

Item 4 – EDI/16/18
17/03396/FUL
Plan 1

REV	DESCRIPTION	DATE	BY
C	Planning Application separated into Planning Application of Roads and Planning Application of Boundary Houses	18.07.17	LMS
B	Planning Boundary adjusted to include engineering road areas	21.08.17	LMS
A	Drawing changed to A1 and updated red line boundary to include existing road	02.05.17	LMS

Key Information	
OS X (Easting)	OS Y (Northing)
273680	846000



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PROJECT
Proposed Residential Development
Viewhill, Inverness

CONTENT
Location Plan

DATE	SCALE	URBAN	CHECKED	STATUS
01.05.17	1:1000	LMS		Planning

PROJECT NO.	SET	REFERENCE	PLOTTING	SHEET NO.	REV.
1374	P	000	XX	01	C

Summary of changes to house detailing and layout.

Additional Areas of stone walling highlighted by Blue revision bubbles

Stone Feature walling added to the following house types:
146 Cluny
185 Marr
212 Strathdon

Roof verges revised to show raking soffit appearance.

2no chimneys added to either end of dominant gables of the 212 Strathdon and 300 Gullane. 6 house plots in total

Additional Boundary Wall features addressing Public Open Square and house plots

Seating area & feature walling in open space to tally with plot boundary treatments

Entrance feature wall extended. Viewhill Name Plate in Stone

Landscape planting in green area formalised to provide boundary / edge

Increased use of stone wall enclosures to plot FUE

HT 185 Gables remain as render.

HT 212 Stone feature cladding along with weathered timber to feature gables. Chimneys been added

HT 214 Stone feature cladding along with weathered timber to feature gables.

HT 300 Chimneys have been added to feature gables.



LEGEND

Soft landscaping

- Proposed trees
- Proposed hedge 900mm
- Proposed hedge 1800mm
- Public open space & Landscape areas (factored)
- Private garden space (planted/turfed)
- Proposed amenity shrub planting

UPOS Usable Public Open Space
POS Public Open Space
Refer to landscaping drgs. nos. TBC

Hard landscaping

- Hot rolled asphalt (standard road to be adopted)
- Hot rolled asphalt (Private Road)
- Block pavements - natural (Non-Adoptable Areas - Private Factor)
- Block pavements - charcoal (Non-Adoptable driveways/parking)
- 2.0 / 3.0m wide remote footpath & cycleway (to be adopted)

Boundary treatments

- Type A: 0.9m post and wire fence
- Type B: 1.8m high timber fence
- Type C: 0.9m high masonry wall with 0.9m high fence over
- Type D: 0.9m dyke
- 1.8m high timber ledged and braced gate

Hedging to plot frontages as indicated (refer to separate landscape plan)
Refer to Boundary Treatments Details, on DWA Landscape drgs.

Other amenities

- Rotary drier location
- 0.6x1.8m bin stance (adjacent to driveway/path)
- Refuse bin collection point (Semi-Detached and where Adoptable road area ends)
- Drainage infrastructure area

EXTERNAL FINISHES

External walls
Wetdash K Rend Silicone Roughcast
Colour: 'Sterling White'

Front entrance and utility doors
Front entrance door: Nordan Timber Entrance Door or equivalent
Balcony - Anthracite Grey (RAL 7016)
Rear Utility: Nordan Timber Entrance Door or equivalent
Trafalgar - Anthracite Grey (RAL 7016)

French doors and windows
PVC-U, colour: grey RAL 7016

Sills
Precast concrete low profile slip sills with cast colour: grey
PVC-U slip sill: Colour: grey

Rainwater goods
Furthest PVC-U Guttering, colour: Anthracite grey

Cladding
Vertical Larch Cladding Boards
2 coats clear osmo oil

Fascias, soffits
Painted Timber, colour: Grey

Feature linings
Vertical Larch Cladding Boards
2 coats of osmo oil

Roofs
Generally: Interlocking Concrete Tiles, colour: Smooth Grey
Dormers/monopitch projections: Plain small concrete Tiles, colour: Smooth Grey

Driveways
Marshall Keyblock 80mm pavements, colours as materials key

Boundary Distances
All plots are to be generally a minimum of 1250mm to the party boundary fence and an absolute minimum of 1000mm. Any glazing facing a party boundary is to be a maximum 6 x the distance to the boundary i.e. 6 x 1000mm = A maximum of 6m of glazing. All properties comply with the above.

Privacy - Plots have a minimum of 18m between the facing windows of habitable rooms.

TOTAL Parking Provision for Development

In Curtilage (Plots 1-16)	On Street (Visitor bays)	Total
44	5	50

Total Provision of Parking for Development

Unit Reference	Unit Name	Unit Type	Total No of Units	Bedrooms	Compliant Parking Distribution			Totals	
					Minimum Parking Spaces Required	Compliant Parking Spaces in Drive	Compliant Parking Spaces in Garage	Total Min No. Required	Total No. Actually Provided within Individual Drives & Garages
83	Affordable	Semi-Detached	4	3	2	2	0	8	8
146	Cluny	Detached House	1	4	2	2	1	3	3
185	Marr	Detached house	3	4	2	2	1	6	9
212	Strathdon	Detached house	2	5	3	2	1	6	6
214	Drumallan	Detached house	2	5	3	2	1	6	6
300	Gullane	Detached house	4	5	3	2	1	12	12
					16			41	44

DEVELOPMENT MIX - 16 Units

Unit Reference	Unit Name	Unit Type	Plot nos.		Accommodation		No. of storeys	Total No. off	Total floor area		
			LH	RH	Bedrooms	Min Parking Spaces			m ²	sq. ft	
83	Affordable	Semi-Detached	13, 15	12, 14	3	2	1.5	4	332	3,574	
146	Cluny	Detached House	16	-	4	3	1.5	1	146	1,572	
185	Marr	Detached House	6	5, 11	4	3	1.5	3	555	5,974	
212	Strathdon	Detached House	4	7	5	3	1.5	2	424	4,564	
214	Drumallan	Detached House	8	3	5	3	1.5	2	428	4,607	
300	Gullane	Detached House	1, 10	2, 9	5	3	1.5	4	1,200	12,917	
								Total	16	3,085	33,207

Item 4 – EDI/16/18
17/03396/FUL
Plan 2

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PROJECT
Proposed Residential Development
Viewhill, Inverness

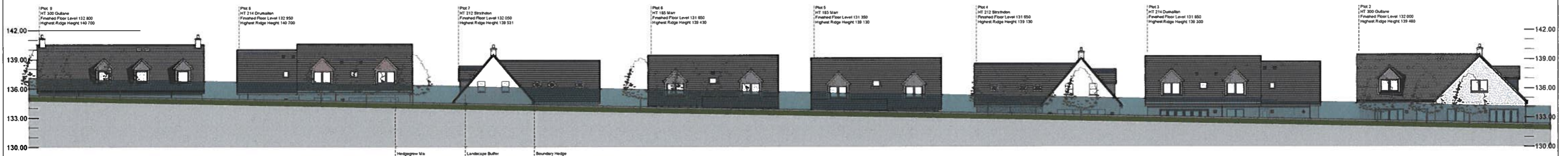
CONTENT
Site Layout Sheet 2 of 2

DATE	SCALE	DRAWN	CHECKED	STATUS
06/10/16	1:500	LMS		Planning

PROJECT NO.	SET	REFERENCE	PLAT NO.	SHEET NO.	REV
1374	PF	000	XX	04	-



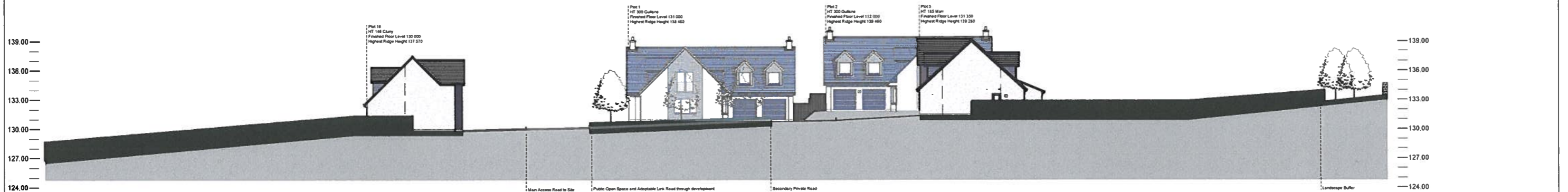
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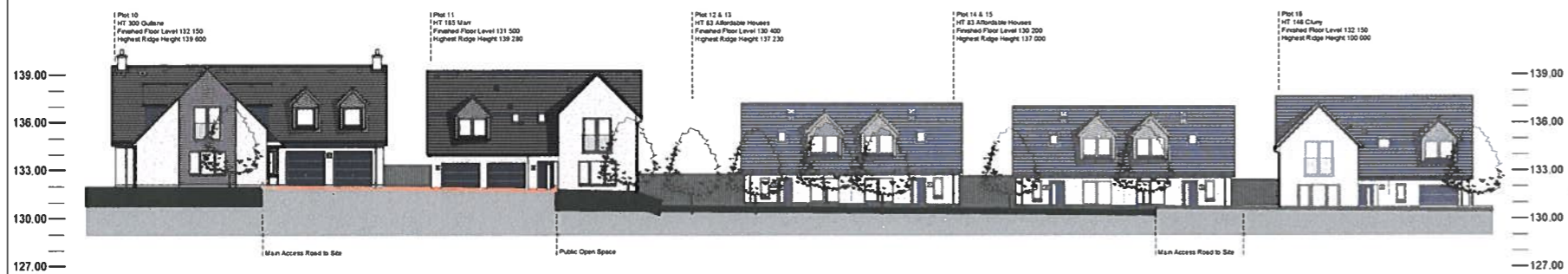
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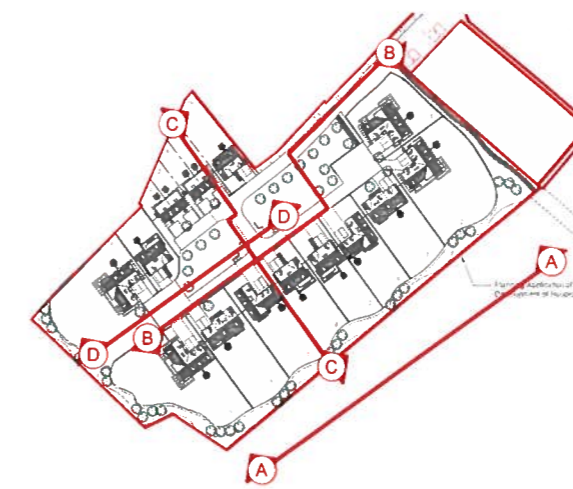
Sectional Elevation BB Scale 1:200



