

Agenda Item	6.8
Report No	PLS 011/18

HIGHLAND COUNCIL

Committee: South Planning Applications Committee
Date: 30 January 2018
Report Title: 16/02606/FUL: Mr and Mrs McSherry
Land South of The Meadows, Meikle Geddes, Nairn
Report By: Area Planning Manager – South/Major Developments

Purpose/Executive Summary

Description: Erection of 3 houses and garages and formation of access.

Ward: 18 – Nairn and Cawdor

Development category: Local

Reason referred to Committee: Objections from 5 or more households.

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** planning permission as set out in section 11 of the report.

1. PROPOSED DEVELOPMENT

- 1.1 The proposal is for the erection of 3 houses on land south of the small hamlet of Meikle Geddes, incorporating the demolition of a blockwork building that once formed part of a seaweed factory and has latterly been used as a workshop.
- 1.2 The development includes the formation of a site access, drainage and provision of an access to the adjacent Scottish Water facility.
- 1.3 Pre Application Consultation: No formal pre-application advice has been given.
- 1.4 Supporting Information: The application is accompanied by a bat survey and species protection plan.
- 1.5 Variations: Post submission variations to the site layout and road layout and surface material have been made.

2. SITE DESCRIPTION

- 2.1 The site sits to the west of the public Cawdor to Nairn (B9090) road at Meikle Geddes. It is adjacent to an existing group of 6 houses which is served by a single access from the B9090. The site had a former use as a seaweed factory and one building remains from this time which sits at the south-east corner of the site. The western corner of the field (just outwith the curtilage of the site) contains a small Scottish Water Waste Water Treatment Works and associated access road.
- 2.2 The site has reverted to rough grassland and shrubs and sits within a flat and fairly open agricultural landscape.

3. PLANNING HISTORY

- 3.1 10.03.2010 09/00146/PIPNA – Formation of house plots Withdrawn
- 3.2 01.09.2010 10/01204/PIP - Disused building (Former seaweed factory) and rough ground changed in use to dwelling house plots. Granted
- 3.3 10.07.2013 13/01851/S42 – to extend the time period of 10/01204/PIP by 3 years Granted

4. PUBLIC PARTICIPATION

- 4.1 Advertised: Unknown Neighbour, 14 days
Date Advertised: 21.06.2016
Representation deadline: 05.07.2016 and 15.10.2017
Timeous representations: 15 representations from 9 different households
Late representations: 0

4.2 Material considerations raised are summarised as follows:

- a) Concern that the existing sewage system will need to be moved
- b) Shared access will lead to congestion and may not be safe, particularly in winter
- c) Access on a fast stretch of road, close to blind bends – road safety issues
- d) Not acceptable to remove the existing tarmac and replace with an unbound surface (*proposal now amended to retain tarmac*)
- e) Road too narrow and may not be appropriate for emergency vehicle use
- f) Maintenance plan would not be enforceable
- g) 1½ storey design not acceptable – existing houses are bungalows; should be better oriented
- h) Utilises area of ground with an existing sewer system – concern about the rerouting of a functioning sewer system – need clarification that it will not impact upon neighbour's sewage systems
- i) Concern that it may result in damage to water supply (existing water pressure issues)
- j) Historic issues with dumping of agricultural materials/cars/tyres etc on the site
- k) Noise nuisance from garage of Plot 2 and construction noise
- l) Loss of natural light to existing houses
- m) Concern that the development could expand in the future
- n) No landscaping plan submitted

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 Transport Planning: Do not object. Further information relating to the surface water drainage and road layout was requested, submitted and agreed. The original proposal for the access road to be resurfaced with an unbound material was acceptable in principle but only if it could be demonstrated that the existing householders were willing to enter into a maintenance agreement. If this cannot be agreed the access should be upgraded to a generally adoptable standard. The application can be supported with the inclusion of similar planning conditions to the PIP application, including service bay, visibility splays and advance warning signage.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

- 28 - Sustainable Design
- 29 - Design Quality & Place-making
- 35 - Housing in the Countryside (Hinterland Areas)
- 42 - Previously Used Land
- 58 - Protected Species

6.2 Inner Moray Firth Local Plan 2015

No site specific policies

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Highland Council Supplementary Planning Policy Guidance

Access to Single Houses and Small Housing Developments (May 2011)

Highland's Statutorily Protected Species (March 2013)

Housing in the Countryside and Siting and Design (March 2013)

Managing Waste in New Developments (March 2013)

7.2 Scottish Government Planning Policy and Guidance

SPP

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

8.3 The key considerations in this case are:

- a) compliance with the development plan and other planning policy,
- b) access and infrastructure,
- c) siting and design,
- d) protected species, and
- e) any other material considerations.

Development plan/other planning policy

8.4 The application site sits within the Hinterland of Inverness and Nairn therefore the Council's Housing in the Countryside policy applies. This presumes against housing development within the hinterland unless it can be demonstrated that it meets one of the exceptions to the policy as set out in the Council's Housing in the Countryside and Siting and Design Supplementary Planning Guidance. These exceptions include proposals which round off or infill an existing housing group of 3 or more detached houses, and those that redevelop brownfield land.

8.5 Planning permission in principle was granted in 2010 for three house plots (extended by a S42 application to increase the time by a further 3 years in 2013).

That permission was extant at the time the current application was submitted, therefore the principle of the development has been established and permission is now sought for the detail of the house design, access and infrastructure.

- 8.6 The site sits adjacent to a cohesive group of 6 houses. The new housing would be similar in terms of scale and layout to the existing houses; would be viewed as an extension to the existing buildings; and could be accommodated within the wider landscape without any significant visual impact, and without detriment to the established settlement pattern or landscape qualities of the area.
- 8.7 The proposal does, however, extend the existing housing group rather than infill or round it off. That said, the site had a former use as a seaweed factory and one building from this time remains on the site. The exception to the policy which deals with reuse of brownfield land is also, therefore, relevant. The land has been unused for a number of years and is now overgrown and unkempt. A number of the representations made on this application refer to the poor state that the land has been kept in in recent years, including dumping of unauthorised materials. The remaining building is a small block built industrial unit with no architectural value. It is therefore considered that the reuse of the land, including demolition of the building, and replacement with housing, will result in a net environmental benefit and the proposal complies with policy.

Access and Infrastructure

- 8.8 A number of the representations to the application raise concerns about traffic and pedestrian safety. The Council's Transport Planning Team was consulted on the application and is satisfied that the required visibility splays of 3m x 150m at the junction with the public road are achievable and acceptable, subject to the provision of warning signs on the main road on the approach to the access. A larger service bay to accommodate service vehicles will also be provided at the junction with the public road. This is consistent with Council guidance and is acceptable.
- 8.9 The original proposal was for the access road to be constructed with an unbound material. This was acceptable in principle, however it would result in a poorer quality surface than currently exists, and would require ongoing maintenance. Transport Planning therefore stipulated that it could only be supported if agreement was secured for a maintenance agreement with the existing road users who have a right of access over the road (which is owned by the applicant). The applicant has been unable to secure agreement for such a maintenance agreement therefore Transport Planning require the access road to be brought up to adoptable standard (although it will remain in private ownership) which will reduce the need for ongoing maintenance.
- 8.10 The development will result in the existing combined sewer which serves at least 3 of the existing properties being diverted to a new sewer within plots 2 and 3. All works will be to the satisfaction of Scottish Water who has confirmed by letter that the proposals are acceptable. Surface water will be dealt with by a combination of soakaway, discharge to watercourse and to existing sewer. New water supplies will be provided to each plot in consultation with Scottish Water. Electricity power lines cross the site in 3 directions and will be diverted and run underground in consultation with Scottish and Southern Energy.

