

Agenda Item	6.4
Report No	PLS 019/18

HIGHLAND COUNCIL

Committee: South Planning Applications Committee

Date: 13 March 2018

Report Title: 18/00330/FUL: Cityheart Ltd

Land 35M North of St Marys Roman Catholic School, Fassifern Road, Fort William

Report By: Area Planning Manager – South/Major Developments

Purpose/Executive Summary

Description: Student accommodation building comprising 40No bed spaces, associated shared & ancillary facilities (amended proposal ref 16/03329/FUL)

Ward: 21: Fort William and Ardnamurchan

Development category: Local

Reason referred to Committee: Area Planning Manager's discretion due to previous Committee decision

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **Grant** planning permission as set out in section 11 of the report.

1. PROPOSED DEVELOPMENT

- 1.1 It is proposed to build a two and three storey building within the grounds of the former St Mary's RC primary school to provide accommodation for 40 students. This is an amended scheme to the one refused by Committee last year. The building has been redesigned and relocated within the site. The mass of the building has been reduced by separating it into three distinct sections and the height of the building reduced by both limiting the three storey section and introducing a flat roof design. Finishes include white render, timber effect rainscreen cladding with contrasting coloured panel details. Parking for 10 cars and 40 bicycles are proposed to the rear of the proposed buildings. Enclosed bin storage is proposed which is accessible direct to Fassifern Road to allow collection. Air source heat pumps are proposed to serve the building.
- 1.2 Informal pre-application discussion took place. Pre-application consultation is not a statutory requirement in this case.
- 1.3 The site is served by an existing access from Fassifern Road. The access currently serves the former School and the Hospital service yard. The area is also served by a public water supply and public sewer.
- 1.4 Supporting information submitted - Design Statement; Tree Assessment; Transport Information
- 1.5 **Variations:** Change to layout of cycle parking

2. SITE DESCRIPTION

- 2.1 The site comprises the former playground area of St Mary's RC Primary School in Fort William. The site lies very close to the town centre and has the Belford Hospital to the north east, the Alexandra Hotel and the Duncansburgh Church and hall to the north west, a terrace of three houses (Invernevis Cottage, Mo Dhachaidh and Lomond Villa) to the south west and St Mary's primary school to the rear (south east) of the site. The site is currently tarred and is bounded by an existing wall along Fassifern road and a grassed bank and trees to the rear.

3. PLANNING HISTORY

- 3.1 16/03329/FUL : Erection of student accommodation block consisting of 40 no. rooms and associated car parking and external landscaping : Refused by Committee on 24 October 2017

4. PUBLIC PARTICIPATION

- 4.1 Advertised: Yes

Representation deadline: 22 February 2018

Timeous representations: 4

Late representations: 0

4.2 Material considerations raised are summarised as follows:

- a) Insufficient on site parking – another writer comments that increase to 10 on-site spaces seems reasonable for student accommodation

Comment: See Section 8.10

- b) Concerns over inadequate on site parking if used as tourist accommodation.

Comment: See Sections 8.17-18

- c) Plans are not up to date and do not show the new hall or car park at the Duncansburgh MacIntosh Church

Comment: Although the planning submission is focussed on the site itself, in response to the concerns raised, the agent has submitted revised drawings and design statement to include up to date Ordnance Survey information for the surrounding area.

- d) Condition requested that access path to the rear of adjacent property be completed before any other construction on site. Uncertainly over the proposed private arrangements for ownership of the path.

Comment: See Section 8.19

- e) Due to the applicant advertising hotel/hostel type accommodation on the internet a condition has been requested to limit the accommodation to those undertaking further education, and prevent use as tourist accommodation.

Comment: See Sections 8.17-18

- f) Recognition that the general design and layout of the revised scheme is an improvement.

Comment: See Sections 8.7-9

- g) Anonymous comment made regarding the history of St Mary's RC School which indicates that when the Parish donated the building to the Council it was not to be used for any other purpose.

Comment: This type of burden is not a material planning consideration. It is for the parties involved in the sale/development to ensure they have the necessary legal permissions to undertake the development if planning permission is granted. This would be a matter for Highland Council as landowner, not as Planning Authority.

- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam. Access to computers can be made available via Planning and Development Service offices.

5. CONSULTATIONS

- 5.1 **Fort William Community Council:** comments that the design and layout appears to be improved from the initial application but that the recommendations and suggestions made by neighbouring residents require due consideration. They highlight that they consider it incumbent on Highland Council to investigate whether

there is any legal restriction on the use of the land.

5.2 **Transport Planning Team:** No objection subject to conditions

5.3 **Forestry Officer:** Improved replanting scheme required.

5.4 **Flood Risk Management Team:** No objection subject to condition

6. **DEVELOPMENT PLAN POLICY**

The following policies are relevant to the assessment of the application

6.1 **Highland Wide Local Development Plan 2012**

Policy 28 - Sustainable Design
Policy 29 - Design Quality & Place-making
Policy 31 - Developer Contributions
Policy 34 - Settlement Development Areas
Policy 42 - Previously Used Land
Policy 51 - Trees and Development
Policy 56 - Travel
Policy 65 - Waste Water Treatment
Policy 66 - Surface Water Drainage

6.2 **West Highland and Islands Local Development Plan 2010 (as continued in force)**

Fort William Inset Map and Mixed Use Allocation MU9

Policy 2 – Development Objectives and Developer Requirements

7. **OTHER MATERIAL CONSIDERATIONS**

7.1 **Draft West Highland and Islands Local Development Plan (West Plan)**

Current site forms part of a mixed use allocation (FW10), together with the Belford Hospital.

7.2 **Highland Council Supplementary Planning Policy Guidance**

Developer Contributions (March 2013)
Flood Risk & Drainage Impact Assessment (Jan 2013)
Managing Waste in New Developments (March 2013)
Physical Constraints (March 2013)
Public Art Strategy (March 2013)
Trees, Woodlands and Development (Jan 2013)

The Highland Council Roads and Transport Guidelines for New Developments

Fort William Town Centre Action Plan (Promotes appropriate redevelopment of former RC primary school site - preference for residential accommodation)

7.3 **Scottish Government Planning Policy and Guidance**

Scottish Planning Policy (The Scottish Government, June 2014)

PAN 61 : Planning and SUDS

PAN 75 : Planning for Transport

PAN 78 : Inclusive Design

PAN 79 : Water and Drainage

8. PLANNING APPRAISAL

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy;
 - b) siting and design;
 - c) servicing and infrastructure;
 - d) residential and community amenity
 - e) impact on trees, and
 - f) any other material considerations.

Development plan/other planning policy

- 8.4 The former RC Primary School and the playground which form the current application site is part of a mixed use allocation (together with the Belford Hospital site) within the adopted Local Plan (MU9). The mixed use allocation supports a range of uses including community, retail, leisure, business and housing. The site also lies within the Fort William Settlement Development Area where there is a presumption in favour of development, and the site lies immediately adjacent to the Fort William commercial centre. The principle of development of this site is supported. Although unfortunate that the whole site cannot be planned as a single entity, the current proposal is reasonably self contained and will not prejudice the redevelopment of the rest of the site in the future.

- 8.5 Subject to the proposal being acceptable in terms of siting and design, servicing and infrastructure, and having no significant detrimental impact on residential or community amenity, the proposal would comply with the development plan.
- 8.6 The proposed development is an amended scheme following the Planning Application Committee's refusal of the previous application. The layout and design of the proposal has been reconfigured to address the previous concerns.

Siting and Design

- 8.7 The building has been repositioned to the north eastern half of the site, closer to the hospital, moving it further away from the residential properties to the south west. A new access is to be formed and the new parking and turning area introduced between the new building and the existing houses. This provides better separation from the residential properties which, together with the reduction in height of the building, addresses the previous concerns relating to impact on the amenity of the adjacent residential property.
- 8.8 In order to address the previous concerns regarding the height and mass of the building a fresh approach has been taken to the design of the building. The proposed building has been split into three sections to break down the mass and has been arranged with two, two storey sections along the street frontage, with a three storey section at the rear. Rather than the previous pitched roof arrangement, the building has incorporated a more contemporary flat roof design (low pitch behind parapet) which, together with the design changes, significantly reduces the height of the building, particularly along the streetscape. Although a flat roof design is not always desirable, it is considered it works as part of this comprehensive design change in delivering a contemporary building, in an urban area with a mix of design styles. Materials to be used are similar to the previous scheme; white render, grey timber effect cladding and feature cladding to add colour.
- 8.9 In terms of siting and design the amended proposal accords with Policy 29 and 34 of the Highland-wide Local Development Plan and associated Supplementary Guidance.

