns were raised during the assessment of the application over the height and mass of the new building, both in the wider landscape and in the context of the relationship with the remaining part of the Kingshouse building. As a result a Landscape and Visual Impact Assessment (LVIA) was requested to support the proposal. The applicant was also asked to consider changes to the design to reduce the height of the proposed building and to consider further the relationship with the original part of the building. As a result of these discussions the applicant revisited the design and height of the building and submitted the revised proposals which include reducing the height by up to 2.5 metres and addressing concerns over the window pattern.
- 8.30 In terms of the development footprint the extract below shows the comparison between the old Kingshouse Hotel and the proposed development. The proposed extension is larger than the old building, however it does not extend significantly beyond the existing node of development.



- 8.31 In terms of the height of the proposed extension, the highest point of the old Kingshouse (from ground level to ridge) was 9.6 metres. The extension as originally submitted was 14.6 metres, and the revised extension is now 12.1 metres from ground level to highest point of ridge. This sees an increase of approximately 2.5 metres in height between the old Kingshouse development and the current proposal. Taking into account differing ground levels this equates to a difference of just less than 4 metres between the ridge of the height of the retained part of the Kingshouse and the ridge of the new extension. This increase in height in itself is not considered to be excessive in the context of the wide landscape within which the development sits. Contrary to representations received, it is not considered the scale of the building is significantly out of character with the area. In terms of design it is considered that it is the form of the building that has given rise to the most concern.
- 8.32 It is clear from the representations that there is a fondness for the Kingshouse, both in terms of its position in the landscape and in people's social history. There are also those who recognise the poor state the building was in and the need for new investment. There is debate over whether the previous scheme was better as it was smaller and lower and whether traditional is more appropriate than contemporary in terms of design. The key planning issue here is whether the current application, as amended, is acceptable on its own merits.
- 8.33 The previous extensions onto the original Kingshouse were designed to reproduce the traditional style of the original building. This was the more widely accepted approach to extensions at the time, particularly in this type of rural location. Approaches to design have evolved and there is now greater support for contemporary design which is not focussed on pastiche. A balance has to be made between providing facilities which serve an expanding demand for accommodation while taking into account the impact of the development within the landscape setting. Members will be aware that contemporary design can however be subjective in its assessment and has the ability to divide opinion. The architects for

this current scheme have chosen a contemporary, contrasting approach to the design of the extension, rather than trying to replicate the previous building. This is considered to be an acceptable approach. What has resulted is considered to be a fairly simple, yet striking building which incorporates references to the form of traditional buildings – a series of pitched roof gables, and use of materials which are common to the area. A contrast approach to design usually relies on the extension being subordinate to the main building. This proposal is not subordinate to the remaining, original building, but has been reduced in height to better integrate the relationship between the old and new. It is also important to recognise that it could have been easier for the architect in design terms for the original building to be included in the overall demolition, but their approach to retaining to original part is welcomed and encouraged.

- 8.34 It is considered that the revised proposal is improved by the height reduction and the clean lines and quality materials will help reduce the overall impact. Cladding two sides of the new building, together with its roof will help to diminish the building in longer distance views and from higher level views looking down. The slate clad backdrop to the original building will also help to give a focus to the old building, even although the new building behind will be higher than the original (the wall height of new building is approximately half way up roof of original, then sloping away from the building).
- 8.35 For the reasons discussed the design approach to this revised proposal is considered, on balance, to be acceptable. The scheme presented is one of a variety of ways the proposal could have been designed and it is for the Planning Authority to consider whether the particular proposal presented is acceptable. It is important for the applicant to note that support for the scheme as currently submitted is based on the use of high quality, recessive materials which are considered integral to the overall design and its setting in the landscape. Any subsequent approach to planning to vary these materials is unlikely to be supported unless it can be demonstrated that they are of an equal or higher quality and help further to reduce visual impacts.
- 8.36 In accordance with development plan policy and the associated supplementary guidance, public art will be expected to be provided as part of this development. Given the nature of the area and the fact that the majority of visitors are likely to be outdoor enthusiasts, it would make sense for the public art to relate to the West Highland Way, or the history of Kingshouse. A condition is proposed to secure the public art as part of the development.

Economic Benefits

- 8.37 The agent has made a number of comments in relation to the economic benefit the proposal will bring which are summarised below:
- The Kings House hotel is a very important staging post on The West Highland Way. This development will ensure the future of this historic hotel is secure as a landmark for generations of walkers to come.
 - The hotel and bunkhouse represents investment by the family owners of more than £11 million pounds.
 - When operational the hotel will directly employ more than 40 staff in a fragile

economic area. This number increases significantly to include the construction phase, and once operational suppliers to the hotel, building and grounds maintenance etc.

- 8.38 National and Local Policy fully supports this sort of investment in the Highlands, particularly as it is an investment in an existing business and has the opportunity to support other businesses and facilities in the area.
- 8.39 As part of supporting information accompanying the application the agent has highlighted that in terms of financial viability the target number of bedrooms for the hotel is 60. The redesign to lower the height of the building has resulted in a scheme for 57 bedrooms. Objectors to the scheme have questioned the viability statements and refer back to the previous scheme for 35 bedrooms. The Planning Service would only explore the question of viability in more detail if it was part of a justification to support an unacceptable development. For the reasons discussed in this report the revised proposal is considered to be acceptable on its own merit.

Impact on protected species

- 8.40 The part of the site (predominantly the car park area) lies within the Glen Etive and Glen Fyne Special Protection Area designated for Golden Eagles. The site lies within the Glen Etive and Glen Fyne Special Protection Area, classified for its golden eagles. Based on a previous appraisal it is understood there are no nesting golden eagles near to the proposed development and there will be no loss of suitable hunting range. Accordingly, it is unlikely that the proposal will have a significant effect on any qualifying interests of the Glen Etive and Glen Fyne SPA. An appropriate assessment is therefore not required.
- 8.41 A protected species survey report has been submitted in support of the application. This has considered impacts on bats, otter, pine marten, water vole, and other species including fish and nesting birds. Scottish Natural Heritage has confirmed they agree with the recommendations in the report. A condition is proposed to secure the appointment of an Ecological Clerk of Works for the duration of the contract to supervise works in relation to the impact on protected species and their habitats.

Impact on residential amenity

- 8.42 There are four residential properties within the cluster of development at Kingshouse which are not within the control of the applicant. One, Etive Bank, is between the Kingshouse Hotel and the temporary 'Way Inn'. The other three, Tigh-Na-Coille, Rannoch Edge and Corrie Bhan are to the south west of the cluster. The one closest to the Kingshouse Hotel (Tigh-Na-Coille) is opposite the boundary to the proposed car park, the other two lie a short distance away.
- 8.43 Although this is a small cluster of development in a rural area, it is used to a significant amount of activity as the West Highland Way passes directly in front of the houses. There has also been a hotel presence for many years. The proposal will increase the number of bedrooms at the hotel, and as the hotel is not intended solely for the walking trade, there is likely to be an increase in vehicle movements as a result of the development. Given existing and past usage of this area, it is not

considered that the increase in vehicular traffic will have an unacceptable impact on residential amenity. One particular concern has been raised over the proximity of the four bus parking spaces to one of the neighbouring houses. This is due to a health issue of one of the occupants which is affected by pollution/air quality. The Council's Environmental Health Officer has advised it is unlikely that the vehicular use associated with the proposed car and coach parking will result in significant pollutant concentrations at nearby receptors. The number of vehicle movements is likely to be relatively small and the site is generally open which should aid good dispersal of pollutants.

Flooding and drainage

- 8.44 A flood risk assessment was submitted in support of the application. This was the same assessment that was submitted in support of the previous application. As the proposed hotel covers a larger area than before SEPA originally objected to the proposal and requested confirmation that the development is out with the 1 in 200 year flood flow. They also sought details of the new lochans proposed as part of the development, specifically seeking confirmation that they are out with the floodplain.
- 8.45 Following the submission of additional information in relation to the boundary of the flood plain and changes to the proposed development, which included an amendment to the proposal to rotate the proposed building by 4 degrees and reconfigure the north west building alignment, SEPA have withdrawn their original objection. This is on the basis that the footprint of the entire hotel extension is situated out with the modelled 1 in 200 year flood extent. SEPA's withdrawal of their objection is subject to the submission of an amended site plan to address an anomaly on the plan in relation to some ground levels. The applicant has submitted the revised plan to SEPA, who have now confirmed their acceptance of the amended plan.
- 8.46 A detailed scheme of surface water drainage has been submitted as part of the proposal. Further information was requested by the Council's Flood Risk Management Team and was supplied by the agent. The Flood Team have removed their original objection.

