

Agenda Item	6.7
Report No	PLS 046/18

## HIGHLAND COUNCIL

**Committee:** South Planning Applications Committee

**Date:** 12 June 2018

**Report Title:** 17/05059/LBC & 17/05060/FUL: Tulloch Homes Ltd / SRUC  
Drummond Hill, Stratherrick Road, Inverness

**Report by:** Area Planning Manager – South/Major Developments

### **Purpose/Executive Summary**

**Description:** Conversion of Drummond Hill to 6 flats, erection of 12 flats and 20 dwellings. This will include demolition of outbuildings, alterations to boundary wall, landscaping works and infrastructure provision. It also presents the works as an application for listed building consent.

**Ward:** 15 - Inverness Ness-Side

**Development category:** Major Application

**Reason referred to Committee:** Major Application (Site exceeds 2ha).

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

### **Recommendation**

Members are asked to agree the recommendation to **Grant** planning permission and listed building consent as set out in section 11 of the report.

## 1. PROPOSED DEVELOPMENT

- 1.1 The committee is presented with two applications to determine including an application for listed building consent (LBC) and an application for planning permission. Both applications encompass proposals involving the development of a listed building, its associated gatehouse (also listed) and their associated garden grounds. The proposal includes the following key elements: -
- The conversion of Drummond Hill house into 6 flats;
  - Erection of 12 flats and 20 dwellings, including conversion of the Gate Lodge;
  - Demolition of outbuildings, including existing laboratories;
  - Alterations to boundary wall (Stratherrick Road frontage);
  - Associated tree work and landscaping; and
  - Infrastructure (driveway, parking, communal bins, pathways, etc.).
- 1.2 The proposed housing units to be provided in addition to the conversion of the main house (6 flats) and lodge (1 house) will include: -
- 2 Blocks of flats / apartments (3 storeys) at NW and NE corner (12 units).
  - 3 Cottage houses / (1 3/4 - 2 storeys) east of Drummond Hill.
  - 6 Town houses (2 1/2 storeys) west of Drummond Hill.
  - 5 Mews Houses (2 storeys) SE of Drummond Hill.
  - 5 Detached Houses (2 design types) (2 Storeys) SW of Drummond Hill.
- 1.3 The application is to provide additional housing and thereby engages the Council's affordable housing requirement. The applicant seeks to provide this obligation off site but within a development that has already been granted planning permission at Ness-side / Holm Mills.
- 1.4 Furthermore, it proposes that the site will be managed and maintained through private factoring services on the basis that all services will be privately provided, rather than through Council Services. The services to be procured, secured legally by a "deed of conditions" with each property, will for example include: -
- Property Manager;
  - Insurance / Public Liability provisions for common areas;
  - Maintenance and inspection provisions;
  - Weekly Cleaning;
  - Door Entry;
  - Refuse collection
  - Road maintenance
  - Lighting
  - Snow Gritting / Clearance
  - Ground maintenance
  - Elements of building maintenance
  - Maintenance of play areas;
- 1.5 Pre Application Consultation: - The application was subject to a major pre-application meeting / response. This was supportive of the project coming forward but with a substantial package of information and design detailing.

- 1.6 Supporting Information: - In addition to the detailed plans for approval, the planning application presents information on the following matters: -
- Design and Access Statement;
  - Drainage Impact Assessment;
  - Transport Statement;
  - Landscape Specification and Maintenance Report;
  - Factoring and Property Management Report;
  - Habitat Report;
  - Bat Activity & Assessment Report;
  - Trees Survey / Tree Constraint Plan;
  - Demolition Plan.
- 1.7 Supporting Information: - In addition to the detailed plans in respect of the Listed Building works supporting information is provided in respect of: -
- Historical context
  - Drummond Hill - Significant Features
  - Drummond Hill - Roof Condition
  - Gatehouse and Stable - Significant Features
  - Conservation Statement (s)
  - Outhouse Significant Features – Justification for Demolition.
  - Asbestos Survey.
- 1.8 Variations: - Revised plans for: -
- Alterations of listed building(s).
  - Access arrangements.
  - Landscaping.
  - North western Block of Flats – re-orientated.
  - Badger and Red Squirrel survey.

## **2. SITE DESCRIPTION**

- 2.1 The application site is the former Scottish Agricultural College at Drummond Hill, Inverness. The site falls within Inverness's Conservation Area and includes two valued and well preserved listed buildings / associated grounds, valued trees / woodland, outbuildings and boundary walls.
- 2.2 The overall site area extends to approximately 3.7ha and is set within a mature residential neighbourhood comprising both modern and traditional buildings. Access is principally derived from Stratherrick Road, but incorporates an old footpath to Dores Road. In total there are three accesses from Stratherrick Road into this development, the main vehicle entrance, the lodge vehicle entrance and a separate pedestrian entrance. The application site includes valued structural woodland and landscaping, much of which is subject to a Tree Preservation Order.
- 2.3 The site's most recent use was by the Scottish Agriculture College as research and testing laboratories. They continue in use in part under a short lease. These activities have included the storage of fuel and other hazardous materials which raises concern over contamination with the proposed development area. The

traditional buildings on site also have potential for materials including asbestos, the treatment / removal of which requires careful handling.

### 3. PLANNING HISTORY

- |     |                  |  |                 |
|-----|------------------|--|-----------------|
| 3.1 | 29.06.2017       | Proposed conversion of main building to residential, demolition of outbuildings, refurbishment and extension of existing lodge and erection of new dwellings. The overall site area exceeds 2ha. However the number of dwellings will not exceed 50. There will be a high ratio of structural woodland and landscaping forming part of the application site. | 17/02343/PREAPP |
| 3.2 | 2 June 2017      | Proposed conversion of main building to residential, demolition of outhouses, refurbishment and extension of lodge house and erection of new dwellings   | 17/02387/SCRE   |
| 3.3 | 16 May 2017      | Proposed conversion of main building to residential, demolition of outhouses, refurbishment and extension of lodge house and erection of new dwellings.  | 17/02349/PAN    |
| 3.4 | 7 January 2011   | Change of use of store to retail premises (Class 1) (10/01186/FUL).  | Granted.        |
| 3.5 | 17 December 2007 | Proposed Office Extension – (06/00368/FULIN).  | Refused.        |
| 3.6 | 14 December 2007 | Residential development including associated landscaping, parking and access - (06/00364/OUTIN).   | Refused.        |

### 4. PUBLIC PARTICIPATION

#### 4.1 Advertised: Listed Building / Neighbours

Date Advertised: 17 November 2017

Representation deadline: 18 December 2017

Timeous representations: In respect of Application **17/05060/FUL**  
2 Representations - Not objecting or supporting.

In respect of Application **17/05059/LBC**  
2 Representations, 2 objections.

Late representations: None.



- 4.2 Material considerations raised in respect of 17/05060/FUL are summarised as follows:
- a) Loss of sunlight / day light from flats upon properties on Island Bank Road.
  - b) Concern over the usage of the path to Island Bank Road – privacy.
  - c) Impact on woodland and protected species that use the woodland.
- 4.3 Material considerations raised in respect of 17/05059/FUL are summarised as follows:
- a) Over development of the main house – for example: - too many bedrooms and en-suite bathrooms subdividing main rooms.
  - b) Loss of character arising from re-development of Lodge building.
  - c) Potting shed should be preserved not demolished.
  - d) Lack of recording of the Lodge building internal features.
- 4.4 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet [www.wam.highland.gov.uk/wam](http://www.wam.highland.gov.uk/wam).

## 5. CONSULTATIONS

- 5.1 **Lochardil and Drummond Community Council** has no objection to the application. It highlights a number of issues that are welcomed including reinstatement of the old path on the woodland bank that links with Island Bank Road and management of the Woodland Tree Preservation Order. Request further mitigation to traffic speeds on Stratherrick Road to assist pedestrian safety / traffic calming.
- 5.2 **Development Plans** has no objection to the application. It highlights compliance with a number of policies within the plan and the need to secure developer contributions in line with current adopted standards.
- 5.3 **Access Officer** has not objected to the application. Requests information on when the public path through the site will be available for use.
- 5.4 **Forestry Officer** has no objection to the application. Request made for conditions to secure a range of landscape provisions within the site, particularly during construction.
- 5.5 **Conservation Officer** has no objections to the applications. The proposal will result in a positive re-use of two listed buildings.
- 5.6 **Transport Planning Team** has no objections to the application. Request for conditions to secure that the entrance and visibility splays are constructed prior to any development commencing within the site; and traffic calming features are agreed with the Roads Authority prior to construction.
- 5.7 **Environmental Health Officer (EHO)** has no objection to the application. Request the issue of construction noise to be addressed.
- 5.8 **Contaminated Land Team** has no objection to the application. Request is made for planning conditions to address potential contamination risks on site and in

respect of asbestos for all building scheduled for demolition.

- 5.9 **Housing Team** has no objection to the application. It is content with affordable housing being provided off site (nearby) at Ness-side, secured by agreement.
- 5.10 **Scottish Water (SW)** has no objection to the application. Advisory note required in respect of Scottish Water assets within the site, which may be the subject to restrictions on proximity of construction. Furthermore any combination of surface water with waste water drainage infrastructure will require significant justification from the customer, and early discussion with SW is advised.
- 5.11 **Scottish Environment Protection Agency (SEPA)** has raised no objection. Its key concern relates to the surface water treatment proposed using sustainable drainage systems (SUDs).
- 5.12 **Scottish Natural Heritage (SNH)** has raised no objection. It requested badger and squirrel surveys', prior to determination.
- 5.13 **Historic Environment Scotland** has not objected to the applications. Its observations recommended a less interventionist approach.

## **6. DEVELOPMENT PLAN POLICY**

6.1 The following policies are relevant to the assessment of the application

### **6.2 Highland Wide Local Development Plan 2012**

- 28 - Sustainable Design
- 29 - Design Quality & Place-making
- 30 - Physical Constraints
- 31 - Developer Contributions
- 32 - Affordable Housing
- 42 - Previously Used Land
- 51 - Trees and Development
- 56 - Travel
- 57 - Natural, Built & Cultural Heritage
- 58 - Protected Species
- 61 - Landscape
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage
- 70 - Waste Management Facilities
- 72 - Pollution
- 73 - Air Quality
- 74 - Green Networks
- 75 - Open Space
- 77 - Public Access

### **6.3 Inner Moray Firth Local Development Plan 2015**

IN 57 mixed use - residential, tourism, business.

## **7. OTHER MATERIAL CONSIDERATIONS**

### **7.1 Highland Council Supplementary Planning Policy Guidance**

- Developer Contributions (March 2013)
- Highland Historic Environment Strategy (Jan 2013)
- Highland's Statutorily Protected Species (March 2013)
- Managing Waste in New Developments (March 2013)
- Open Space in New Residential Developments (Jan 2013)
- Public Art Strategy (March 2013)
- Standards for Archaeological Work (March 2012)
- Sustainable Design Guide (Jan 2013)
- Trees, Woodlands and Development (Jan 2013)

### **7.2 Scottish Government Planning Policy and Guidance**

- **Scottish Planning Policy (SPP)**

Paras 41-46, Development should incorporate all six qualities of successful places: Distinctive; Safe and pleasant; Easy to move around; Welcoming; Adaptable; Resource-efficient.

- **Creating Places (2013)**

The key policy statement on architecture and place, which contains policies and guidance on the importance of architecture and design.

- **Designing Streets (2010)**

The policy statement that puts street design at the centre of placemaking, advocates place before movement and presents policies and guidance on:

- the design of new or existing streets and their construction, adoption and maintenance;
- how the six qualities of successful places relate to pedestrian, cycle and vehicle movement and connections to wider networks for active travel.

## **8. PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 Section 14 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states that, "In considering whether to grant listed building consent for any works, the planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses".

8.3 Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states that with respect of buildings / land in a conservation area, the planning authority shall give "special attention to the desirability of preserving or enhancing the character or appearance of that area."

### Determining Issues

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

### Planning Considerations

- 8.3 The key considerations in this case are:
- a) Compliance with the development plan and other planning policy;
  - b) Scottish planning policy;
  - c) Design and layout, and implications on the listed building;
  - d) Trees, landscaping and open space;
  - e) Access and traffic impacts;
  - f) Water and drainage;
  - g) Ecology;
  - h) Developer contributions;
  - i) Construction and infrastructure;
  - j) Any other material considerations.

### Development plan / other planning policy

- 8.4 The Inner Moray Firth Local Development Plan (IMFLDP) allocates the site for mixed use - residential, tourism, business (IN57). The allocation requires the developer to prepare a satisfactory masterplan / development brief to be agreed with the Council addressing improvement to the Stratherrick Road access; impact on Listed Building and its setting; impact on Tree Preservation Orders (TPO's) and other woodland.
- 8.5 The above elements were discussed with the applicant during a pre-application meeting. Support was given for the submission of an application for the whole site, negating the requirement for a masterplan / development brief. The Development Plan Team is content on the principle of an exclusively residential development of this allocated site for mixed uses.
- 8.6 In addition to the above land allocation provision within the IMFLDP, the general policies of the development plan apply as set out in the Highland-wide Local Development Plan (HwLDP). A key matter is a requirement to judge proposals in terms of their impact upon the natural, built and cultural heritage features identified by Policy 57 of the HwLDP. As an application relating to Category B buildings Policy 57.1 states that "developments are suitable where they can be demonstrated not to have an unacceptable impact on the protected amenity and heritage resource."
- 8.7 Other policies within the HwLDP address a number of good planning practices. They include matters that help with the determination of this application such as design and place-making; developer contributions; trees; surface water management; open space; etc. These matters are all considered within the assessment of material considerations associated with the proposal.
- 8.8 The Development Plan is supplemented by adopted supplementary guidance (SG) which expands on the Council's expectation on key policies. The guidance does not

provide additional policy tests for any application, but it provides guidance over the approach that the Council will use in its assessment of any application. Topics of interests pertaining to this application are as listed earlier in this report, some of which are examined more within the consideration of material considerations.

- 8.9 Provided there are no significant adverse impacts anticipated from the development the application can be supported within the terms of the Development Plan.

#### Scottish Planning Policy (SPP) 2014

- 8.10 The Scottish Government has highlighted within its SPP that planning needs to take a positive approach to enabling high quality development and making efficient use of land to deliver long term benefits for the public whilst protecting and enhancing natural and cultural resources. Its policy highlights the need to create high quality places by design and which demonstrate the six qualities of place making: - distinctive; safe and pleasant; welcoming; adaptable resource efficient and easy to move around. Determination of this application draws upon these matters.

- 8.11 Para's 141 – 144 of SPP also focuses on policy in relation to Listed Buildings and Conservation Areas. The following points are of note: -

- Change to a listed building should be managed to protect its special interest while enabling it to remain in active use. Where planning permission and listed building consent are sought for development to, or affecting, a listed building, special regard must be given to the importance of preserving and enhancing the building, its setting and any features of special architectural or historic interest. The layout, design, materials, scale, siting and use of any development which will affect a listed building or its setting should be appropriate to the character and appearance of the building and setting. Listed buildings should be protected from demolition or other work that would adversely affect it or its setting.
- Proposals for development within conservation areas and proposals outwith which will impact on its appearance, character or setting, should preserve or enhance the character and appearance of the conservation area.

- 8.12 National policy also addresses a range of other important considerations which require to be taken into account in any assessment of this development. It advises the key is to assist the right development in the right places, whilst protecting and enhancing the use of natural resources. Applications are expected to provide sufficient information to enable a full assessment to be made of the likely effects of development together with appropriate control, mitigation and monitoring measures. For example, and relating to this particular project, this would be necessary to ensure protection of retained trees particularly from construction activities. Provided the evidence is in place in line with this advice the application can be supported.

#### Design and Layout

- 8.13 The application seeks to respond to the Council's development plan allocation that advocates a development opportunity at Drummond Hill following the relocation of the Scottish Agricultural College. This recognises the importance of the site incorporating listed buildings; trees / garden grounds / woodland and its importance

with the Inverness Conservation Area. The proposal advocates: -

- Conversion of Drummond Hill House – to enable restoration for residential use (6 apartments).
- Conversion / Upgrade of Gate House – to residential use.
- Demolition of remaining outbuildings, sheds, laboratory and office buildings to allow for redevelopment for housing – (flats / houses).
- With minor amendments retention of the central lawn, rear garden and northern woodland escarpment, including the central tree lined access and gateway entrance.
- Development of the west field and east fields for residential use (houses).

- 8.14 In line with the development plan allocation, the Council's Conservation Officer in general has advised that returning Drummond Hill and its Gate Lodge to residential use is supported in principle. Drummond Hill (house) can for the assessment purposes be split into two sections regarding elements of design significance. The first section is the two storey main house and the second is the adjoining east wing that would once have been the servants' quarters.
- 8.15 The main works of significance are associated with the conversion of the main house to flats both internally and externally. It is not intended to alter the exterior to any great extent other than repair / maintenance. That said the roof will be stripped of its slates to allow repairs and removal of lead and asbestos which will be replaced with modern equivalents. A full schedule of works will be produced once all chimney stacks have been surveyed from scaffold and thereafter work's to be agreed with the Planning Authority. This requirement needs to be secured by condition.
- 8.16 The need for a level access to the main front door has been addressed with the proposal of short ramped sections of a path that are integral to stone steps and the hard landscaping. The path is set forward of the building to allow for soft landscaping in the immediate vicinity of the principal façade. The Council's Conservation Officer has advised that the visual intrusion of the ramp and addition of 'clutter' should be minimised. It is suggested that the proposed planter is unnecessary and serves only to highlight the ramp which it is attempting to disguise. This change can be managed through condition.
- 8.17 The subdivision of the main house is proposed in a manner that will maintain and safeguard many of its key features and removing many of the more recent (office) alterations. Fireplaces will be retained, as will arched doorways, significant decorative plasterwork, timber panelling, the tiled entrance, door features, stairway and its balustrade, etc. The addition of partitions and doorways, plumbing and rewiring is to be undertaken sensitively to safeguard these features. It ensures that the resultant flats will have features which are consistent with modern building standards. For example - allowing good thermal performance and ensuring the building features are well ventilated. Following the submission of the initial plans, amendments have been made to ensure that the new rooms within the flats do not unnecessarily sub-divide the panelled windows. The amendments that now form the application are welcomed.
- 8.18 The Gate Lodge and stable has been vacant for some time and much of its fabric has suffered from damp, wet rot and woodworm. Internally there are no features of

great significance. Externally the house and stable present as single storey, of stone construction with a slate roof. The windows are original sash and case. The stone work is all exposed, but there is evidence that the north façade would have once been lime rendered. The principal elevation to the gatehouse is symmetrical and features a decorative timber porch and a chimney to each gable. These features are considered significant to maintaining the character of the building.