Sectional Elevation CC Scale 1:200



Sectional Elevation DD Scale 1:200



Item 4 – EDI/16/18
17/03396/FUL
Plan 3

REV	DESCRIPTION	DATE	BY
A	Chimneys added to Elevation A-A (Gullane and Strathdon HT) Chimneys corrected on Elevations BB, CC, DD. Section lines added for sections CC & DD	01.03.16	AM

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PROJECT
Proposed Residential Development
Viewhill, Culloden






CONTENT
Site Sectional Elevations

DATE	SCALE	DRAWN	CHECKED	STATUS	
20.09.16	1:200	LMS		Planning	
PROJECT NO	SET	REFERENCE	PLOT NO	SHEET NO	REV
1374	PP	000	XX	10	-


NOTES:

<p>Main Entrance Door Nordan Timber NTEch Entrance Door Balmoral Anthracite Grey (RAL 7016)</p> 	<p>Rear / Utility Door Nordan Timber NTEch Entrance Door Trafalgar Anthracite Grey (RAL 7016)</p> 	<p>French Doors Timber Patio Doors Anthracite Grey (RAL 7016)</p> 	<p>Main Walls Weldash K-Rend Silicone Roughcast Colour - 'Sterling White' or equal approved</p> 	<p>Timber Cladding and Linings Weathered Vertical Larch Cladding Boards</p> 	<p>Fascias, Soffits Painted Timber Colour: Grey</p>	<p>Main Roofs Natural Slate Roof Tiles Colour: Smooth Grey</p>	<p>Dormers and Canopies Natural Slate Roof Tiles Colour: Smooth Grey</p>
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<p>Rainwater Goods FloPlast PVC-U Guttering Colour: Anthracite Grey</p> 	<p>Garage door Garador Design 100 2136 / 2439 mm high modern style up-and-over door with chrome handle, or similar. Colour: Grey</p> 	<p>Hard Landscaping Marshall Keyblock 80mm concrete block pavours. Charcoal Driveways</p> 	<p>Windows & Cills Timber Windows Anthracite Grey (RAL 7016)</p> 	<p>Boundary Treatments Please refer to boundary treatment plan to see plot specific boundaries and locations of public fencing, walls, hedging and landscaping.</p>	<p>Slab Types Concrete Slabs 600mm x 600MM Colour: Grey</p>	<p>Hard Landscaping Marshall Keyblock 80mm concrete block pavours. Natural On-street Visitor Parking bays and shared Areas</p> 
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Item 4 – EDI/16/18
17/03396/FUL
Plan 4

REV	DESCRIPTION	DATE	BY
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<p>PROJECT Proposed Residential Development, Viewhill, Culoden, Inverness</p>			
<p>CONTENT Materials Elevations & Details</p>			
DATE	SCALE	DRAWN	CHECKED
11.10.2016	1:200	LMS	Planning
PROJECT NO	SET	REFERENCE	PLANT NO
1374	PF	000	XX
SHEET NO	REV		
20	-		

A3

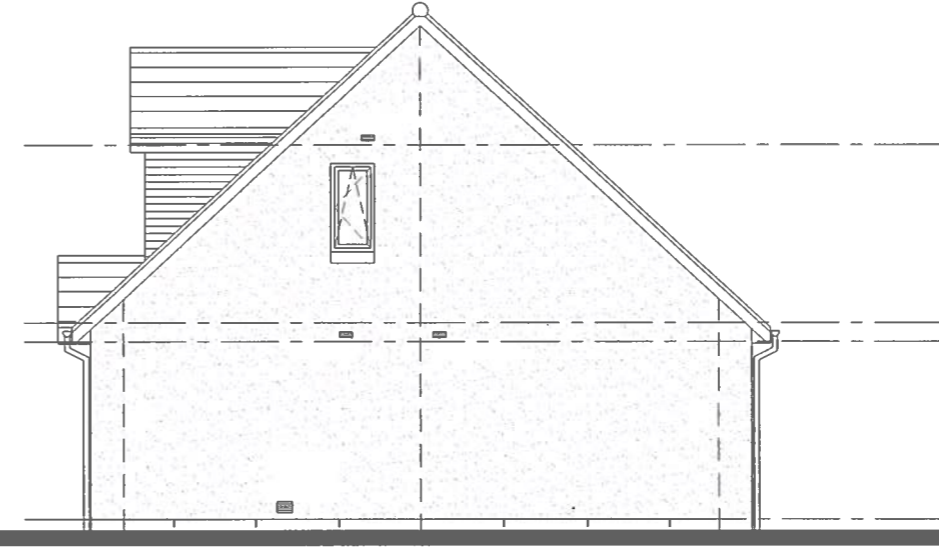
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LSCE HOUSE TYPE (affordable) (4 units)
Amendments:
Pitched porch feature above entrance doors
Adjustment to soffits/roof overhang

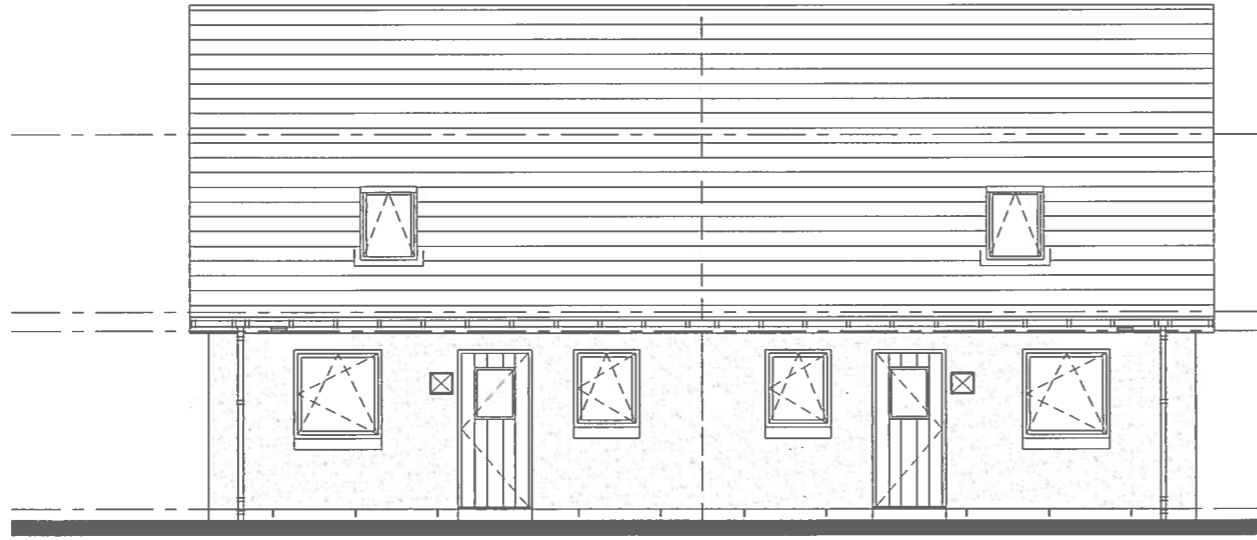
Natural Slate Roof Tiles
Smooth Grey Colour
Wetdash K-Rend Silicone
Roughcast
Colour Sterling white or equal
approved
Timber Windows and doors
Anthracite Grey (RAL 7016)



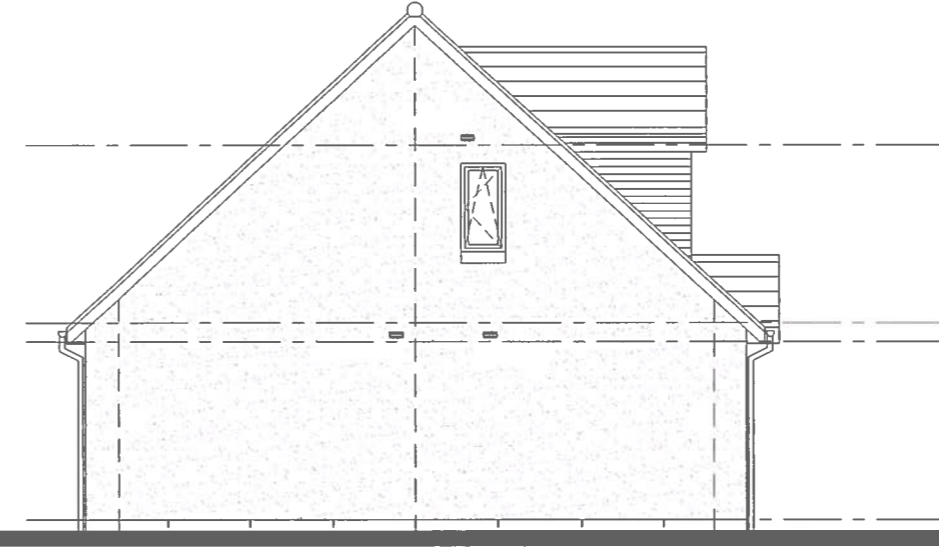
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Item 4 – EDI/16/18
17/03396/FUL
Plan 5



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PROJECT
Proposed Residential Development - Viewhill, Inverness
CONTENT
House Type - LCSE - 83 - Semi-Detached
Proposed Elevations

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B	Porch canopies added above front doors. Central window bars removed from gable windows. Dormer added to side elevation.	21.02.18	AM
A	Dimension of FFL to Ridge height added	10/01/18	LMS
REV.	DESCRIPTION	DATE	BY

DATE	SCALE	DRAWN	CHECKED	STATUS
01.02.17	1:100	LMS		Planning

PROJECT NO.	SET	REFERENCE	PLOT NO.	SHEET NO.	REV.
1374	/ P /	83	/ XX /	02	/ B

A3

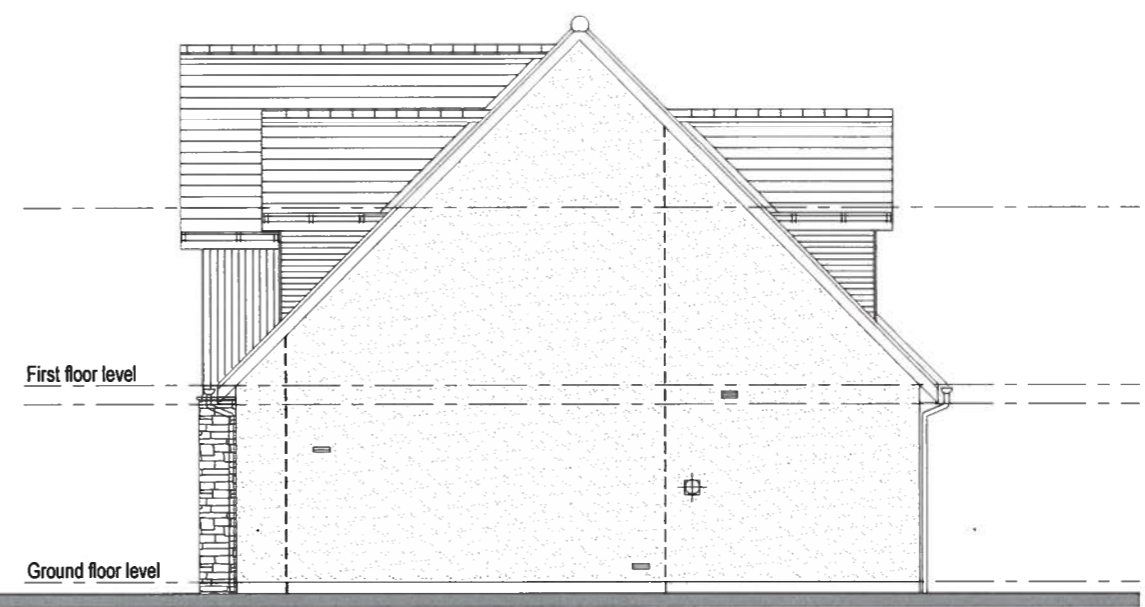
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See Drawing 1374-P-000-XX-10 & 20
for more details on materials.