Servicing and Infrastructure

- 8.47 Foul water from the development is to be discharged into two commercial bio disc treatment plants via a flow balancing tank prior to discharge into the River Etive. This will be controlled under The Water Environment (Controlled Activities)(Scotland) Regulations 2011 and under the Building Regulations.
- 8.48 Connection is proposed to the public water supply and will require the necessary permissions from Scottish Water to connect to their assets.
- 8.49 On site provision has been made for waste storage and recycling facilities. A condition is proposed to seek full details of the waste management arrangements to ensure adequate provision is made for the refuse vehicle, as the access road to the hotel is not a public road.

- 8.50 The existing vehicular access from the A82 Trunk Road to the hotel is to be used to serve the development and is to be kept open to other users during the construction works. The access road is not in the best condition at present and a condition is sought to agree the details of the proposed improvements/repairs. The proposals include a consolidated and extended parking area for 103 parking spaces (including 5 dedicated disabled spaces). 49 car spaces are proposed between the existing bunkhouse and the hotel, 50 car spaces to the south of the bunkhouse and four bus bays. The submission indicates that the location of the car parking enables it to be screened by the existing tree groupings on site. Although it extends the building development into previously undeveloped land, it is within the cluster of development at Kingshouse and is in close proximity to existing buildings.
- 8.51 Transport Scotland have not objected to the proposal and have recommended conditions be attached to any permission seeking improvements to the junction with the A82 and visibility splays.

Other material considerations

- 8.52 Public Access - The site lies immediately adjacent to the West Highland Way which at this point is also a public right of way. Accordingly the Council's Access Officer has recommended a condition be added to any permission to inform the applicant of the need to keep this route open and free from obstruction.

Non-material considerations

- 8.53 The summarised issues raised below by third parties are not considered to be material to the assessment of this application:
- Comments made regarding applicant and other parties involved.
 - Action proposed to see project stopped
 - Proposal rushed and should be delayed to allow redesign
 - Proposal driven by profit
 - Previous consented scheme more appropriate
 - Size of hotel would negatively impact on other hotels in the area
 - Clientele are outdoor people, not tourist bus hotel
 - Unna Principles are relevant to proposal
 - Proposal is in direct contravention of Percy Unna's gift of Glencoe to the National Trust.
 - Approval of the application would set a precedent for similar developments
 - No evidence provided why previous scheme not financially viable
 - Concerns raised over biomass building (this is a separate planning application)
 - Implications for decision makers if approving the application
 - Area was proposed as a National Park in 1945, 1990 and since 2013
 - Positive comments regarding support current owners have provided to Langside Mountaineering Club
 - Suggestion for design competition to achieve a great design for this iconic location and build some world class accommodation

Matters to be secured by Section 75 Obligation

8.54 None

9. CONCLUSION

9.1 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

10.1 Resource: Not applicable

10.2 Legal: Not applicable

10.3 Community (Equality, Poverty and Rural): Not applicable

10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued N

Subject to the above, it is recommended that planning permission be **Granted**, subject to the following:

Conditions and Reasons

1. Prior to the commencement of development visibility splays shall be provided and thereafter maintained in perpetuity on each side of the access to the satisfaction of the local Planning Authority, after consultation with Transport Scotland, as the Trunk Roads Authority. These splays are the triangles of ground bounded on 2 sides by the first 4.5 metres of the centreline of the access driveway (the set back dimension) and the nearside trunk road carriageway measured 215 metres (the y dimension) in both directions from the intersection of the access with the trunk road. In a vertical plane, nothing shall obscure visibility measured from a driver's eye height of between 1.05 metres and 2.00 metres positioned at the set back dimension to an object height of between 0.26 metres and 1.05 metres anywhere along the y dimension.

Reason: To ensure that the standard of access layout complies with the current standards and that the safety of the traffic on the trunk road is not

diminished

2. The proposed access shall join the trunk road at an upgraded junction which shall be constructed by the applicant to a standard as described in the Department of Transport Advice Note TD 41/95 (Vehicular Access to All-Purpose Trunk Roads) (as amended in Scotland) complying with Layout 6. The junction shall be constructed in accordance with details that shall be submitted and approved by the Planning Authority, after consultation with Transport Scotland, as the Trunk Roads Authority, before any part of the development is commenced.

Reason: To ensure that vehicles entering or exiting the access can undertake the manoeuvre safely and with minimum interference to the safety and free flow of traffic on the trunk road

3. The width of the access shall be at least 6 metres wide for a distance of 25 metres from the nearest edge of the trunk road carriageway

Reason: To ensure that the access is wide enough to allow vehicles to enter and exit the access at the same time without conflict

4. Prior to the initial occupation of the hotel extension hereby approved the approved surface water drainage scheme shall be fully installed and operational in accordance with the approved plans. For the avoidance of doubt the approved drainage scheme is set out on approved plans 302507-001, 302507-002, 302507-003, 302507-008, 302507-030A, 302507-031, 302507-032, 302507-033, 302507-034, 302507-035 and the supporting documents titled Greenfield Runoff 01, Foul Water Network 01, Surface Water Network 01, Lochan Surface Water Network 01 and the letter to Highland Council dated 01/12/17 ref 302507-004/GP. Thereafter the approved drainage scheme shall be fully maintained by the landowner in perpetuity.

Reason: In order to effectively manage surface water drainage on the site and to prevent increased risk of flooding.

5. No development shall commence on site until pre-commencement surveys to locate the presence of bats, otter and water vole have been undertaken and a report of surveys has been submitted to and approved in writing by the Planning Authority. The survey shall inform any mitigation measures to be undertaken.

Reason: In order to protect the nature conservation interests of the site.

6. The developer shall appoint an Environmental Clerk of Works who shall be available to be called upon during the whole construction period and the appointed persons shall have the authority to modify construction practices in order to protect ecological interests. For the avoidance of doubt this specialist role should include powers for work to stop and implement remedial work with immediate effect.

Reason: In order to protect the nature conservation interests of the site.

7. No development shall commence on site until details of the means to protect the Category B Listed Caulfield Bridge from any construction activities, while maintaining unobstructed public access along the West Highland Way, has been submitted to and approved in writing by the planning authority. Thereafter, the approved means of protection shall be employed for the duration of the construction works.

Reason: In order to protect the Listed Bridge from accidental damage from construction activities and to maintain public access over the bridge during the construction works.

8. The boundary for this proposed development coincides with the West Highland Way. As such there should be no hindrance to use by the public and the proposed development should not obstruct or deter use of the route before, during or after construction. This would include any of the following:

- the placing of materials on the route
- allowing water, soil or any other substance to flow or spill onto the path.
- Erecting any fence or locked gates,
- Prohibitory signs or notices.
- Plant or overhang any vegetation on the path
- Projections from building
- Park vehicles or place other structures

Reason: To comply with the Council's statutory duty to uphold access rights.

9. Any disturbance or damage to the West Highland Way must be repaired to as good or better a standard than pre development condition within 14 days of the disturbance occurring, or such longer period as agreed with the local authority.

Reason: To comply with the Council's statutory duty to uphold access rights.

10. No development shall commence until full details of the access improvements along the access road from the junction with the A82 through to the proposed car park have been submitted to and approved in writing by the Planning Authority. Such details shall include the proposed final layout, geometry and surfacing for the access road which shall be fully undertaken prior to initial operation of the hotel; the standard to which the access road will be maintained during construction works; and the means for maintaining access for other users of the access road. Thereafter the development shall be undertaken in accordance with the approved details.

Reason: In the interests of road and pedestrian safety.

11. No development shall commence until full details of the arrangements for the storage and collection of waste from the site. Such details shall be drawn up in consultation with the Council's waste management team to ensure safe and ready access for the refuse vehicle. Thereafter the development shall be undertaken in acceptance with the approved details.

Reason: To ensure that waste from the site is can be suitably and safety disposed of.

12. No development or work shall commence until a detailed specification for all proposed external materials and finishes (including trade names and samples where necessary) has been submitted to, and approved in writing by, the Planning Authority. Thereafter, development and work shall progress in accordance with these approved details.

Reason: In the interests of visual amenity in order to ensure high quality finishes for the building in recognition of its important landscape location.

13. A sample panel of the stone walling, measuring a minimum of 1 metre square shall be prepared by the contractor and approved by the Planning Authority prior to the continuation of any of the stone wall detailing on the. Thereafter only the agreed detailing and materials shall be implemented.