Siting and Design

- 8.11 The existing housing group at Meikle Geddes consists of three houses accessed via the aforementioned access road and a further 3 houses to the NE which take access directly from the main road. It includes a mixture of single and 1½ storey housing, all surrounded by mature trees and hedging which help to integrate the group into the landscape. The proposed housing layout mimics that of the existing group, with detached houses positioned within large plots. Some letters of representation note that an area of rough ground belonging to the applicant has not been included as part of the proposal but may be put forward as a house plot in the future. The Planning Authority can only consider the proposal that has been put before it. It cannot speculate on the future use of this land other than to state that any future proposal would be fully assessed in relation to all relevant policies and other material considerations.
- 8.12 The houses are commensurate in scale to the existing houses and are all different in design which, in a rural setting such as this, is preferable to 3 identical houses. They are all 1½ storeys in height as stipulated in the planning permission in principle and care has been taken with the placement of windows in relation to neighbouring properties. There are no resulting privacy concerns. The 3 houses all include traditional features in their design such as vertical windows, traditional roof pitches and dormer windows.
- 8.13 Robust landscaping, especially around the boundaries of the site, will be key to the success of the development. This can be achieved through a requirement for a detailed landscape and boundary treatment plan being submitted and agreed prior to any works commencing. This can be controlled by condition.

Protected Species

- 8.14 Policy 58 (Protected Species) of the HwLDP states that proposals which will impact on European Protected Species will only be supported where they can demonstrate that they will not be detrimental to the population of the species and that loss of any habitat can be appropriately mitigated for.
- 8.15 The structure of the existing building and surrounding habitat are conducive to bat use therefore a bat survey was requested and determination of the application was delayed while this was being carried out at the correct time of year. The survey found 2 roosting locations for pipistrelle bats which will be lost through the demolition of the building. The applicant will need to apply separately to SNH for a bat licence; however a Species Protection Plan has been submitted with recommendations to mitigate against the impact of the bats during the works. This includes hand stripping of materials in sensitive locations; a pre-commencement check by a licensed bat worker; and the erection of a bat box close to the roosting site. Subject to securing these mitigation measures, the proposal is considered to be acceptable.

Other material considerations

- 8.16 There are no other material considerations.

Matters to be secured by Section 75 Agreement

8.17 None

9. CONCLUSION

9.1 The principle of 3 additional houses in this location has already been established under planning reference 10/01204/PIP. The key considerations are therefore house design, infrastructure and protected species, all of which have been fully considered and are acceptable. Subject to the submission of a landscape plan and advance warning signage, it is considered that the proposal can be supported.

9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

10.1 Resource: Not applicable

10.2 Legal: Not applicable

10.3 Community (Equality, Poverty and Rural): Not applicable

10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued N

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation N

Revocation of previous permission N

Subject to the above, it is recommended that planning permission be **GRANTED**, subject to the following:

Conditions and Reasons

1. No development shall commence until full details of all surface water drainage provision within the application site (which should accord with the principles of Sustainable Urban Drainage Systems (SUDS) and be designed to the standards outlined in Sewers for Scotland Second Edition, or any superseding guidance prevailing at the time) have been submitted to, and approved in writing by, the Planning Authority. Thereafter, only the approved

details shall be implemented and all surface water drainage provision shall be completed prior to the first occupation of any of the development.

Reason: To ensure that surface water drainage is provided timeously and complies with the principles of SUDS; in order to protect the water environment.

2. No development shall commence until full details of all foul drainage infrastructure (including treatment plant and soakaway locations) have been submitted, to, and approved in writing by, the Planning Authority. Thereafter, development shall progress in accordance with the approved details.

Reason: In order to ensure that private foul drainage infrastructure is suitably catered for, in the interests of public health and environmental protection.

3. No other development shall commence until the site access has been constructed in accordance with approved drawings 1011 rev C and 88697-001 rev E and The Highland Council's Access to Single Houses and Small Housing Developments guidelines, with:
 - i. the junction formed to comply with drawing ref. SDB2; and
 - ii. visibility splays of 3m x 150m (the X dimension and Y dimension respectively) in each direction formed from the centre line of the junction.

Within the stated visibility splays, at no time shall anything obscure visibility between a driver's eye height of 1.05m positioned at the X dimension and an object height of 0.60m anywhere along the Y dimension.

Reason: In the interests of road safety

4. For the avoidance of doubt the surface of the shared section of access road, as shown on approved drawings 1011 rev C and 88697-001 rev E shall be finished and completed in a bitmac surface prior to first occupation of any of the houses granted planning permission..

Reason: For the avoidance of doubt

5. Prior to the first occupation of each of the dwellinghouses, parking spaces (excluding garages) for a minimum of 2 cars shall be provided within the associated curtilage in accordance with The Highland Council's Access to Single Houses and Small Developments, and shall thereafter be maintained for this use in perpetuity.

Reason: In order to ensure that the level of off-street parking is adequate.

6. No development or work (including site clearance) shall commence until a programme of work for the evaluation, preservation and recording of any archaeological and historic features affected by the proposed development/work, including a timetable for investigation, all in accordance

with the attached specification, has been submitted to, and approved in writing by, the Planning Authority. The approved programme shall be implemented in accordance with the agreed timetable for investigation.

Reason: In order to protect the archaeological and historic interest of the site.

7. No development shall commence until details of a scheme of landscaping, including a detailed Landscape Plan and Maintenance Programme has been submitted to and approved by the Planning Authority. The Landscape Plan shall be implemented in full during the first planting season following commencement of development, with maintenance thereafter being carried out in accordance with the Maintenance Programme. For the avoidance of doubt, any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

Reason: In order to ensure that a high standard of landscaping is achieved, appropriate to the location of the site.

8. No other development shall commence until appropriate warning signs and complimentary road markings have been installed at agreed locations to the east and west of the site. The exact type and location of these shall be agreed in writing with the Planning Authority in consultation with the Roads Authority.

Reason: In the interests of road safety

9. Details of boundary treatments shall be submitted to and approved in writing prior to development commencing. The boundary treatments shall be implemented in accordance with these approved details prior to the first occupation of each plot.

Reason: In the interests of visual amenity

10. No part of any building shall be located within 9m of the outside conductor of an overhead power line.

Reason: In the interests of public safety

11. Prior to the occupation of the first house, the refuse collection point as shown in approved drawing 1011 rev C shall be constructed and completed.

Reason: In the interests of road safety and residential amenity

12. All works shall be carried out in accordance with the mitigation measures set out in the Species Protection Plan by Coachman Bat Consultancy, dated October 2017

Reason: To ensure that the development does not have an adverse impact on protected species or habitat.

13. For the avoidance of doubt, all work to the access road shall be carried out in accordance with approved drawing 88697-002 rev G which shows a 2.0% crossfall away from the existing houses.

Reason: To ensure the work is carried out in accordance with the approved plans which will ensure that all surface water shall flow away from the existing houses.

REASON FOR DECISION

It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

FOOTNOTE TO APPLICANT

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Accordance with Approved Plans & Conditions

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not

deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks & Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud & Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities: You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and Scottish Natural Heritage must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from SNH: www.snh.gov.uk/protecting-scotlands-nature/protected-species