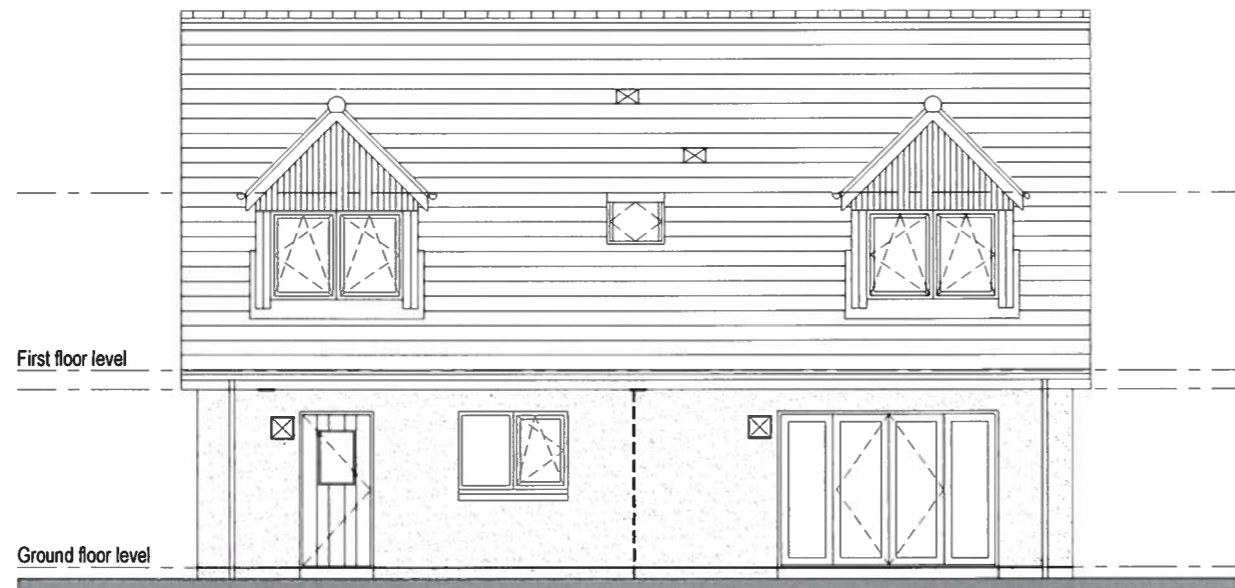
CLUNY HOUSE TYPE (1 unit)
Amendments:
Stone cladding on front elevation
Adjustment to soffits/roof overhang



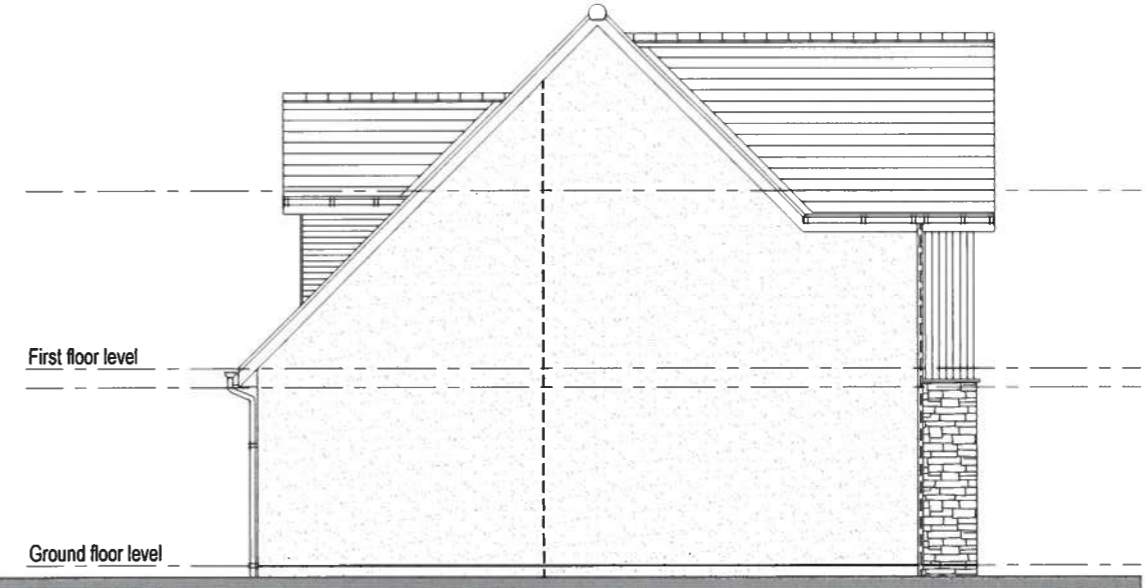
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Item 4 – EDI/16/18
17/03396/FUL
Plan 6



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PROJECT
Proposed Residential Development - Viewhill, Inverness

CONTENT
House Type - Cluny - 146 - Left Hand
Proposed Elevations

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A	New Gable material added to elevation returns	21.02.18	AM
REV.	DESCRIPTION	DATE	BY
DATE	SCALE	DRAWN	CHECKED
01.02.17	1:100	LMS	
STATUS		Planning	
PROJECT NO.	SET	REFERENCE	PLOT NO.
1374	/PP/	146	/ LH /
SHEET NO.		REV.	
02		/ A	

A3

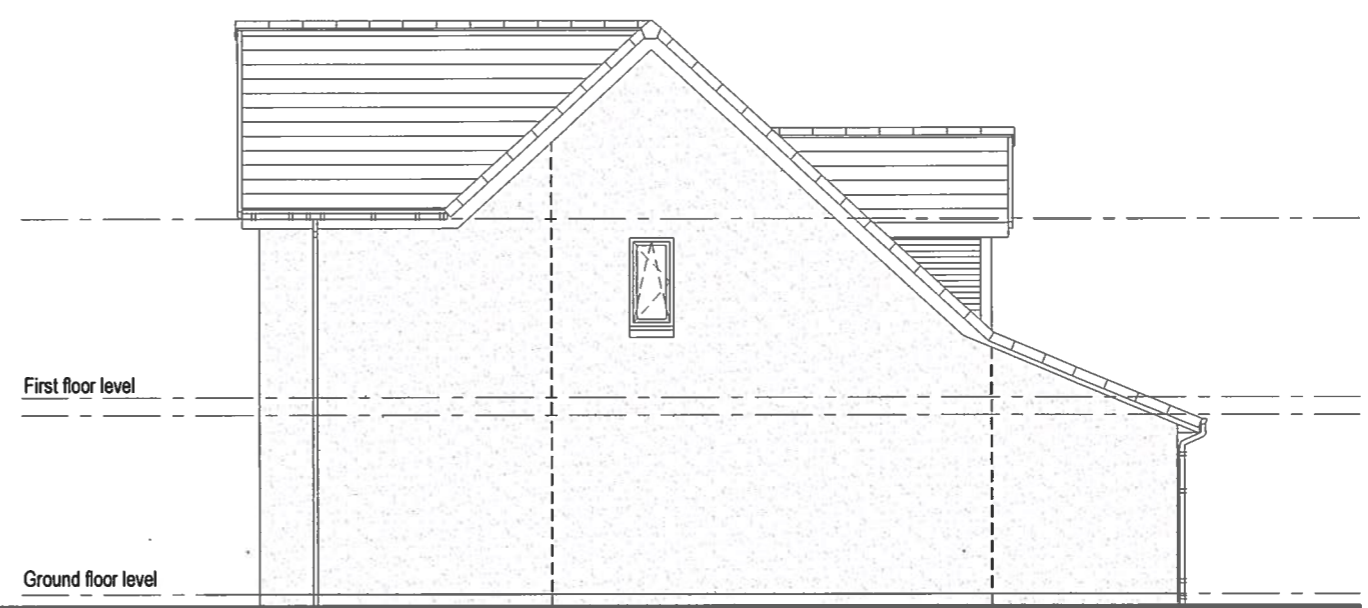
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Scale 1:100