Reason: In the interests of visual amenity in order to ensure a high quality finish on the building and which reflects vernacular building traditions

14. No development shall commence on site until a scheme for the inclusion of public art as part of the development, including types and locations of artworks and the management and maintenance thereof, has been submitted to, and approved in writing by, the Planning Authority. The approved scheme shall be implemented prior to occupation of the development and maintained in perpetuity.

Reason: In accordance with the Council's Public Art Strategy for the Highlands.

15. No development shall commence until a detailed Landscape Plan and maintenance programme been submitted to and approved by the Planning Authority. The scheme shall include hard and soft landscaping works, boundary treatment(s), details of trees and other features which are to be retained, and a programme for the implementation/phasing of the landscaping in relation to the construction of the development. All landscaping, including planting, seeding and hard landscaping shall be completed in accordance with the approved scheme.

Reason: In the interests of amenity, to help integrate the proposal into its landscape setting

16. No development shall commence until details of all external lighting proposed for the buildings and associated infrastructure, including car parking areas, has been submitted to and approved by the Planning

Authority. Thereafter the lighting scheme shall be implemented in accordance with the approved scheme. For the avoidance of doubt, the scheme will be designed to minimise lightspill.

Reason: in order to ensure the impact of lighting is minimised.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

FOOTNOTE TO APPLICANT

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Accordance with Approved Plans & Conditions

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission

and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks & Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Mud & Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities: You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place

outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

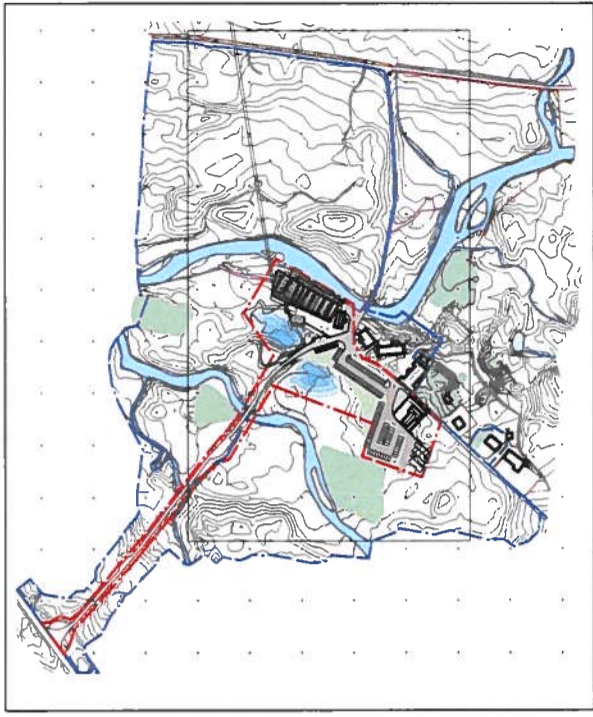
Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

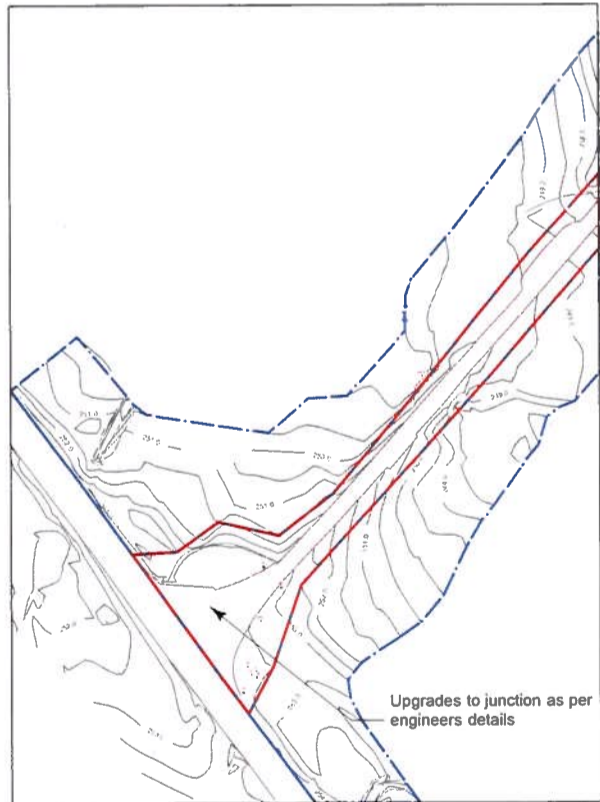
Protected Species – Halting of Work

You are advised that work on site must stop immediately, and Scottish Natural Heritage must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from SNH: www.snh.gov.uk/protecting-scotlands-nature/protected-species

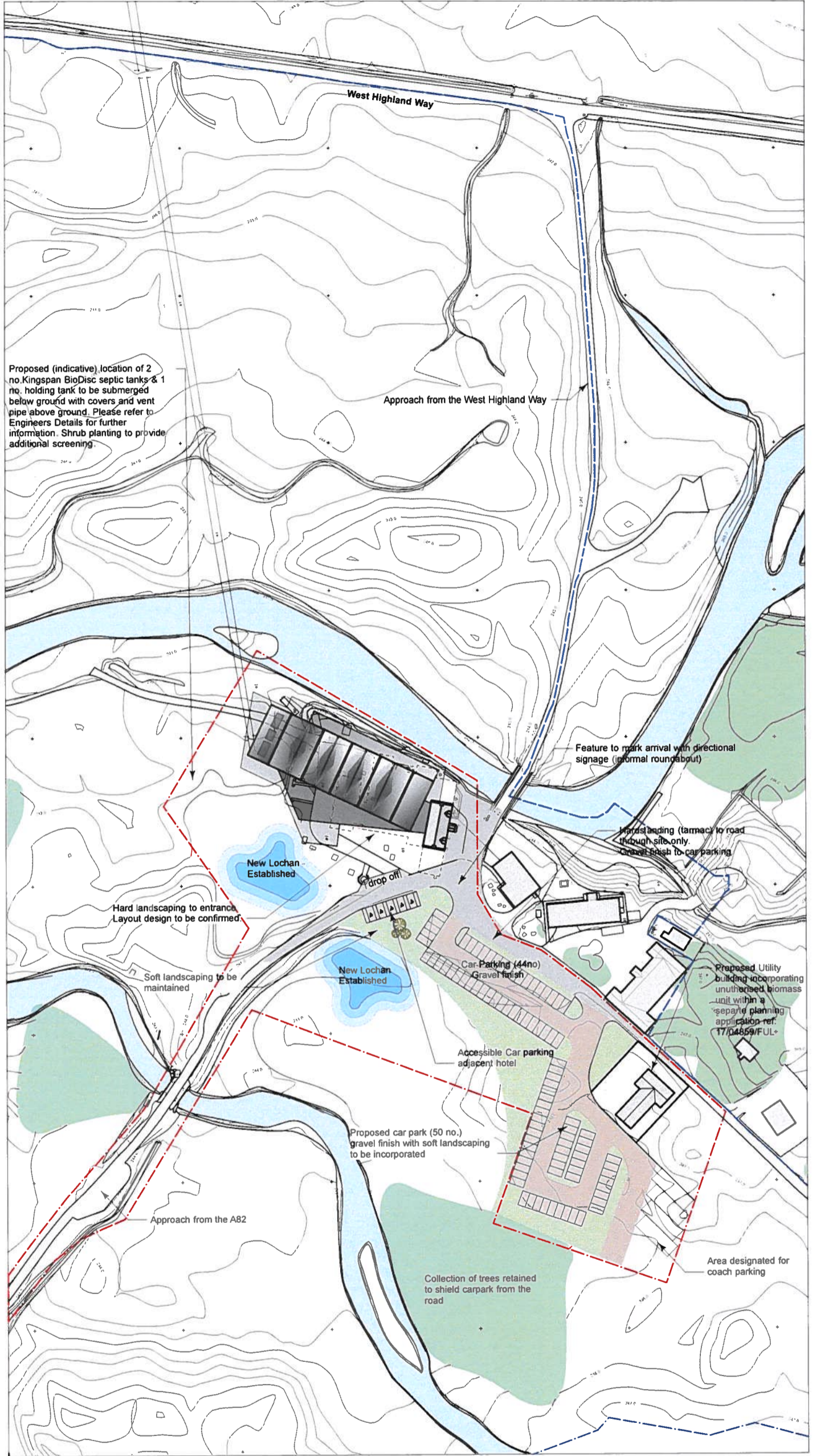
Signature: Nicola Drummond
Designation: Area Planning Manager – South/Major Developments
Author: Susan Macmillan
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 - Location/Site Plan (P-003 REV-C)
Plan 2 - Elevations (P-301 REV-A)
Plan 3 - Elevations (P-302 REV-A)
Plan 4 - Proposed Ground Floor (P-103 REV-A)
Plan 5 - Proposed First Floor (P-104 REV-A)
Plan 6 - Proposed Second Floor (P-105 REV-A)
Plan 7 - Visualisations (P-303)
Plan 8 - Visualisations (P-304)
Plan 9 - Visualisations (P-305)
Plan 10 - Existing Elevations (prior to demolition)
Plan 11 - Previously approved scheme
Plan 12 - Previously approved scheme