Servicing and Infrastructure

- 8.10 The building is within walking distance of the College and the existing facilities within the town centre, including transport links and it is an appropriate site for student accommodation within Fort William. The proposal provides for 40 student bed spaces. The existing access into St Mary's from Fassifern Road is to be closed and a new access formed at the south western end of the site frontage. On-site parking has been proposed for 10 cars (two more than previously proposed) and provision for 40 cycle spaces. The parking ratio is similar to other student accommodation developments in Inverness and Fort William. The agent has advised that given the predicted low levels of car ownership by students, and the proximity of the site to both the UHI campus and the town centre this level of car parking provision is sufficient to cater for demand. There are also Pay and Display and long stay car parks within reasonable distance of the facility. Following discussion, the Transport Planning Team has accepted this level of parking provision, which is in excess of the National Roads Development Guide. The

Transport Planning Team's requirements have been incorporated into the proposed conditions and the works connecting with the public road network will require Road Opening Permits.

- 8.11 Supporting information has been submitted which shows achievable visibility splays from the new access point of 64m to the west and 58m to the east and has estimated, based on traffic speeds, that visibility splays of 43m in each direction are appropriate. Having given consideration to road speeds and road geometry, the Transport Planning Team have accepted 58m in each direction for the visibility splays at the 2.4m set back.
- 8.12 The proposal generally accords with Policy 56 of the Highland-wide Local Development Plan and associated Supplementary Guidance.
- 8.13 Connection is proposed to the public sewer and the public water main which will each require the separate permission of Scottish Water to connect to their assets. The proposal accords with Policy 65 of the Highland-wide Local Development Plan and associated Supplementary Guidance.
- 8.14 The proposed surface water discharge from the site is to be directed to the existing Scottish Water network and a scheme and calculations have been provided which demonstrate that the proposed drainage layout could attenuate surface water from the site up to a 1 in 200 year return period storm. The Council's Flood Team have withdrawn their original objection subject to a condition requiring the final drainage design to be submitted and approved prior to the commencement of works on site. The proposal generally accords with Policy 66 of the Highland-wide Local Development Plan and associated Supplementary Guidance.

Impact on Trees

- 8.15 There are six mature beech trees and six juvenile apple trees on the southern side of the site, in greenspace areas that are contained within existing fences and separated by a flight of steps. The beeches are a significant visual feature when viewed as a whole, but they are not good specimens when viewed individually. The applicant has provided a tree survey schedule, a written tree assessment and a tree constraints plan for the beech trees. The Council's Forestry Officer has advised that whilst he would usually wish to see all moderate and good quality trees on site retained and safeguarded, on this occasion it is considered better to remove and replace the existing trees (beech and apples) with a robust, high quality tree planting scheme using large planting stock and species which will be able to co-exist with the development (eg. walnut, field maple, whitebeam, liquidambar). It is likely that some works will be required to ensure that the new planting is carried out in suitable substrate.
- 8.16 The Forestry Officer was not in a position to support the replanting proposals submitted with the application. Revised details have now been submitted which increase the level of planting which is yet to be agreed. To allow the revised details to be considered in detail and to secure the most appropriate replanting scheme for the site a condition is proposed to secure final agreement of the planting and maintenance details.

Other material considerations

- 8.17 Representations have raised concerns that the student accommodation may end up being used as holiday accommodation and if this were to be the case the parking provision would be inadequate for such a use and would put additional pressure on the church car park opposite the site. Conditions have been requested limiting the use to solely student accommodation. There are two issues here, one of the management of the church car park which is a private matter for the church; and one of adequacy of parking provision which is a material planning consideration.
- 8.18 The application has been submitted and assessed on the basis of student accommodation. Whilst there are many examples, particularly in cities, of student accommodation being let out as holiday accommodation during student holidays, this has not been included as part of this application. Given the location of the building on the edge of the town centre, close to public transport links and public car parks, it is likely that letting rooms during the student holidays would be an acceptable use. Support for this extended use would however need to be linked to the careful management of the premises and an assessment of the parking needs and would need the separate permission of the planning authority. A condition is proposed to reinforce the development type applied for.
- 8.19 In order to ensure continued pedestrian access to the rear of Invernevis Cottage a footpath has been included in the proposed development. This footpath will be served off the new access and will run up the boundary with Invernevis Cottage. A condition is proposed requiring this footpath to be formed prior to the construction works commencing on the student accommodation building and arrangements will need to be made for access during the construction phase. For information, the agent has advised that the site access has been designed to permit entry of equivalent sized vehicles that can currently access the former playground area. The neighbouring resident will have a right of access and space has been provided for turning of delivery vehicles within the site. A paved access route is formed along the boundary of the site. This will be ramped and stepped as required in order to comply with current building regulations in order to negotiate the change in level from the rear access to the proposed new site levels. Access path will have appropriate railings and handrails to suit building regulation requirements. The path will not be gated at the bottom. The access path will be maintained and kept clear for use by the residents of the cottage where it falls within the boundary of the application site.

Non-material considerations

- 8.20 None

Matters to be secured by Section 75 Agreement

- 8.21 None

9. CONCLUSION

- 9.1 The proposal is considered to accord with the individual development plan policies discussed above and as a result accords with overarching Policy 28 on Sustainable Design.
- 9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued N

Subject to the above, it is recommended that planning permission be **GRANTED** subject to the following conditions and reasons:

1. Prior to the initial occupation of the student accommodation hereby approved a scheme to improve the nearby pedestrian crossing points shall be submitted to and approved in writing by the Planning Authority. The pedestrian crossing points referred to are:
 - (a) the access across the Alexandra Hotel, and
 - (b) the junction of Middle Street and Fassifern Road.

Once approved, the agreed improvements to the pedestrian crossings shall be fully undertaken, at the developer's cost, prior to the initial occupation of the student accommodation.

Reason: In the interests of road and pedestrian safety.

2. Prior to the initial occupation of the student accommodation hereby approved the former site entrance shall be stopped up, the footway extended and the crossing point formed, all in accordance with the details shown on approved external works and site levels drawing, reference number 061407-CUR-00-00-DR-C-90100-P05. In addition to these works a dropped kerb shall be provided on Fassifern Road

opposite the proposed bin store to facilitate waste collection.

Reason: in the interests of road and pedestrian safety.

3. No development shall commence on site until full design details of the proposed new vehicular access to serve the site has been submitted to and approved in writing by the Planning Authority. The details shall include visibility splays of 58m in each direction formed from a point 2.4m back from the edge of the public road, measured along the centreline of the access. Thereafter the access shall be fully formed in accordance with the approved details prior to works commencing on the construction of the student accommodation building, with the final surfacing completed prior to the initial occupation of the student accommodation.

Reason: in the interests of road and pedestrian safety.

4. No development shall commence on the construction of the student accommodation hereby approved until a detailed specification for all proposed external materials and finishes (including trade names and samples where necessary) has been submitted to and approved in writing by the Planning Authority. Thereafter the development shall be undertaken in accordance with the approved specification.

Reason: In the interests of visual amenity.

5. No development shall commence on the construction of the student accommodation hereby approved until a construction method statement has been submitted to and approved in writing by the Planning Authority. This shall include the proposed location of the works compound, the means of screening the site, details of how the site will be developed and mitigation measures in terms of dust and noise for the adjacent premises. Thereafter the development shall be undertaken in accordance with the approved construction method statement for the duration of the construction works.

Reason: In the interests of road and pedestrian safety and visual and residential amenity.

6. No development shall commence on the construction of the student accommodation hereby approved until a construction phase Traffic Management Plan has been submitted to and approved in writing by the Planning Authority. Thereafter the approved Traffic Management Plan shall be implemented in accordance with the approved plan for the duration of construction.

Reason: In the interests of road and pedestrian safety.

7. No development shall commence on the construction of the student accommodation hereby approved until the new footpath required to maintain private pedestrian access rights to the rear of Invernevis Cottage has been fully formed, unless otherwise first agreed in writing by the Planning Authority. For the avoidance of doubt the Construction Traffic Management Plan required under Condition 6 of this permission will include provision for ensuring access to the rear of the Invernevis Cottage during construction.

Reason: In order to ensure the physical provision of an alternative right of pedestrian access for the neighbouring property.