MARR HOUSE TYPE (3 units)
Amendments:
Adjustment to soffits/roof overhang

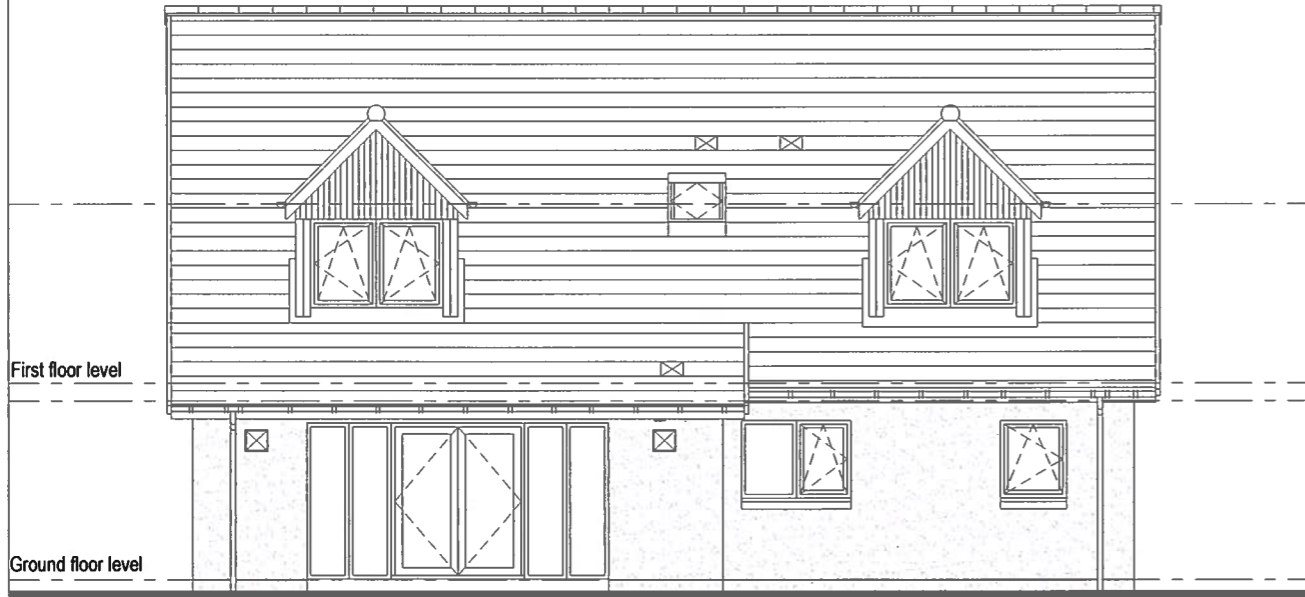


Front Elevation

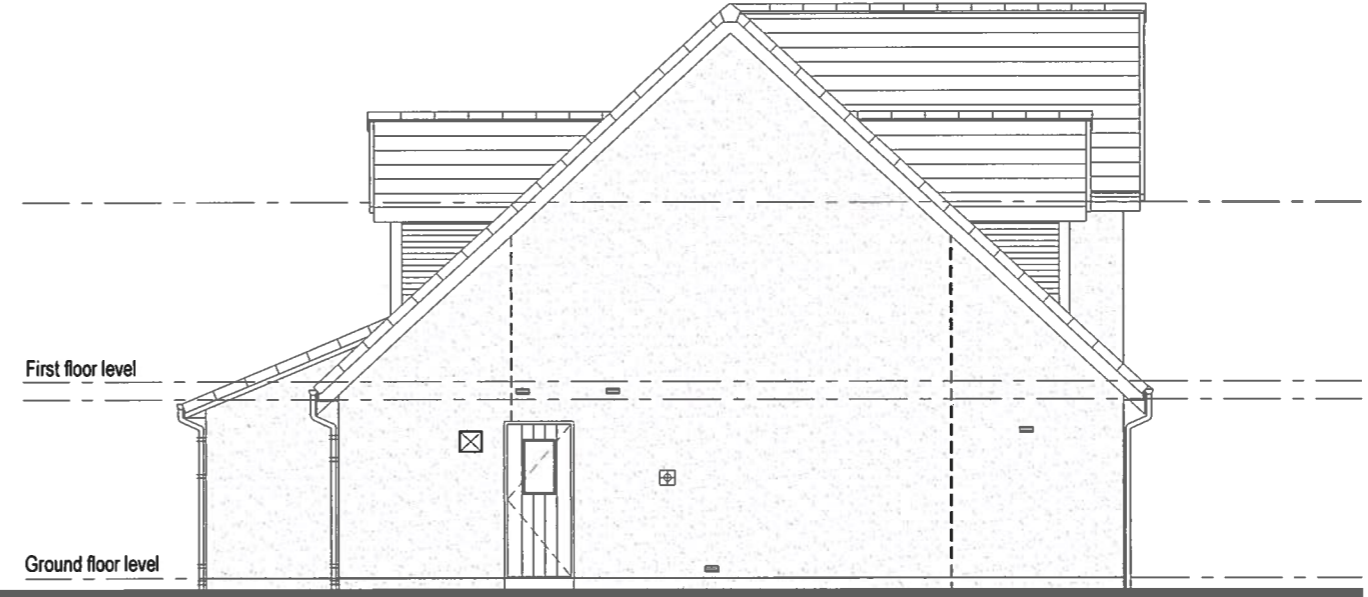
See Drawing 1374-P-000-XX-10 & 20 for more details on materials.



Side Elevation



Rear Elevation



Side Elevation

Item 4 – EDI/16/18
17/03396/FUL
Plan 7



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PROJECT
Proposed Residential Development - Viewhill, Inverness

CONTENT
House Type - Marr 185 - Right Hand
Proposed Elevations

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A	Central window bars removed from rear and side elevation windows. Wall mounted gas box removed from side elevation.	21.02.18	AM
REV.	DESCRIPTION	DATE	BY

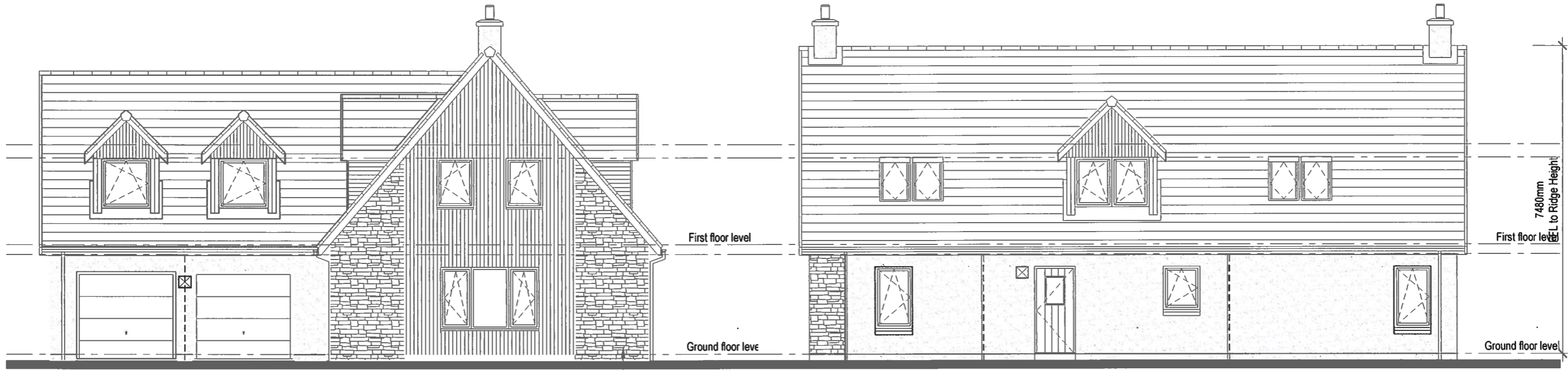
DATE	SCALE	DRAWN	CHECKED	STATUS
01.02.17	1:100	LMS		Planning

PROJECT NO.	SET	REFERENCE	PLOT NO.	SHEET NO.	REV.
1374	/PP/	185	/ RH /	02	/ A

A3

0 1 2 3 4 5 m
Scale 1:100

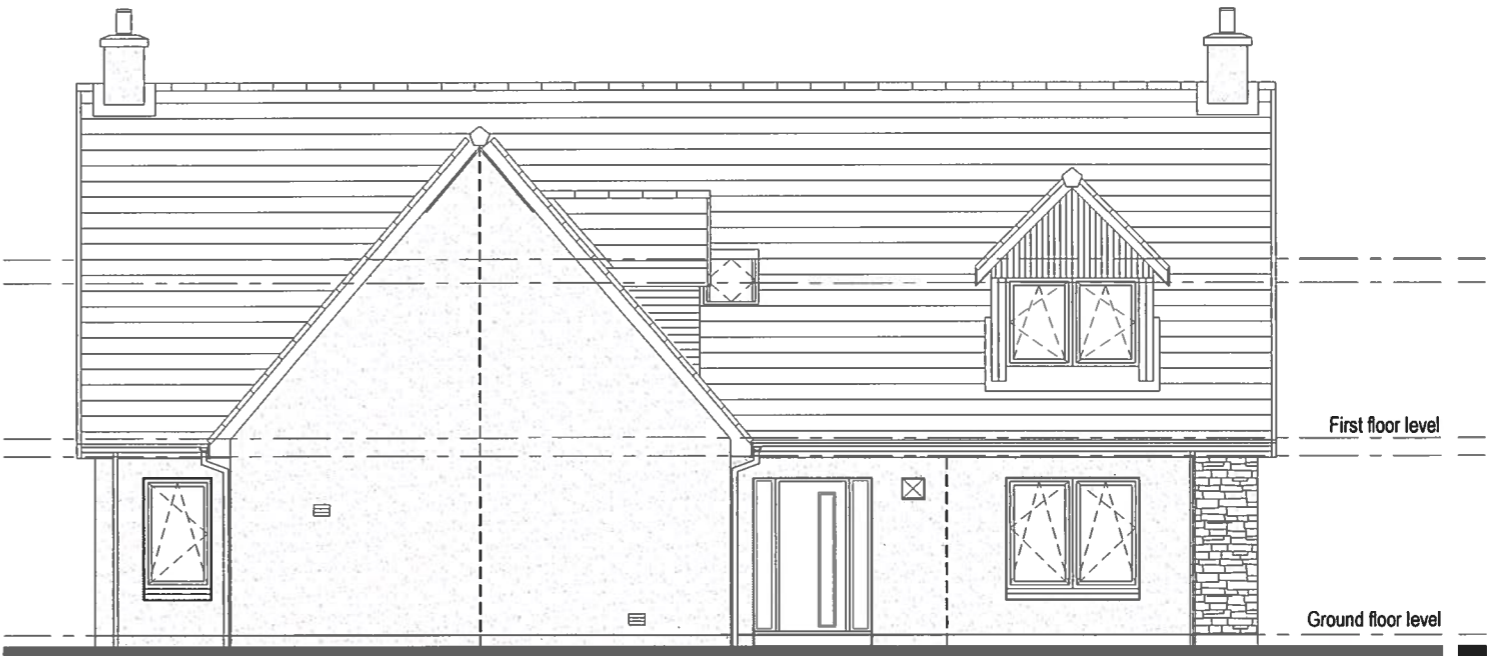
STRATHDON HOUSE TYPE (2 units)
Amendments:
Stone cladding on front elevation
Adjustment to soffits/roof overhang
Addition of chimneys



See Drawing 1374-P-000-XX-10 & 20 for more details on materials.