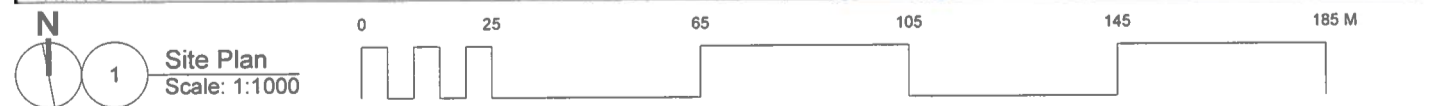
3 Key Plan
Scale: 1:5000



2 Road Junction
Scale: 1:1000



1 Site Plan
Scale: 1:1000



Proposed (indicative) location of 2 no. Kingspan BioDisc septic tanks & 1 no. holding tank to be submerged below ground with covers and vent pipe above ground. Please refer to Engineers Details for further information. Shrub planting to provide additional screening.

Hard landscaping to entrance. Layout design to be confirmed.

Soft landscaping to be maintained.

Approach from the A82

Approach from the West Highland Way

Feature to mark arrival with directional signage (informal roundabout)

Hardstanding (tarmac) to road through site only. Gravel finish to car parking

Drop off

New Lochan Established

Car Parking (44no) Gravel finish

Accessible Car parking adjacent hotel

Proposed car park (50 no.) gravel finish with soft landscaping to be incorporated

Proposed Utility building incorporating unauthorised biomass unit within a separate planning application ref. 17/04859/FUL*

Collection of trees retained to shield carpark from the road

Area designated for coach parking

Notes.
Dashed red line indicates site boundary.
Please Note. Site Area - 19,802 sq.m

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The contractor is to bring to the attention of the architect any discrepancies contained in this drawing prior to work commencing.

Note: The client owns a large portion of the adjacent land to the West of the site. For illustrative purposes we have shown a ownership boundary in view to the West, but in reality the ownership extends beyond 100m West of the site boundary.

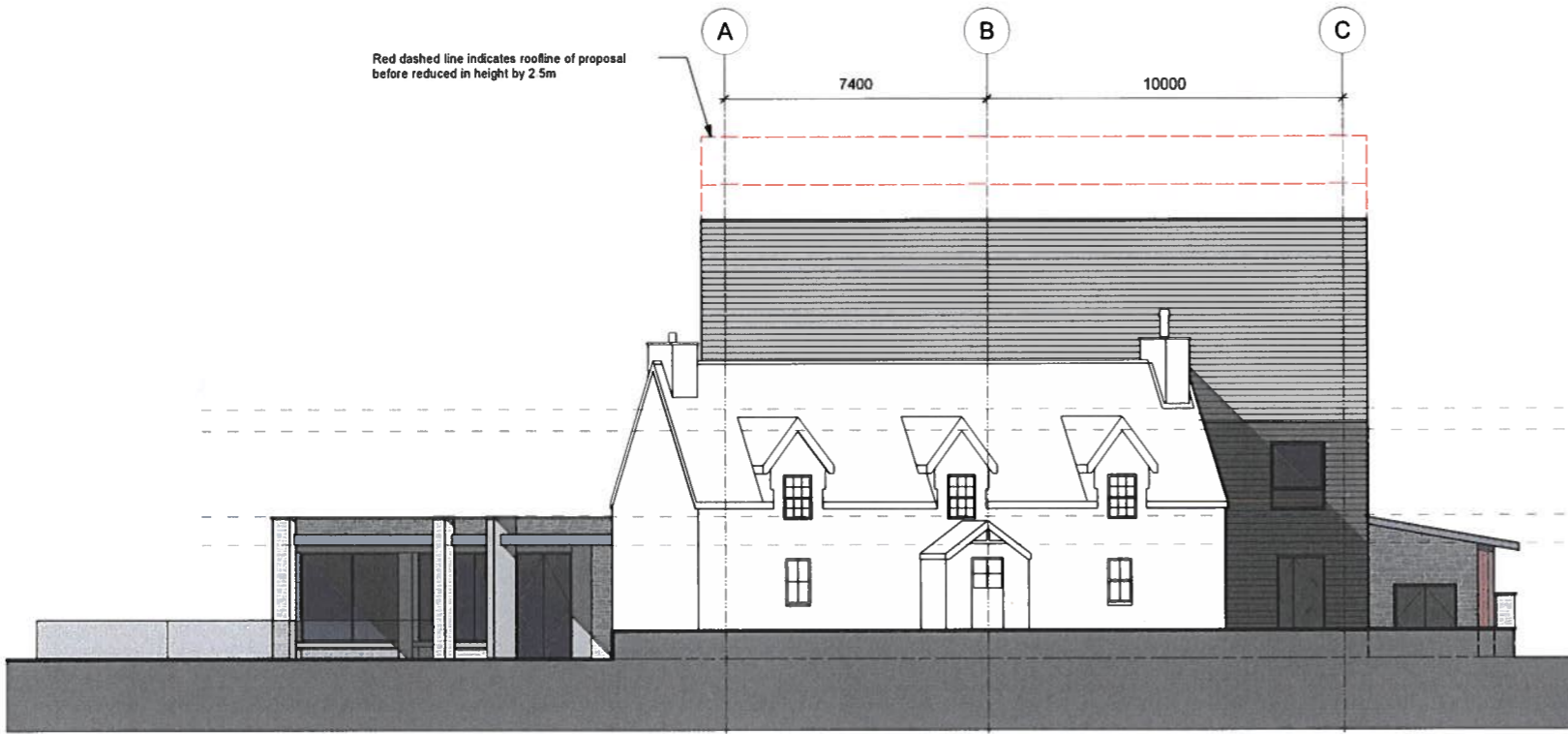
Rev	Description	Date	By
C	Car park configuration revised to coordinate with 20.12.17 Engineer. Proposed Extension rotated by 4 degrees to ensure all development outwith 200yr flood plan	20.12.17	CC
B	Site boundary extended to include road junction	15.08.17	cc
A	Site boundary area reduced	15.08.17	cc

Proposed Site Plan	
Content	Proposed Site Plan
Client	Douglas and Stewart
Project	Kings House Hotel
Date	Jul-17
Paper size	A2
Project Code	khh01