8. Prior to the initial occupation of the student accommodation hereby approved the on-site car parking and bicycle parking shall be fully formed in accordance with the approved dimensioned site plan, drawing number 16058IA-360-00-XX-DR-A-0005 P01, unless otherwise first agreed in writing by the Planning Authority.

Reason: In order to ensure adequate vehicle and cycle parking to serve the development.

9. No development shall commence until a suitably qualified landscape consultant has provided a Tree Planting Plan and maintenance programme for the approval of the planning authority. The Tree Planting Plan shall be implemented in full and to the agreed standard during the first planting season following commencement of development or as otherwise agreed in writing by the planning authority.

Reason: In the interests of visual amenity and in order to compensate for the loss of trees on site as a result of the development.

10. No development shall commence on the construction of the student accommodation hereby approved until a scheme for the provision of on-site public art as part of the development has been submitted to and approved in writing by the Planning Authority. The brief for this public art shall be prepared in accordance with the Council's Public Art Strategy. Thereafter the public art scheme shall be delivered on site in accordance with the approved brief.

Reason: In accordance with the Council's Public Art Strategy for the Highlands.

11. No development shall commence on site until the finalised surface water drainage scheme has been submitted to and approved in writing by the Planning Authority. Thereafter the approved surface water drainage scheme shall be implemented in full prior to the initial occupation of the student accommodation hereby approved.

Reason: In order to minimise the risk of flooding, in accordance with Policy 66 of the Highland-wide Local Development Plan.

12. Notwithstanding the provisions of Class 7 of the Town and Country Planning (Use Classes (Scotland) Order 1997 (as amended, revoked or re-enacted; with or without modification), the occupancy of the accommodation hereby granted planning permission shall be restricted to students undertaking further and/or higher education only and for no other purpose, without the prior written permission of the Planning Authority.

Reason: In accordance with the use applied for in order to ensure any alternative occupation of the building under Class 7 can be adequately serviced, particularly in relation to parking provision/management.

REASON FOR DECISION

The proposals accord with the provisions of the Development Plan and there are no material considerations which would warrant refusal of the application.

TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

FOOTNOTE TO APPLICANT

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Accordance with Approved Plans & Conditions

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Mud & Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

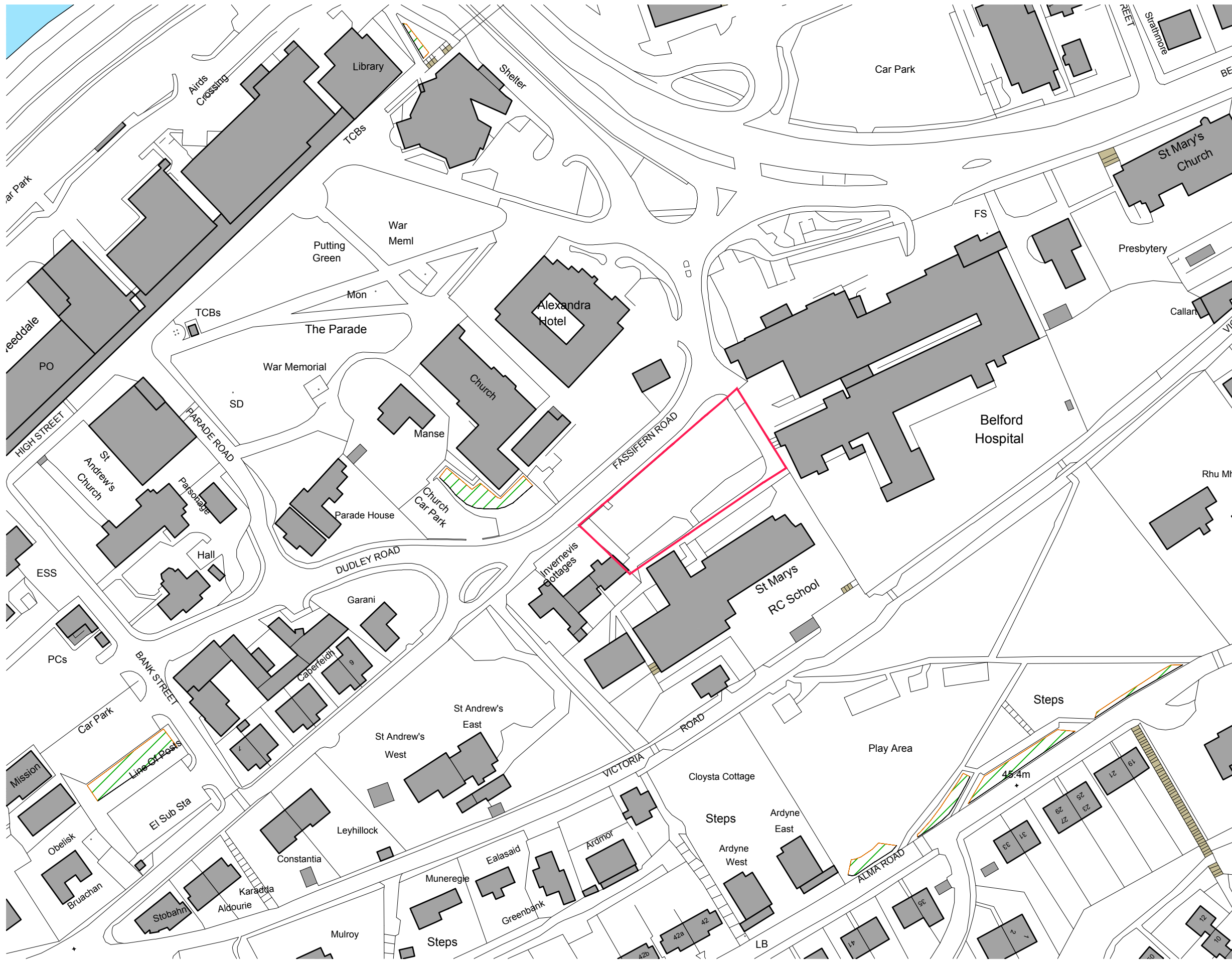
Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Signature: Nicola Drummond
Designation: Area Planning Manager – South/Major Developments
Author: Susan Macmillan (01397 707021)
Background Papers: Documents referred to in report and in case file.

Relevant Plans:

- Plan 1 – Location Plan (16058IA-360-00-XX-DR-A-0001 REV P02)
- Plan 2 – Site Plan (16058IA-360-00-XX-DR-A-0003 REV P04)
- Plan 3 – Elevations (16058IA-360-00-XX-DR-A-0004 REV P01)
- Plan 4 – Elevations (16058IA-360-AB-XX-DR-A-2005 REV P02)
- Plan 5 – Ground Floor Plan (16058IA-360-AB-GF-DR-A-2001 REV P03)
- Plan 6 – First Floor Plan (16058IA-360-AB-01-DR-A-2002 REV P03)
- Plan 7 – Second Floor Plan (16058IA-360-AB-02-DR-A-2003 REV P03)
- Plan 8 – Visibility Splay Plan (061407-CUR-00-XX-DR-TP-06001 REV P02)
- Plan 9 – Drainage Layout (061407-CUR-00-XX-DR-C-92001 REV P04)



All levels and dimensions to be checked on site prior to construction / fabrication; report discrepancies immediately. Do not scale dimensions from this drawings. This drawing is copyright protected.