FRONT ELEVATION
SCALE 1:100

SIDE ELEVATION
SCALE 1:100



REAR ELEVATION
SCALE 1:100

SIDE ELEVATION
SCALE 1:100

Item 4 – EDI/16/18
17/03396/FUL
Plan 8



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PROJECT
Proposed Residential Development - Viewhill, Inverness

CONTENT
House Type 212 - TBC - Right Hand
Proposed Elevations

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B	Drawing handing's corrected to left hand. Stone added to front elevation and gable returns. Central window bars removed from front and rear elevations. feature cross bars removed from Gables. Chimneys added to main gable.	21.02.18	AM
A	Dimension of FFL to Ridge height and materials added	10/01/18	LMS
REV.	DESCRIPTION	DATE	BY

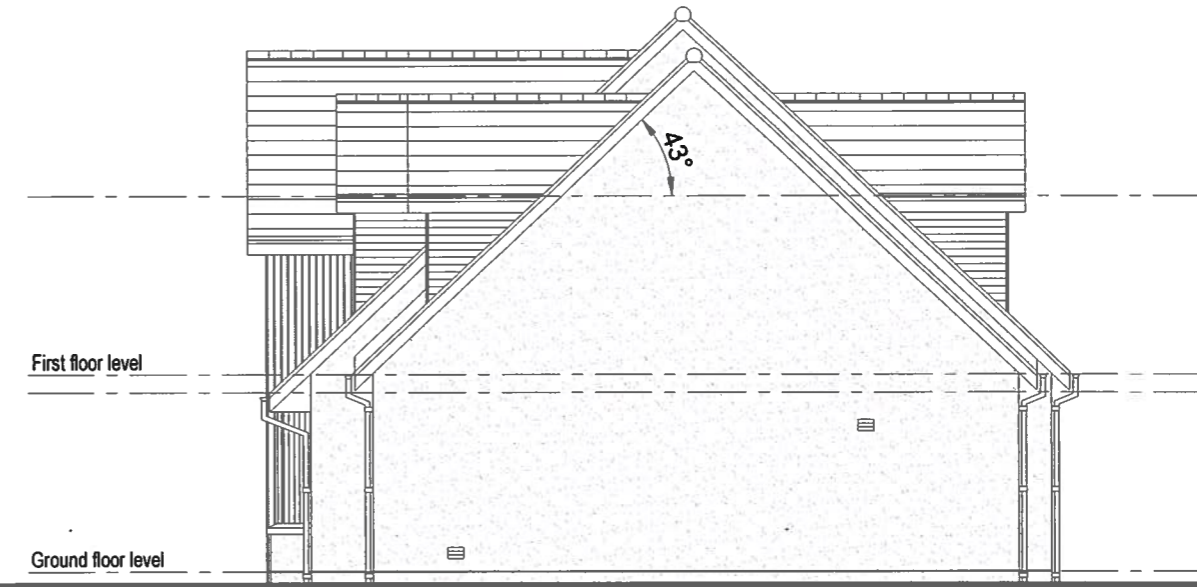
DATE 01.06.17 SCALE 1:100 DRAWN KJO CHECKED STATUS For Approval

PROJECT NO.	SET	REFERENCE	PLOT NO.	SHEET NO.	REV.
1374	/PP/	212 / RH /	02 /	B	

A3

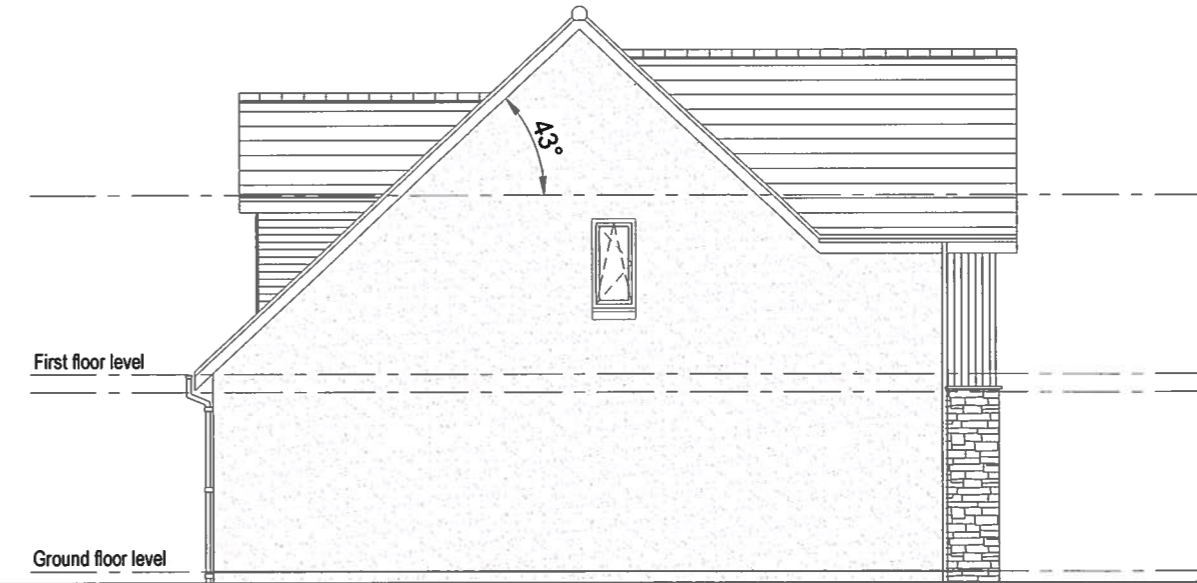
0 1 2 3 4 5 m
Scale 1:100

DRUMALLAN HOUSE TYPE (2 units)
Amendments:
Stone cladding on front elevation
Adjustment to soffits/roof overhang



FRONT ELEVATION
SCALE 1:100

SIDE ELEVATION
SCALE 1:100



REAR ELEVATION
SCALE 1:100

SIDE ELEVATION
SCALE 1:100

Item 4 – EDI/16/18
17/03396/FUL
Plan 9



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PROJECT
Proposed Residential Development - Viewhill, Inverness

CONTENT
House Type - Drumallan 214 (Detached House) Left Hand
Proposed Elevations

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A	New Gable material added to elevation returns. Central window bars removed from gable elevation.	21.02.18	AM
REV.	DESCRIPTION	DATE	BY

DATE 30.03.17 SCALE 1:100 DRAWN LMS CHECKED STATUS Planning

PROJECT NO.	SET	REFERENCE	PLOT NO.	SHEET NO.	REV.
1374	/PP/	214	/ LH /	02	/ A

A3

GULLANE HOUSE TYPE (4 units)
 Amendments:
 Addition of chimneys
 Adjustment to soffits/roof overhang



Item 4 – EDI/16/18
 17/03396/FUL
 Plan 10



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PROJECT
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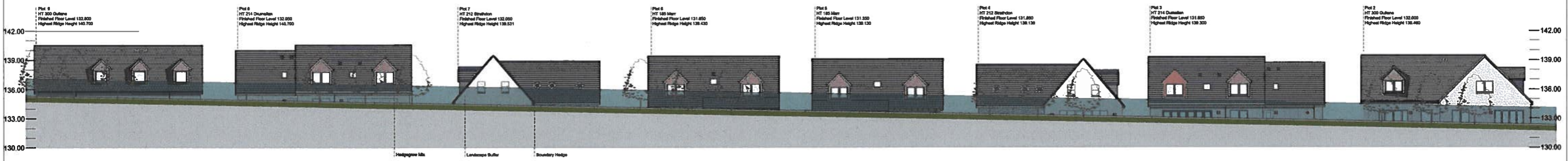
CONTENT
 House Type - Gullane 300 - Left Hand
 Proposed Elevations

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REV.	DESCRIPTION	DATE	BY		
DATE	SCALE	DRAWN	CHECKED		
23.02.2018	1:100	LMS	Planning		
PROJECT NO.	SET	REFERENCE	PLOT NO.	SHEET NO.	REV.
1374	/ P /	300	/ LH /	03	/ -



NOTES



Sectional Elevation AA - Proposed Elevation for MSc Application
Scale 1:200

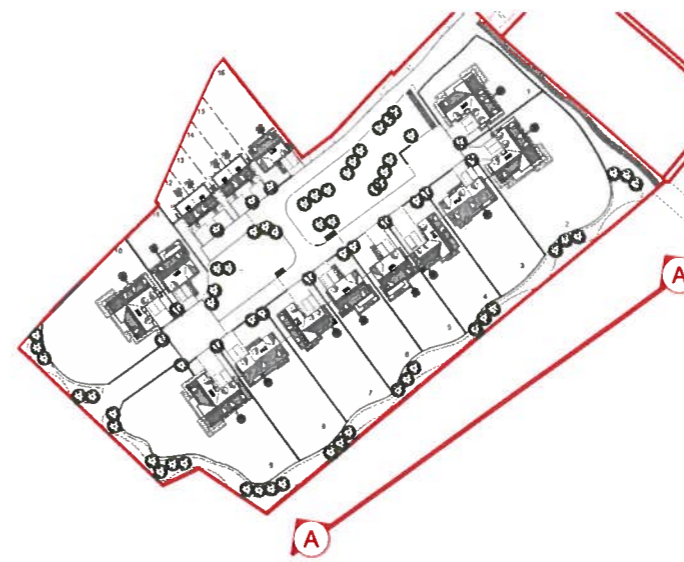


Comparative Sectional Elevation AA - Proposed Elevation with Indicative Details approved under 11/04653/FUL
Scale 1:200



Comparative Sectional Elevation AA - Proposed Elevation with demolished Farm Building
Scale 1:200

Item 4 – EDI/16/18
17/03396/FUL
Plan 11



D	Amendments to site layout following planning comments in reference to 17/03396/FUL.	17.01.18	LMS
C	Engineering levels updated, elevation heights and dimension notes added.	09.01.18	LMS
B	House Type Material Updates	14.08.17	LMS
A	Updated Engineer Road Levels	01.08.17	LMS
REV.	DESCRIPTION	DATE	BY

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PROJECT
Proposed Residential Development
Viewhill, Culloden

CONTENT
Comparative Sectional Elevations of
Proposed with Previous Application and Demolished Farm Buildings

DATE	SCALE	DRAWN	CHECKED	STATUS
20.09.16	1:200	LMS		Planning

PROJECT NO	SET	REFERENCE	PLOT NO	SHEET NO	REV
1374	P	000	XX	11	D

Main Entrance Door
Nordan Timber NTech Entrance Door
Belmoral
Anthracite Grey (RAL 7016)




Rear / Utility Door
Nordan Timber NTech Entrance Door
Trafalgar
Anthracite Grey (RAL 7016)



French Doors
Timber Patio Doors
Anthracite Grey (RAL 7016)



Main Walls
Weldash
K-Rend Silicone Roughcast
Colour - 'Sterling White' or equal approved



Timber Cladding and Linings
Vertical Larch Cladding Boards
2 coats clear Osmo Oil



Fascias, Soffits
Painted Timber
Colour: Grey

Main Roofs
Natural Slate Roof Tiles
Colour: Smooth Grey

Dormers and Canopies
Natural Slate Roof Tiles
Colour: Smooth Grey



Rainwater Goods
FloPlast PVC-U Guttering
Colour: Anthracite Grey




Garage door
Garador Design 100
2136 / 2439 mm high modern style up-and-over door with chrome handle, or similar.
Colour: Grey



Hard Landscaping
Marshall Keyblock 80mm concrete block pavours.
Charcoal Driveways




Windows & Cills
Timber Windows
Anthracite Grey (RAL 7016)



Boundary Treatments
Please refer to boundary treatment plan to see plot specific boundaries and locations of public fencing, walls, hedging and landscaping.