Drawing Status	Planning
Drawn by	jn
Checked	cc
Drawing No.	P-003
Revision	C

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01224 634040

Red dashed line indicates roofline of proposal before reduced in height by 2.5m



External Finishes Key

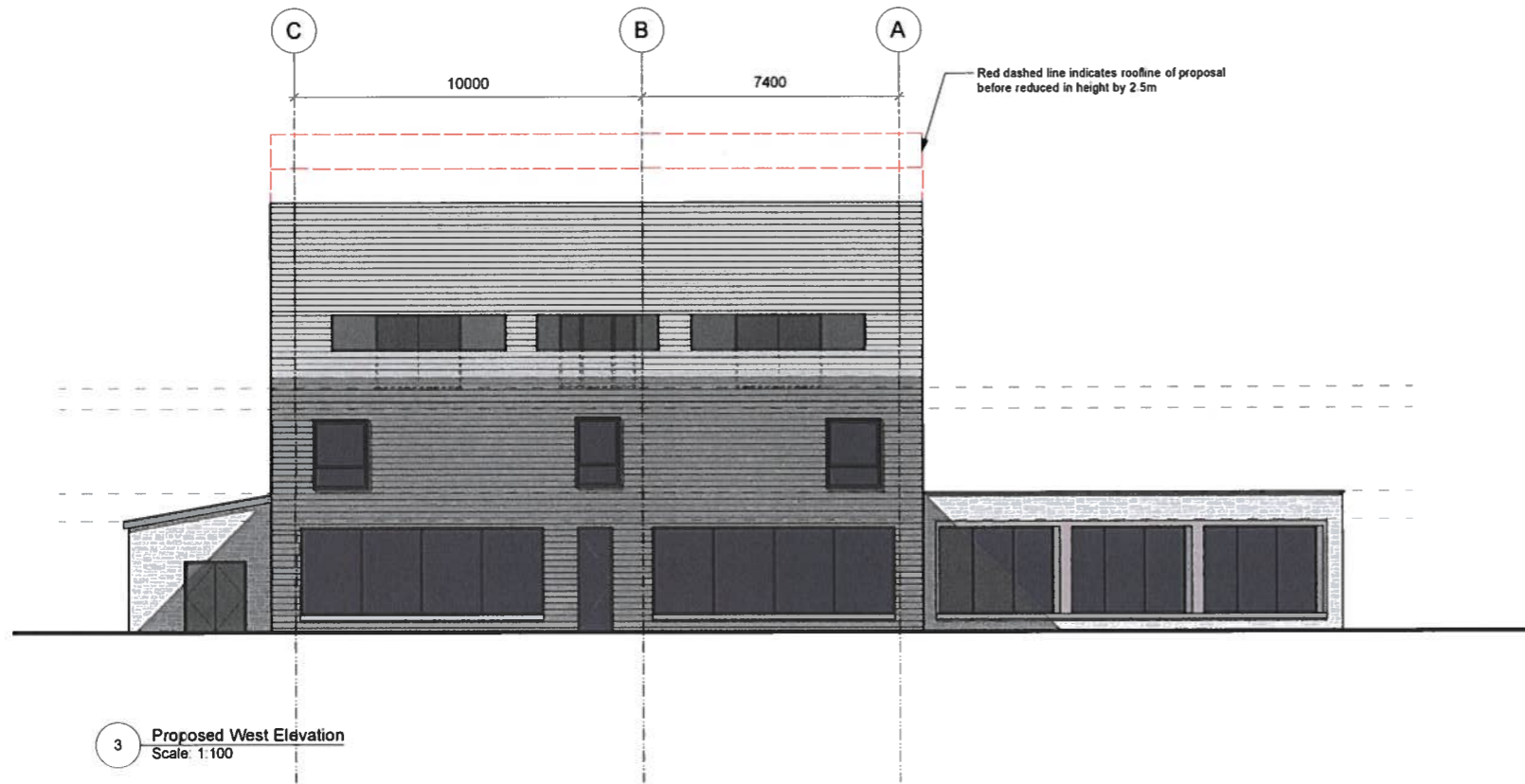
- Roof - Natural slate
- Dressed natural stone - granite
- Granite course rubble wall
- Timber cladding - Untreated slow grown Siberian larch
- Doors and windows - Painted joinery (dark grey)

1 Proposed East Elevation
Scale: 1:100



Red dashed line indicates roofline of proposal before reduced in height by 2.5m

2 Proposed South Elevation
Scale: 1:100



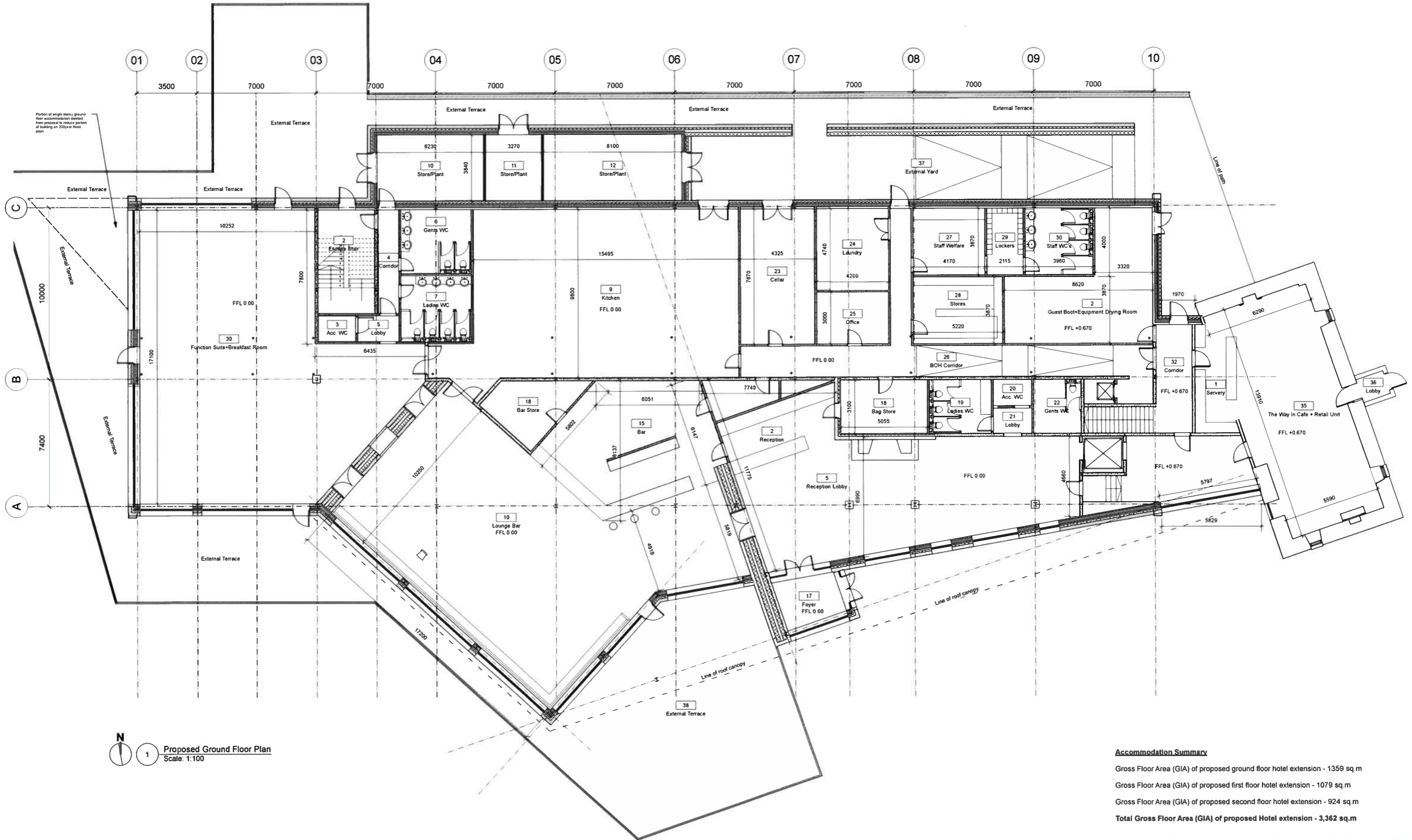
External Finishes Key

- Roof - Natural slate
- Dressed natural stone - granite
- Granite course rubble wall
- Timber cladding. Untreated slow grown Siberian larch
- Doors and windows - Painted joinery (dark grey)