REVISION			
P01 16.01.18	Planning issue	SG	RK
P02 02.01.18	Church extension & car park added	SG	RK

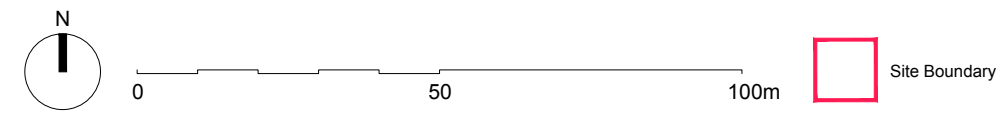
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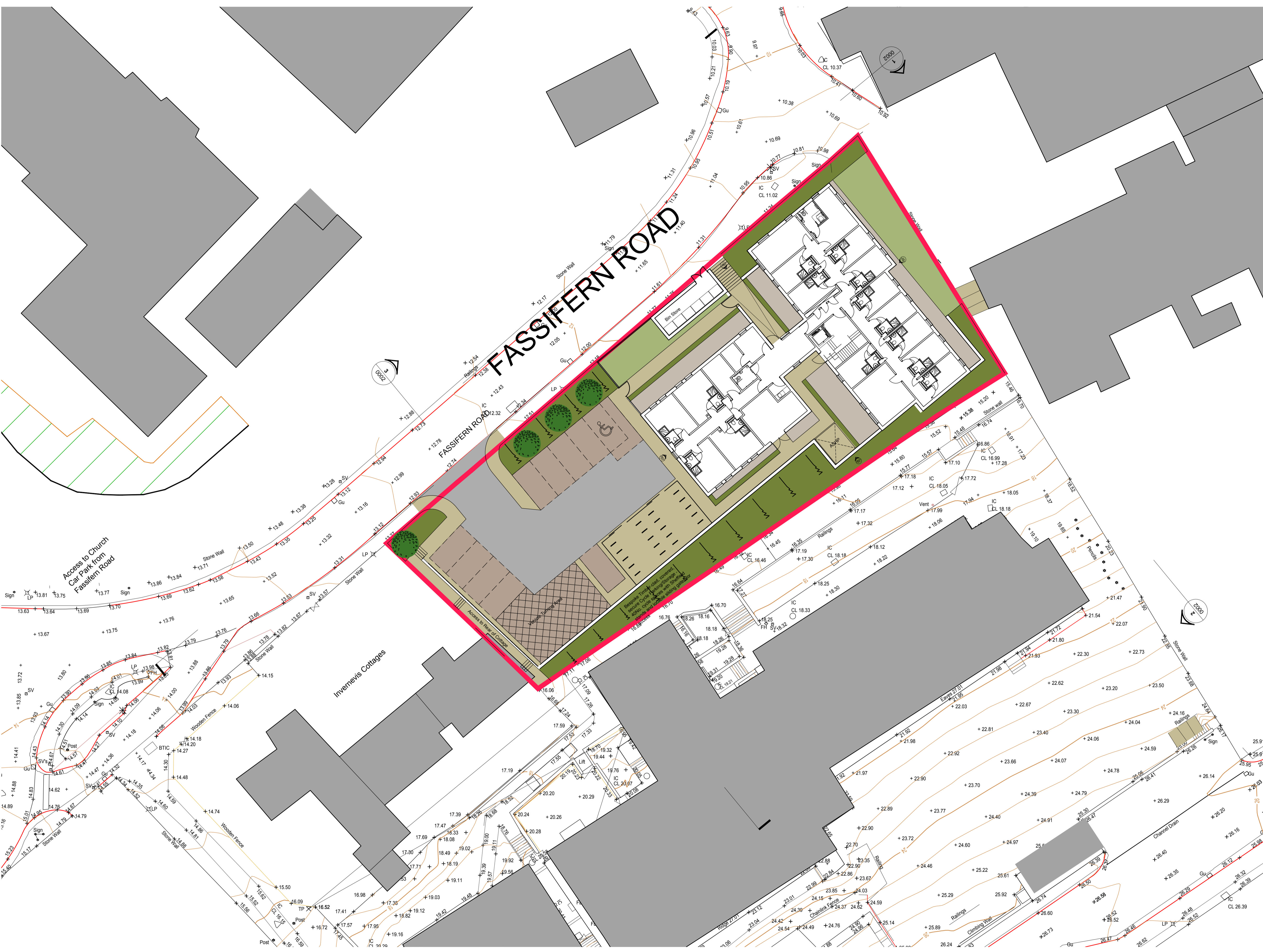
PROJECT
Student Accommodation
Fassifern Road
Fort William

DRAWING
Location Plan

Threesixty Architecture
 16-18 BANK STREET
 INVERNESS
 IV1 1QY
 t 01463 729929
 www.360architecture.com

DRAWING No.	
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REVISION:	STATUS:
P02	PLANNING





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REVISION		SG	RK
P01 15.1.18	Section references added	SG	RK
P02 16.01.18	Planning issue	SG	RK
P03 02.02.18	OS plan updated	SG	RK
P04 01.03.18	Cycle parking area revised	SG	RK

Levels shown are indicative. TBC by engineer
 All landscaping etc shown indicatively. final planting TBC

SCALE	DATE	DRAWN	CHECKED
1:200	05.01.18	SG	RK

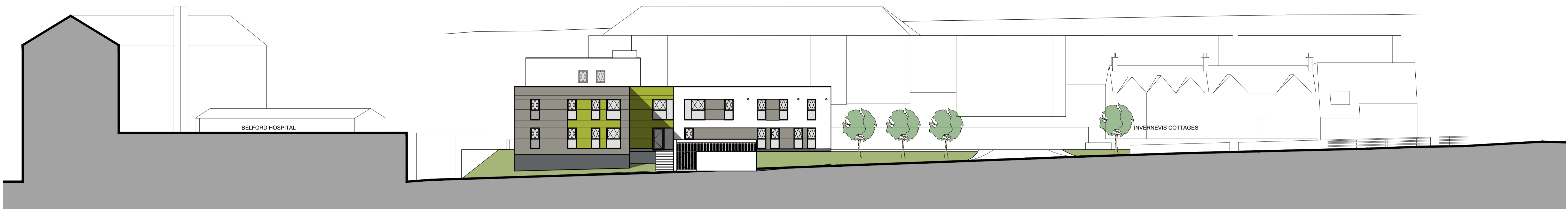
PROJECT
Student Accommodation
Fassifern Road
Fort William
 DRAWING
Site Plan as Proposed

Threesixty
 Architecture
 16-18 BANK STREET
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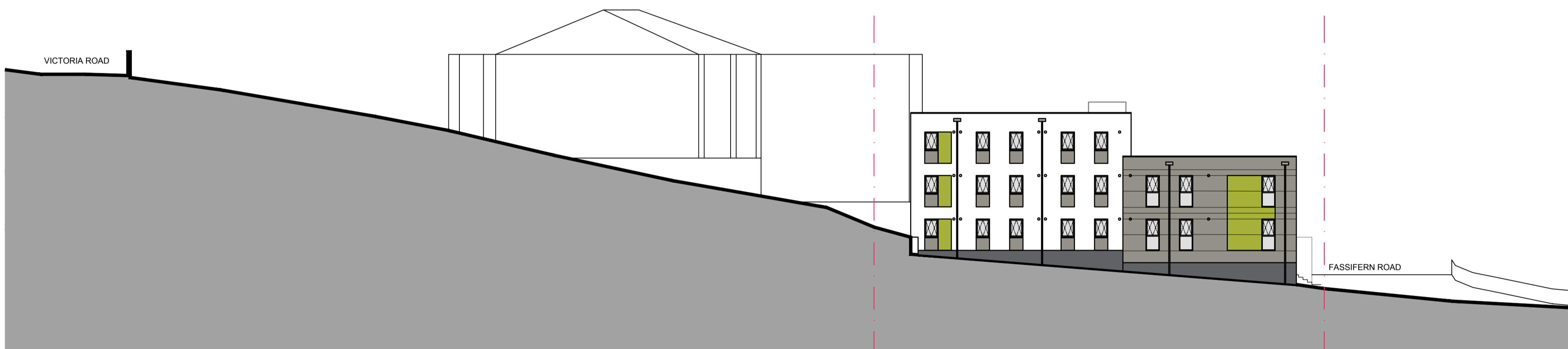
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 Revision Status
P04 PLANNING

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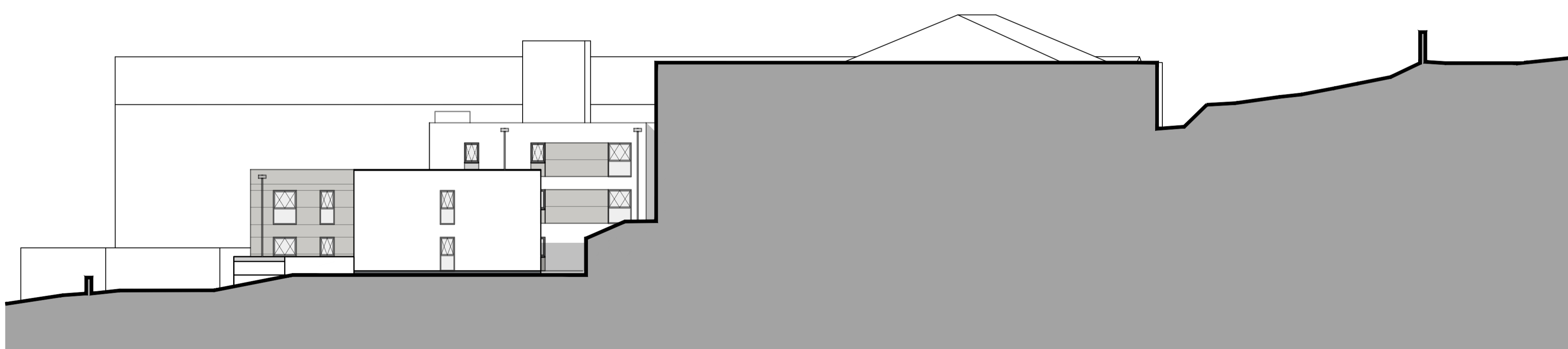
REVISION
 P01 16.01.18 Planning issue SG RK