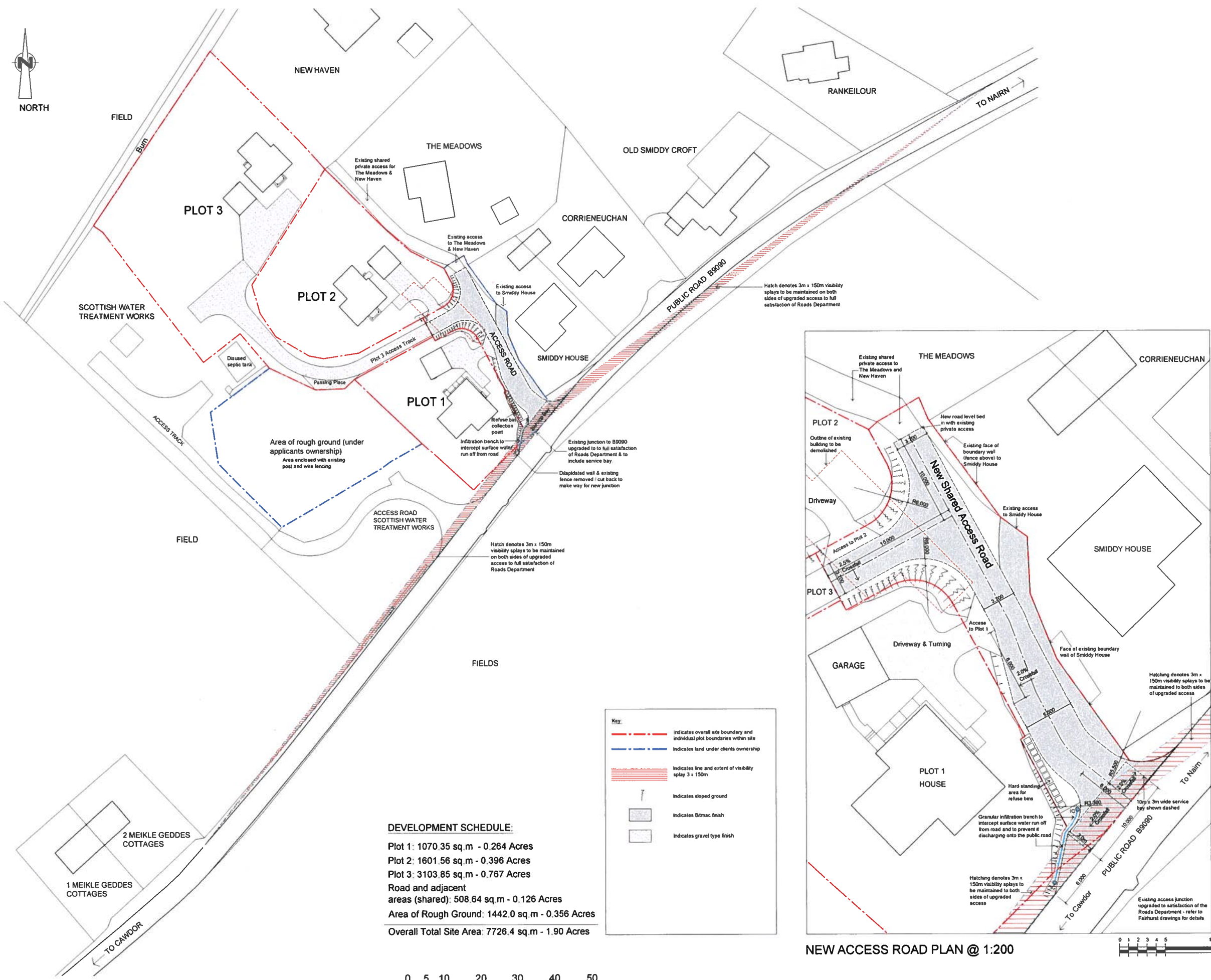
Protected Species - Contractors' Guidance

You must ensure that all contractors and other personnel operating within the application site are made aware of the possible presence of protected species. They must also be provided with species-specific information (incl. guidance on identifying their presence) and should be made aware of all applicable legal requirements (incl. responsibilities and penalties for non-compliance).

Protected Species – Bat License

The proposed works will impact upon bat roosts, therefore a bat license from Scottish Natural Heritage must be obtained by the applicant prior to any works commencing

Signature: Nicola Drummond
Designation: Area Planning Manager – South/Major Developments
Author: Christine Macleod
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 - Location Plan (1010 rev C)
Plan 2 - Site layout Plan (1011 rev C)
Plan 3 - Road Layout Plan (88697-001 rev E)
Plan 4 - Drainage Plan (88697-002 rev G)
Plan 5 - Plot 1 Floor/elevation plan (1100 rev D)
Plan 6 - Plot 2 Floor/elevation plan (1102 rev A)
Plan 7 - Plot 3 Floor/elevation plan (1104 rev A)



DEVELOPMENT SCHEDULE:

Plot 1:	1070.35 sq.m - 0.264 Acres
Plot 2:	1601.56 sq.m - 0.396 Acres
Plot 3:	3103.85 sq.m - 0.767 Acres
Road and adjacent areas (shared):	508.64 sq.m - 0.126 Acres
Area of Rough Ground:	1442.0 sq.m - 0.356 Acres
Overall Total Site Area:	7726.4 sq.m - 1.90 Acres

Key:

	Indicates overall site boundary and individual plot boundaries within site
	Indicates land under clients ownership
	Indicates line and extent of visibility splay 3 x 150m
	Indicates sloped ground
	Indicates bitmac finish
	Indicates gravel type finish



Access Road:
New access road to be constructed as shown incorporating existing road, with existing access onto B9090 altered and upgraded as shown to incorporate a 10x3m service bay, refer to Fairhursts drawings for further details. All to be carried out to the satisfaction of the Roads Department and subject to the necessary permissions. Road to have a Bitmac finish.

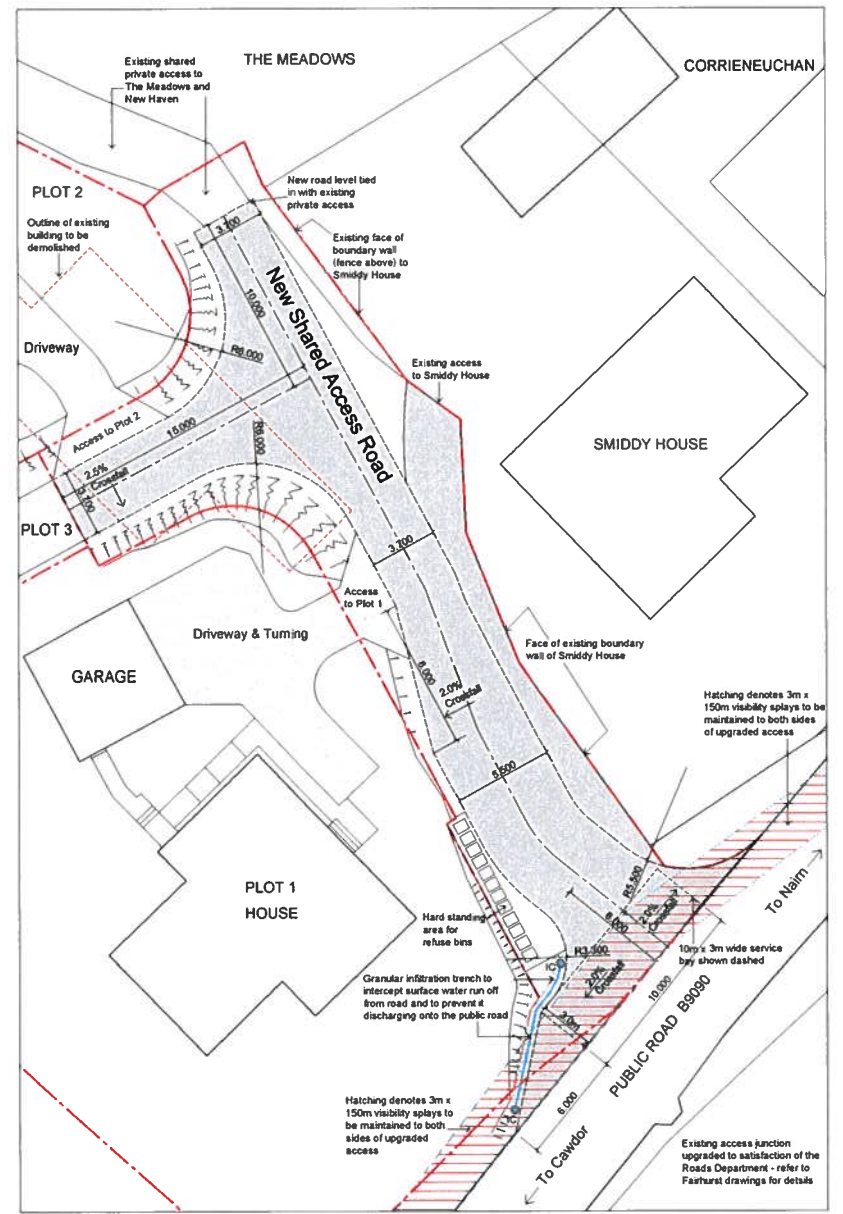
Services:
Foul Drainage:
Existing combined sewer running through site which serves at least 3 of the adjacent existing houses to be diverted with new routes within Plots 2 and 3, with new manholes and pipework. Then connected back into existing sewer, part of existing sewer within Plot 2 abandoned. All works to divert existing sewer to be to the satisfaction of Scottish Water - see letter dated 12/2/13 from Scottish Water confirming the proposals are acceptable to them. All new plots to have foul sewer connections provided adjacent to plot boundaries via Inspection Chambers/Disconnect Manholes, connecting into new section of sewer. Refer to Fairhursts drawing 88697-002 for further details.