3 Proposed West Elevation
Scale: 1:100



4 Proposed North Elevation
Scale: 1:100




1 Proposed Ground Floor Plan
 Scale: 1:100

Accommodation Summary

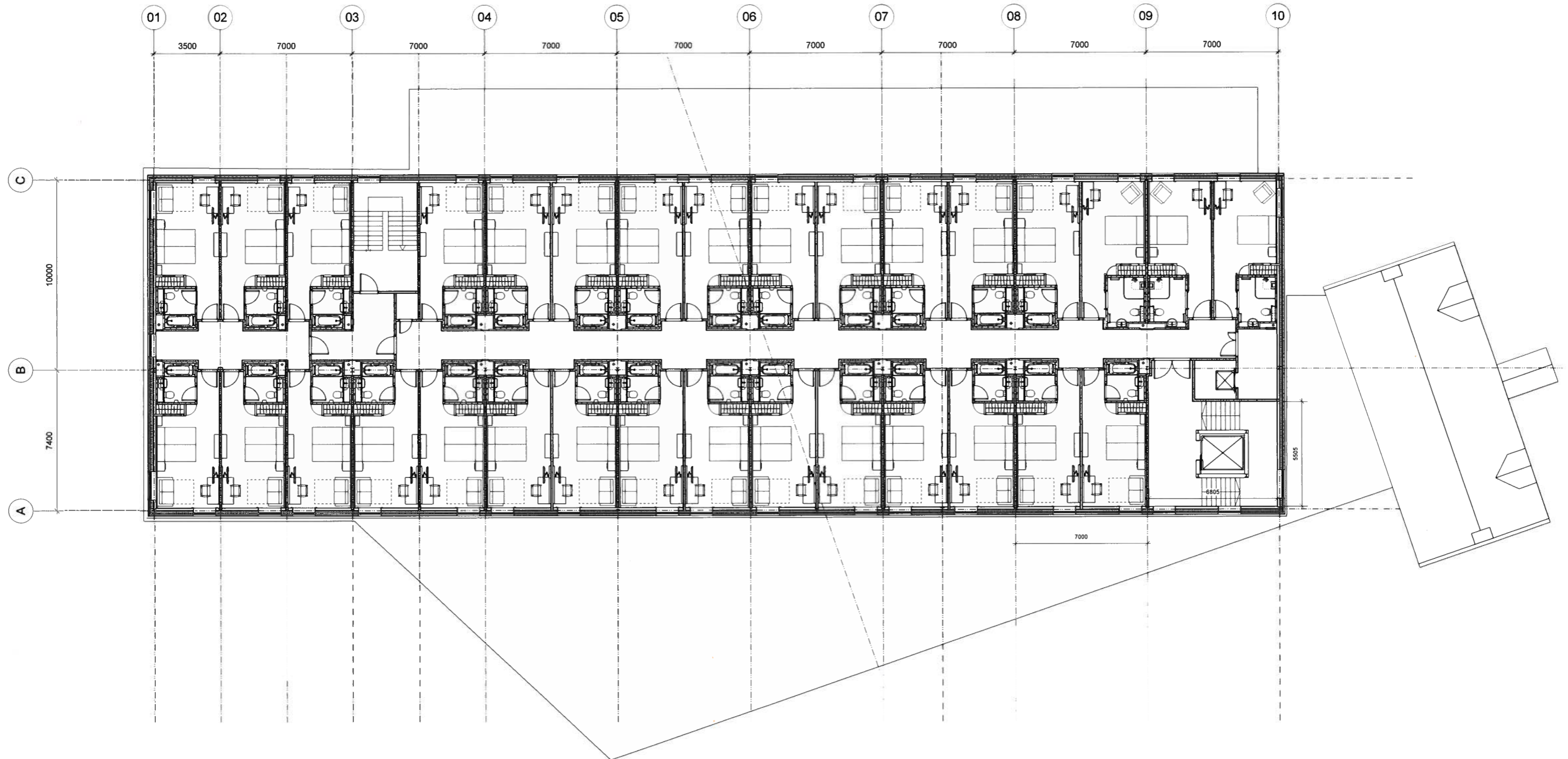
Gross Floor Area (GIA) of proposed ground floor hotel extension - 1359 sq m

Gross Floor Area (GIA) of proposed first floor hotel extension - 1079 sq m

Gross Floor Area (GIA) of proposed second floor hotel extension - 924 sq m

Total Gross Floor Area (GIA) of proposed Hotel extension - 3,362 sq.m

Content		Ground Floor General Arrangement	
Client		Douglas and Stewart	
Project		Redevelopment of Kings House Hotel	
Date	Jun-17	Drawing Status	PLANNING
Rev	Description	Date	By
A	Roof lowered by 2.5m Plans revised	03/11/17	CC
Paper size		A1	
Project Code		KHH01	
Drawing No		P-103	
Revision		A	
9 Albyn Terrace, Aberdeen, AB10 1YP aberdeen@covellmatthews.co.uk www.covellmatthews.co.uk 01224 634040			



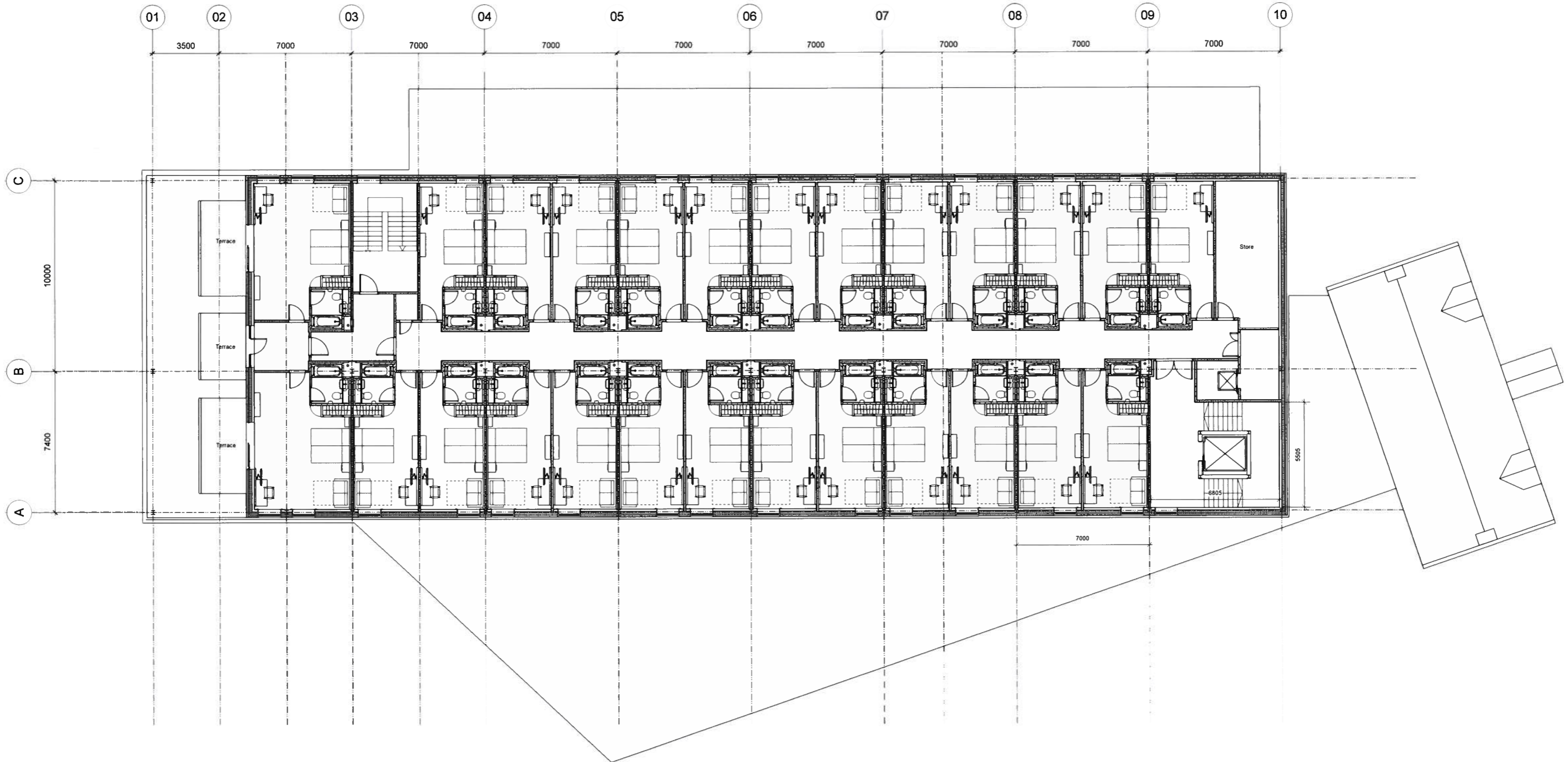

 2 Proposed First Floor Plan
 Scale: 1:100


Accommodation Summary

Gross Floor Area (GIA) of proposed ground floor hotel extension - 1359 sq.m
 Gross Floor Area (GIA) of proposed first floor hotel extension - 1079 sq.m
 Gross Floor Area (GIA) of proposed second floor hotel extension - 924 sq.m
Total Gross Floor Area (GIA) of proposed Hotel extension - 3,362 sq.m

Content				First Floor General Arrangement			
Client				Douglas and Stewart			
Project				Redevelopment of Kings House Hotel			
Date				Jun-17			
Drawing Status				PLANNING			
Paper size				A1			
Drawn by				ahm			
Checked							
Project Code				KHH01			
Drawing No				P-104			
Revision				A			
<small> 9 Albyn Terrace, Aberdeen, AB10 1YP aberdeen@covellmatthews.co.uk www.covellmatthews.co.uk 01224 634040 </small>							

Rev	Description	Date	By
A	Roof lowered by 2.5m. Fenestration reconfigured and plans revised to coordinate.	03/11/17	CC




 3 Proposed Second Floor Plan
 Scale: 1:100

Accommodation Summary

Gross Floor Area (GIA) of proposed ground floor hotel extension - 1359 sq.m
 Gross Floor Area (GIA) of proposed first floor hotel extension - 1079 sq.m
 Gross Floor Area (GIA) of proposed second floor hotel extension - 924 sq.m
Total Gross Floor Area (GIA) of proposed Hotel extension - 3,362 sq.m