Site Section 1 (Fassifern Road)

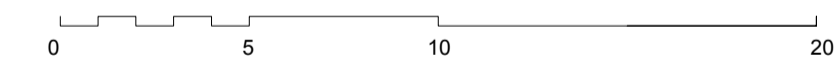


Site Section 2



Site Section 3

Levels shown are indicative, TBC by engineer
 To be read in conjunction with plans for elevation locations
 All landscaping etc shown indicatively, final planting TBC



SCALE	DATE	DRAWN	CHECKED
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PROJECT
Student Accomodation
Fassifearn Road
Fort William

DRAWING
Site Sections/Elevations

Threesixty
 Architecture

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DRAWING No.
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Revision	Status
P01	PLANNING

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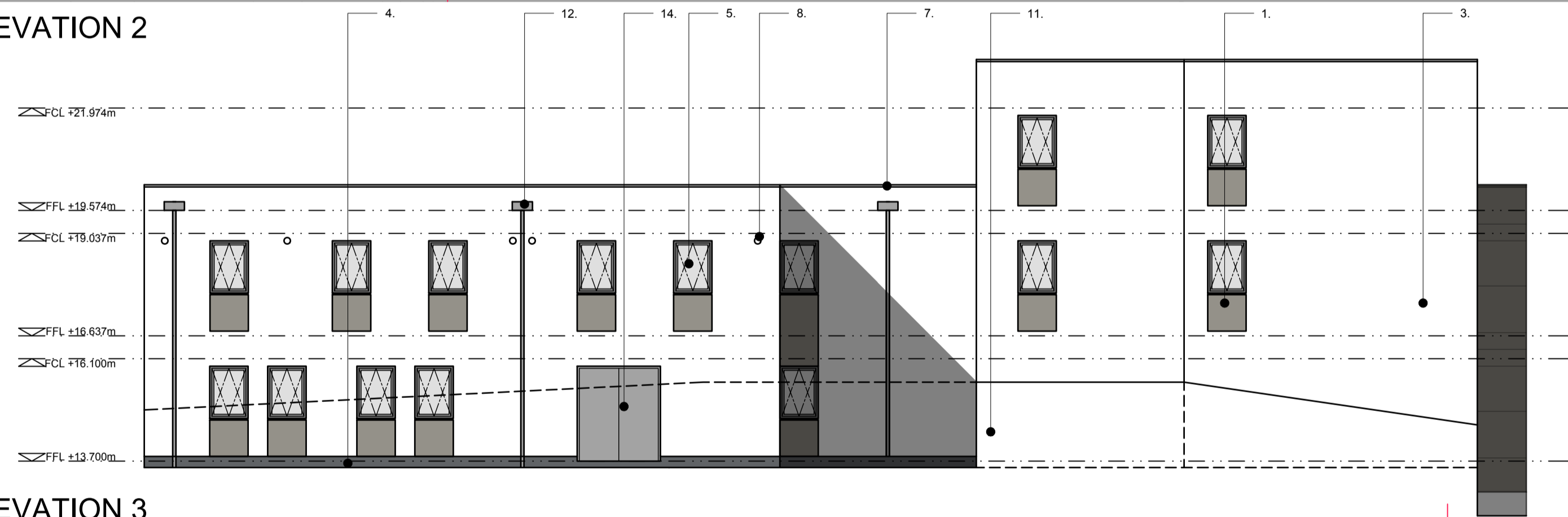
REVISION	Comments	SG	RK
P01 11.01.18	Revised as per planning dept comments	SG	RK
P02 16.01.18	Planning issue	SG	RK



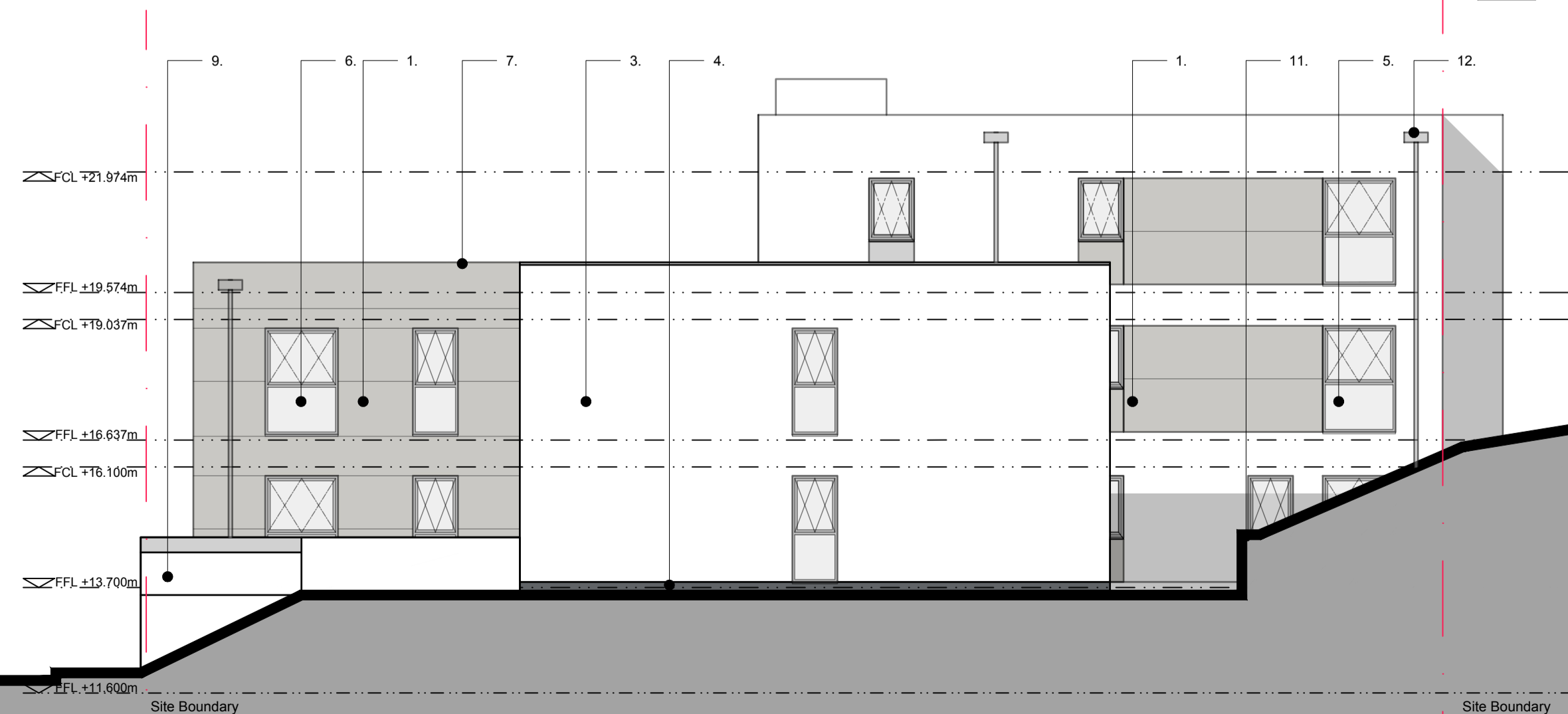
ELEVATION 1: Fassifern Road



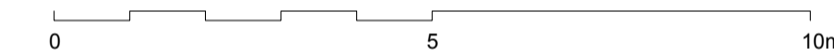
ELEVATION 2



ELEVATION 3



ELEVATION 4



Levels shown are indicative, TBC by engineer

To be read in conjunction with plans for elevation locations

All landscaping etc shown indicatively, final planting TBC

KEY:

1. Grey timber effect rainscreen cladding - Rockpanel or similar
2. Feature colour rainscreen cladding - Rockpanel or similar
3. Textured silicone render - white
4. Smooth render basecourse - dark grey
5. Alu-clad timber windows, fully reversible for cleaning, dark grey aluminium facing externally
6. Opaque spandrel panel - dark grey
7. PPC aluminium flashings - dark grey
8. Circular ventilation extract louvres
9. Bin store with larch fins/slats for ventilation at high level and matching gates
10. Concrete steps to entrance with painted steel handrail/balustrade
11. Retaining wall to engineer's specification
12. uPVC downpipe with hopper - dark grey
13. Glazed entrance door - alu-clad to match windows
14. Steel doorset to plantroom with louvres as required
15. External louvres from laundry - position TBC, colour to match cladding

SCALE	DATE	DRAWN	CHECKED
1:100	11.01.18	SG	RK

PROJECT
Student Accommodation
Fassifern Road
Fort William

DRAWING
Elevations

Threesixty
Architecture

16-18 BANK STREET
 INVERNESS
 IV1 1QY

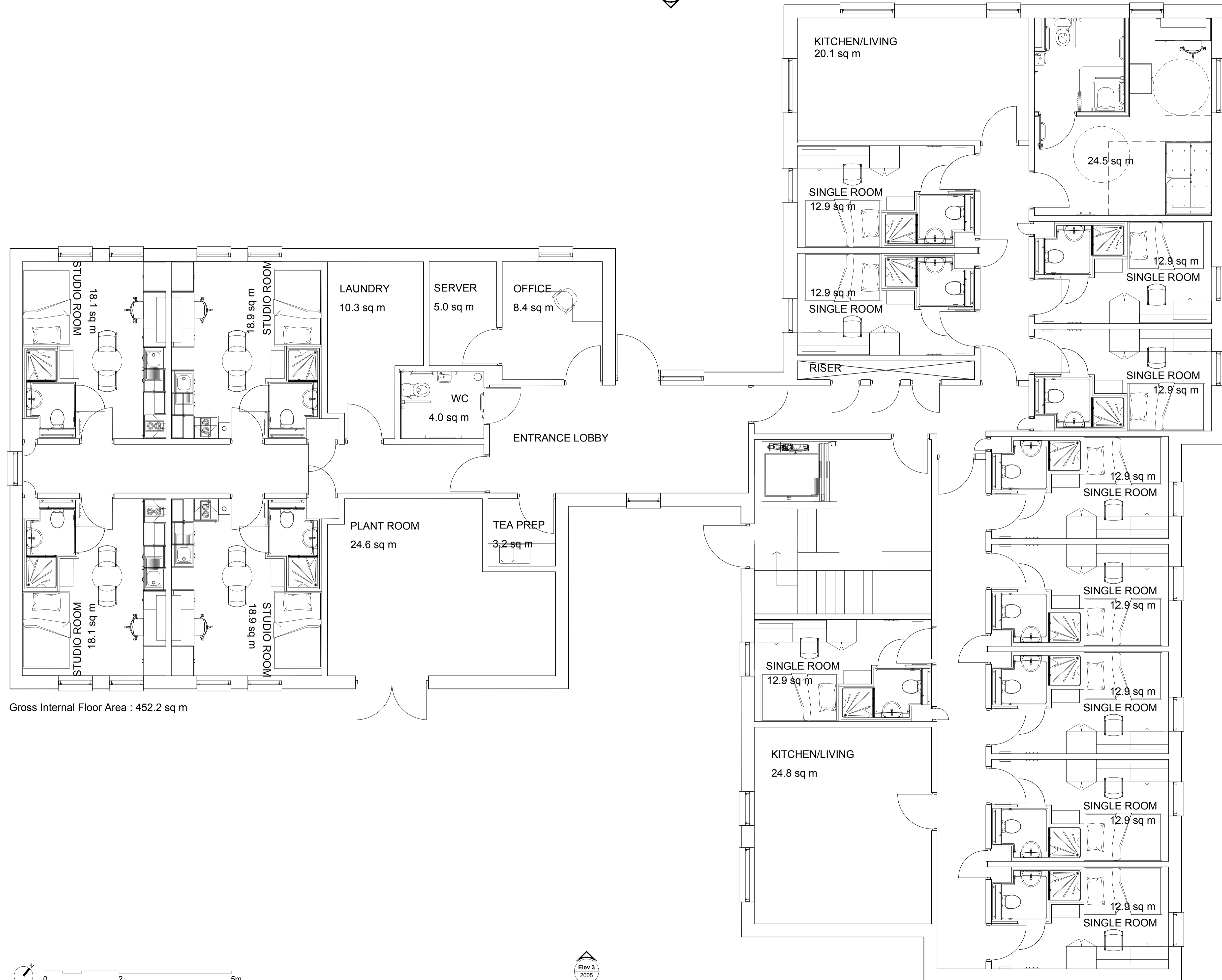
01463 729929
 www.360architecture.com

DRAWING No.
160581A-360-AB-XX-DR-A-2005

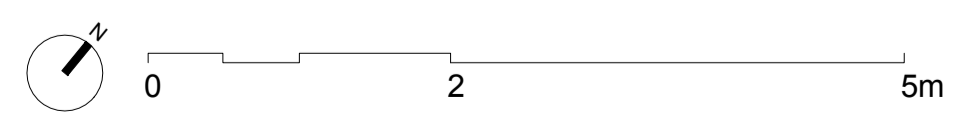
Revision	Status
P02	PLANNING

All levels and dimensions to be checked on site prior to construction / fabrication; report discrepancies immediately. Do not scale dimensions from this drawings. This drawing is copyright protected.

REVISION		SG	RK
P01 05.01.18	Footprint revised as per discussion with planning dept	SG	RK
P02 15.01.18	Elevation references added	SG	RK
P03 16.01.18	Planning issue	SG	RK



Gross Internal Floor Area : 452.2 sq m



Elev 4
2005

Elev 1
2005

Elev 2
2005

Elev 3
2005

SCALE	DATE	DRAWN	CHECKED
1:50	05.01.18	SG	RK

PROJECT
 Student Accommodation
 Fassifern Road
 Fort William

DRAWING
 Ground Floor Plan

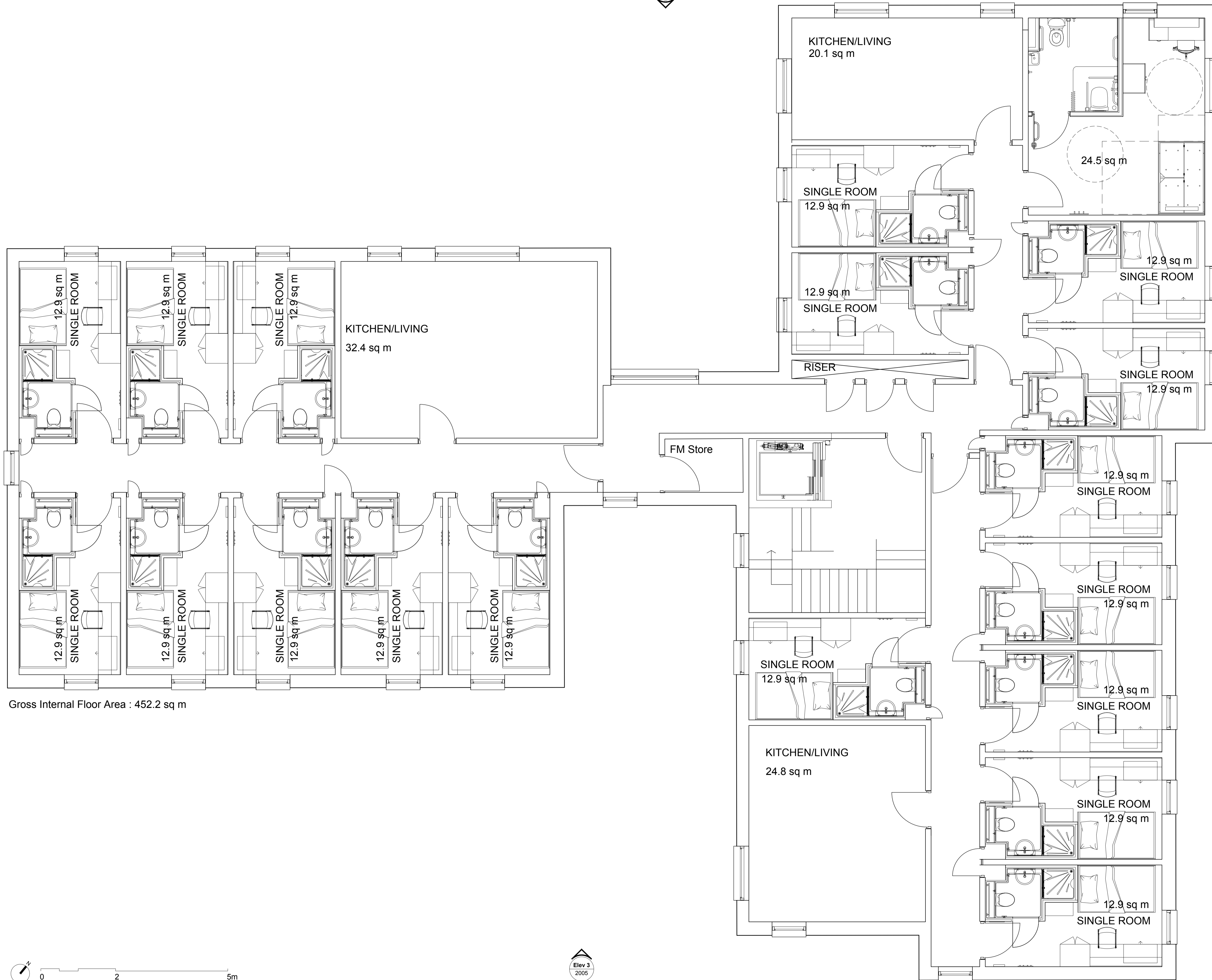
Threesixty Architecture
 16-18 BANK STREET
 INVERNESS
 IV1 1QY
 01463 729929
 www.360architecture.com