Surface Water:
All plots surface water to connect to either filter or infiltration trenches and some discharging to water course and existing sewer. Drainage from upgraded junction section of road to be intercepted (road crossfalls to suit) by granular filled infiltration trench. To ensure no surface water will be discharged from the access road onto the public road (B9090).

Both foul sewer and surface water drainage are shared between several properties and run through individual Plots, within title deeds for each property clear details to be included on the rights and responsibilities of these and to allow necessary access for maintenance etc. for the sewers and drainage.

Water:
There is currently no water main supply to the site, existing nearby water main to be tapped into as required (in full consultation with Scottish Water) to provide new water supply to each plot.

Electric:
Existing 11kV overhead power lines cross the site in 3 directions - lines over site to be removed and supplies diverted and run underground, each new plot to be provided with new electric supply. Final layout and details to be agreed with Scottish & Southern Energy.



NEW ACCESS ROAD PLAN @ 1:200

*For further details of shared access road as well as drainage refer to Fairhurst drawings nos. 88697-001 & 002

Residential Development

Old Seaweed Works, Meikle Geddes, Nairn, IV12 5QY

for: Mr & Mrs M. McSherry

Site Layout Plan, Road Plan & Location Plan

project:	drawing:	revision:	A	First Issue	16/16
D1	1010	C	B	Updated to Engineers details	25/9/17
			C	Road finish revised	7/12/17

date: June 2016
status: Planning
ref: D1-1000-R1

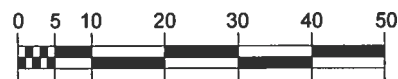


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PROPOSED OVERALL SITE LAYOUT PLAN -1:500 @ A1





NORTH



DEVELOPMENT SCHEDULE:

- Plot 1: 1070.35 sq.m - 0.264 Acres
- Plot 2: 1601.56 sq.m - 0.396 Acres
- Plot 3: 3103.85 sq.m - 0.767 Acres
- Road and adjacent areas (shared): 508.64 sq.m - 0.126 Acres
- Area of Rough Ground: 1442.0 sq.m - 0.356 Acres
- Overall Total Site Area: 7726.4 sq.m - 1.90 Acres

Notes:

- Each plot to have gravel driveways and turning areas - with sufficient space for parking of two cars, and to allow cars to turn and exit each plot in forward gear.
- Paved paths leading from gravel driveway to front and rear doors of house and garage. Rear door to provide the accessible entrance via ramped path.
- Timber decked area provided to each plot.
- Each plot to be grassed seeded throughout other than any specific areas for planting required by house buyers.
- Boundaries: refer to plan for proposed fencing etc. to form boundaries of each plot.

Key

- Indicates overall site boundary and individual plot boundaries within site
- Indicates land under clients ownership
- Indicates line and extent of visibility splay 3 x 150m
- Indicates sloped ground
- Indicates Bitmac finish
- Indicates gravel type finish

*Refer to drawing no. D1-1010 for further details of new shared access road as well as Fairhurst drawings nos. 88697-001 & 002

Residential Development

Old Seaweed Works, Meikle Geddes, Nairn, IV12 5QY
for: Mr & Mrs M. McSherry

Site Layout Plan - Plots @ 1:250

project:	D1	drawing:	1011	revision:	C	revision:	A First Issue	1/5/16
							B Update to Engineers details	25/9/17
							C Road finish updated	7/12/17
date:	June 2016							
status:	Planning							
ref:	D1-1000-R1							



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SITE LAYOUT PLAN - PLOTS - 1:250 @ A1



- NOTES:-**
1. Please refer to Fairhurst drawing 88697/002 for proposed Drainage Layout.
 2. Please refer to Fairhurst drawing 88697/003 for longitudinal section through the proposed access road.
 3. All existing utility services to be located prior to any construction work being carried out.
 4. All levels shown are relative to Ordnance Datum.
 5. Site layout based on Deemont Design drawing 122/1011.
 6. An initial 6m minimum of blemouth access from the public road channel to be bituminous surfacing to prevent gravel being dragged onto public road from the private access as per Highland Council "Access to Single Houses & Small Housing Developments" clause 4.1.2.
 7. Proposed development access must be graded to prevent surface water run-off entering the public highway as per Highland Council "Access to Single Houses & Small Housing Developments" clause 4.7.3.
 8. Private access road should be no greater than 1:10 grade as recommended in Highland Council "Access to Single Houses & Small Housing Developments" clause 4.1.3.

- LEGEND:-**
- EK — New flat top edging kerb
 - - - - - New road edge un-kerbed
 - [Blue hatched area] bitmac road construction
 - [Diagonal hatched area] Private driveway/Access Track (Architect specification) GRAVEL
 - [Blue line with dots] New gravel infiltration trench with 150mm ϕ twin wall pipe & 450mm ϕ uPVC inspection chamber
 - [Slope symbol] Indicates 1:3 batter slope (fill)
 - [Slope symbol] Indicates 1:3 batter slope (cut)

THIS REGISTER IS A NON-EXHAUSTIVE LIST OF RESIDUAL HAZARDS RELATING TO THE WORKS SHOWN ON THIS DRAWING THAT HAVE BEEN IDENTIFIED DURING THE DESIGN STAGE

SIGNIFICANT RESIDUAL HAZARDS	DETAILS
There are no significant risks which will not be apparent to a competent contractor.	N/A

E 7/12/17 ROAD FINISH CHANGED TO BITMAC

Rev	Date	Description	Drawn	Chk'd	App'd
0	17/11/17	New kerbing head of plot 3, indicative future plot shown.	CM	DE	AWT
1	17/11/17	Latest architects layout added. Proposed access road changed to un-bound construction. Access to plot 3 widened to 3.7m. Proposed road gullies & filter trenches updated. Road surface infiltration trench added.	CM	DE	AWT
2	14/12/17	House in plot 1 moved to accommodate roof water soakaway. House in plot 2 moved.	KGT	DAI	ARM
3	14/12/17	Road geometry revised following discussion with TEC Services. Road width reduced to 3.3m from Ch. 15m.	KGT	DAI	ARM

FAIRHURST Elvie House
 Beechwood Park
 Inverness
 IV2 3BW
 CONSULTING STRUCTURAL Tel:- (01463) 724544
 AND CIVIL ENGINEERS Fax:- (01463) 717878