Content		Second Floor General Arrangement	
Client		Douglas and Stewart	
Project		Redevelopment of Kings House Hotel	
Date		Jun-17	Drawing Status PLANNING
Paper size		A1	Drawn by ahm Checked
Rev		Date	By
A		03/11/17	CC
Project Code		KHH01	Drawing No P-105 Revision A
Footnote		Roof lowered by 2.5m. 3 no. bedrooms deleted from second floor. Fenestration reconfigured and plans revised to coordinate.	
Address		9 Albyn Terrace Aberdeen AB10 1YP	
Contact		aberdeen@covellmatthews.co.uk	
Website		www.covellmatthews.co.uk	
Phone		01224 634040	



1 View of South West Elevation on approach from A82

Content		Proposed View of South West Elevation						
Client		Douglas and Stewart						
Project		Redevelopment of Kings House Hotel						
Date	Nov-17	Drawing Status	PLANNING					
Paper size	A1	Drawn by	CC	Checked				
Rev	Description	Date	By	Project Code	KHH01	Drawing No	P-303	Revision

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aberdeen@covellmatthews.co.uk
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1 View on approach from the West Highland Way to the South East

Content		Proposed View on Approach from the West Highland Way to South East		
Client		Douglas and Stewart		
Project		Redevelopment of Kings House Hotel		
Date	Nov-17	Drawing Status	PLANNING	
Paper size	A1	Drawn by	CC	Checked
Rev	Description	Date	By	Project Code
				KHH01
				Drawing No. P-304
				Revision

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1 View on approach from the West Highland Way to the North

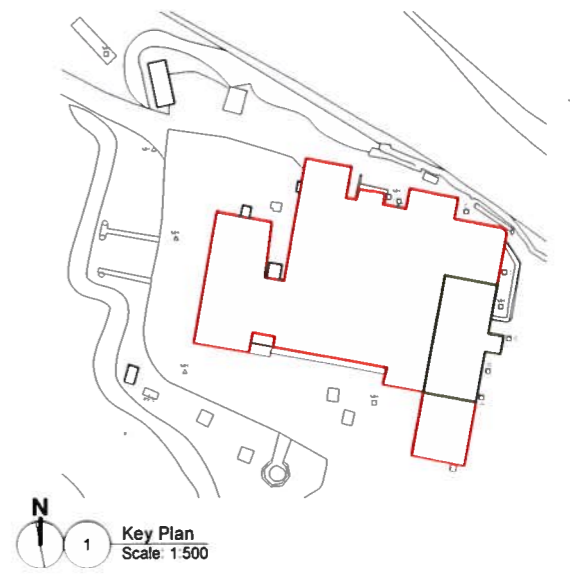
Content		Proposed View on Approach from the West Highland Way to the North		
Client		Douglas and Stewart		
Project		Redevelopment of Kings House Hotel		
Date	Nov-17	Drawing Status	PLANNING	
Paper size	A1	Drawn by	CC	Checked
Rev	Description	Date	By	Project Code
				KHH01
				Drawing No. P-305
				Revision

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 01224 634040



2 East Elevation
Scale: 1:100

Portion to be retained



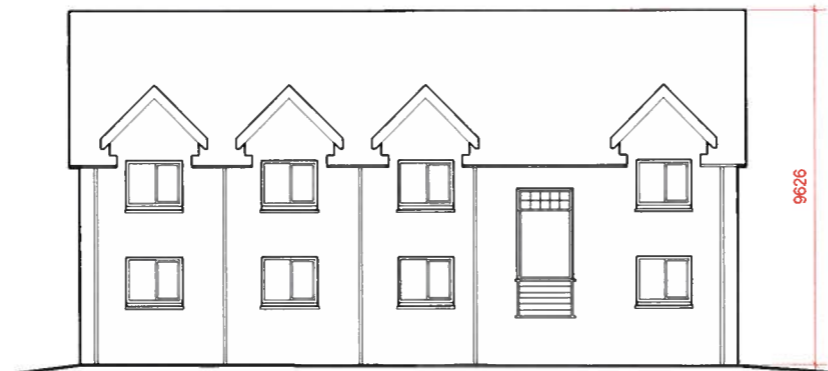
1 Key Plan
Scale: 1:500



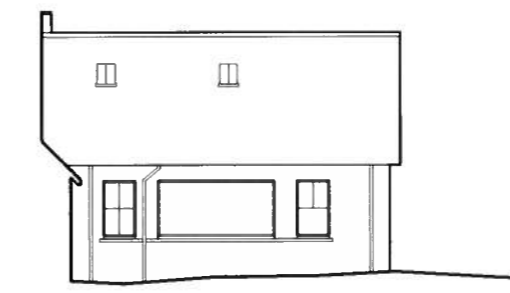
3 North Elevation
Scale: 1:100



4 South Elevation
Scale: 1:100



5 West Elevation
Scale: 1:100



6 Part West Elevation
Scale: 1:100

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NOTE: FOR CONSTRUCTION THIS DRAWING MUST NOT BE SCALED FROM OR USED FOR MEASUREMENTS. CHECK ALL DIMENSIONS ON SITE.

EXISTING STRUCTURE SHOWN IN BLACK
NEW STRUCTURE SHOWN IN RED

- EXTERNAL FINISHES
- S - SLATE ROOFING
 - Z - ZINC ROOFING / CLADDING
 - TF - TURF ROOF
 - H - HARLING
 - R - RENDER
 - T - TIMBER CLADDING
 - DS - DRY-STONE RUBBLE WALL
 - GL - GLAZING
 - ST - ASHLAR STONE
 - RL - RAILING

SLATE ROOFING: HEAVY / SCOTS SLATE, Laid RANDOM & DRESSING COURSES.

ROOFING & WALLS: LEAD.
WINDOWS & PARTIAL DOORS: EXISTING BUILDING - BEADED HALF ROUND CAST IRON, COATED MICROCOSMIC IRON OXIDE. NEW - ZINC TO MATCH ROOFING, BEADED HALF ROUND, FLAT WELT TO WALLS.

TURF ROOFING: PROPRIETARY 'GRADY' ROOF SYSTEM TOPPED WITH TURF FROM SITE.
ZINC ROOFING / CLADDING: PRE-FINISHED, DARK GREY, STANDING SEAM TO ROOF, FLAT WELT TO WALLS.

HARLING: TRADITIONAL HARLING EXISTING REPAIRED OR TO MATCH COLOUR AS EXISTING.

RENDER: PROPRIETARY RENDER, OPEN TEXTURE FINISH.

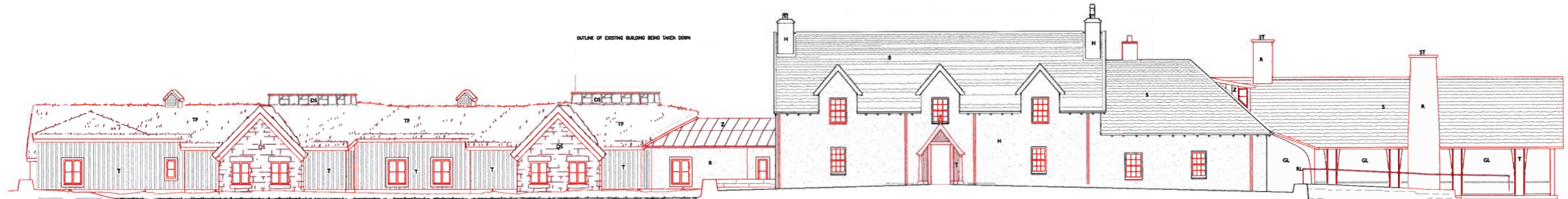
DRY-STONE WALLING: LOCAL GRANITE, COURSED RANDOM RUBBLE.

GLAZING: CLEAR GLASS, TIMBER FRAMES, PAINTED. COLOUR TO BE AGREED.

ASHLAR STONE: LOCAL SANDSTONE MOULDINGS / DRESSINGS.

RAILINGS (BALUSTRADE / HANDRAIL): GALVANISED STEEL ROD, COATED MICROCOSMIC IRON OXIDE.

WINDOWS & EXTERNAL DOORS: TIMBER, PAINTED, COLOUR TO BE AGREED TO MATCH BUILDING - TRADITIONAL, SASH & CASE, SQUARE DOUBLE GLAZING, TRADITIONAL, ASTORICAL MOULDINGS. TO OTHER AREAS - TRIPLE GLAZED CASHEMETS.