- 8.19 The existing Gate Lodge has very limited accommodation and the rooms are small. The proposal for this unit incorporates an extension but one that is subsidiary to the gatehouse. The extension is situated to the west side the stable and is joined by a glazed link. The new build is positioned such that the lodge and stable read clearly as their own form particularly when viewed from Stratherrick Road. The new build mirrors that of the south gable of the lodge in both width and roof pitch.
- 8.20 The Gate Lodge also is cold and damp and the majority of the windows of the building are beyond repair. The proposal is to add a breathable, natural insulation to the walls that will be compatible with the historic fabric of the building. A consequence is that condensation will be a major problem if the single paned glass is retained. New double glazed units are therefore proposed. The materials used on the extension will draw from those specified for the new build structures of the whole development. The Council's Conservation Officer is content with the modern treatment proposed for the building.
- 8.21 Not all the buildings / wall features of this listed site are to be retained. In order to allow for the development it is proposed that the former outhouses to the main house will be demolished. Whilst some elements are made with natural stone and slates in keeping with the main house, the applicant has stated that the design is of limited value and use. It highlights one benefit with the demolition of these is that materials will be recycled. This will ensure greater consistency of materials used across the retained elements of the site and help integrate the new development into its historic setting. Likewise, slates will be salvaged, redressed and reused on site.
- 8.22 Historic Environment Scotland, whilst not objecting to the application has advised that proposed demolition of the outbuilding (part of the listed features of Drummond Hill) should be reconsidered. The structure may indeed be a row of potting sheds which formed the northern edge of a walled garden that ran alongside the east side of the driveway. It recommends the structure be retained as an integral part of the interests of the listed site unless a compelling case can be made which demonstrates that the demolition of the shed is the only way to secure the future of the house.
- 8.23 However, the Council's Conservation Officer has advised that whilst all of the assertions made in the statement for demolition are not supported, on balance it would support the case and overall conclusion. Stone will be salvaged to form the ramp / steps for Drummond Hill to face the gable of the new garage serving the gatehouse and the west gable of the replacement terrace. This will ensure some consistency of material across the site and help integrate the new development into its historic setting. Likewise, slates will be re-dressed and re-used on site.
- 8.24 The application also proposes to take down the existing boundary wall on Stratherrick Road, for road safety reasons. A new matching wall, to the same

height and reusing the existing cock and hen stone cope, slightly further back into the site will be provided. It also seeks to widen the current access. Whilst the Council's Conservation Officer notes that the gate piers will be rebuilt to the same dimensions and will reuse the existing stone cope, the main gate piers will also need to replicate the existing appearance and not simply be rendered as proposed (i.e. carefully dismantled by hand and rebuilt using original fabric retaining the existing appearance with exposed stone finish).

- 8.25 In design terms the applicant has advised that "the new houses and flats are intended to demonstrate a contemporary development of simple built form reflecting aspects of the main house and lodge, without resorting to pastiche. An indicative palette of materials has been identified to provide a basis for interpreting the proposals and informing the final choice. These include wet dash through coloured render, natural slate, zinc roofing and zinc composite wall panels, natural stone panels and large elements of glazing incorporating a vertical emphasis."
- 8.26 Examples of the materials palette are provided, but the intention is to refine the detailing and material choice to produce a high quality of building, which has a robust sustainable fabric, but which aspires to the quality of the local conservation area character and defines the standard of new build appropriate to the area. The applicant is open to the final choice of materials being considered in liaison with the Council's planning team by condition.
- 8.27 In general the proposed materials for all the new dwellings can be supported. The contrast between the contemporary design of all new buildings and the style of the retained listed buildings is welcomed. It is considered the design proposals are consistent with HwLDP Policy 28, 29 and SPP because they will contribute to a distinctive sense of place and identity.
- 8.28 In addition to the conversion of the listed building, the application proposes significant redevelopment of the site which will see the current office and science laboratories being demolished, together with development of the east and west fields / gardens. The applicant's intentions are to advance a high quality development in keeping with the locality. A variety of house types are proposed to meet a spectrum of requirements. The development proposal totals 38 units, which is in excess of the indicative capacity as highlighted in the development plan allocation. Of these, only 16 units are to be located within previously undeveloped areas. The remaining units are located either within the brownfield zones of the demolished buildings or within the listed buildings being converted back to residential use.
- 8.29 The proposed density of development is higher than recognised in the IMFLDP, but its appropriateness can be assessed in terms of the efficiency in the use of land, impact on Drummond Hill and its Gate Lodge and their settings, the protection of green amenity / trees and woodland, adequacy of site servicing arrangements, etc. It seeks to make good use of two listed buildings and the open setting of the access and front and rear lawns garden to ensure an open space to the frontage and rear of Drummond Hill. It retains the woodland escarpment to the north and safeguards many trees both within and adjacent to the site.
- 8.30 Some criticism has been raised through the assessment that the development of "Mews housing" on the eastern side of the site, which extends close to Stratherrick



Road. The layout, it is argued, would not maximise the views of Drummond Hill from Stratherrick Road where most receptors experience the historic character of the Conservation Area and this Listed building in particular. In response the applicant has highlighted that the east field scheme includes development set back; and the south-easternmost unit (No 38) is angled to retain the significant main vista. It also allows an efficient use of land across the site whilst retaining undeveloped the central open area. Therefore receptors arriving through the main gate or on an extensive part of the frontage adjacent Stratherrick Road will retain extensive views of Drummond Hill.

- 8.31 Given the scale of erosion of this area by the development of gardens it is vital that development on this particular site advances measures which will control the scale and nature of future development that safeguards key features of the site. The plans bring forward repairs and reuse of redundant / underused buildings which is welcomed, together with tree protection proposed. It also removes the more recent buildings (the labs) and introduces more stylish contemporary development of flats with a relatively simple built form. In overall terms the application can be considered as one which helps to preserve and enhance the character and appearance of the Inverness Conservation Area.

#### Trees, Landscaping and Open Space

- 8.32 The site accommodates many trees, garden areas, natural woodland and is bordered by large trees within adjacent ground, whose branches and roots extend into the application site. The garden, trees and woodland are valued within the area's status as a Conservation Area, the setting and context of the listed buildings interests. In addition the woodland upon the escarpment at the northern end of the site is covered by a Tree Protection Order. Apart from the minor works to the existing footpath through the escarpment woodland, trees within the area of the TPO will be unaffected. Development is being held back from the trees at the top of the escarpment and root protection deployed during demolition / construction works.
- 8.33 Across the rest of the development site, including its boundaries 51 trees, five tree groups and hedges have been identified within the site, many of which are formally planted specimens that exhibit good structure and form. These trees provide considerable amenity to the site and will have value to maintain general privacy. Given the proposed footprint of the development not all trees will be retained, (<20) however the development has for the most part succeeded in retaining the key specimens that are a feature of the site. The Council's Forestry officer is content with the submissions (as amended) and has recommended conditions be attached to any approval to ensure effective management of the landscape resource through the construction and in the following years.
- 8.34 A key feature of the existing site is the central lawn that runs from the access on Stratherrick Road to the main house. There is also a large lawn to the rear of Drummond Hill. Both these features are to be retained, largely untouched, with the exception of an access road serving the new houses within the west field. A toddler's play area is to be provided within the east field to the north of the Mews housing. These areas of open space / landscape, together with the retained trees across the site ensures that ample open space is provided within the development in addition to the large garden areas of many of the new houses. This is in line with

Council policy / standards.

Access and Traffic Impact

- 8.35 The proposals have been supported by a Transport Assessment, which considered the key impacts of the development upon the local road network, specifically Stratherrick Road. The existing access serving the Gate Lodge on the western frontage on Stratherrick Road is to be closed off, with all development using the principal existing central site access. This access on Stratherrick road is to be reconfigured, including existing stone boundary walls to be removed and rebuilt to offer greater visibility, manoeuvrability (two way traffic) and pedestrian safety. A Minor Works Permit will be required from the Council.
- 8.36 Within the site the existing central road will provide pedestrian access to all new housing units and associated visitor parking areas. Paths will link with the existing pedestrian access gates on the eastern frontage on Stratherrick Road and on Dores Road. Both connections provide access to bus routes on Dores Road and Stratherrick Road. The path that leads across the northern escarpment has been redundant for several years. The path is to be restored, but given that it is through a heavily wooded and steep escarpment, it will not be suitable for use by those with mobility issues or cyclists. Timber way-marker posts will be sited to identify this route. The access officer is content with what is proposed but requests by condition that the pedestrian links into, through and out of the site between Stratherrick Road and Dores Road are provided for public use at an early stage in the redevelopment of this site.
- 8.37 The roads and pathways through the development will be retained in private ownership, with owners being responsible for management, maintenance, drainage and flooding infrastructure, access for private waste collection from individual houses and communal bins, lighting (low level bollards), winter maintenance, visitor parking, etc. All houses have either garages or gardens of adequate size to accommodate cycle storage and apartment blocks are designed to accommodate private storage within the building. Safe visitor cycle parking locations will be sited adjacent to apartment block entrances.
- 8.38 The sole vehicle access to be retained to the site will remain via the existing central gate on Stratherrick Road. This however is to be demolished and rebuilt in a manner consistent with its existing appearance, but affording enhanced junction visibility for those accessing Stratherrick Road. That said whilst the proposed visibility to the west will comply with Council's standards for an access within a residential area / speed limit 30mph, the visibility to the east will not fully accord with modern standards. The applicant has proposed traffic calming mitigation in the form of road markings on Stratherrick Road. This will comprise road markings including narrowing's (2 No) and a gap hazard warning centreline (a 4 metre line by 2 metre). In this manner no objections have been raised by Transport Planning. Furthermore a response is made to the requests by the Community Council for measures to assist speed reduction in the area.

Water, Foul and Surface Water Drainage

- 8.39 The development will connect to the public water supply and waste water drainage

network. Scottish Water has not objected to these connections, but highlights that construction will have to be aware of existing infrastructure serving the area and ensure protection of these assets.

- 8.40 Surface water drainage is to be managed within the site. In order to reduce the expected run off the development by design will seek to increase the attenuation time using surface water storage on site (SUDS). Discharge will be by infiltration from a number of plot specific soakaways. The site currently is not at risk from flooding.
- 8.41 Treatment will be provided for houses and access roads separately. Given the nature of the layout there is ample space to accommodate individual roof soakaways. To enhance the informal nature of the layout, roads will be constructed with flush kerbs. Run off will be directed over a contiguous grass filter strip to a gravel drain. Discharge will be by infiltration. Parking areas will be constructed of permeable block paving. All surface water drainage systems will remain in private ownership.

### Ecology

- 8.42 There are a number of protected species (bat, red squirrel, etc.) identified within the application site. The applicant has provided surveys which demonstrate the expected impact upon bats and advance relevant mitigation. It will be necessary to seek a derogation licence from SNH with regard to the bats using the site, and ensure compliance with a series of conditions that SNH will set.
- 8.43 SNH also requested surveys of the site for badgers and red squirrels in advance of determination of the application. The applicant has submitted its results highlighting that whilst badger activity including sett entrances have been recorded within the wooded slope to the north of the development area it is considered likely that any potential impact from the development will be negligible. Similarly with red squirrels there was low level of activity recorded during the survey and thereby no significant impact is anticipated from the development on the local red squirrel population. Should any trees require to be felled or pruned, mitigation is proposed that these trees are subject to inspection for the presence of red squirrel dreys prior to any work being undertaken.
- 8.44 Prior to commencement of development or works on the site pre-commencement protected species surveys will be also be required and further mitigation may need to be implemented. However, in general terms the layout of the development will allow for the retention of wildlife corridors for example the woodland management of the northern escarpment.

### Developer Contributions

- 8.45 The expansion of Inverness places particular demands upon existing public services. This application is of a scale and in a location where contributions are sought to address service shortcoming needed to meet future demands of occupant's and the community. In line with the adopted Council policy / supplementary guidance contributions arise for the following elements: -

- Affordable housing;
- Primary (Holm Primary Catchment);
- Secondary Education (Inverness Royal Academy catchment);
- Transport / Active travel;
- Open space provision;
- Public art.

- 8.46 Discussions have taken place with the developer and service providers. This has resulted in agreement of the level of contributions to be provided and where relevant their location on or off site. The affordable housing contribution totals 10 units, which will be provided at Ness-side / Holm Mills. This would be particularly beneficial to such homeowners as the annual factoring charges on dwellings on this site are expected to be high (>£3k p.a.). Contributions are set with quarterly inflation uplifts from rates published within the policy. This means that the values are re-calculated for inclusion in any agreement, and further enhanced until the payment due date.
- 8.47 Education contributions have been agreed, with varying contribution rates for houses (higher) and flats (lower). Open space provision has been calculated at approximately 3,400sqm of high quality, useable open space. This is expected to be provided in several forms including amenity green space, equipped play areas, natural green space, outdoor sports facilities and public parks and gardens on and off site. This contribution is expected to be provided on site, including increased public access, as is the public art contribution which is advanced through the design qualities of the development. In this regard the Council's requirements can be met.

#### Construction and infrastructure

- 8.48 Given the scale of the project and the environmental sensitivities around the site, a Construction Environmental Management Document approach will be required. This is in part to ensure that potential sources of pollution (including fuel spills and surface water run-off) on site can be effectively managed throughout construction, this will also deal with matters such as construction noise, dust, tree protection and protected species.
- 8.49 The CEMD needs to be secured by planning condition. This will ensure the agreement of construction methodologies with statutory agencies following appointment of the contractors for the site and prior to the start of development or works. Unless covered within the CEMD, the requirements a Construction Traffic Management Plan will be required. The CTMP should set out the proposed construction access arrangements; the working hours for construction deliveries; the general nature of proposed construction traffic needing access; any traffic management proposals along the access route to mitigate impacts from new construction traffic.
- 8.50 The applicant has recognised that the existing properties, current and earlier uses, have left a legacy of contaminants on the site. A particular need with the redevelopment of the site is to ensure that these matters are professionally managed and resolved. The applicant has highlighted its knowledge on these matters and in response the Council's Contaminated Land Team has highlighted the need for conditions to ensure effective handing of key risks, should the application be

supported.

- 8.51 On a development of this scale it is important that the Planning Authority retain effective control over the phasing of development. For this site, it is considered that this is best achieved via a combination of conditions and phasing plans. The delivery of on site infrastructure is critical to delivery, particularly common parking areas, and provision of green space and public access. The phasing plans need to highlight all limits upon the occupation of phases of the development until necessary infrastructure is provided to the satisfaction of the Planning Authority. A particular need will be the requirement to ensure the redevelopment / conversion of Drummond Hill house and Lodge house as an early phase of development, an important outcome arising from this single application.

#### Other material considerations

- 8.52 Public representations have highlighted concerns of overshadowing of their plots, particularly in winter sunlight conditions, given the lower topography upon which their housing units are located on Island Bank Road. It is the three storey scale of the flats to the north of the development which is of most concern.
- 8.53 The applicant has tabled a series of images to demonstrate likely impact at different times of the day and across the seasons. The assessment indicates that during the summer and winter, there will be no impact arising from the development on account of the height of the sun. For example, during the winter solstice the existing escarpment dictates housing units on Island Bank Road receive no direct sunlight. In the autumn the impact arising from the development is minimal, the effects (if any) are diminished by leaves on the escarpment trees. During Springtime, when leaves have yet to appear on the trees, there will be some limited impact / overshadowing in the mid afternoon sun (4.00pm). Overall the impact arising from the development should it be approved is not considered to be significant.
- 8.54 There are no other material considerations.

#### Matters to be secured by Section 75 Agreement

- 8.1 The following matters / contributions will be secured via a legal agreement:
- Primary education provision (Holm Primary);
  - Secondary education provision (Inverness Royal Academy);
  - Delivery off site of affordable housing. 25% of total number of units to THC Standards inclusive of a delivery date / phasing plan and mix to be agreed with the Council.
- 8.2 The applicant has four months from the date that the Council's solicitor writes to the Applicant / Applicant's solicitor indicating the terms of the legal agreement, to deliver to the Council a signed legal agreement. Should an agreement not be delivered within four months, the application shall be refused under delegated powers.

## **9. CONCLUSION**

- 9.1 This major application presents proposals to deliver development generally in line with its allocation as a development opportunity within the Inner Moray Firth Local

Development Plan. It advances a single use (residential) rather than a mix of uses, but this is considerable acceptable by the Development Plan Team and the local community council. It has not attracted significant objections following public consultation.