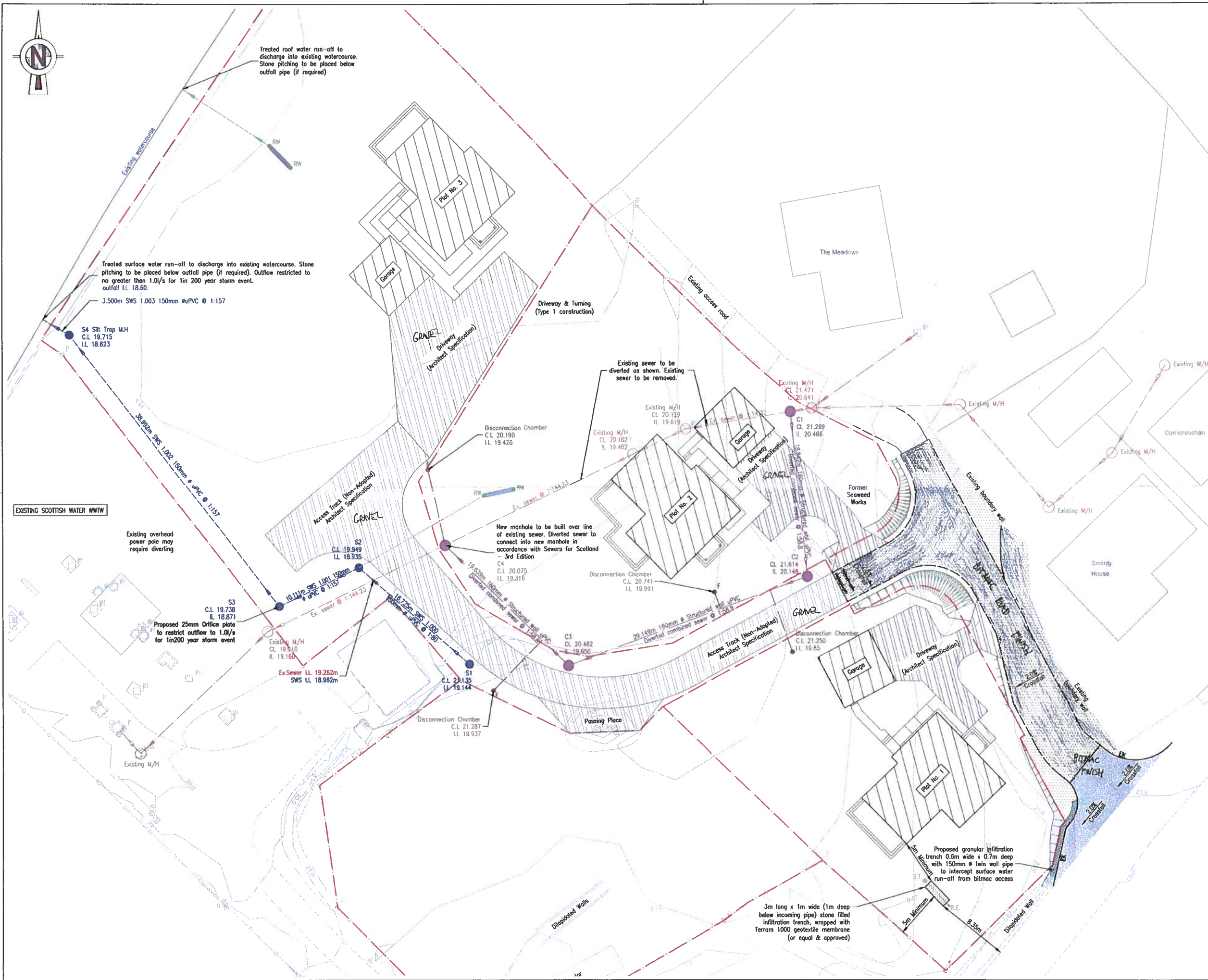
Client
Mr. & Mrs. McSherry

Project Title
Residential Development at Meikle Geddes Near Nairn

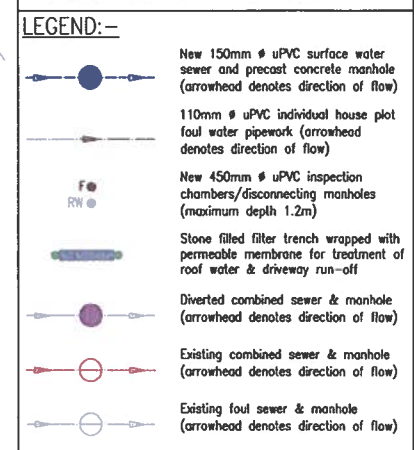
Drawing Title
Road Layout Plan
 Date received:
15 DEC 2017

Scale at A1:	Scale:	OD File Name:
1:200	Approval	88697_Pc001
Drawn:	Checked:	Approved:
KGT	DAT	ARM
Date:	Date:	Date:
04/02/2011	07/02/2011	07/02/2011

Drawing No. **88697/001**



- NOTES:-**
1. Drainage to be constructed, installed & tested in accordance with the recommendations in BS EN 752:2008, BS EN 1610:1998, S.E.P.A. GBRI10, CIRIA C697 and Sewers for Scotland - 3rd Edition.
 2. Refer to Fairhurst drawing 88697/001 for the road layout plan.
 3. Refer to Fairhurst drawing 88697/004 for the longitudinal section through the diverted combined sewer.
 4. Site plan extract taken from Deemount Design drawing no. 122/1011.
 5. All levels shown are relative to Ordnance Datum.



THIS REGISTER IS A NON-EXHAUSTIVE LIST OF RESIDUAL HAZARDS RELATING TO THE WORKS SHOWN ON THIS DRAWING THAT HAVE BEEN IDENTIFIED DURING THE DESIGN STAGE

SIGNIFICANT RESIDUAL HAZARDS	DETAILS
Existing services.	Contractor to liaise directly with each service provider prior to commencement of construction.

7/12/17 ROAD FINISH CHANGED TO BITMAC

Rev.	Date	Description	Drawn	Checked	Approved
F	11/11/17	Surface water manhole S1 re-bored to accommodate new hammerhead of plot 3. Pipe number 1,000 abandoned, grades and invert levels changed to suit.	CM	DE	AKF
E	01/11/17	Latest architects layout added. Foul sewer diversion added. Proposed access to development changed to on-bound construction. Track widened to 3.7m wide. Surface water drainage levels added.	CM	DE	AKF
D	02/11/17	Surface water drainage levels added. Orifice plate added at the outlet of S5 to limit outflow. Drainage channel added at inlet of road 1 to prevent runoff onto 88900. (File amended at 1.002 & 1.003 increased in width to 1.2m).	CM	JP	AKF
C	07/11/17	House in plot 1 moved to accommodate roof water roadway. House in plot 2 moved and shown as	MD	DAT	AKF
B	04/11/17	Angle of connection into existing sewer revised following comments from Scottish Water. Gradient of diverted sewer revised to suit. Pipe type amended.	MD	DAT	AKF
A	04/11/17	Design levels and gradients added to diverted combined sewer following comments from Scottish Water.	MD	DAT	AKF

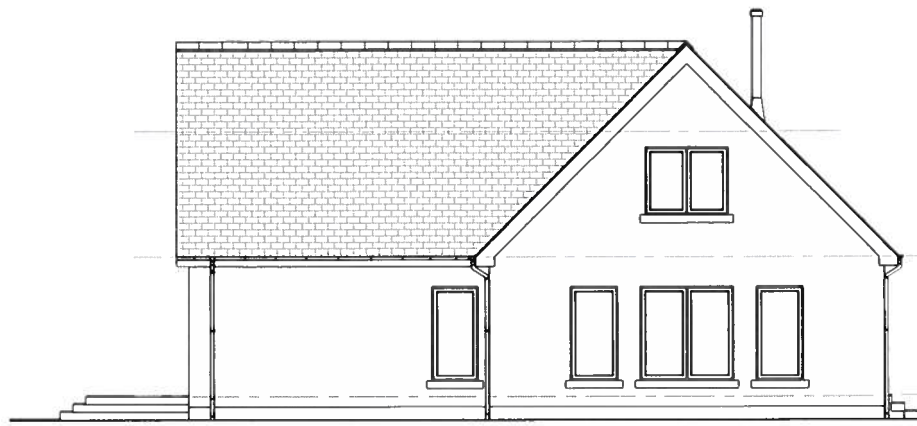
FAIRHURST Elvie House
Beechwood Park
Inverness
IV2 3JW
CONSULTING STRUCTURAL AND CIVIL ENGINEERS Tel:- (01463) 724544 Fax:- 0844 381 4412