Slab Types
Concrete Slabs 600mm x 600MM
Colour: Grey

Hard Landscaping
Marshall Keyblock 80mm concrete block pavours.
Natural On-street Visitor Parking bays and shared Areas



Balcony
TBC

D	Amendments to site layout following planning comments in reference to 17/03396/FUL	17.01.18	LMS
C	Material Notes for windows and roof tiles amended	08.01.18	LMS
B	Annotation notes amended for re-submission of two applications	20.07.17	LMS
A	Updated Elevation and Material Treatments	14.06.17	LMS
REV.	DESCRIPTION	DATE	BY

KIRKWOOD HOMES
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PROJECT
Proposed Residential Development,
Viewhill, Culloden, Inverness

CONTENT
Materials Elevations & Details

DATE	SCALE	DRAWN	CHECKED	STATUS	
11.10.2016	1:200	LMS		Planning	
PROJECT NO	SET	REFERENCE	PLOT NO	SHEET NO	REV
1374	P	000	XX	20	D

Item 4 – EDI/16/18
17/03396/FUL
Plan 12



PLANTING SCHEDULE

CARE SHOULD BE TAKEN TO ENSURE THAT ALL TREES ARE PLANTED A MINIMUM OF 1M AWAY FROM ALL FOOTPATHS AND SERVICE STRIPS.

These plants have been chosen taking into account the recommendations of the RHS Plant Selector. Where possible, plants which are particularly attractive to bees have been used.

PROPOSED TREES

Bp	Betula pendula (Common Birch)	13no
SsSB	Sorbus aucuparia 'Sheenwater Seeding' (Rowan)	6no
SaL	Sorbus aria 'Lutescens' (Whitebeam)	4no
SJR	Sorbus 'Joseph Rock'	6no

All of the above trees to be Standard (10-12cm girth) single short-staked and root balled. Where trees are planted into turf, an area 1m dia, at the base of the tree, should be mounded and kept clear of weeds and grass and other deleterious material.

Ar	Acer rubrum (Red Maple)	10no
BuJ	Betula ulula 'Jaquemontii' (White Birch)	7no
Ce	Castanea sativa (Sweet Chestnut)	8no
Ta	Tilia x euclorea (Lime ash tree)	6no

All of the above trees to be Heavy Standard size (12 to 14cm girth) double short-staked and root balled. Where trees are planted into turf, an area 1m dia, at the base of the tree, should be mounded and kept clear of weeds and grass and other deleterious material.

Pa	Pinus sylvestris	11no
----	------------------	------

All of the above to be root-balled conifers (100-125cm height) double short-staked.

ESCALLONIA HEDGE
Escallonia 'CF Ball' 40 to 60cm 3L 770no
Escallonia hedge is to be planted in one row, evenly spaced at 300mm centres.

NATIVE HEDGE (5135no)
50% Crataegus monogyna 60 to 80cm 1+2 2568no
25% Prunus spinosa (Blackthorn) 60 to 80cm 1+1 1283no
25% Carpinus betulus 60 to 80cm 1+2 1284no

Mixed hedge is to be planted in two alternate rows at 300mm centres either side of a 900mm high post and wire fence.

HEDGEROW MIX (2322no)

35%	Crataegus monogyna (Hawthorn)	60 to 80cm 1+1	812no
15%	Ulex europaeus (Gorse)	80 to 80cm 1+1	348no
15%	Sambucus nigra (Elder)	60 to 80cm 1+1	348no
15%	Corylus avellana (Hazel)	60 to 80cm 1+1	348no
10%	Ilex aquifolium (Holly)	20 to 30cm, Col grown	232no
10%	Prunus spinosa (Blackthorn)	60 to 80cm 1+1	232no

Hedgerow mix is to be planted in groups of 5 to 10 at 2m per m². All unprotected edges are to be enclosed with a 900mm high timber post and 3 wire fence.

PLANTING SPECIFICATION

GRASS MIX

- The grassed area is to be carefully checked to ensure that the soil is appropriate and free from rubble, stones, weeds and other deleterious material. If not appropriate, it should be replaced with quality material or the Landscape Architect should be advised.
(Note: It is the responsibility of the contractor to ensure that he is planting into the correct quality of material)
- Where topsoil is to be added the subsoil should be fully broken up to ensure adequate drainage and layer not less than 150mm deep applied.
- The topsoil should be cultivated to a fine, even silt with no undulations or bumps.
- All grass areas are to be turfed or seeded in accordance with guide-lines set out in BS 4422, Code of Practice for general landscape operations: 1989.
- Front garden areas to be turfed with approved, good quality turves (unless otherwise specified). The turf shall be of loam texture and free from stones over 15mm in any one direction. Open spaces are to be either turfed or seeded, as specified, with an approved proprietary mix applicable to the location.

TREES

- Trees shall be planted at the appropriate season depending on semi-grown or bare-root.
- Tree pits are to be dug not less than 1m cube and not smaller than 250mm deeper than the overall root spread. Care is to be taken to ensure that all sides are permeable and have not been 'polished', and that all pits are free draining with 50mm of washed round pea gravel to the base of the tree pits.
- A pressure-treated timber stake 75 x 75mm shall be used. It shall extend 500mm above the finished soil level, with a proprietary tie set 100mm below the top of the stake.
- One tie shall be used on standard and feathered trees up to 2m high. Two will be required for Heavy and Extra-Heavy Standard trees up to 15cm girth. Above this three will be required unless an underground guying system is specified.
- Backfill for the tree pits is to be 20% Peat-free Compost, Fison's or similar approved.
- The backfill is to be a raised mound at the top with the centre 150mm above the edges. Care is to be taken to ensure that the finished backfill level is at the nursery level on the tree and that level is at the centre of the mound 150mm above the edges of the pit when the tree has been well firmed in.
- On completion of the planting the tree shall be well watered in with not less than 10 gallons of water. Thereafter it should be watered as required following periods of any more than three consecutive hot, dry days, until the tree is fully established.

HEDGES

- Hedge planting should be as for the shrubs, set out above. However, the planting bed should be established by using the line of the hedge as the length. The width will be the planted line of the hedge plus 300mm either side. (ie a single line of hedge will be 600mm wide and a double, 900mm wide).
- After achieving the correct quality topsoil and, with the base broken up, a topsoil is imported, the soil shall be cultivated to ensure a ridge, into which the hedge is planted, set 150mm above the edge of the bed.
- Thereafter all of the above, fertilizer shall be applied and the hedge well watered in.
- After planting the hedge should be trimmed back to an even line, to encourage growth, with the amount of trimming dependent on species.

HEDGEROW MIX

- The planting area shall be initially checked for quality of soil and risk of flooding. If there is a problem with either of these, remedial actions shall be taken.
(Note: It is the responsibility of the contractor to ensure that he is planting into the correct quality of material and not into waterlogged soil)
- The area shall be cultivated either by harrowing to produce a series of ridges and furrows or by 'Sift and Place' to ensure a series of raised mounds.
- The whips shall be placed at the higher point in each case.
- All plants are to be staked and tied, and protected with a 800mm high Tubex Standard tree shelter.
- Each plant is to be supported with a stake driven to a firm base, with a proprietary tie positioned at 500mm above ground, and with the stake a further 100mm above the tie. The tree should be planted ensuring that the stake will be on the windward side of the tree shelter. The tree shelter should then be carefully positioned over the tree, making sure not to damage the lateral branches and ensuring that the releasable ties slide over the stake. It should be pushed into the ground a minimum of 20mm. The thumb release ratchet ties should then be tightened to ensure that the tree shelter is firmly positioned. The tie end should then be tucked into the hole in the tree shelter.

NEW GRASS TURF/SEED

The areas delineated for new turf/seed are approximations for m² calculations.

Areas will be seeded/turfed AFTER the removal of existing deleterious plant and hardscape material, AND AFTER THE installation of new bed configurations as per plan.

Where existing grass to remain has been disturbed and/or damaged through the improvement works, it is the contractor's responsibility to level areas, replace turf and make good to a satisfactory condition.

Where new seeded/turfed areas are to be laid into existing, it is the contractor's responsibility to level ground accordingly and create a seamless blend as far as is practicable.

All seeding and turfing is to be carried out to the specifications set forth below.

MAINTENANCE

The developer will ensure, within the confines that purchasers are responsible for common areas. On completion of the site, a Factor will be appointed who will assist in the establishment of a Residents' Association. The Residents' Association will thereafter ensure that the Factor organises the following maintenance regime:

- Grass:**
- Fine grass cut 16 times per year.
 - All cuttings to be raked and removed from the site.

Shrub:
The objective is to provide a full even cover and prevent overcrowding. To that end the site should be inspected once per year by a suitably qualified horticulturist and the following regime followed:

- The shrub beds shall be kept clear of weeds, either mechanically or by using an approved herbicide.
- Shrubs shall be pruned up to twice per year, in Spring and Autumn depending on the species, to maintain their natural shape and habit. Any damaged, diseased or broken branches should be removed.
- In the first five years all dead and dying shrubs should be replaced by shrubs of similar size and species to those originally planted.
- From the second year beds should be inspected and thinned out where appropriate. Where suitable, these shrubs can be used to fill gaps in the planting area. Otherwise gaps should be infilled with appropriate new plants as for 'a' above.
- After 10 years a systematic programme of replacement should be established.

Trees:
Trees have been chosen for their appropriateness to their individual location. Pruning, other than for health and safety reasons, should not be necessary. They should, however, be inspected by a suitably qualified arboriculturist annually.

- An area 1m diameter at the base of the trees shall be kept clear of weed and grass either mechanically or by using an approved herbicide.
- Tree stakes and ties should be inspected 3 times per year (Autumn, Winter and Spring).
- All dead and diseased branches, or those broken due to malicious action or wind damage should be clearly removed and the scar cleaned up.
- All trees which have been removed or which are found to be dying, severely diseased or damaged will be replaced by trees of similar size and species to those originally planted. These should be replaced as soon as seasonal weather conditions allow.