- 9.2 The Community Council have raised a few matters, but these are addressed within the assessment of the application. Two objections have been made to the Listed Building application. The concerns raised are considered within the assessment of the application, but they have raised no matters of significance that suggest on balance the applications could not be supported.
- 9.3 Whilst no consultees have raised objection to the applications there have been a number of issues which have required amendments to be made to the plans as initially submitted. These include the re-orientation of the north westernmost block of flats to avoid a mature tree, revised design details within the conversion of Drummond Hill house to maintain all windows to a single room use (rather than subdivision of windows to separate rooms) and improvements to the road access with Stratherrick Road, including traffic calming measures.
- 9.4 Historic Environment Scotland had requested that the potting shed demolition be reconsidered. This was also highlighted within a letter of objection. However this contrasts with the advice of the Council's Historic Environment Team, who have recognised the wider development package on the table and that the proposed conservation / listed building works could benefit from the recycling of materials within the older outbuildings for which there was limited modern use.
- 9.5 The application presents significant development of a large and important site within the Inverness Conservation Area in a manner that seeks to retain and enhance Drummond Hill house, in residential use as modern flats and the redevelopment of the Gate Lodge into a modern residential unit in a manner that conserves many of the initial features and proportions of the former gatehouse. Whilst the grounds will also accommodate new development including re-development of the office / laboratory units, significant areas of the central lawn, the rear garden and escarpment woodland will be retained. The mix of development including appropriate materials within the two listed structures and choice of complementary, modern materials within new houses and flats are of an acceptable design standard and are presented within a layout which is entirely acceptable to the locality.
- 9.6 Overall the proposals will secure an active use of an important part of the Inverness Conservation Area, in a manner that will enhance / secure many of the valued features including the wooded escarpment, individual trees, Drummond Hill and Lodge House and overall amenity particularly as viewed from Stratherrick Road. With regard to the listed buildings, Drummond Hill will receive significant enhancement to its current condition and thereby it will be sustained in active use for many years to come. The Gate Lodge, whilst not so much preserved, will also be returned to active use in a more modern re-development, which pays homage to the proportions, scale and use of this old building.
- 9.7 The proposals are consistent with the Development Plan allocation. It delivers an acceptable housing project in a manner that is consistent with a range of policy provisions within the HwLDP and its supporting Supplementary Guidance including

affordable housing (off site) developer contributions and public access. A range of planning conditions would be required to secure the proper phasing and development of the site in an acceptable manner. This is needed to ensure the early delivery of works on the existing listed buildings and deliver some protection to the surrounding environment from the impacts of construction.

9.8 All relevant matters have been taken into account when appraising these applications. It is considered that the proposals accord with the principles and policies contained within the Development Plan and are acceptable in terms of all other applicable material considerations.

## 10. IMPLICATIONS

10.1 Resource: Not applicable

10.2 Legal: Not applicable

10.3 Community (Equality, Poverty and Rural): Not applicable

10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

## 11. RECOMMENDATION

**Action required before decision issued** Y

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation Y

Revocation of previous permission N

**Subject to the above**, it is recommended that;

**A.** Listed building consent be **Granted** subject to the following: -

### Conditions and Reasons

1 All works, materials and finishes shall be as noted on the approved drawings. Any internal or external works and finishes, or works for making good as required shall be to match original / adjacent materials and finishes.

**Reason:** - In order to safeguard the character of and qualities of the listed building.

2 Prior to the commencement of development on the Gate Lodge, detailed elevation drawings (1:20), section drawings (1:1 or 1:2), details of ironmongery and finish for all new windows and doors, shall be submitted to and approved in writing by the Planning Authority. Thereafter, development and work shall progress in accordance with these approved details.

**Reason:** - In order to safeguard the character of and qualities of the listed building.

- 3 Following the completion of the roof inspection on Drummond Hill the survey report on all necessary works to the roof and chimneys shall be submitted to the Planning Authority. Where works do not fit within the normal parameters of repair and maintenance of the existing elements of the building, further approval in writing shall be sought from the Planning Authority. Thereafter, works must only be progressed in accordance with approved details.

**Reason:** - In order to safeguard the character of and qualities of the listed building.

- 4 Prior to the commencement of any works on Drummond Hill final plans for the access to the main door shall be re-submitted for approval in writing from the Planning Authority. This should remove proposals for a planter in order to minimise the visual clutter at the principle entrance. Thereafter, development and works shall progress in accordance with the approved details.

**Reason:** - To ensure a quality of design which will safeguard the character and qualities of this listed building.

**And**

**B.** That planning permission be **GRANTED** subject to the following: -

**Conditions and Reasons**

1. No development or works shall commence on any phase until a Phasing Plan has been submitted to and agreed in writing by the Planning Authority. This shall detail each phase of the proposed works and shall show the dwellings, landscaping and access roads, pedestrian links and parking areas to be advanced within each phase all in line with the approved site layout. This should ensure an early development completion of the works within Drummond Hill and the Gate Lodge and provision of open space areas in line with occupation. Thereafter, the development shall be undertaken in accordance with the agreed phasing unless otherwise approved in writing by the Planning Authority.

**Reason:** - To ensure that the development proceeds in tandem with the key elements of the development and that infrastructure is provided in a timely manner relative to the occupation of all units.

2. No development shall commence until a scheme to deal with potential contamination on site has been submitted to and agreed in writing by the Planning Authority. No development shall commence until written confirmation has been received that the scheme has been implemented, completed and, if required, monitoring measurements are in place, all to the satisfaction of the Planning Authority. The scheme shall include: -

- a) the nature, extent and type of contamination on site and identification of pollutant linkages and assessment of risk (i.e. a land contamination investigation and risk assessment), the scope and method of which shall be submitted to and agreed in writing by with the Planning Authority, and undertaken in accordance with PAN



- 33 (2000) and British Standard BS 1017S:2011+Al:2013 Investigation of Potentially Contaminated Sites - Code of Practice;
- b) the measures required to treat/remove contamination (remedial strategy) including a method statement, programme of works, and proposed verification plan to ensure that the site is fit for the uses proposed;
  - c) measures to deal with contamination during construction works;
  - d) in the event that remedial action be required, a validation report that will validate and verify the completion of the agreed decontamination measures;
  - e) in the event that monitoring is required, monitoring statements shall be submitted at agreed intervals for such time period as is considered appropriate by the Planning Authority.

**Reason:** - To ensure the site is suitable for redevelopment, given the nature of previous uses and processes on the site.

3. No development shall commence on site until a Construction and Environmental Management Document (CEMD) is submitted for approval of the site. Thereafter all works shall make progress in full accordance with the approved CEMD unless otherwise agreed in writing with the Planning Authority. The CEMD shall as a minimum highlight: -
- a) Final pre-commencement surveys for protected species and proposed final mitigation measures during construction;
  - b) Measures to protect existing Scottish Water Assets / Infrastructure;
  - c) Measures to enhance site security and present displays / public awareness.
  - d) Areas to be deployed for construction purposes including material storage, offices, staff parking, vehicle turning, waste collection, material re-cycling, pollution prevention, etc.
  - e) Measures to control the emission of dust and dirt during construction.
  - f) Construction Traffic Management Plan including final mitigation measures. This should also include measures to manage construction noise including for example in the choice of vehicle / reversing alarms;
  - g) Pedestrian Access Management Plan including final design of proposed pedestrian access gates.

**Reason:** - In order to safeguard the amenity of neighbouring property; existing infrastructural assets; the natural environment; and confirm final access arrangements during and after construction periods.

4. No development shall commence on any new housing until the materials to be used in external finishes (including but not limited to finishes of walls, roofs, rainwater goods, windows and doors) of any and all built structures (inclusive of houses, flats, cycle stores and bin stores), have been submitted to and approved in writing by the Planning Authority.

**Reason:** To ensure that these matters can be considered in detail to ensure the character and identity of the final works is consistent with the Conservation Area and Listed buildings interests within the site.

5. No development within the site shall commence until the following matters

pertaining to access and traffic management have been satisfied, including: -

- Provision of the improved entrance from Stratherrick Road and its associated visibility splays.
- Traffic Calming features for Stratherrick Road being agreed in full.
- Unless addressed within Condition 5 a programme for the delivery of road infrastructure including delivery of final dressing of new roads in line with occupation of housing units.

**Reason:** To ensure safe access is provided to the site within an early implementation of works.

6. Prior to any site excavation or groundworks, all retained trees are to be protected against construction damage using protective barriers located beyond the Root Protection Area (in accordance with BS5837:2012 Trees in Relation to Design, Demolition & Construction) and as per the Approved Tree Protection Plan and Arboricultural Method Statement. Barriers are to remain in place throughout the construction period and must not be moved or removed without the prior written approval of the Planning Authority.

**Reason:** Reason: To ensure the protection of retained trees throughout the construction period.

7. A suitably qualified Arboricultural consultant must be employed by the applicant to ensure that the Tree Protection Plan and Arboricultural Method Statement (AMS) are implemented to the agreed standard. Stages requiring supervision are set out in the AMS and monitoring reports/ certificates of compliance for each development stage should be submitted for the written agreement of the planning authority.

**Reason:** To ensure the protection of retained trees throughout the construction period.

8. No development shall commence until a detailed Landscape Plan and maintenance programme has been submitted to and approved by the planning authority. The Landscape Plan shall be implemented in full during the first planting season following commencement of development or as otherwise agreed in writing by the planning authority.

**Reason:** In the interests of amenity.

9. A suitably qualified landscape consultant must be employed at the applicant's expense to ensure that the Landscape Plan is implemented to the agreed standard. Stages requiring supervision are to be detailed in the Landscape Plan for the agreement of the planning authority and certificates of compliance for each stage are to be submitted for approval.

**Reason:** In the interests of amenity.

10. Prior to the commencement of development a statement of expected working hours for all construction activity should be submitted for approval. A construction noise assessment will be required to be submitted to the Planning Authority for approval

should the following circumstances be likely to occur: -

- Where it is proposed to undertake work, which is audible at the site boundary, out with the hours Mon-Fri 8am to 7pm; Sat 8am to 1pm.

OR

- Where noise levels during the above periods are likely to exceed 75dB(A) for short term works or 55dB(A) for long term works. Both measurements to be taken as a 1 hr LAeq at the curtilage of any noise sensitive receptor. (Generally, long term work is taken to be more than 6 months)

If an assessment is submitted it should be carried out in accordance with BS 5228-1 : 2009 "Code of practice for noise and vibration control on construction and open sites - Part 1: Noise". Details of any mitigation measures should be provided including proposed hours of operation. Thereafter all construction activity must comply with the approved hours of working.

**Reason:** - To ensure the amenity of adjoining houses is respected through all construction periods.

## **REASON FOR DECISION**

All relevant matters have been taken into account when appraising these applications. It is considered that the proposals accord with the principles and policies contained within the Development Plan and are acceptable in terms of all other applicable material considerations. This includes assessment of the impact on the Inverness Conservation Area and listed buildings.

## **TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION**

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

## **FOOTNOTE TO APPLICANT**

### **Initiation and Completion Notices**

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of

Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

### **Accordance with Approved Plans & Conditions**

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

### **Flood Risk**

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

### **Scottish Water**

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

### **Septic Tanks & Soakaways**

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

### **Local Roads Authority Permission**

None of the vehicle routes within the development are being proposed for adoption by the Council. However upgrade / relocation works to the private vehicle accesses are proposed, therefore the developer will be required to apply for a Minor Works Permit, often referred to as a Road Opening Permit from the Highland Councils Local Community Services Office, as the Roads Authority under Section 56 of the Roads (Scotland) Act 1984 prior to any work commencing on or adjacent to the public road network. All Minor Works Permit application enquires should be made via the Councils website at the following link [www.highland.gov.uk](http://www.highland.gov.uk) or by contacting General Enquires tel no. 01349 886606. Please note that no work should commence until official permission from The Highland Council has been

received.

### **Mud & Debris on Road**

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

**Construction Hours and Noise-Generating Activities:** You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact [env.health@highland.gov.uk](mailto:env.health@highland.gov.uk) for more information.

### **Protected Species – Halting of Work**

You are advised that work on site must stop immediately, and Scottish Natural Heritage must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from SNH: [www.snh.gov.uk/protecting-scotlands-nature/protected-species](http://www.snh.gov.uk/protecting-scotlands-nature/protected-species)

Signature: Nicola Drummond  
Designation: Area Planning Manager – South/Major Developments  
Author: Ken McCorquodale, Principal Planner.  
Background Papers: Documents referred to in report and in case file.  
Relevant Plans:



265950

266000

266050

266100

266150

266200

266250

266300

843300

843250

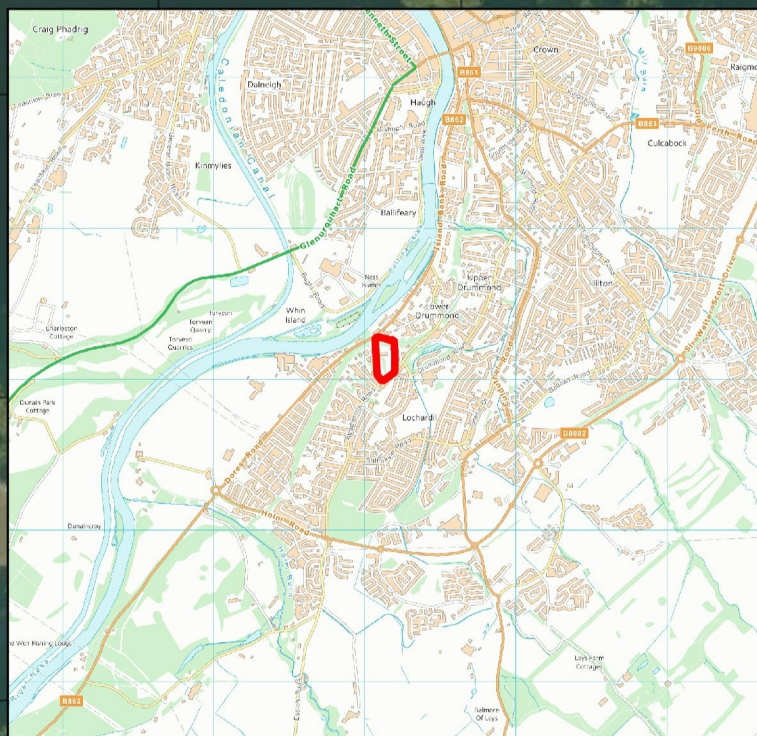
843200

843150

843100

843050

843000



# Drummondhill, Inverness

Figure 1: Site Location



### Legend

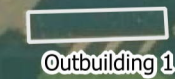
- Site Boundary
- Buildings



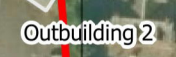
Laboratories



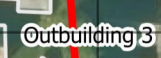
Main House



Outbuilding 1



Outbuilding 2



Outbuilding 3



Outbuilding 4



Lodge



0 15 30 45 m



Drawing number: 17/028/A9C/001  
 Revision: 1  
 Date of production: 2017-10-18  
 Drawn by: JB - Tracks Ecology  
 Projection: British National Grid EPSG:27700  
 Contains Ordnance Survey data © Crown copyright and database right 2017. © Getmapping plc.

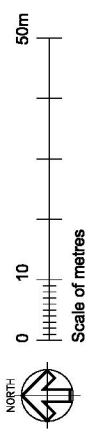




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 51 NESS BANK, INVERNESS, IV2 4SF  
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LOCATION PLAN			
SCALE	DATE	BY	SAS
1:1250	OCT 2017	FEASIBILITY	DWG SIZE A4
DWG NO: PLANNING / 00 / 001			REV

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**A** The existing access is to be widened and the adjacent walled gateway and pier are to be removed, relocated and replaced with a new stone wall and gate. The driveway will be widened and the existing driveway will be removed and replaced with a new driveway. The existing driveway will be widened and the existing driveway will be removed and replaced with a new driveway. The existing driveway will be widened and the existing driveway will be removed and replaced with a new driveway.

**B** The principal front lawn is to be retained and reseeded. This will be the heart of the development and will be framed by hedging along the east and west boundary, with additional ornamental tree planting along the eastern verge of the driveway and retained mature trees on the western edge of the lawn. A small group of evergreen conifers will be removed at the north end to open up the vista to the frontage of Drummondhill House. The lawn will provide high amenity and a high level of privacy. The public view of the house from Stratherrick Road will be maintained and enhanced by opening the view and enhancing the quality of the access and landscaping.

**C** At the entrance to the development the existing gate lodge will be removed, with the stable wing converted and a new single storey extension added to the west gable forming a private courtyard. The proposal is for a contemporary glazed screen elements used to contrast rather than compete with the existing pattern of fenestration. The lodge frontage will be restored to its original quality and proudly overlook the entrance to the development.

**D** A block of one and a half storey linked mews cottages are to be built within the east field, behind a verge and new hedging the principal driveway. The block is located and orientated to lead the eye toward Drummondhill House. The end units are orientated to provide a positive termination to the block and front the public spaces. The prominent corners of the central lawn and incorporate gables with composite gables and zinc vertical screens to the principal rooms and highlighting the entrance. The extensive glass will reflect the landscape and provide the homeowners with enhanced gardens affording them a high level of personal amenity and privacy. Once again, a short access road (reduced in width where it passes through the central lawn) is set behind the existing hedge, accommodating service vehicles and giving access to private driveways which serve detached garages.

**E** Within the enclosed west field a group of five detached two storey villas sit behind the existing mature hedge and trees, ensuring that these properties do not detract from the setting of the house. Set forward within the plots, they front toward the central lawn and incorporate gables with composite gables and zinc vertical screens to the principal rooms and highlighting the entrance. The extensive glass will reflect the landscape and provide the homeowners with enhanced gardens affording them a high level of personal amenity and privacy. Once again, a short access road (reduced in width where it passes through the central lawn) is set behind the existing hedge, accommodating service vehicles and giving access to private driveways which serve detached garages.