Client: **Mr & Mrs McSherry**

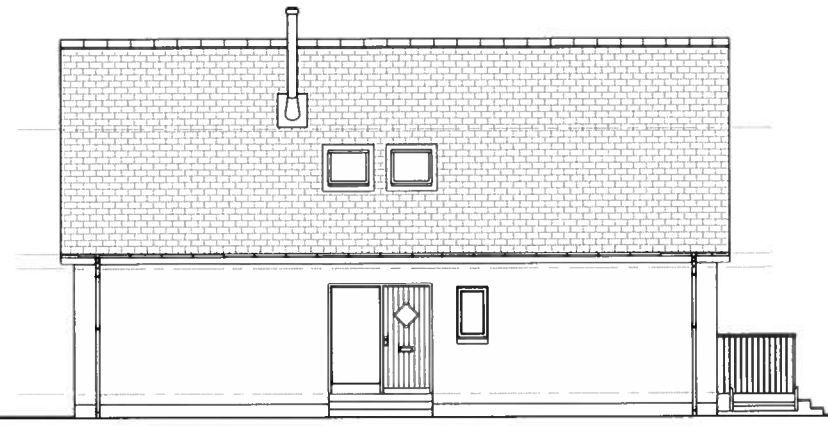
Project Title: **Residential Development at Meikle Geddes Near Nairn**

Drawing Title: **Drainage Layout Plan**
Processing Control Date Received: **15 DEC 2012**

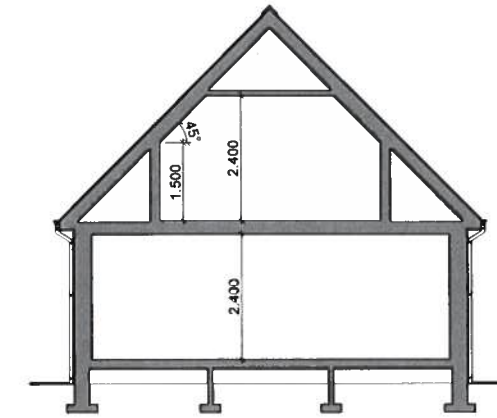
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Drawn:	Checked:	Approved:
KCT	DAT	AKF
Date:	Date:	Date:
11/05/2012	14/05/2012	14/05/2012
Drawing No.:	88697/002	



FRONT (South East) ELEVATION



SIDE (North East) ELEVATION



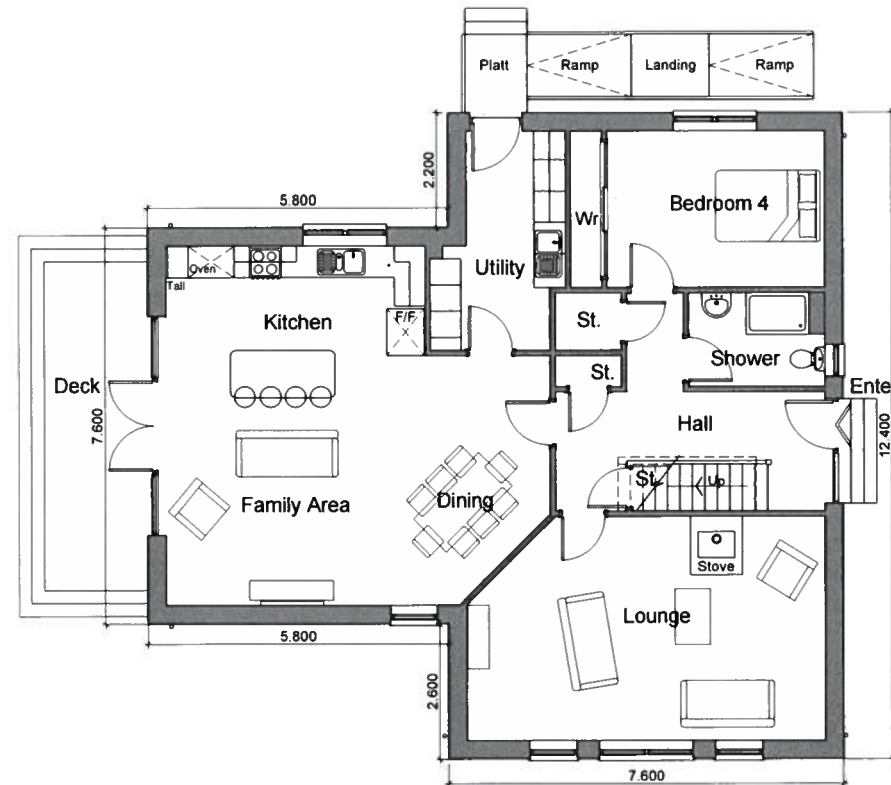
TYPICAL SECTION



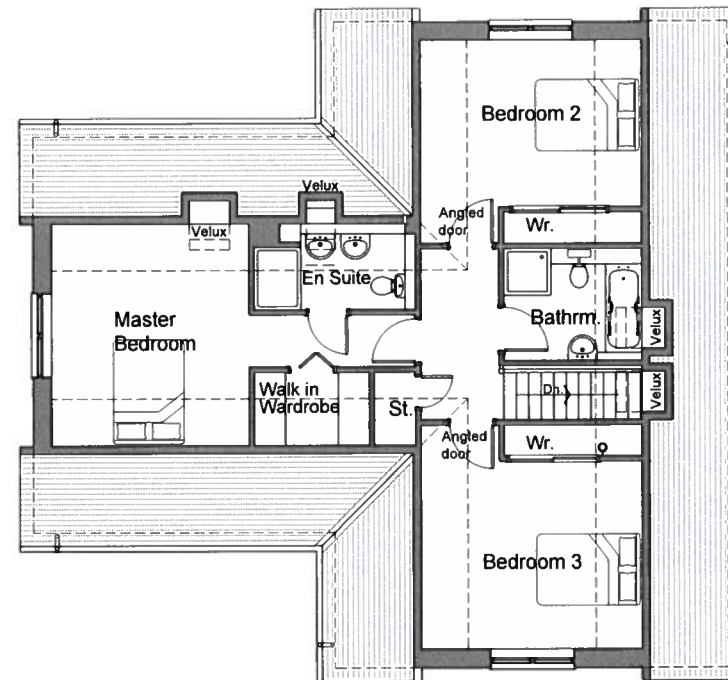
REAR (North West) ELEVATION
PROPOSED ELEVATIONS @ 1:100



SIDE (South West) ELEVATION



GROUND FLOOR PLAN
PROPOSED FLOOR PLANS @ 1:100



FIRST FLOOR PLAN

PROPOSED FINISHES:

- Walls:** Basecourses - smooth cement render
Main Walls - White K-rend render
- Roof:** Grey fibre cement slates
Eaves & soffits - Grey Pvc
- Rainwater:** Grey Pvc half round gutters and round rainwater pipes
- Doors:** Grey or black composite type front and back doors
Grey Upvc double glazed french doors and side screens
- Windows:** Grey Upvc double glazed, Grey velux rooflights

AREAS:

- Internal Floor Area:**
- Ground Floor: 120.3 sq.m.
- First Floor: 80.0 sq.m.
- Total: 200.3 sq.m.
- Overall building Footprint:**
- House: 138.32 sq.m.
- Garage: 42.25 sq.m.