DRAWING No.
 160581A-360-AB-GF-DR-A-2001

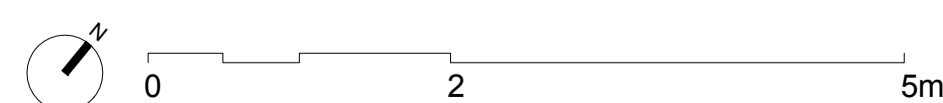
Revision	Status
P03	PLANNING

All levels and dimensions to be checked on site prior to construction / fabrication; report discrepancies immediately. Do not scale dimensions from this drawings. This drawing is copyright protected.

REVISION		SG	RK
P01 05.01.18	Footprint revised as per discussion with planning dept	SG	RK
P02 15.01.18	Elevation references added	SG	RK
P03 16.01.18	Planning issue	SG	RK



Gross Internal Floor Area : 452.2 sq m



SCALE	DATE	DRAWN	CHECKED
1:50	05.01.18	SG	RK

PROJECT
 Student Accommodation
 Fassifern Road
 Fort William

DRAWING
 First Floor Plan

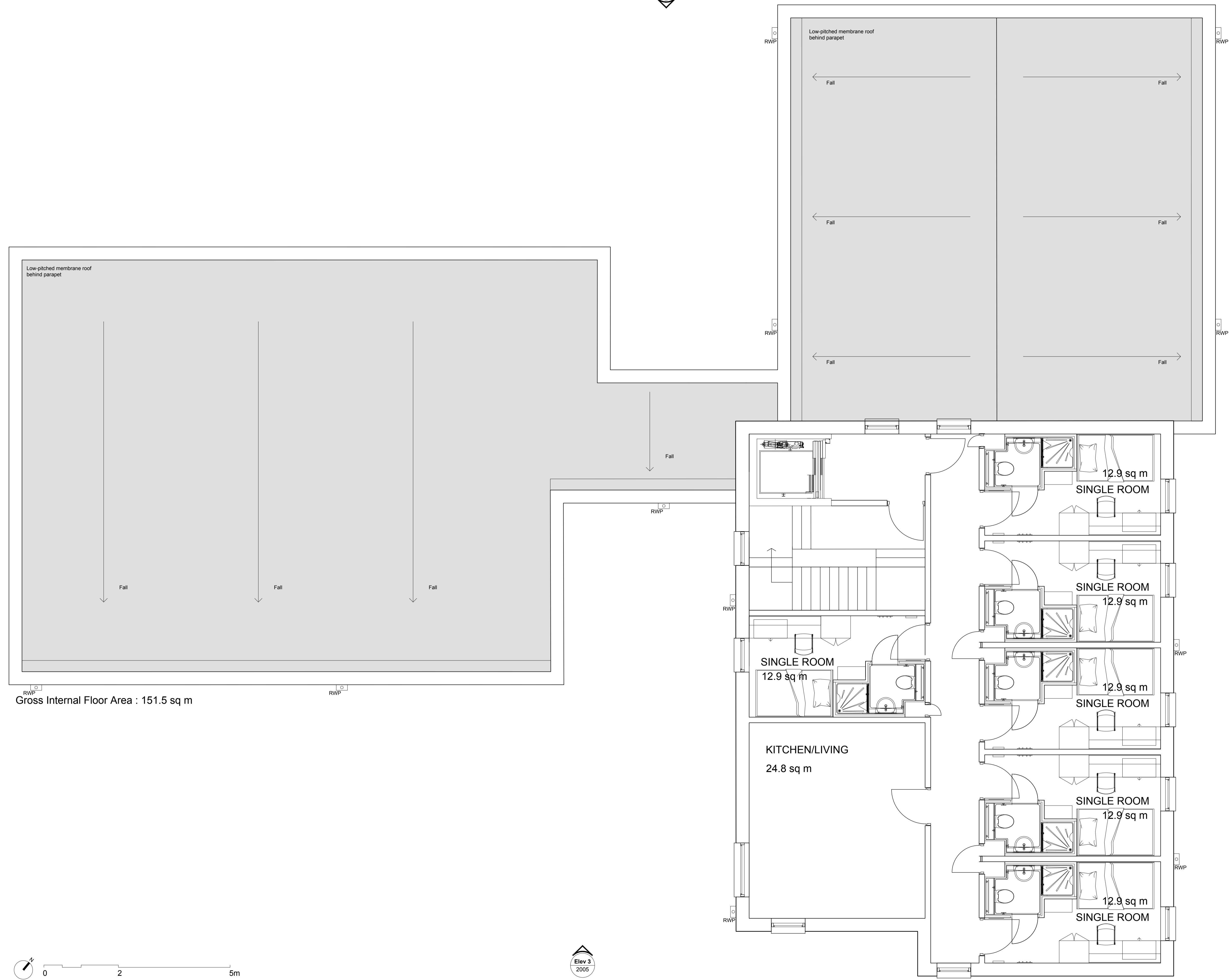
Threesixty Architecture
 16-18 BANK STREET
 INVERNESS
 IV1 1QY
 t 01463 729929
 www.360architecture.com

DRAWING No.
160581A-360-AB-01-DR-A-2002

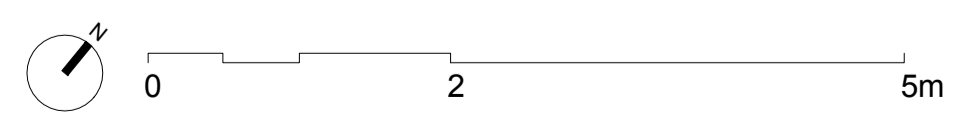
Revision	Status
P03	PLANNING

All levels and dimensions to be checked on site prior to construction / fabrication; report discrepancies immediately. Do not scale dimensions from this drawings. This drawing is copyright protected.