**F** The existing access is to be widened and the adjacent walled gateway and pier are to be removed, relocated and replaced with a new stone wall and gate. The driveway will be widened and the existing driveway will be removed and replaced with a new driveway. The existing driveway will be widened and the existing driveway will be removed and replaced with a new driveway. The existing driveway will be widened and the existing driveway will be removed and replaced with a new driveway.

**G** As well as enjoying exceptional views southward over the lawn, the house will overlook and have access to a renovated garden area to the north within which there are mature trees, including a significant specimen Wellingtonia. The space will be provided open garden space adjacent to the building and a reduced road corridor passing in front. The house will be converted and restored to residential use accommodating six large apartments, with external structural interventions limited to the installation of an accessible entrance path, removal of a metal escape stair and the formation of an external driveway through an existing window with a discreet internal corner.

**H** Directly east of the existing house is a row of five adjacent cottages which will be demolished and replaced with a block of three one and a half storey cottages facing the play area. These are designed to be subservient in scale to the main house, resembling more the scale of the service wing. The cottages are broken into a rhythm of simple panels emphasising a vertical element surrounding the living room and dormer windows. Private garden areas are to the rear, separated from the play area by a hedge. Parking is adjacent and accessed off an extended section of the driveway.

**I** To the rear of the terraced cottages, at the north east corner, a small block of six new apartments will replace a group of dilapidated sheds and a large hand-staining area. The apartments are sited well to the rear of the existing house and at a distance from the main house to ensure privacy and a sense of enclosure. The apartments are designed to be sited to the rear of the existing house, with a ground level higher than the public garden and the main house. The apartments are designed to be sited to the rear of the existing house, with a ground level higher than the public garden and the main house.

**J** To the rear of the terraced cottages, at the north east corner, a small block of six new apartments will replace a group of dilapidated sheds and a large hand-staining area. The apartments are sited well to the rear of the existing house and at a distance from the main house to ensure privacy and a sense of enclosure. The apartments are designed to be sited to the rear of the existing house, with a ground level higher than the public garden and the main house. The apartments are designed to be sited to the rear of the existing house, with a ground level higher than the public garden and the main house.

**K** Within the north western corner a second apartment block mirrors the existing laboratory building, retaining the same orientation, but is set forward within the plots, they front toward the central lawn and incorporate gables with composite gables and zinc vertical screens to the principal rooms and highlighting the entrance. The extensive glass will reflect the landscape and provide the homeowners with enhanced gardens affording them a high level of personal amenity and privacy. Once again, a short access road (reduced in width where it passes through the central lawn) is set behind the existing hedge, accommodating service vehicles and giving access to private driveways which serve detached garages.

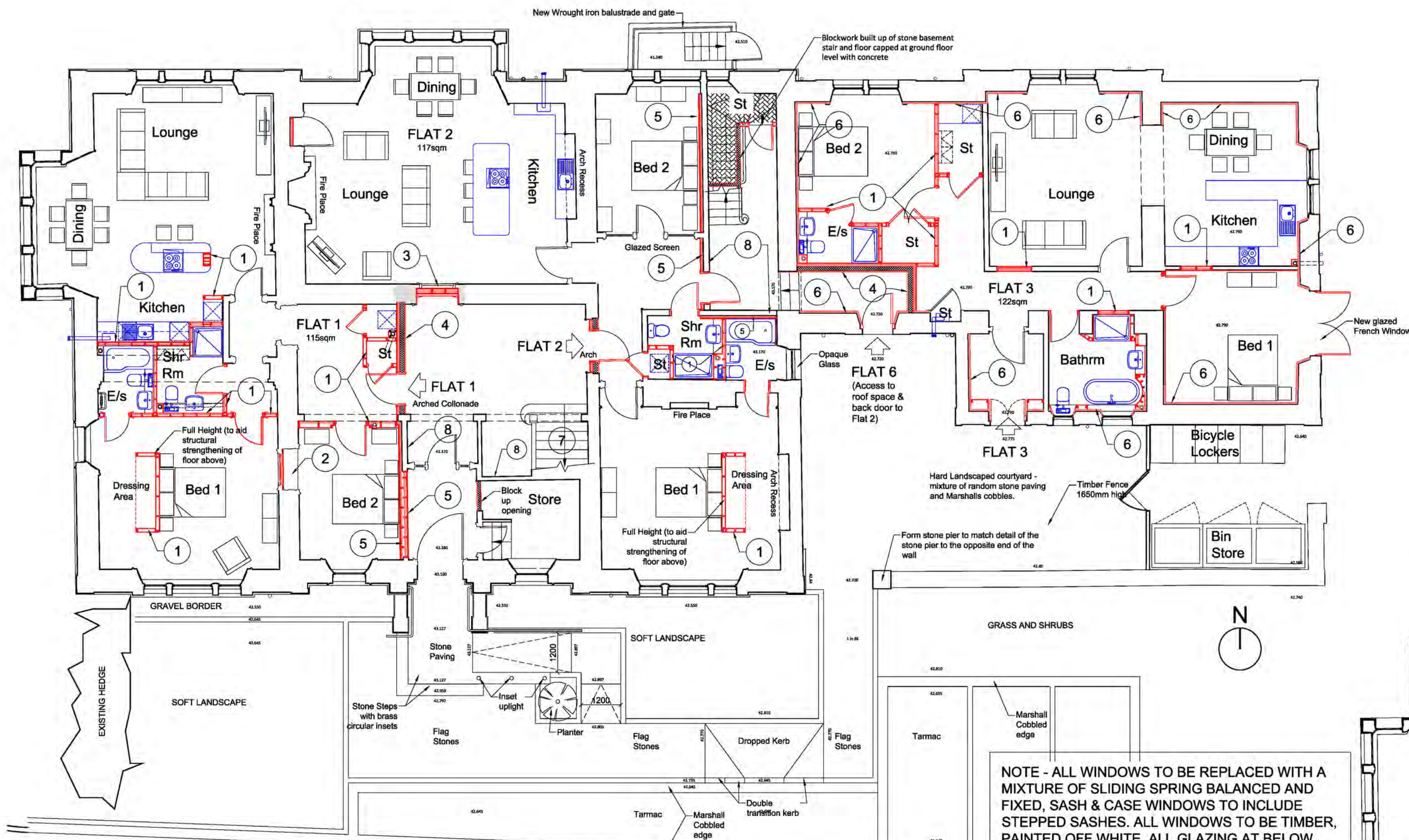
**L** West of the existing house and hidden behind a group of mature trees, a double terrace of townhouses will be constructed on the site of the existing laboratory building, retaining the same orientation, but is set forward within the plots, they front toward the central lawn and incorporate gables with composite gables and zinc vertical screens to the principal rooms and highlighting the entrance. The extensive glass will reflect the landscape and provide the homeowners with enhanced gardens affording them a high level of personal amenity and privacy. Once again, a short access road (reduced in width where it passes through the central lawn) is set behind the existing hedge, accommodating service vehicles and giving access to private driveways which serve detached garages.

REV	DATE	DESCRIPTION	DRN
F	08.05.18	Tree spread to the NE corner of the site added and trees added to correspond with the Landscape Architect. Drive sweep to the lodge amended to avoid tree copes.	CM
E	04.05.18	Benham to entrance relocated to improve on access. New driveway and road arrangement changed. Apartments to NE and terraced cottages moved 2m south to avoid tree roots.	CM
D	23.02.18	Semi private gardens added to apartment blocks at ground floor. Front boundary wall realigned. Access path to Doree road reinstated.	CM
C	08.02.18	Following report on the condition of the woodland path, the option of reinstatement has been removed.	CM
B	30.01.18	Trees & Landscaping updated to reflect ROAVR and Landscape Architect's proposals.	CM
A	24.01.18	Ramp to main house amended and gatehouse extension repositioned.	CM
REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**  
 38 WALKER TERRACE, TILLCULLITY, FK13 8EF ( 07252 750091 )  
 CLIENT: TULLOCH HOMES LTD  
 PROJECT: DRUMMONDHILL

DRG. TITLE: SITE PLAN AS PROPOSED  
 SCALE: 1:500 DRAWN: AT DATE: 04.2017 REV.  
 DWG No. 4265-02-004 REV. F





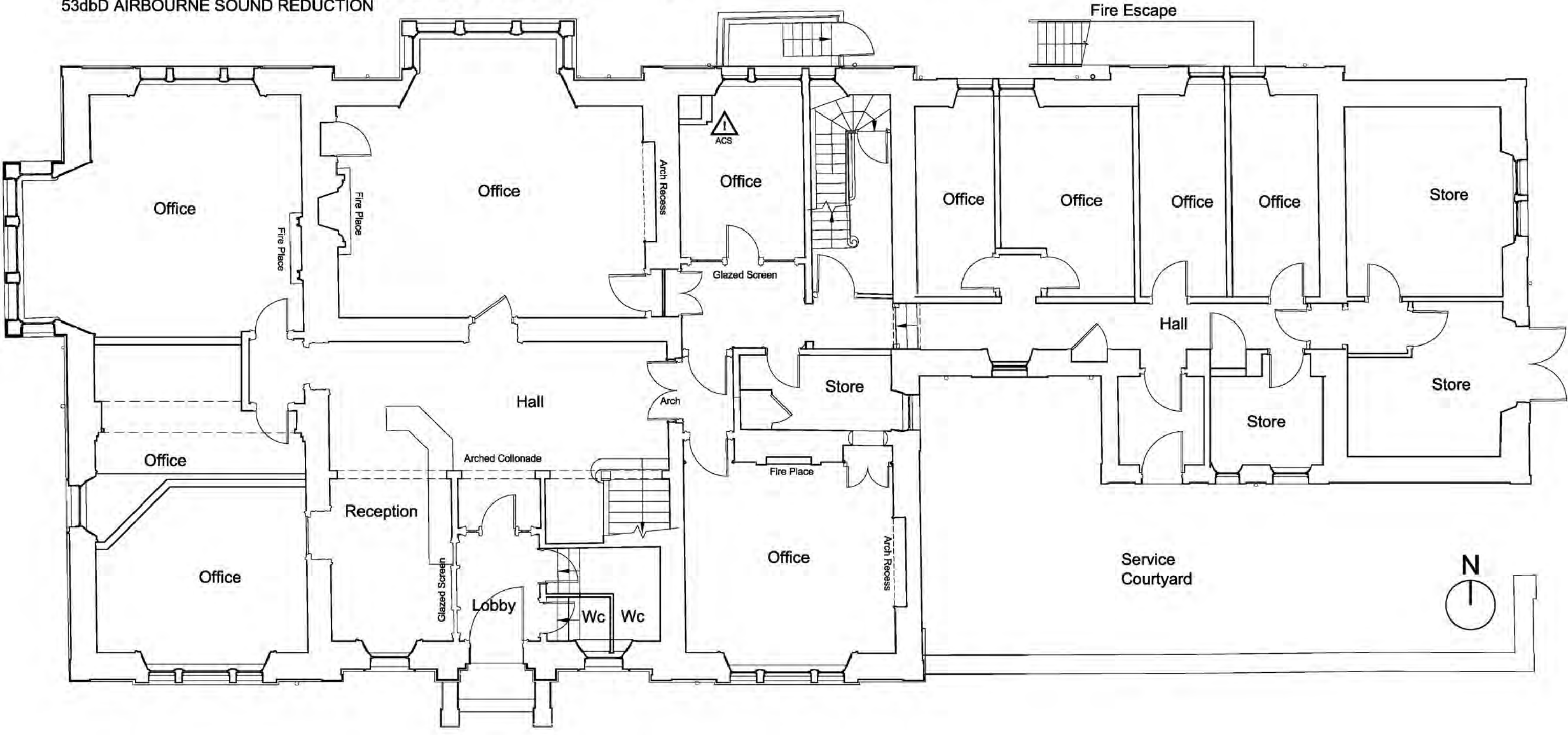
**GROUND FLOOR PLAN AS PROPOSED**  
1:100

**NOTES FOR NEW WORKS**

- 1 FULL HEIGHT TIMBER STUD PARTITION - 89X50mm STUDS WITH 15mm PLASTERBOARD TO EACH SIDE AND 50mm ACOUSTIC QUILT IN CAVITY
- 2 INFILL TO ONE SIDE OF DOOR WITH TIMBER STUD AS PER NOTE 1. RETAIN ARCHITRAVES TO BOTH SIDES AND FORM SHELING TO ONE SIDE. FIX EXISTING DOOR TO OTHER SIDE.
- 3 RETAIN DOOR & ARCHITRAVE TO ROOM SIDE & FIX SHUT. FORM NEW PARTITION WITHIN EX DOOR RECESS COMPRISING 89mm STUD FRAME WITH 50MM ACOUSTIC QUILT WITHIN. FINISH TO BOTH SIDES WITH 19mm PLANK ON RESILIENT BARS, FINISHED WITH 15mm SOUNDBLOCK. FORM NEW DOOR LEAF TO MATCH EXISTING & REUSE ARCHITRAVES TO COMMUNAL SIDE. WALL TO BE 60min FR & TO PROVIDE MIN. OF 53dbd AIRBOURNE SOUND REDUCTION

- 4 FULL HEIGHT 150mm DENSE BLOCKWORK BUILT OFF NEW FOOTING FORMED IN SOLUM. COMMUNAL SIDE FINISHED WITH 30mm DENSE PLASTER. FORM INDEPENDENT FRAME TO DWELLING SIDE & FINISH WITH 19mm PLANK & 15mm SOUNDBLOCK & PLASTER SKIM COAT (50mm ACOUSTIC QUILT IN FRAME). WALL TO PROVIDE MIN. OF 53dbd AIRBOURNE SOUND REDUCTION
- 5 FORM FRAME INTERNALLY INDEPENDENT OF EXISTING MASONRY WALL, AND LINE WITH 19mm PLANK ON RESILIENT BARS, FINISHED WITH 15mm SOUNDBLOCK & PLASTER SKIM COAT (50mm ACOUSTIC QUILT IN FRAME). WALL TO PROVIDE MIN. OF 53dbd AIRBOURNE SOUND REDUCTION
- 6 INSULATE THE EXISTING STONE WALLS NBT REFURB SYSTEM IWI PAVADRY 60mm THICK, WITH TIMBER STRAPPING TO CREATE A SERVICE VOID TO THE INTERNAL FACE AND FINISHED WITH 12.5mm FERMACELL BOARD
- 7 VARNISH TIMBER STAIR WITH ENVIROGRAF INTUMESCENT TRANSLUCENT COATING
- 8 COAT LATH & PLASTER WITH ENVIROGRAF INTUMESCENT PAINT

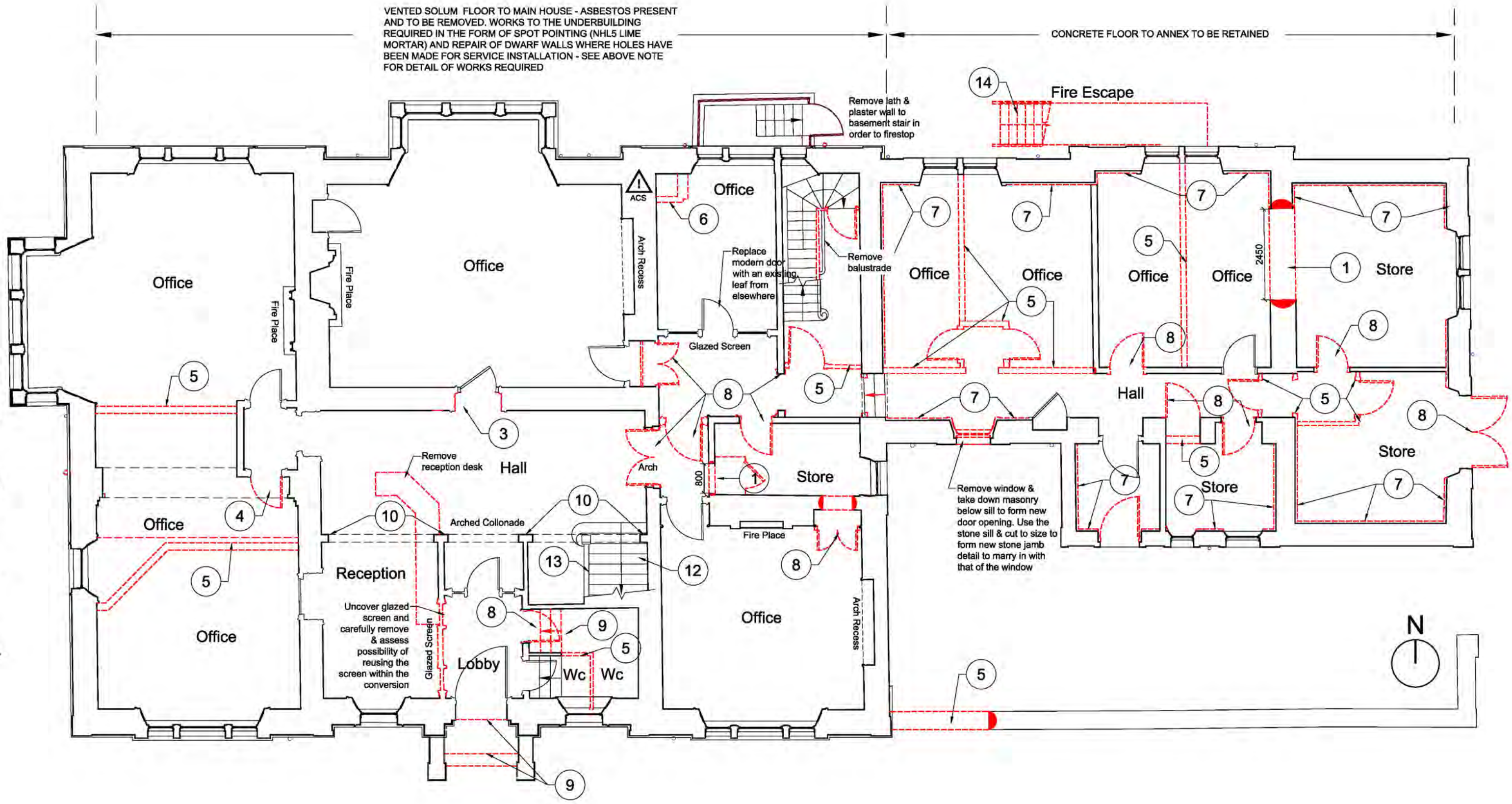
NOTE - ALL WINDOWS TO BE REPLACED WITH A MIXTURE OF SLIDING SPRING BALANCED AND FIXED, SASH & CASE WINDOWS TO INCLUDE STEPPED SASHES. ALL WINDOWS TO BE TIMBER, PAINTED OFF WHITE. ALL GLAZING AT BELOW 800mm AFFL TO BE SAFETY GLASS TO BS 6262:Part4:2005



NOTE THAT THE SOLUM FLOOR TO THE MAIN BUILDING WILL NEED TO BE CLEANED OF DEBRIS AS ASBESTOS IS PRESENT. IN ORDER TO ACHIEVE THIS, THE 30mm T&G FLOORBOARDS WILL NEED TO BE UPLIFTED IN STRATEGIC LOCATIONS TO ALLOW FOR ADEQUATE ACCESS. SPOT POINTING IN NHL5 LIME MORTAR WILL BE REQUIRED TO REPAIR THE UNDERBUILDING AND DWARF WALLS REPAIRED WHERE VOIDS HAVE BEEN FORMED FOR THE ACCOMMODATION OF SERVICES. SERVICES BELOW THE FLOOR TO BE STRIPPED OUT INCLUDING ASBESTOS LAGGING. NEW FOOTINGS IN THE SOLUM TO BE FORMED AS DIRECTED BY THE STRUCTURAL ENGINEER IN ORDER TO ACCOMMODATE NEW RACKING WALLS WHERE NEW PARTITIONS ARE PROPOSED PERPENDICULAR TO THE FIRST FLOOR JOISTS.