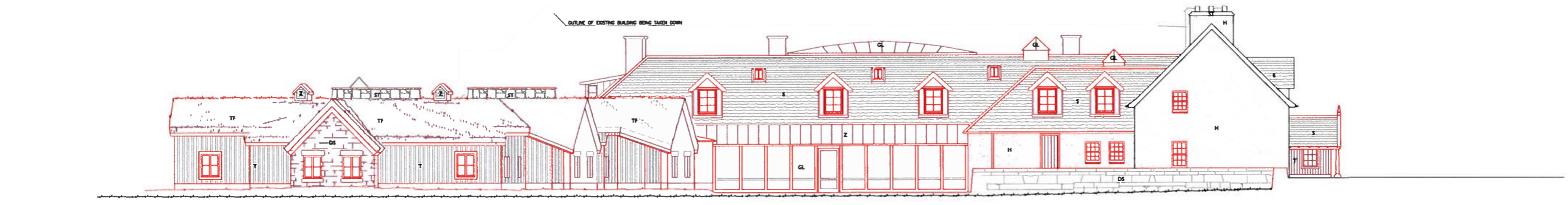
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

Revisions:

Client:	BLACK CORRIES ESTATE MANAGEMENT LTD.
Job:	KINGSHOUSE HOTEL GLENCOE
Title:	ELEVATIONS
Scale:	1:100@A1
Date:	Dec 2015
Job No:	459-1
Dwg No:	P110
Rev:	

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NOTE: FOR CONSTRUCTION THIS DRAWING MUST NOT BE SCALED FROM OR USED FOR MEASUREMENTS. CHECK ALL DIMENSIONS ON SITE.

EXISTING STRUCTURES SHOWN (Stone Bridge)
 NEW / ALTERATIONS SHOWN HOTEL
 NEW SUBJECT TO CURRENT APPLICATION SHOWN **Bunkhouse

- OUTLINE OF SITE
- OWNERSHIP BOUNDARY
- REVISIONS
- EXISTING TREE & PLANTATION
- EXISTING WATERCOURSES
- TARMAC GENERAL ACCESS FOR ALL VEHICLE TYPES
- PAVING PAVING OF LOCAL STONE SLABS - SUITABLE FOR PEDESTRIAN ACCESS
- HARD-STANDING CELLULAR CONCRETE PAVING WITH GRASS INFILL - SUITABLE FOR ALL VEHICLE TYPES
- BOUND GRAVEL SMOOTH SELF-DRAINING SURFACE SUITABLE FOR PEDESTRIANS TO ACCESSIBLE STANDARDS
- GRAVEL HARDWARE BED SURFACED WITH LOCAL GRAVEL - SUITABLE FOR CAR PARKING
- ESTABLISHED/RE-ESTABLISHED WATERCOURSES
- NEW TREE
- EXISTING HOTEL STRUCTURE
- EXISTING HOTEL FOOTPRINT

C = 24/05/2016
 Boundary Line Amended: drainage shown
 B = 14/03/2016
 As noted on drawing
 A = 12/01/2016
 Outline of existing hotel footprint shown in blue dotted line with edge hatch; existing hotel structure shown in black fill.
 Note: revisions refer to drawing before Variation One

Client: BLACK CORRIES ESTATE MANAGEMENT LTD.

Job: KINGSHOUSE HOTEL GLENCOE

Title: SITE PLAN PROPOSALS VARIATION TWO

Scale: 1:500 @ A1

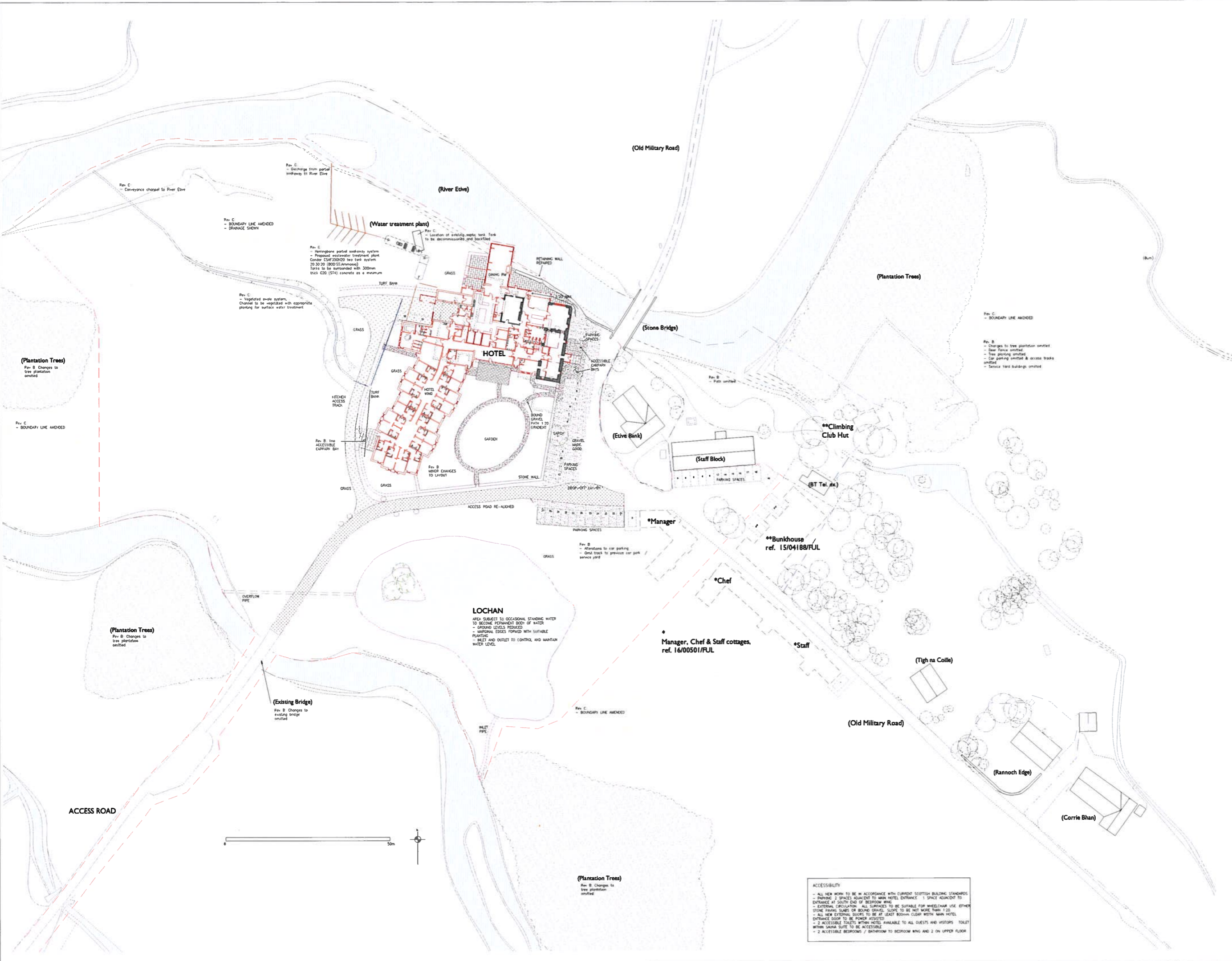
Date: May 2016

Job No: 459-1
 Dwg. No: P/12 -V2

Rev: C



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ACCESSIBILITY

- ALL NEW WORK TO BE IN ACCORDANCE WITH CURRENT SCOTTISH BUILDING STANDARDS
- PARKING: 2 SPACES ADJACENT TO MAIN HOTEL ENTRANCE; 1 SPACE ADJACENT TO ENTRANCE AT SOUTH END OF BEDROOM WING
- EXTERNAL CIRCULATION: ALL SURFACES TO BE SUITABLE FOR WHEELCHAIR USE, EITHER STONE PAVING SLABS OR BOUND GRAVEL, SLABS TO BE NOT MORE THAN 1.0m
- ALL NEW EXTERNAL DOORS TO BE AT LEAST 800mm CLEAR WITH MAIN HOTEL ENTRANCE DOOR TO BE POWER ASSISTED
- 2 ACCESSIBLE TOILETS WITHIN HOTEL AVAILABLE TO ALL GUESTS AND VISITORS; TOILET WITHIN SHOWER SUITE TO BE ACCESSIBLE
- 2 ACCESSIBLE BEDROOMS / BATHROOM TO BEDROOM WING AND 2 ON UPPER FLOOR