REVISION		SG	RK
P01 05.01.18	Footprint revised as per discussion with planning dept	SG	RK
P02 15.01.18	Elevation references added. Roof detail added to lower roofs	SG	RK
P03 16.01.18	Planning issue	SG	RK



Gross Internal Floor Area : 151.5 sq m



SCALE	DATE	DRAWN	CHECKED
1:50	05.01.18	SG	RK

PROJECT
Student Accommodation
 Fassifern Road
 Fort William

DRAWING
Second Floor Plan

Threesixty Architecture
 16-18 BANK STREET
 INVERNESS
 IV1 1QY
 t 01463 729929
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DRAWING No.	Revision	Status
160581A-360-AB-02-DR-A-2003	P03	PLANNING



GENERAL NOTES:

- Visibility Splay in accordance with Designing Streets for a 30 mph road
- Maximum Achievable Visibility Splay

P02	Visibility Splay amended as per HC comments	21.02.18	JW	GM
P01	First Issue	19.02.18	JW	GM
Rev:	Description:	Date:	By:	Chkd:



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Status: **For Information**

Project: **UHI Fort William**

Dwg Title: **Visibility Splay**

Project No:	Size:	Date:	Drawn By:	Designed By:	Checked By:
061407	A1	19/02/18	JW	JW	GM
Scale:		1:200 @ A1			

Project Code: Originator: Zone: Level: Type: Discipline: Category / Number: Rev:
061407 - CUR - 00 - XX - DR - TP - 06001 -P02

Manhole Schedule Surface Water							
Manhole Ref	Covel Level (m)	Invert Level (m)	Diameter	Depth(m)	Cover Grade	Easting	Northing
SW1	13.500	12.750	600 PPIC	0.750	C250		
SW2	13.500	13.000	1050 PC ring	0.500	C250		
SW3	13.500	12.825	1050 PC ring	0.675	C250		
SW5	13.600	12.650	1050 PC ring	0.950	C250		
SW6 silt trap	13.350	12.450	1050 PC ring	0.900	C250		
SW7 hydrobrake	13.060	10.800	1200 PC ring	2.260	D400		
SW8	12.650	10.600	1200 PC ring	2.050	D400		
SW9 silt trap	11.450	9.800	1200 PC ring	1.650	D400		
ExMH	10.370	9.000	Existing	1.37(approx.)	Existing		
SW10 silt trap	12.600	10.850	600 PPIC	1.750	C250		
SW11 silt trap	11.600	10.950	600 PPIC	0.650	C250		
SW12	12.200	10.900	600 PPIC	1.300	C250		
SW13 silt trap	13.100	12.000	600 PPIC	1.100	C250		

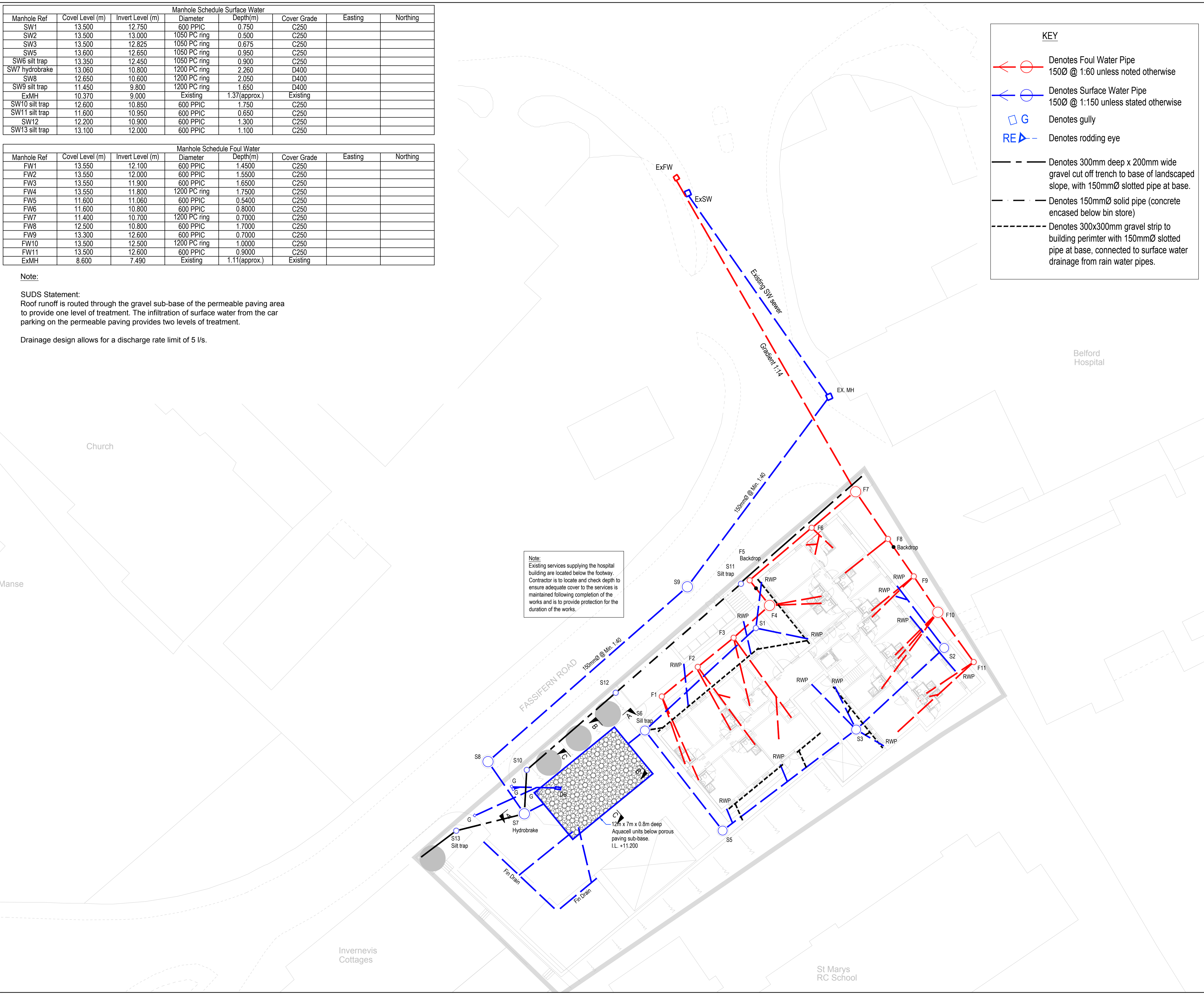
Manhole Schedule Foul Water							
Manhole Ref	Covel Level (m)	Invert Level (m)	Diameter	Depth(m)	Cover Grade	Easting	Northing
FW1	13.550	12.100	600 PPIC	1.4500	C250		
FW2	13.550	12.000	600 PPIC	1.5500	C250		
FW3	13.550	11.900	600 PPIC	1.6500	C250		
FW4	13.550	11.800	1200 PC ring	1.7500	C250		
FW5	11.600	11.060	600 PPIC	0.5400	C250		
FW6	11.600	10.800	600 PPIC	0.8000	C250		
FW7	11.400	10.700	1200 PC ring	0.7000	C250		
FW8	12.500	10.800	600 PPIC	1.7000	C250		
FW9	13.300	12.600	600 PPIC	0.7000	C250		
FW10	13.500	12.500	1200 PC ring	1.0000	C250		
FW11	13.500	12.600	600 PPIC	0.9000	C250		
ExMH	8.600	7.490	Existing	1.11(approx.)	Existing		

Note:

SUDS Statement:
 Roof runoff is routed through the gravel sub-base of the permeable paving area to provide one level of treatment. The infiltration of surface water from the car parking on the permeable paving provides two levels of treatment.

Drainage design allows for a discharge rate limit of 5 l/s.

Note:
 Existing services supplying the hospital building are located below the footway. Contractor is to locate and check depth to ensure adequate cover to the services is maintained following completion of the works and is to provide protection for the duration of the works.



GENERAL NOTES:

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS.
- DO NOT SCALE THIS DRAWING. ANY AMBIGUITIES, OMISSIONS AND ERRORS ON DRAWINGS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY. ALL DIMENSIONS MUST BE CHECKED / VERIFIED ON SITE.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- FOR GENERAL NOTES REFER TO DRAWING 061407-CUR-00-XX-S-DR-00000

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION UNUSUAL SIGNIFICANT HAZARDS

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT. IN ADDITION TO THE HAZARDS/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING:

- CONSTRUCTION**
- Investigation work in live environment and interface with public
 - Construction work near live services
 - Construction works within live (public) environment.

Any construction personnel including operatives intending to construct the designs shown on this drawing should ensure that they have been regularly and thoroughly briefed by the Principal Contractor on all health and safety matters and have had sight of:

- The full Designers and Contractors risk assessments and risk registers.
- The developed construction health and safety plan.
- The Contractors construction method statements.

P4	SITE LAYOUT REVISED	19/01/18	CHG	JAM
P3	BUILDING WARRANT	25/07/17	KW	JAM
P2	ADDITIONAL TAILS TO POP-UPS ADDED	20/02/17	SJC	JAM
P1	FIRST ISSUE	04/10/16	SJC	JAM
Rev:	Description:	Date:	By:	Chkd:



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Status: **BUILDING WARRANT**

Project: **UHI FORT WILLIAM**

Dwg Title: **DRAINAGE LAYOUT**

Project No:	Size:	Date:	Drawn By:	Designed By:	Checked By:
061407	A1	04/10/16	SJC	JAM	JAM
Scale:		1:200			
Project Code:	Originator:	Zone:	Level:	Type:	Discipline:
061407 - CUR - 00 - 00 - DR - C -	92001	-P04			