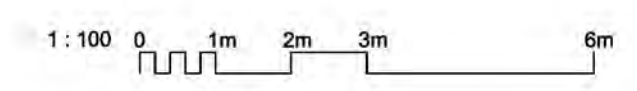
THERMAL UPGRADE OF THE FLOOR IS PROPOSED IN THE FORM OF 140mm ROCKWOOL FLEXI INSULATION TIGHTLY FITTED BETWEEN THE JOISTS FROM THE UNDERSIDE. FRAMESHIELD 100 WILL BE STAPLED TO THE UNDERSIDE OF THE JOISTS AS A VAPOUR PERMEABLE MEMBRANE TO RETAIN THE INSULATION AND ALLOW THE FLOOR STRUCTURE TO BREATHE.

UPGRADE OF THE CONCRETE FLOOR TO THE ANNEX IS PROPOSED IN THE FORM OF AN OVERLAY OF PROCTOR SPACETHERM MULTI 35mm (OVERALL 41mm THICK). THIS PRODUCT IS BREATHABLE AND THEREFORE MOISTURE IN THE EXISTING FLOOR WILL NOT BE TRAPPED (TRAPPING THE MOISTURE COULD LEAD TO TRANSGRESSION OF DAMP TO THE EXTERNAL WALLS). ALL ORIGINAL SKIRTING IS TO BE CAREFULLY REMOVED AND REFITTED 45mm HIGHER.



**NOTES FOR DOWNTAKINGS**

- 1 FORM SLAPPING AT 2500mm AFFL, RETAINING CORNICE ABOVE
- 2 REMOVE MANTEL AND BLOCK UP & PLASTER OPENING. FORM VENT INTO FLUE AT 2600mm AFFL
- 3 REMOVE ARCHITRAVE TO COMMUNAL SIDE, RETAINING DOOR AND ARCHITRAVES TO ROOM SIDE
- 4 REMOVE DOOR LEAF AND SET ASIDE FOR REUSE. RETAIN ARCHITRAVES TO BOTH SIDES
- 5 REMOVE WALLS SHOWN DOTTED IN THEIR ENTIRETY
- 6 REMOVE MODERN BLOCKWORK CHIMNEY FLUE
- 7 REMOVE LATH & PLASTER TO WALL
- 8 REMOVE ENTIRE DOOR SET, INCLUDING ARCHITRAVES
- 9 REMOVE STEPS
- 10 REMOVE MODERN CLADDING TO ARCH COLUMNS
- 11 REMOVE MODERN GLAZED INFILL TO ARCHES
- 12 REMOVE NOSINGS AND VINYL TO STAIR INTO FLUE AT 2600mm AFFL
- 13 REMOVE MODERN CLADDING TO BALUSTRADE
- 14 REMOVE MILD STEEL FIRE ESCAPE STAIRCASE
- 15 CAREFULLY UPLIFT LEAD TO BAY WINDOW ROOF. INSULATE AS A WARM ROOF & REWEATHER WITH A WARM ROOF STANDING SEAM ZINC SYSTEM



REV	DATE	DESCRIPTION	DRN
C	17/01/2018	Ramp design amended and window note amended	CM
B	04/01/2018	Amendments to layout for LBC	CM
A	25/10/2017	Notes added for planning	CM

**Bracewell Stirling CONSULTING**

- 38 WALKER TERRACE, TILLCOUNTRY, FK13 6EF ☎:01259 750301
- 5 NESS BANK, INVERNESS, IV2 4SF ☎:01463 233760
- 15 LOCHSIDE STREET, OBAN, PA34 4HP ☎:01631 359054

CLIENT: TULLOCH HOMES LTD

PROJECT: DRUMMONDHILL HOUSE

DRG. TITLE: MAIN HOUSE - GROUND FLOOR PLANS

STATUS: **PLANNING**

SCALE: 1:100 DRAWN: -  
PAPER SIZE: A1 DATE: Oct 2017  
DWG No. 4265-01-100 REV. C









VIEW FROM THE PUBLIC ROAD



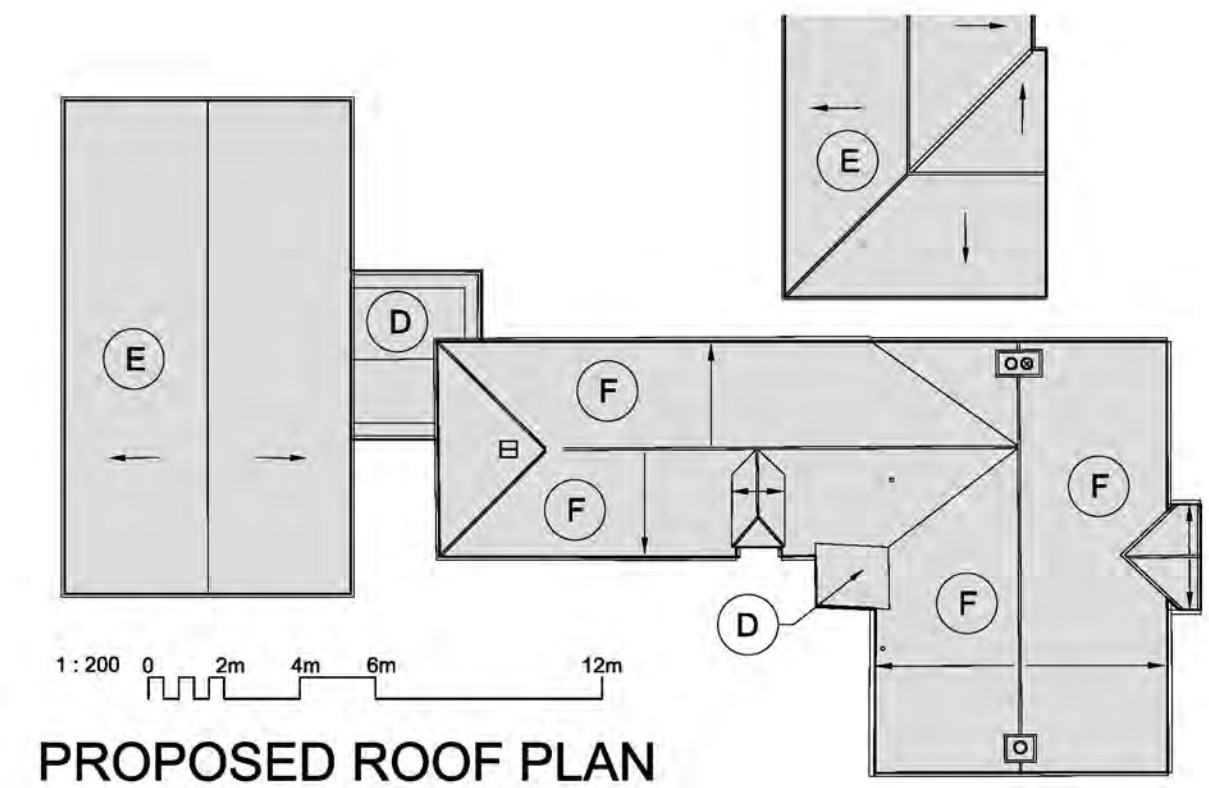
VIEW FROM THE PRIVATE AVENUE



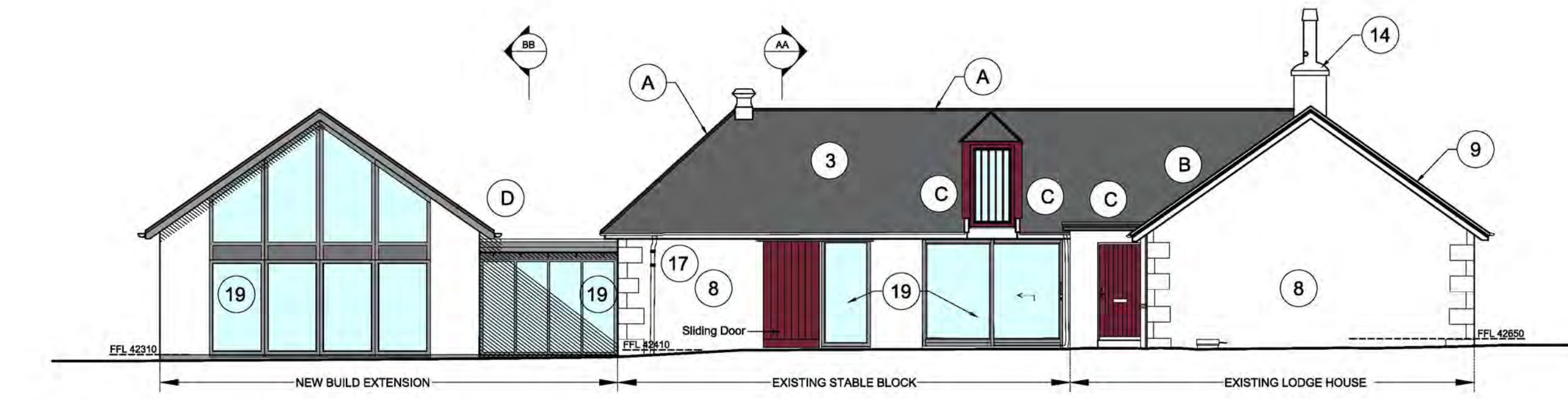
VIEW FROM THE PUBLIC ROAD

NOTES FOR NEW ROOF WORKS

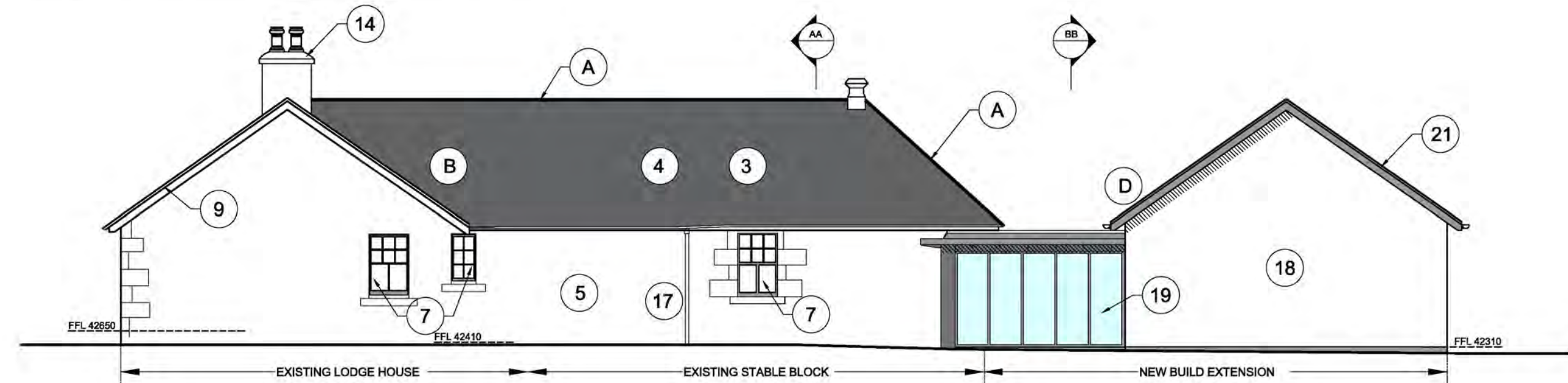
- (A) HIP AND RIDGE ROLL TO BE IN LEAD CODE 6
- (B) VALLEY GUTTER TO BE IN LEAD CODE 6
- (C) LEAD APRONS AND ABUTMENTS TO IN LEAD CODE 6
- (D) FLAT ROOF FINISH TO BE ZINC STANDING SEAM
- (E) ROOF FINISH ON EXTENSION TO BE IN CUPA H3 SLATE
- (F) ROOF FINISH ON EXISTING TO BE IN REDRESSED SLATE