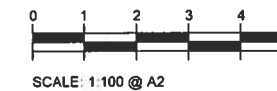
Proposed Residential Development

Old Seaweed Works, Meikle Geddes, Nairn, IV12 5QY

for: Mr & Mrs M. McSherry

Plot 1 - House Type - Plans, Elevations & Sections

project:	drawing:	revision:	description:	date:
D1	1100	D	A First Issue	27/5/16
			B Increased in size and various client changes	20/6/17
			C Client changes	12/8/17
			D Finishes updated	25/9/17
date:	May 2016			
status:	Planning			
ref:	D1-PI-Plot1			



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Tel: 01224 443131 info@deemountdesign.co.uk www.deemountdesign.co.uk

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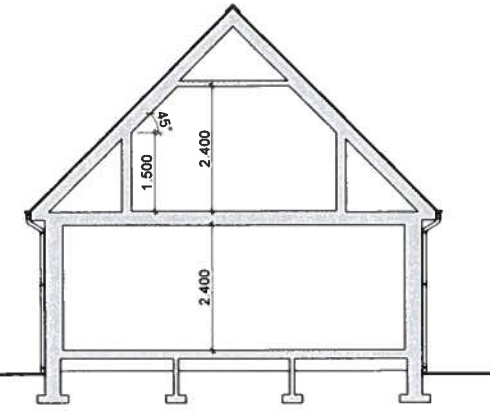
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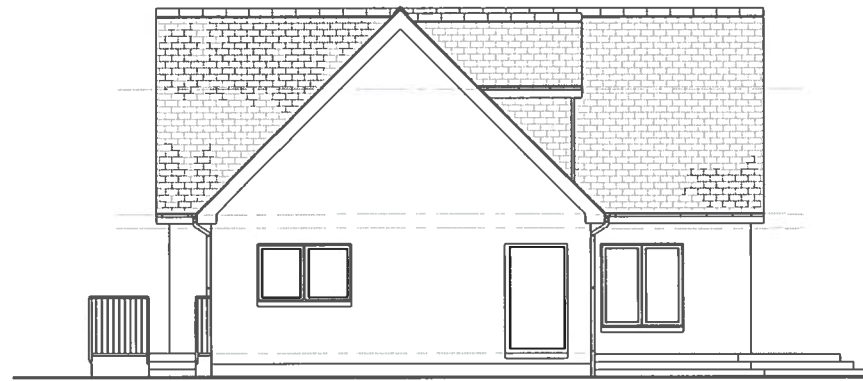
FRONT (South East) ELEVATION



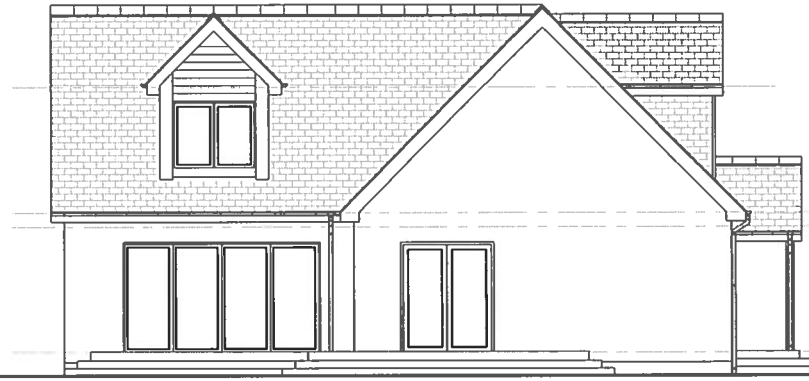
SIDE (North East) ELEVATION



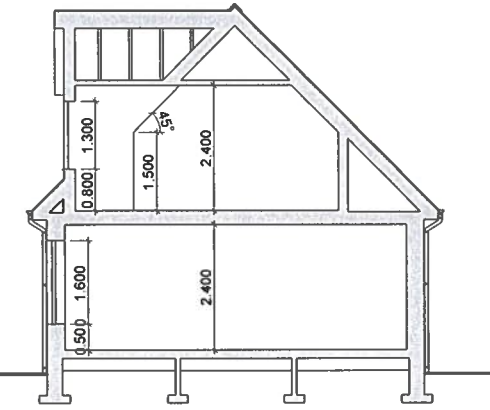
TYPICAL SECTION



REAR (North West) ELEVATION
PROPOSED ELEVATIONS @ 1:100



SIDE (South West) ELEVATION



TYPICAL SECTION

PROPOSED FINISHES:

- Walls:** Basecourses - smooth cement render
Main Walls - White K-rend render
- Roof:** Grey fibre cement slates
Eaves & soffits - Grey Pvc
Grey composite weatherboarding to dormers
- Rainwater:** Grey Pvc half round gutters and round rainwater pipes
- Doors:** Grey or black composite type front and back doors
Grey Upvc double glazed french doors and folding/sliding doors
- Windows:** Grey Upvc double glazed. Grey velux rooflights

AREAS:

- Internal Floor Area:
- Ground Floor: 105.5 sq.m.
- First Floor: 73.5 sq.m.
- Total: 179.3 sq.m.

- Overall building Footprint:
- House: 126.0 sq.m.
- Garage: 42.25 sq.m.

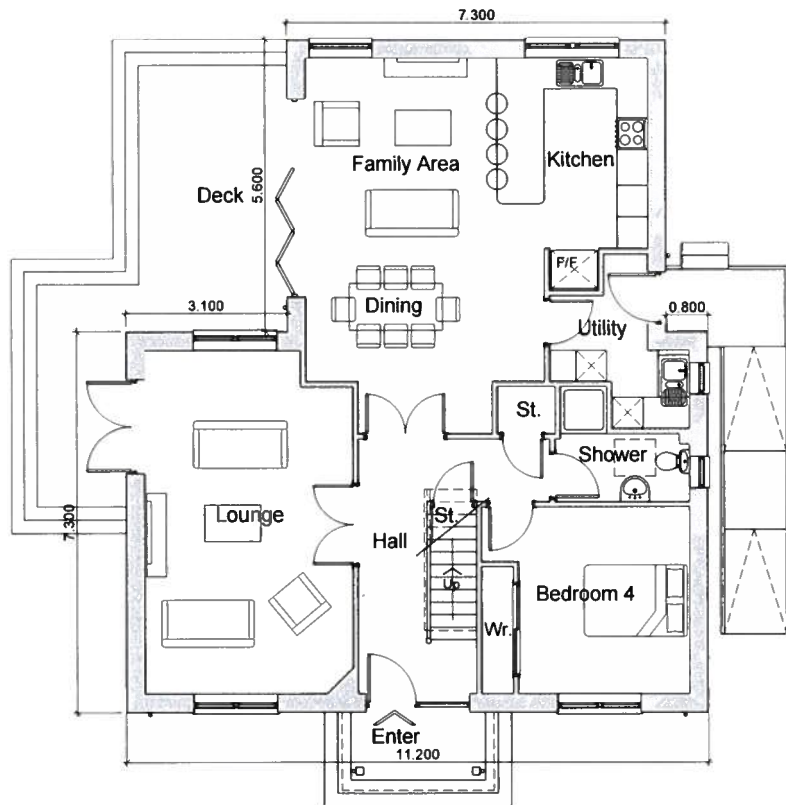
Proposed Residential Development

Old Seaweed Works, Meikle Geddes, Nairn, IV12 5QY

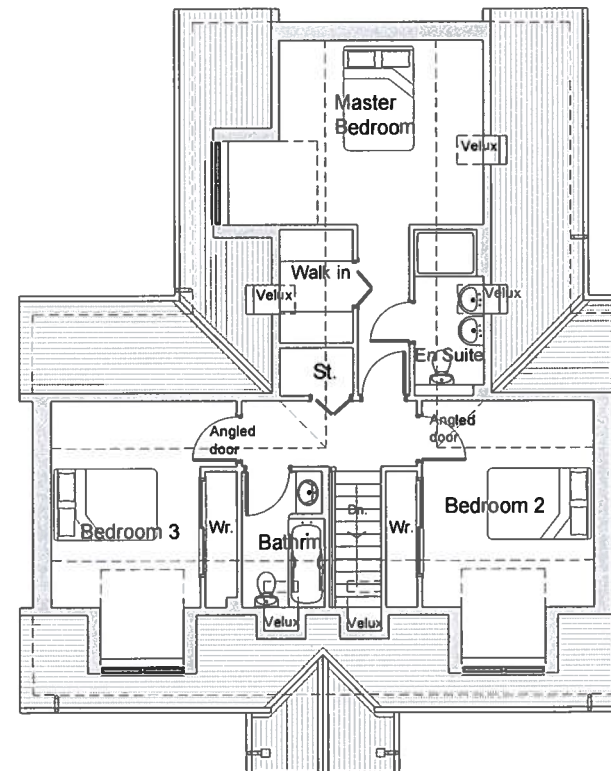
for Mr & Mrs M. McSherry

Plot 2 - House Type - Plans, Elevations & Sections

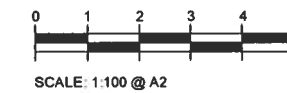
project:	D1 1102 A	revision:	A	First Issue	25/6/17
date:	May 2016				
status:	Planning				
ref:	D1-Pl-Plot2				