Hedgerow Mix:
This has been designed to maintain a semi-natural, small-scale woodland cover. As the hedgerow matures it should encourage regeneration and ecological diversity. Pruning should therefore be kept to a minimum.

- Hedgerow is to be thinned once every five years for the first twenty years.
- The ground at the base of the hedgerow shall be kept clear of weeds, either mechanically or by use of an approved herbicide.

Hedge or Escallonia hedge:
The objective is to provide a thick, healthy, impenetrable hedge. Pruning should be undertaken where necessary to achieve a neat and compact finish.

- Hedge is to be pruned back to an even hedge line to encourage thickening twice within the first growing season after planting and twice a year thereafter.

Herbaceous Planting:

- The flowers on the herbaceous plants to be cut back after flowering annually.
- Leaf die back to be removed annually, in March prior to regrowth.
- Plants should be divided every three years to rejuvenate. Additional planting occurring from this can be used elsewhere on site at an agreed location.

Hardscaping:

- Six visits per year to remove weeds from shrub beds and between pavements and other hard standing areas. All weeds are to be removed from the site. Where herbicides are used extreme care should be taken to avoid damage to surrounding grass, avoiding spray drift.

Sheet 2

Sheet 3

Item 4 – EDI/16/18
17/03396/FUL
Plan 13

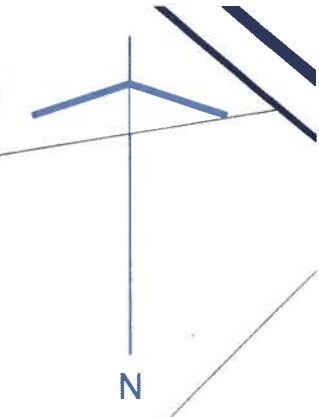
Revision	Description	Date
E	Minor amendments to boundary	JP July 2017
D	Minor amendments to boundary	JP Jun 2017
C	Path removed	AM May 2017
B	Changes to layout	AM May 2017
A	Changes to layout	AM April 2017

Drawing: **LANDSCAPE PROPOSALS (Sheet 1 of 3)**
Job: **VIEWHILL, CULLODEN**
Client: **KIRKWOOD HOMES**
No: **437.14.01e**



Keistra

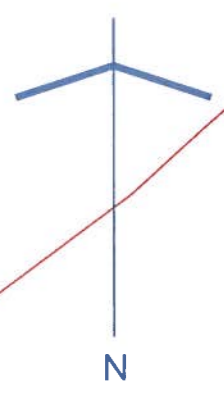
Viewhill



Revision	
E	Minor amendments to boundary JP July 2017
D	Minor amendments to boundary JP Jun 2017
C	Path removed AM May 2017
B	Changes to layout AM May 2017
A	Changes to layout AM April 2017

Drawing:	LANDSCAPE PROPOSALS (Sheet 2 of 3)
Job:	VIEWHILL, CULLODEN
Client:	KIRKWOOD HOMES
No:	437.14.02e
Date:	April 2017
Scale:	1:200
Drawn:	AM
Checked:	JS

Item 4 – EDI/16/18
 17/03396/FUL
 Plan 14



Item 4 – EDI/16/18
 17/03396/FUL
 Plan 15

Revision	Description	Date
E	Minor amendments to boundary	JP 1 July 2017
D	Minor amendments to boundary	JP 1 Jun 2017
C	Path removed	AM May 2017
B	Changes to layout	AM May 2017
A	Changes to layout	AM April 2017

Drawing: **LANDSCAPE PROPOSALS (Sheet 3 of 3)**
 Job: **VIEWHILL, CULLODEN**
 Client: **KIRKWOOD HOMES**
 No: **437.14.03e**
 Date: April 2017 Scale: 1:200 Drawn: AM Checked: JS



Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE WORKS TO BE UNDERTAKEN, THE FOLLOWING RISKS AND INFORMATION ARE IDENTIFIED ON THIS DRAWING. NOTE THE FOLLOWING RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO. 1199000/1002 FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE FOR THE HEALTH AND SAFETY FILE.

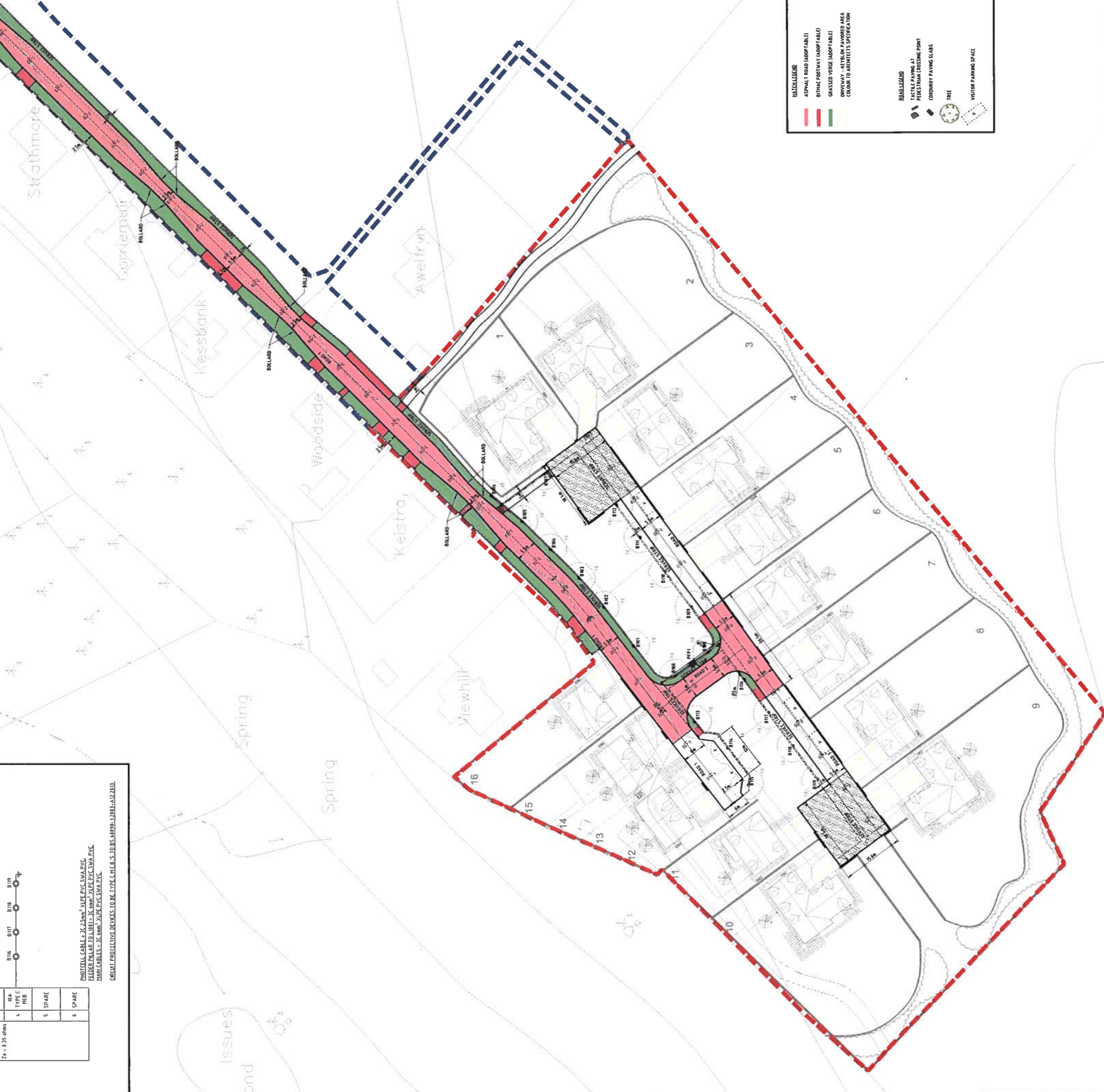
IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

CONSTRUCTION

- WORKING NEAR TO HIGHWAYS
- CONTAMINATION/SOILS GAS - REFER TO DESK STUDY, OR SITE INVESTIGATION REPORT
- EXCAVATIONS
- SEWAGE
- SERVICES - REFER TO SERVICES RECORDS/PLANS
- WORKING AT HEIGHT

DEMOLITION

NOT APPLICABLE.



LEGEND

UNCOLLOURED

- ASPHALT ROAD (ADOPTABLE)
- BITUMIC FOOTWAY (ADOPTABLE)
- GRASSED VERGE (ADOPTABLE)
- OPPCWAY - RETELOCATED AREA COLOUR TO ARCHITECT'S SPECIFICATION

DEVELOPED

- TACTILE PAVING AT PEDESTRIAN CROSSING POINT
- CONCRETE PAVING SLABS
- TREE
- VISITOR PARKING SPACE

This is the plan / drawing / specification referred to in the application.

Signed: _____
 Dated: _____
 For Fairhurst: _____

PRIVATE STREET LIGHTING LEGEND

- PROPOSED PHAROS LED T14 ILLUMINATED BOLLARD (SEE IMAGE FOR REFERENCE)
- PROPOSED 3 CORE 6mm² ALU PVC SWA PVC LIGHTING CABLE COMPLET WITH PURPLE OUTER SHEATH AND HARDBIT TAPE JAS PETS SPECIFICATION WITHIN 100mm UPVC CORRUGATED PARALLEL DUCT
- 10 LUMINANCE LUX (SCOURIE CLASS PA)
- NAL 450mm x 450mm STAIRBOX ACCESS CHAMBER WITH D49 COVER AND FRAME (OR EQUAL APPROVED)

STREET LIGHTING CABLE DIAGRAM (SHEET)

PC	1	2	3	4	5	6
WA	WA	WA	WA	WA	WA	WA
HEB	HEB	HEB	HEB	HEB	HEB	HEB
TYPE C	TYPE C	TYPE C	TYPE C	TYPE C	TYPE C	TYPE C
B100	B101	B102	B103	B104	B105	B106
B107	B108	B109	B110	B111	B112	B113
B114	B115	B116	B117	B118	B119	B120
SPARE	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE

PHOTOCELL CABLE: JK 25mm² XLPE PVC SWA PVC
 FEEDER CABLE: JK 100mm² XLPE PVC SWA PVC
 MAIN CABLES: JK 40mm² XLPE PVC SWA PVC
 CABLE PROTECTIVE DEVICES TO BE TYPE C.H.C.B. S.10.BS 448906-12893-A12.2013