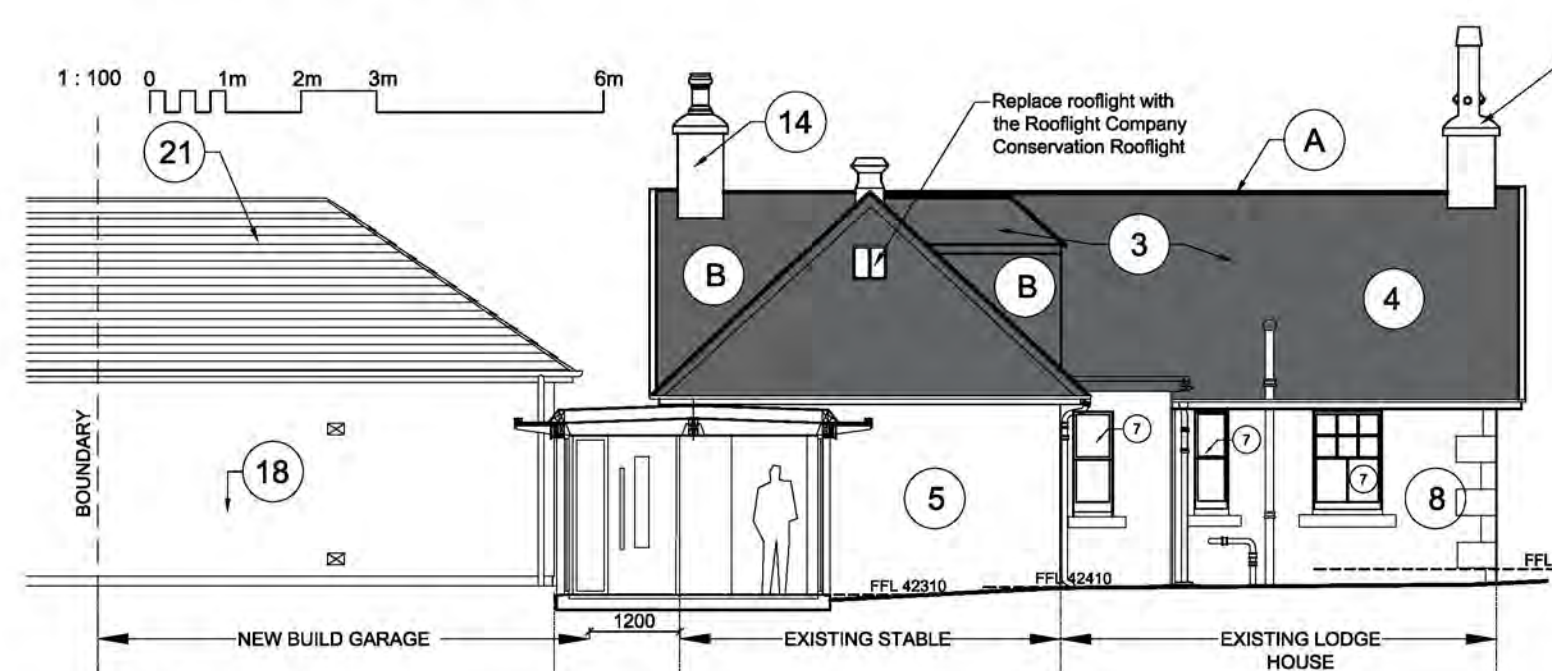
PROPOSED ROOF PLAN



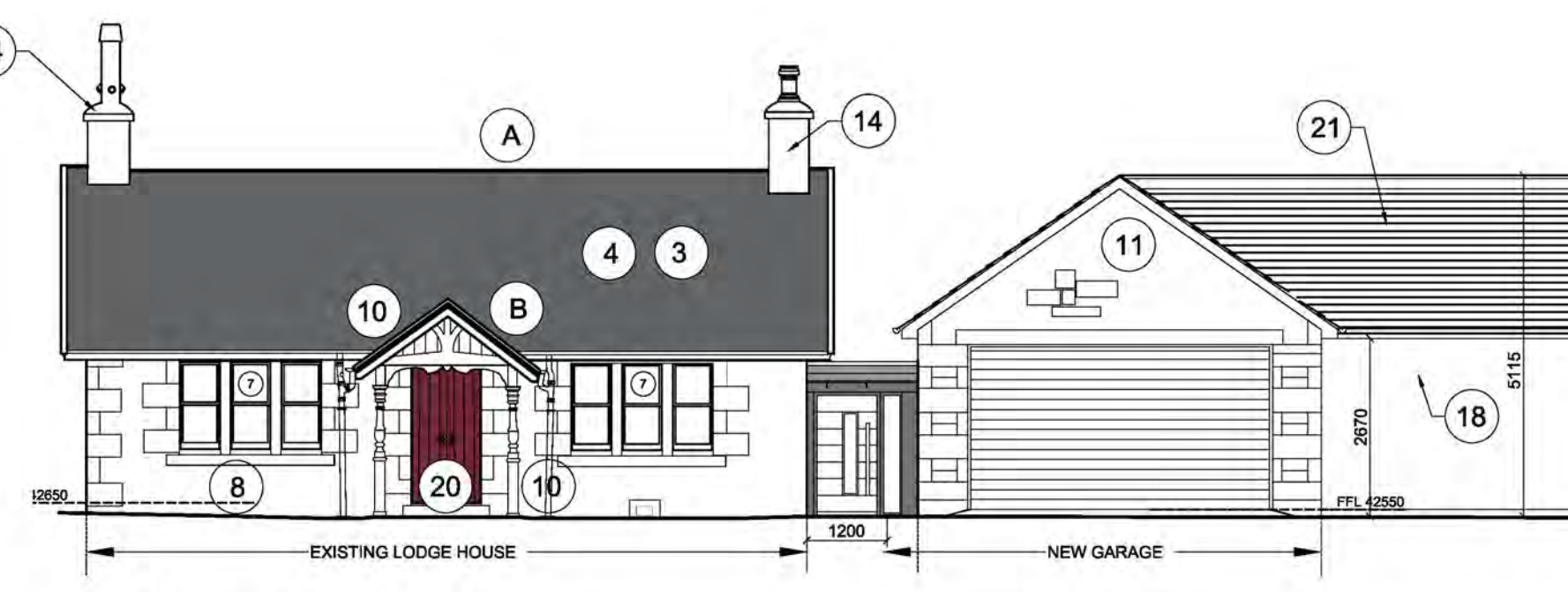
SOUTH ELEVATION (STREET)



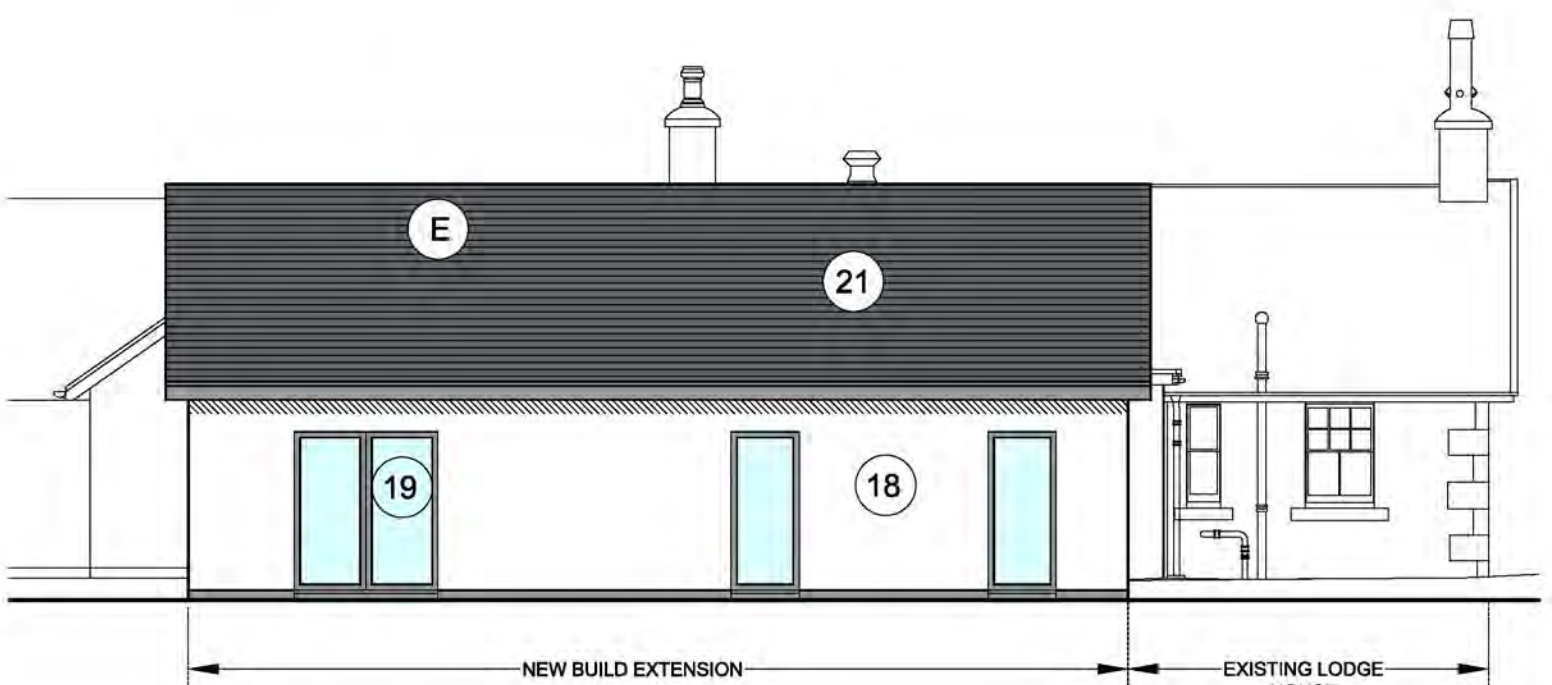
NORTH ELEVATION



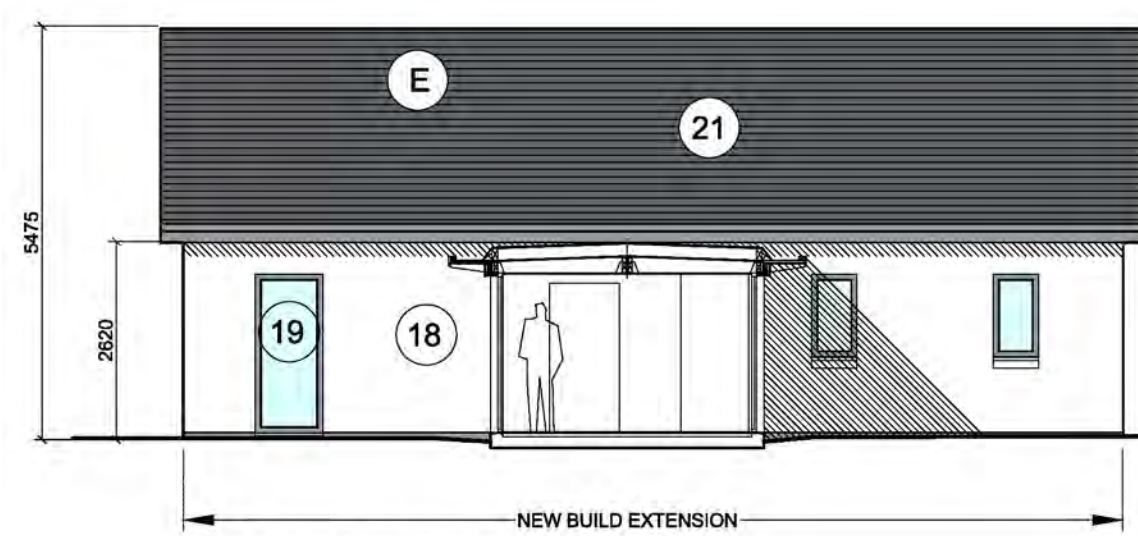
SECTION A-A



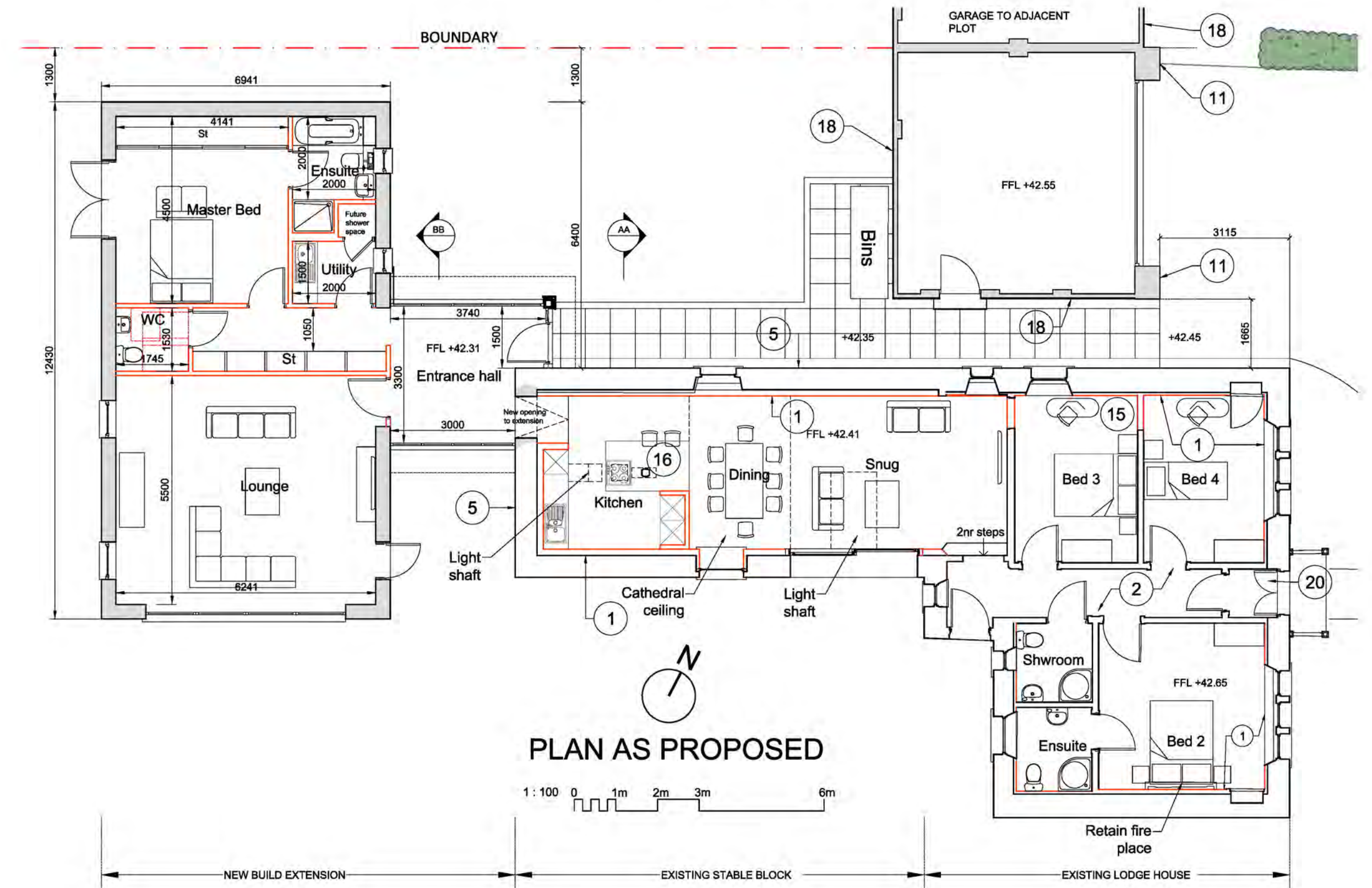
EAST ELEVATION



WEST ELEVATION OF NEW EXTENSION



SECTION B-B



PLAN AS PROPOSED

NOTES FOR DOWNTAKINGS AND NEW WORKS

- (1) INSULATE THE EXISTING STONE WALLS NBT REFURB SYSTEM IWI PAVADRY 60mm THICK, WITH TIMBER STRAPPING TO CREATE A SERVICE VOID TO THE INTERNAL FACE AND FINISHED WITH 12.5mm FERMACELL BOARD
- (2) REPLACE EXISTING TIMBER FLOOR JOISTS WHERE NECESSARY AND INSULATE BETWEEN. ENSURE VENTILATION BELOW IS MAINTAINED ADJUSTING EXTERNAL GROUND LEVELS AS REQUIRED.
- (3) OPEN UP AND INSPECT THE ROOF & RECTIFY ANY DEFECTS AS NECESSARY TO MAINTAIN THE FUTURE INTEGRITY OF THE ROOF STRUCTURE. ANY REPLACEMENT ROOF TIMBERS REQUIRED ARE TO BE LIKE FOR LIKE IN TERMS OF STRUCTURAL DESIGN, ORIENTATION AND SIZE OF TIMBERS AND FIXING TYPES AS FAR AS REASONABLY PRACTICAL. INSTALL INSULATION AND BREATHER MEMBRANE & NEW SW SARKING BOARD TO SCOTTISH DETAIL
- (4) REMOVE SLATES FOR REDRESSING AND REUSE ON THE LODGE & STABLES. SOURCE SUITABLE SECOND HAND SCOTTISH SLATE TO MAKE UP SHORT FALL.
- (5) THERMOCROMEX RENDER TO BE SPRAY APPLIED TO NORTH WALL OF COTTAGE AND STABLE, & WEST ELEVATION OF STABLE BLOCK. COLOUR MATCH TO BE CARRIED OUT TO SUIT COLOUR OF EXISTING STONEMWORK, SIMILAR TO COLOUR NO. 95. TEXTURE TO BE DASH
- (6) REMOVE AND REPLACE TIMBER SAFE LINTELS
- (7) ALL EXISTING WINDOWS TO BE REPLACED WITH SLIDING SPRING BALANCED SASH & CASE WINDOWS TO INCLUDE STEPPED SASHES & ASTRAGALS TO MATCH EXISTING. ALL WINDOWS TO BE TIMBER, PAINTED OFF WHITE. ALL GLAZING AT BELOW 800mm AFFL TO BE SAFETY GLASS TO BS 6262:Part4:2005
- (8) CARRY OUT SPOT POINTING TO EXTERNAL WALLS USING NHL3.5 LIME MORTAR
- (9) REPLACE TIMBER EAVES AND FASCIAS TO MATCH EXISTING IN DETAIL AND FINISH.
- (10) REPLACE ROTTEN TIMBERS AS REQUIRED ON PORCH TO MATCH EXISTING PROFILE.
- (11) FRONT GABLE OF GARAGE TO BE DRESSED IN STONE RECYCLED FROM DEMOLISHED outhouse
- (12) REMOVE ALL EXISTING SERVICES AND REPLACE WITH NEW.
- (13) NEW BUILD EXTENSION TO BE TIMBER FRAME INSULATED KIT WITH RENDERED BLOCKWORK OUTER LEAF
- (14) REPAIR EXISTING CHIMNEY HEADS TO BE REHAUNCHED IN NHL5 LIME MORTAR AND REPOINTED IN NHL5 LIME MORTAR.
- (15) REMOVE CHIMNEY BREASTS BELOW CEILING LEVEL AND INSTALL STABLES AS PER ENGINEER'S DETAILS.
- (16) EXISTING CAST IRON SUPPORT POST IN STABLE BLOCK TO BE REUSED.

- (17) REPLACE ALL RAINWATER GOODS WITH CAST IRON TO MATCH EXISTING. NEW RAINWATER GOODS TO MATCH EXISTING.
- (18) NEW RENDER FINISH TO EXTENSION TO MATCH NEW BUILD PROPERTIES. COLOUR TO BE AGREED WITH PLANNING.
- (19) NEW HIGH PERFORMANCE ALUMINIUM WINDOWS TO EXISTING STABLE DOOR OPENINGS AND TO EXTENSION. COLOUR TO BE CONFIRMED.
- (20) NEW TIMBER STORM DOOR TO MAIN ENTRANCE OF EXISTING LODGE BUILDING
- (21) CUPA H3 HEAVY SLATE OR SIMILAR TO EXTENSION TO MATCH FINISH OF NEW BUILD.