GROUND FLOOR PLAN
PROPOSED FLOOR PLANS @ 1:100



FIRST FLOOR PLAN



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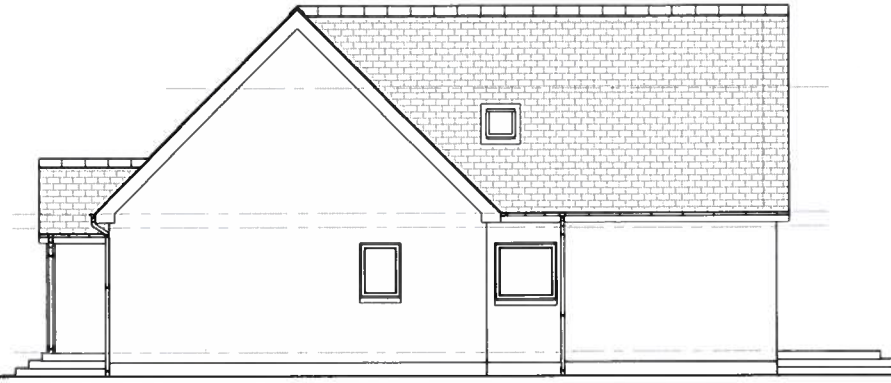
Tel: 01224 443131 info@deemountdesign.co.uk www.deemountdesign.co.uk

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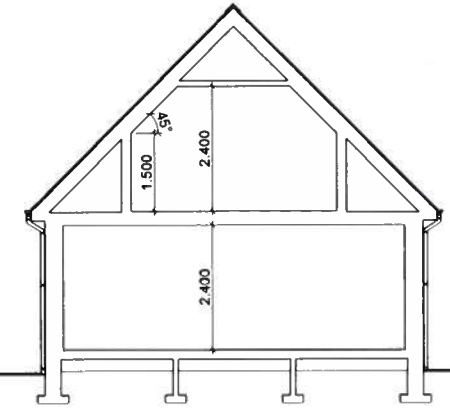
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FRONT (South East) ELEVATION



SIDE (North East) ELEVATION



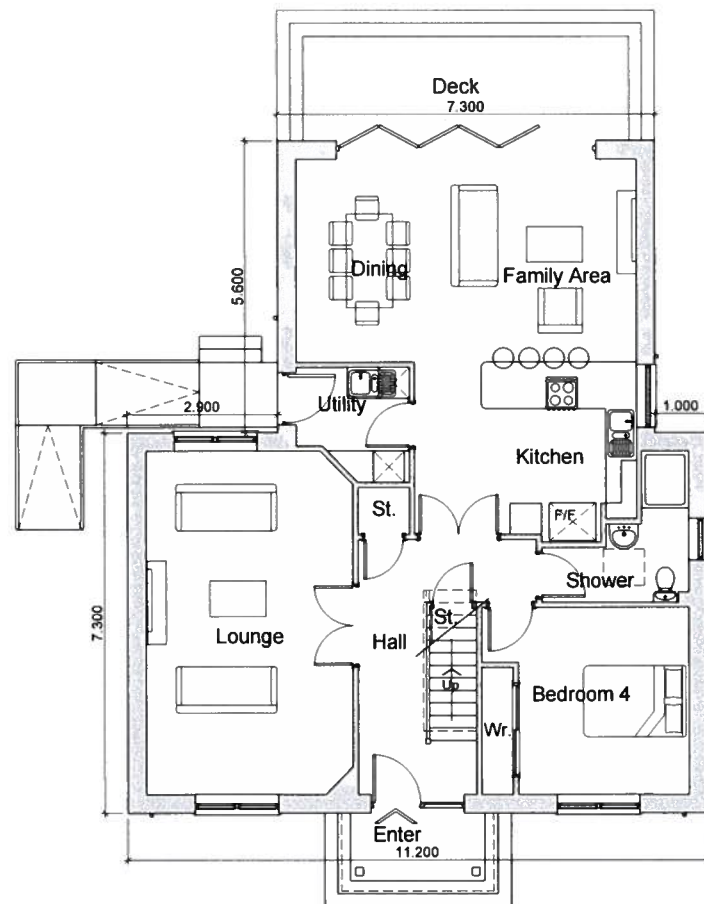
TYPICAL SECTION



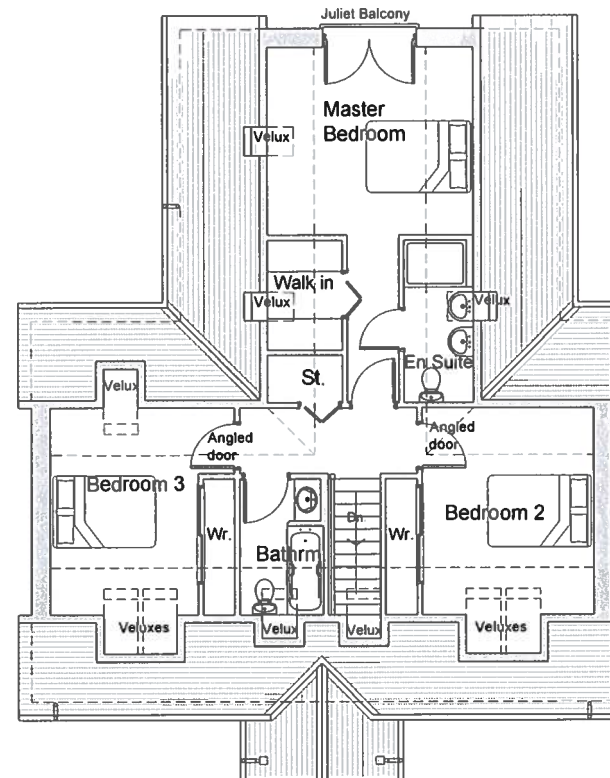
REAR (North West) ELEVATION



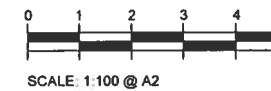
SIDE (South West) ELEVATION



GROUND FLOOR PLAN
PROPOSED FLOOR PLANS @ 1:100



FIRST FLOOR PLAN



PROPOSED FINISHES:

- Walls: Basecourses - smooth cement render
Main Walls - White K-rend render
- Roof: Grey fibre cement slates
Eaves & soffits - Grey Pvc
Grey composite weatherboarding to dormers
- Rainwater: Grey Pvc half round gutters and round rainwater pipes
- Doors: Grey or black composite type front and back doors
Grey Upvc double glazed french doors and folding/sliding doors
- Windows: Grey Upvc double glazed. Grey velux rooflights

AREAS:

- Internal Floor Area:
- Ground Floor: 105.8 sq.m
- First Floor: 71.0 sq.m
- Total: 179.0 sq.m

- Overall building Footprint:
- House: 126.0 sq.m
- Garage: 42.25 sq.m

Proposed Residential Development

Old Seaweed Works, Meikle Geddes, Naim, IV12 5QY

for Mr & Mrs M. McSherry

Plot 3 - House Type - Plans, Elevations & Section

project:	D1 1104 A	revision:	A	First Issue	25/9/17
date:	May 2016				
status:	Planning				
ref:	D1-PI-Plot3				

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