FAIRHURST

88 Queens Road,
 ABERDEEN, AB10 4TG
 Tel: 01224 321 222 Fax: 01224 323 201

Scale at A1: 1:500
 Status: For Approval

Drawn: SA
 Checked: DA
 Approved: LAM

Date: 21/04/17
 Date: 21/04/17

Drawing No: 119000/1002
 Revision: K

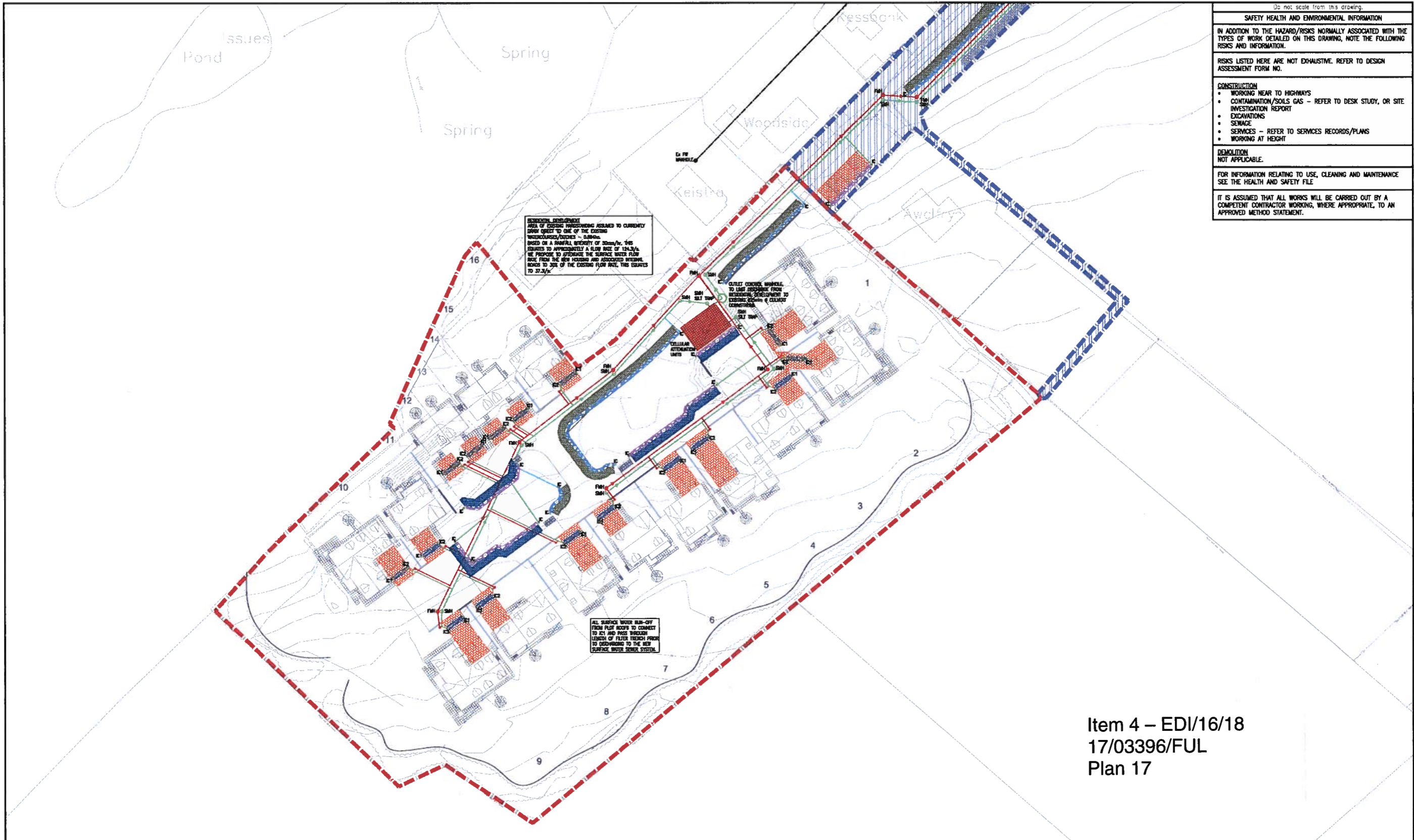
Project Title: **RESIDENTIAL DEVELOPMENT AT VIEWHILL CULLODEN INVERNESS-SHIRE**

Client: **KIRKWOOD HOMES LTD**

Drawing Title: **ROADS LAYOUT SHEET 2 OF 2**

Item 4 - EDI/16/18
 17/03396/FUL
 Plan 16

Rev.	Date	Description	Drawn	Checked	Approved
K	15/12/17	ROAD 3 LAYOUT AND AREA OF ADOPTABLE ROADS AMENDED.	OG	ZLH	LAM
J	27/10/17	VISITOR PARKING SPACES SHOWN IN COURTYARD AREAS. LAY-BY OPPOSITE VIEWHILL REMOVED.	SA	DA	LAM
I	04/10/17	PRIVATE LIGHTING BOLLARDS, CIRCUIT DIAGRAM & LEGEND ADDED. ROADS LAYOUT AMENDED TO INCLUDE 3 VISITOR PARKING BAYS.	OG	SA	ZLH
H	18/07/17	PLANNING BOUNDARIES UPDATED.	DA	SA	LAM
G	06/07/17	SERVICE STRIP PROPOSALS UPDATED.	DA	SA	LAM
F	29/06/17	RED LINE BOUNDARY AMENDED.	SA	ZLH	LAM
E	27/06/17	ROADS LAYOUT AMENDED FOLLOWING MEETING WITH HIGHLAND COUNCIL DATED 22/06/17.	SA	ZLH	LAM
D	19/06/17	PROPOSALS UPDATED IN LINE WITH CURRENT HOUSING LAYOUT.	DA	LAM	LAM



Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION
IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.
RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.
CONSTRUCTION
<ul style="list-style-type: none"> WORKING NEAR TO HIGHWAYS CONTAMINATION/SOILS GAS - REFER TO DESK STUDY, OR SITE INVESTIGATION REPORT EXCAVATIONS SEWAGE SERVICES - REFER TO SERVICES RECORDS/PLANS WORKING AT HEIGHT
DEMOLITION
NOT APPLICABLE.
FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE
IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

RESIDENTIAL DEVELOPMENT AREA OF EXISTING DEVELOPMENT ASSUMED TO CURRENTLY HAVE GROUND TO ONE OF THE EXISTING WORKCOURSES/COUCHES - 0.0m AOD. BASED ON A RAINFALL INTENSITY OF 30mm/hr, THIS RESULTS TO APPROXIMATELY A FLOW RATE OF 124.2 L/s. WE PROPOSE TO ATTENUATE THE SURFACE WATER FLOW RATE FROM THE NEW HOUSING AND ASSOCIATED INFRASTRUCTURE TO 50% OF THE EXISTING FLOW RATE. THIS RESULTS TO 37.2 L/s.

ALL SURFACE WATER RUN-OFF FROM PLOT ROADS TO CONNECT TO ICI AND PASS THROUGH LENGTHS OF FILTER TRENCH PRIOR TO DISCHARGING TO THE NEW SURFACE WATER SEWER SYSTEM.

Item 4 – EDI/16/18
17/03396/FUL
Plan 17

I	16/11/17	PROPOSALS UPDATED FOLLOWING COMMENTS RECEIVED THROUGH PLANNING.	DA	MC	LAM
H	27/10/17	DRAWING UPDATED IN LINE WITH ROADS LAYOUT.	MC	DA	LAM
G	04/10/17	DRAWING UPDATED IN LINE WITH ROADS DRAWING.	MC	DA	LAM
F	16/07/17	PLANNING BOUNDARIES UPDATED.	DA	SA	LAM
E	04/07/17	DRAINAGE PROPOSALS UPDATED FOLLOWING EXCHANGES WITH THE HIGHLAND COUNCIL.	DA	MC	LAM
D	28/06/17	RED LINE BOUNDARY AMENDED.	SA	ZLH	LAM
C	19/06/17	PROPOSALS UPDATED TO SUIT CURRENT HOUSING LAYOUT.	DA	LAM	LAM
Rev.	Date	Description	Drawn	Checked	Approved

<ul style="list-style-type: none"> EX EXISTING SEWER NEW FOUR SEWER NEW SURFACE WATER SEWER NEW ROAD DRAIN NEW PV/SW/NO WHEEL ROAD FILTER STRIP ROAD FILTER DRAIN (1.0m WIDE, 0.5m DEEP) CELLULAR ATTENUATION/STORAGE UNITS POROUS SURFACING PLANT FILTER TRENCH (0.5m x 1.0m DEEP) PRIVATE ROAD FILTER STRIP PRIVATE ROAD FILTER DRAIN (1.0m WIDE, 0.5m DEEP) 	<ul style="list-style-type: none"> PLANNING APPLICATION OF PROPOSED DEVELOPMENT OF HOUSES PLANNING APPLICATION OF PROPOSED ROAD AND DRAINAGE INFRASTRUCTURE
--	---

This is the plan / drawing / specification referred to in the application.

Signed: _____

Dated: _____

For Fairhurst



Project Title: RESIDENTIAL DEVELOPMENT AT VIEWHILL, CULLODEN, INVERNESS-SHIRE

Drawn By: DA
Checked: MC
Date: 21/04/17

Approved: LAM
Date: 21/04/17

Sheet: SHEET 1 OF 2

FAIRHURST

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Scale of A1: 1:500

Status: For Approval

Drawing No: 119000/2000

Revision: 1

NOTES



Boundary treatments

- Type A: 0.9m post and wire fence
 - - - Type B: 1.8m high timber fence
 - ▬▬▬ Type C: 0.9m high masonry wall with 0.9m high fence over
 - ▬▬▬ Type D: 0.9m dyke
 - ▬▬▬ 1.8m high timber ledged and braced gate
 - ▬▬▬ Hedging to plot frontages as indicated (refer to separate landscape plan)
- Refer to Boundary Treatments Details, on DWA Landscape drawings



Item 4 – EDI/16/18
17/03396/FUL
Plan 18

REV.	DESCRIPTION	DATE	BY
A	Site Boundary separated into Planning Application of Roads and Planning Application of Boundary Houses	18 07 17	LMS



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PROJECT
Proposed Residential Development
Viewhill, Culloden

CONTENT
Boundary Treatment Layouts
Sheet 1 of 3

DATE	SCALE	DRAWN	CHECKED	STATUS
10.06.17	1:200	LMS		Planning

PROJECT NO	SET	REFERENCE	PLOT NO	SHEET NO	REV
1374	P	000	XX	30	A