REV	DATE	DESCRIPTION	DRN
C	06:02:18	NOTES NO. 3, & 5 CHANGED. SLIDING DOOR ADDED TO STABLE. FOLLOWING MEETING WITH THE PLANNING DEPARTMENT	CM
B	18:01:18	AMENDMENT TO GARAGE, REMOVAL OF LOFT, MINOR NOTE CHANGES	CM
A	08:01:18	EXTENSION REVISITED FOR LISTED BUILDING CONSENT AND NOTES REVISED	MF

**Bracewell Stirling CONSULTING**

- 38 WALKER TERRACE, TILLCOUNTRY, FK13 6EF ☎: 01259 750301
- 5 NESS BANK, INVERNESS, IV2 4SF ☎: 01463 233760
- 16 LOCHSIDE STREET, OBAN. PA34 4HP ☎: 01631 359054

CLIENT:  
**TULLOCH HOMES LTD**

PROJECT:  
**DRUMMONDHILL HOUSE**

DRG. TITLE:  
**GATEHOUSE - PROPOSED PLANS & ELEVATIONS**

STATUS:  
**PLANNING**

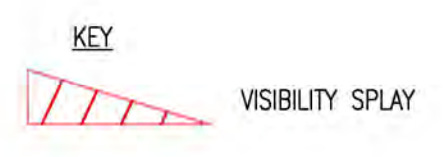
SCALE: 1:100 DRAWN: -  
PAPER SIZE: A1 DATE: Oct 2017  
DWG No. 4265-01-201 REV. C





DO NOT SCALE

- NOTES
1. ALL DIMENSIONS ARE IN METRES UNLESS STATED OTHERWISE.
  2. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ENGINEERING DETAILS, DRAWINGS AND SPECIFICATIONS.
  3. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ENGINEER IMMEDIATELY SO THAT CLARIFICATION CAN BE SOUGHT PRIOR TO THE COMMENCEMENT OF WORKS.
  4. THE CONTRACTOR IS TO KEEP A RECORD OF ANY VARIATIONS MADE ON SITE SO THAT "AS-BUILT" DRAWINGS CAN BE PREPARED ON COMPLETION OF THE PROJECT.
  5. ANY VARIATIONS ARE TO BE AGREED WITH THE ENGINEER AND THE RELEVANT APPROVALS IN PLACE PRIOR TO THE COMMENCEMENT OF WORK.
  6. ANY WORK CARRIED OUT PRIOR TO THE RELEVANT APPROVALS BEING IN PLACE IS DONE SO AT THE CLIENT'S RISK.
  7. TOPOGRAPHICAL SURVEY PRODUCED BY A THIRD PARTY. WSP/PB CANNOT BE HELD RESPONSIBLE FOR THE ACCURACY OF STATIONS AND ASSOCIATED SURVEY WORKS.



WHITE LINING HATCHING AS PER TSRGD DIAG. 1040

WHITE LINING HATCHING AS PER TSRGD DIAG. 1040

A	16/04/2018	NNA	JUNCTION CENTRE LINE MADE PERPENDICULAR	AF	PW
REV	DATE	BY	DESCRIPTION	CHK	APP

DRAWING STATUS: FOR INFORMATION

7th Floor, 110 Queen St, Glasgow, G1 3BX, UK  
 T +44 (0) 141 429 3555, F +44 (0) 141 429 3666  
 wsp.com

CLIENT: TULLOCH HOMES LTD

ARCHITECT:

SITE/PROJECT: STRATHERRICK ROAD  
 INVERNESS

TITLE: ACCESS LAYOUT AND VISIBILITY

SCALE @ A1: 1:250	CHECKED: AF	APPROVED: PW
PROJECT NO: 70035266	DESIGNED: NNA	DRAWN: NNA
		DATE: April 2018

DRAWING No: 70035266-SK-004	REV: A
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File name: I:\UK\WSP\G00\UP\CENTRAL DATA\PROJECTS\70035266\STRATHERRICK RD - INVERNESS\SKETCHES\70035266-SK-004.DWG, printed on 16 April 2018 15:46:08 by Ayesh, Nayan

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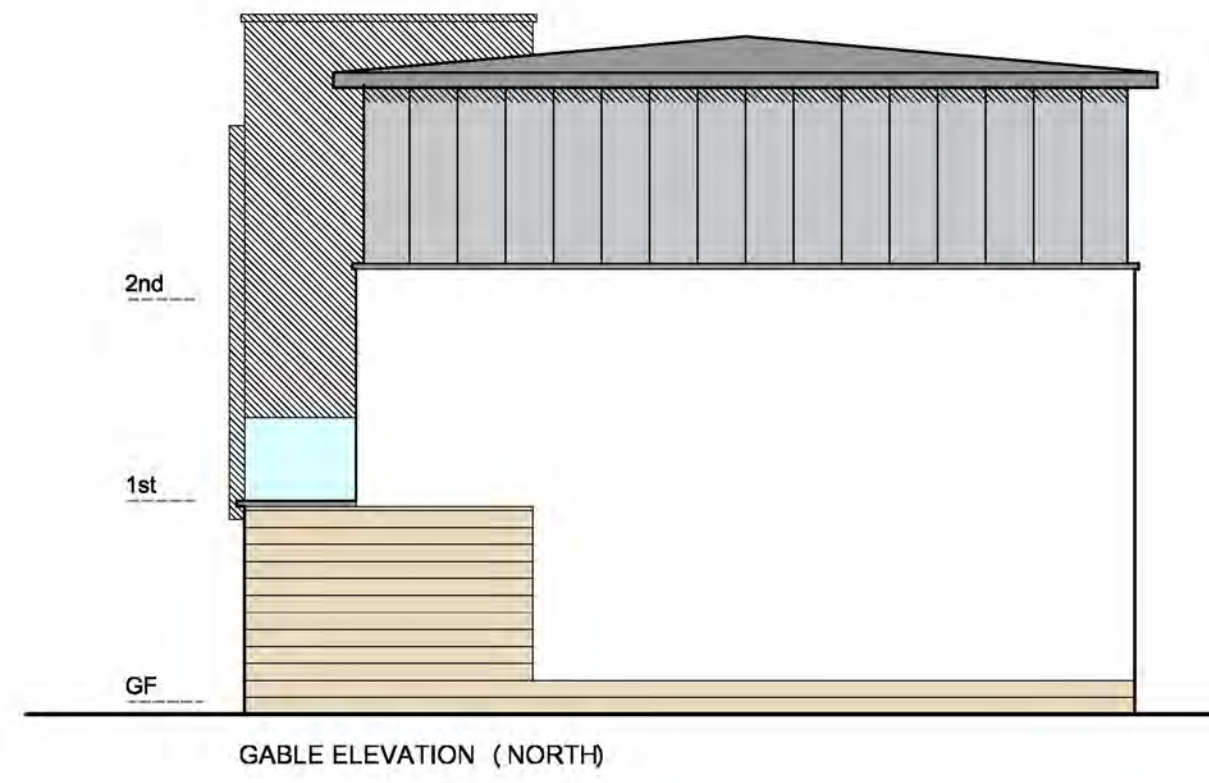
FRONT ELEVATION (EAST)



GABLE ELEVATION (SOUTH)



REAR ELEVATION (WEST)



GABLE ELEVATION (NORTH)

**FINISHES**

**External walls:** Cast stone ashlar walling with uniform coursing, colour Buff, with rendered feature panels, colour, off white.

**Cladding:** Metal standing seam, Slate Grey

**Windows:** RAL 7015 Slate Grey

**Doors:** Timber RAL 7015 Slate Grey

**Garage Doors:** RAL 7015 Slate Grey, sectional insulated panel with smooth finish

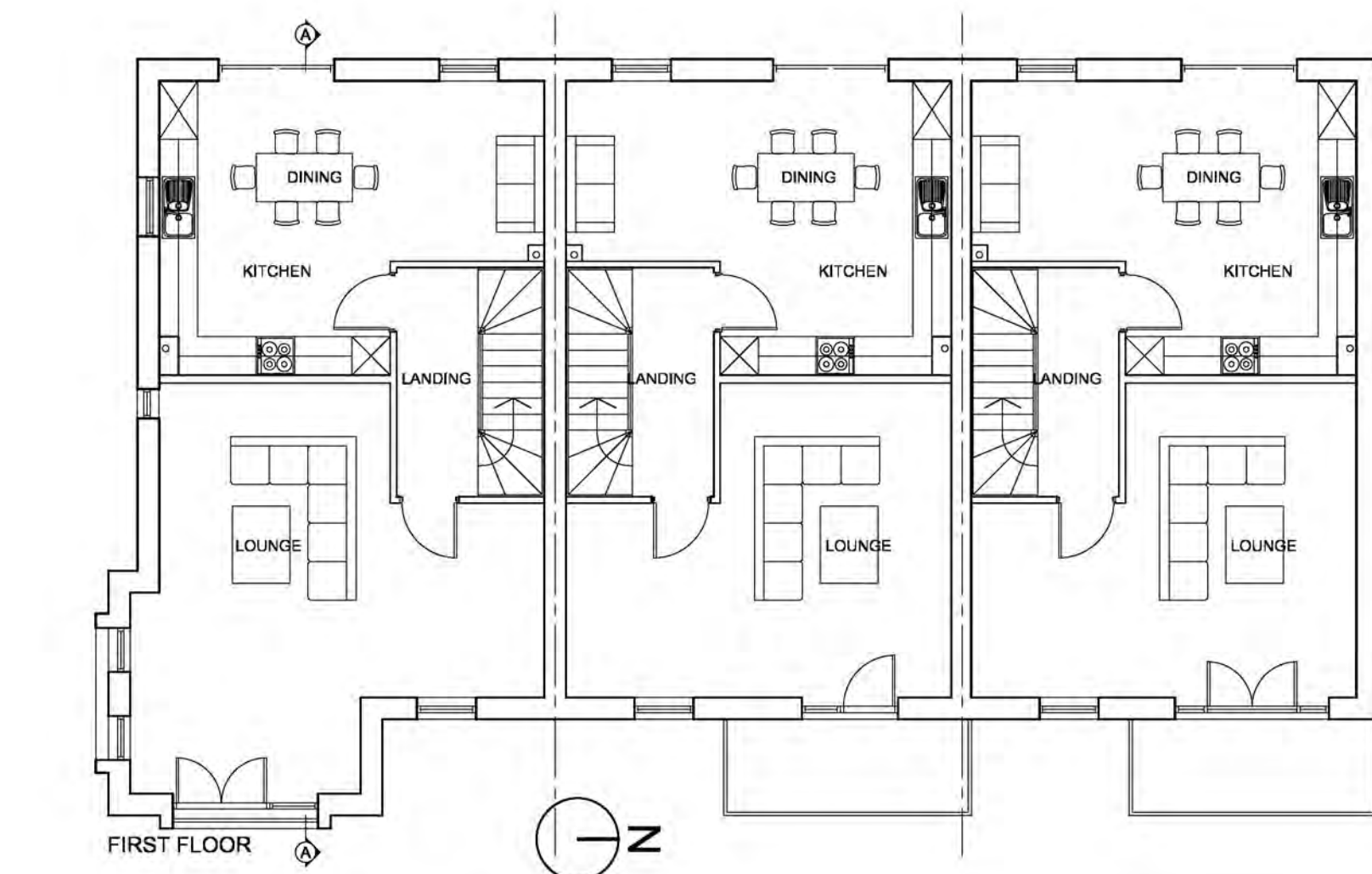
**Coping:** PPC Aluminium, coloured to match standing seam wall cladding

**Balustrades:** Frameless structural glass with top brushed stainless steel rail

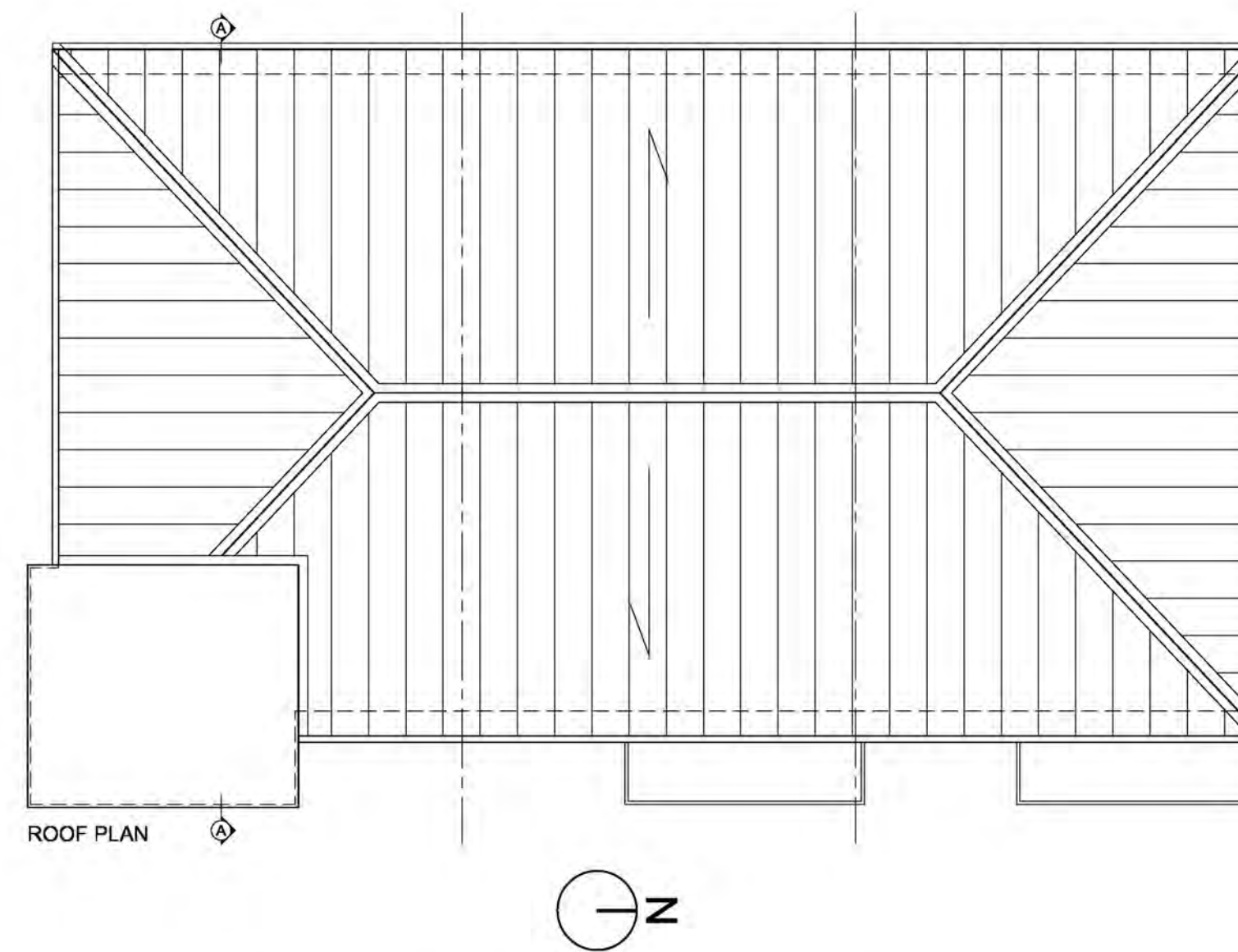
**Rainwater Goods:** Pressed aluminium box gutter, with circular aluminum flush joint downpipes, RAL 7015 Slate Grey

**Roof:** Metal standing seam to main roof, with bituminous membrane to corner tower

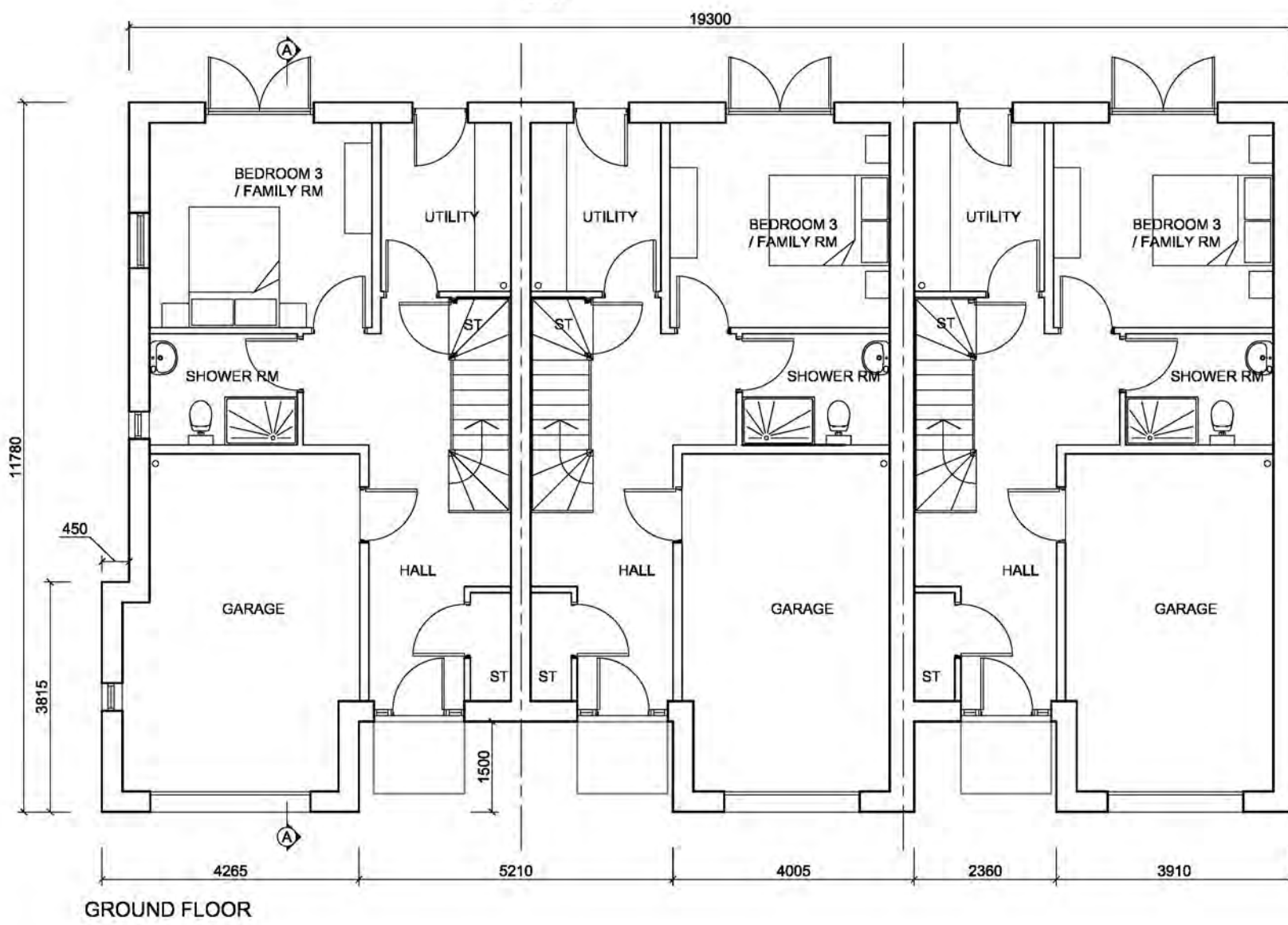
**Canopies:** Proprietary frameless, laminated glass panel with stainless steel planar fixings and support brackets



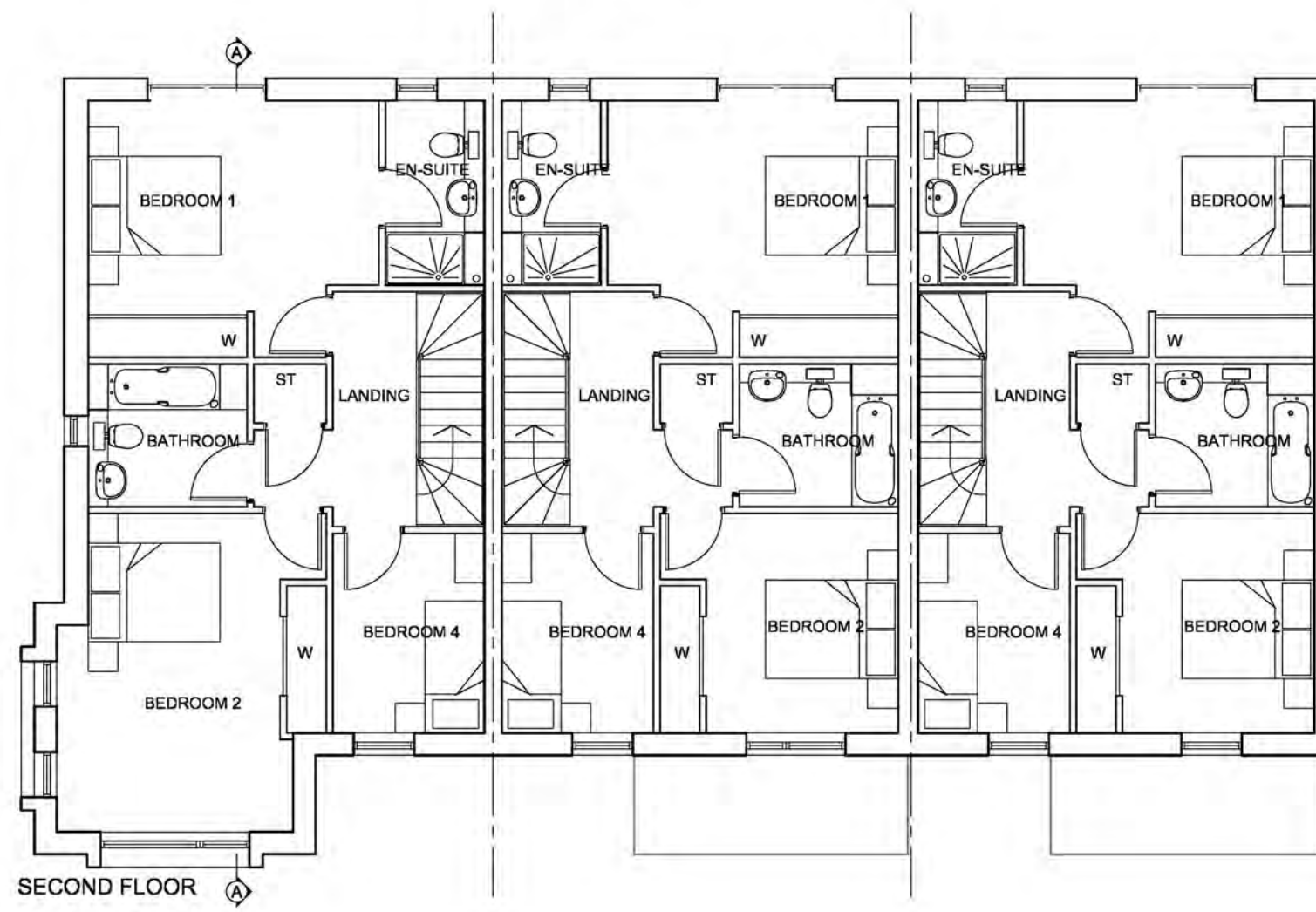
FIRST FLOOR



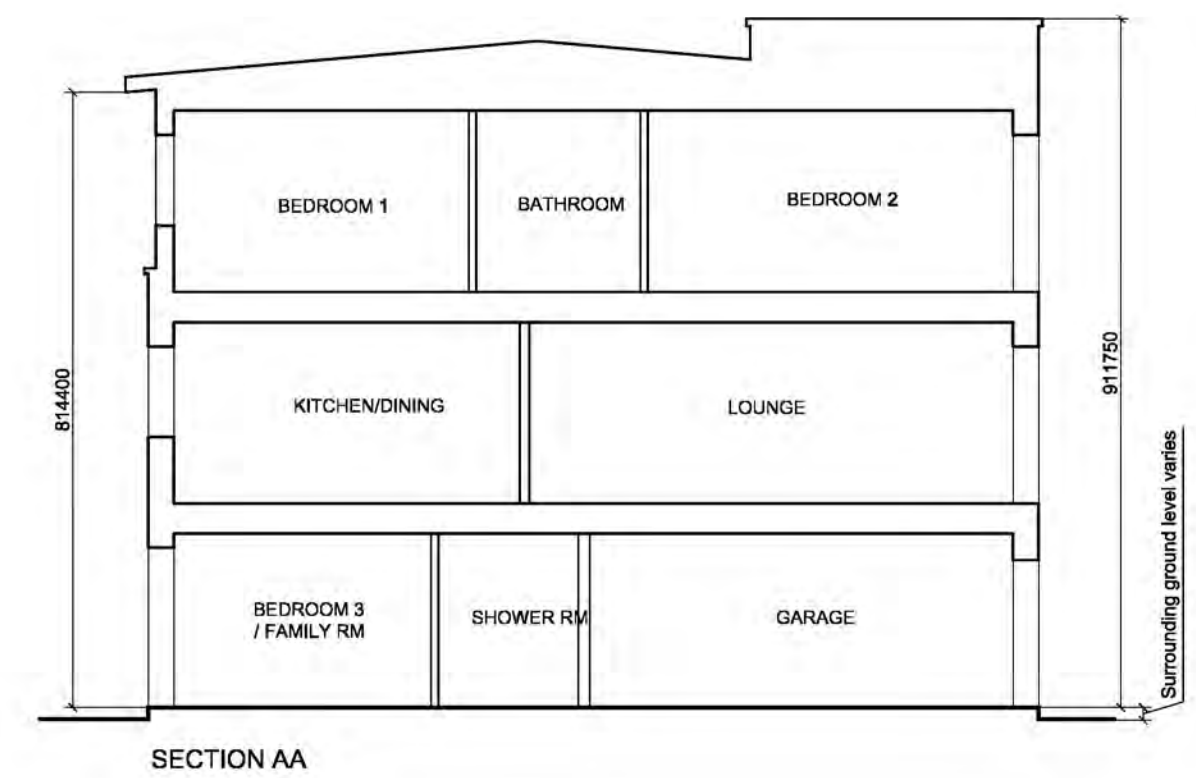
ROOF PLAN



GROUND FLOOR



SECOND FLOOR



SECTION AA

REV	DATE	DESCRIPTION	CM	DRN
A	06.02.18	Finishes description added, Ashlar coursing shown		

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILLCOUNTRY, FK13 6EF  
TEL: 01259 752365

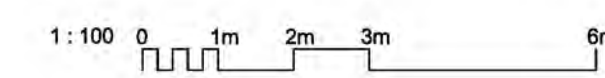
5 NESS BANK, INVERNESS, IV2 4SF  
TEL: 01463 233760

DRUMMONDHILL  
INVERNESS  
TULLOCH HOMES LTD

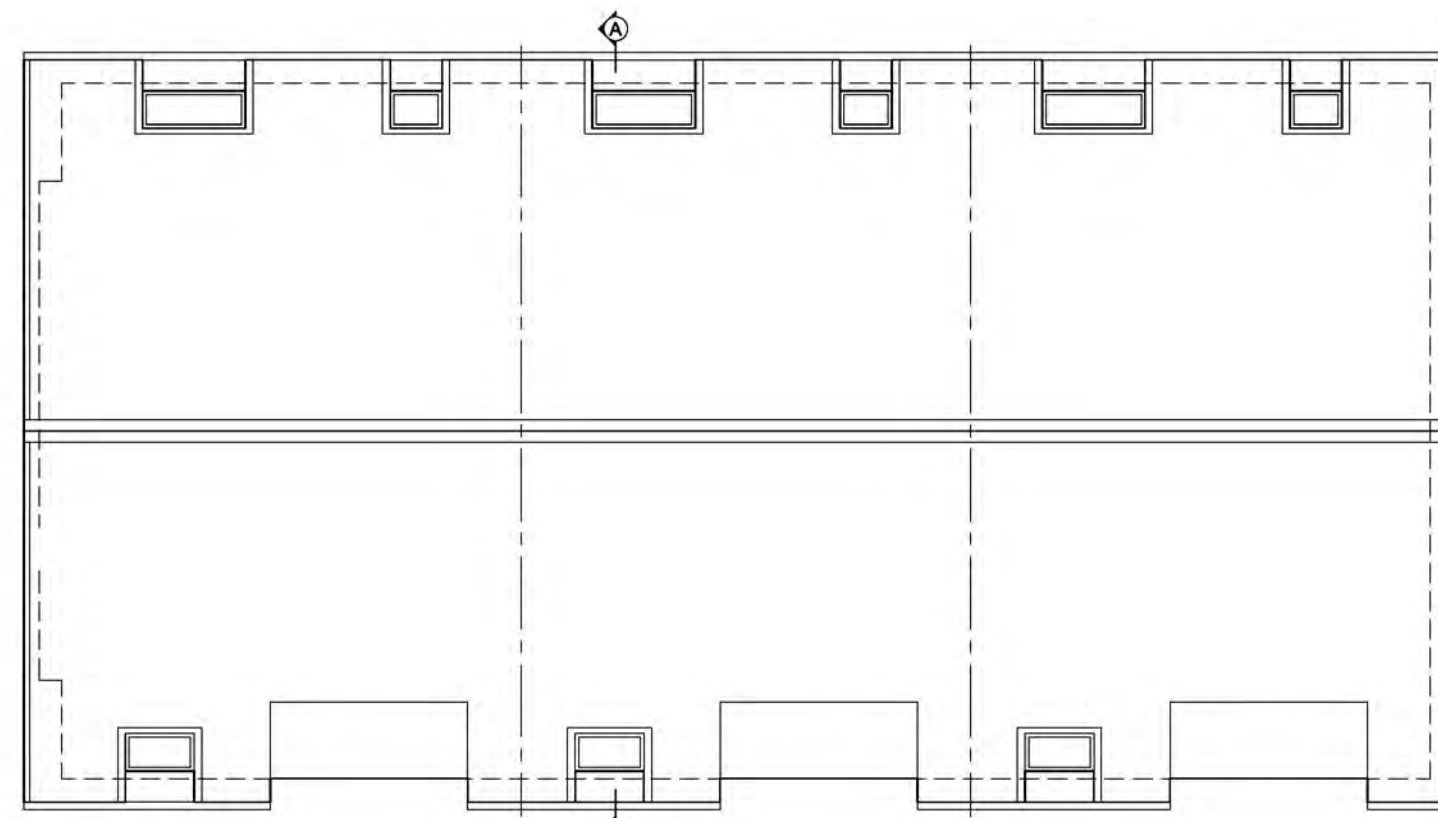
TITLE  
TOWNHOUSE - GENERAL LAYOUT

SCALE	DATE	BY	PL
1 : 100	12/09/2017		
	PURPOSE	PAPER	A1

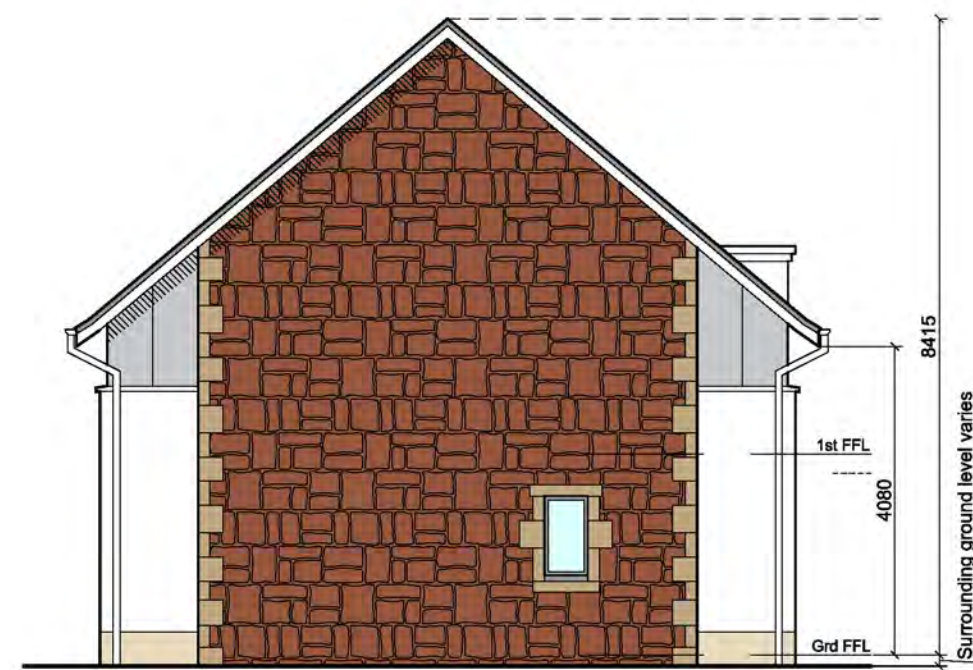
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4265-01-001 A







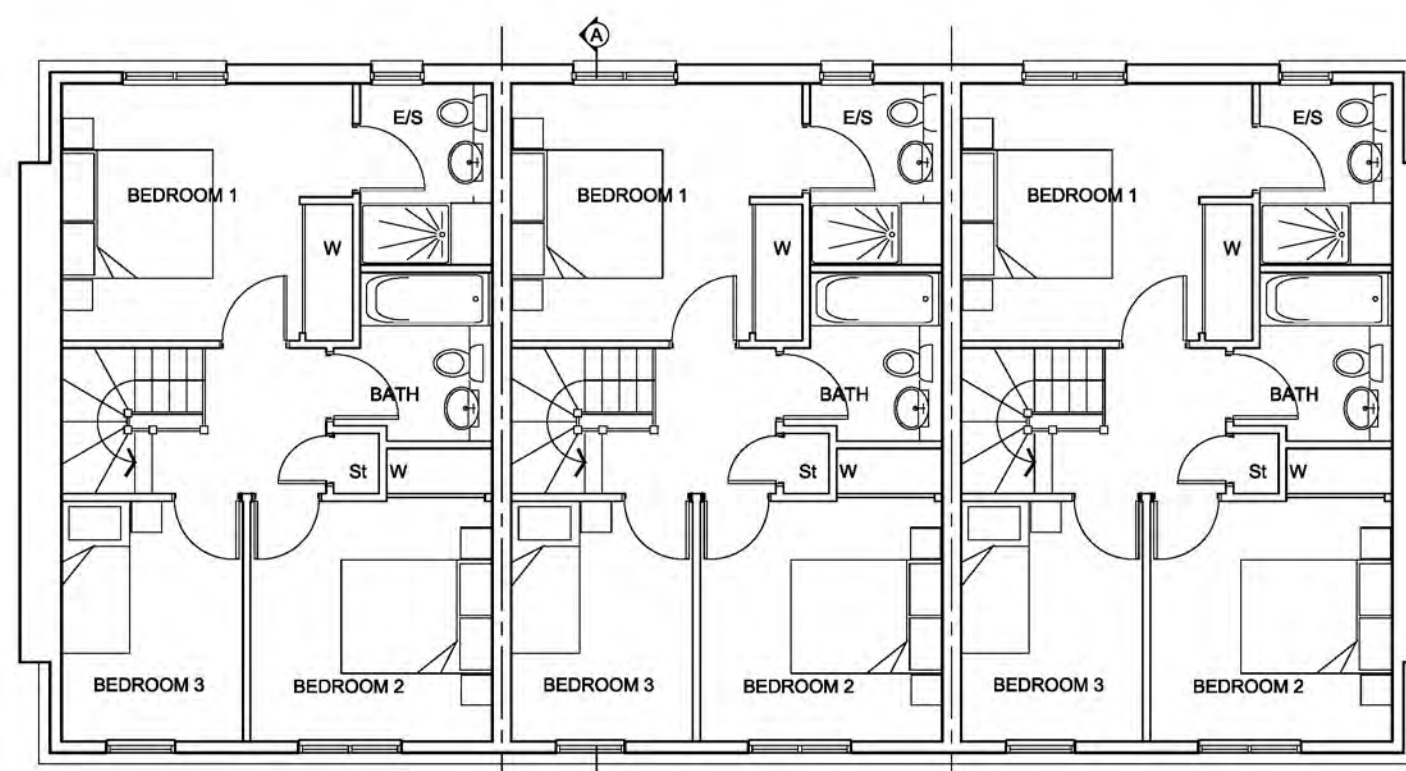
ROOF PLAN



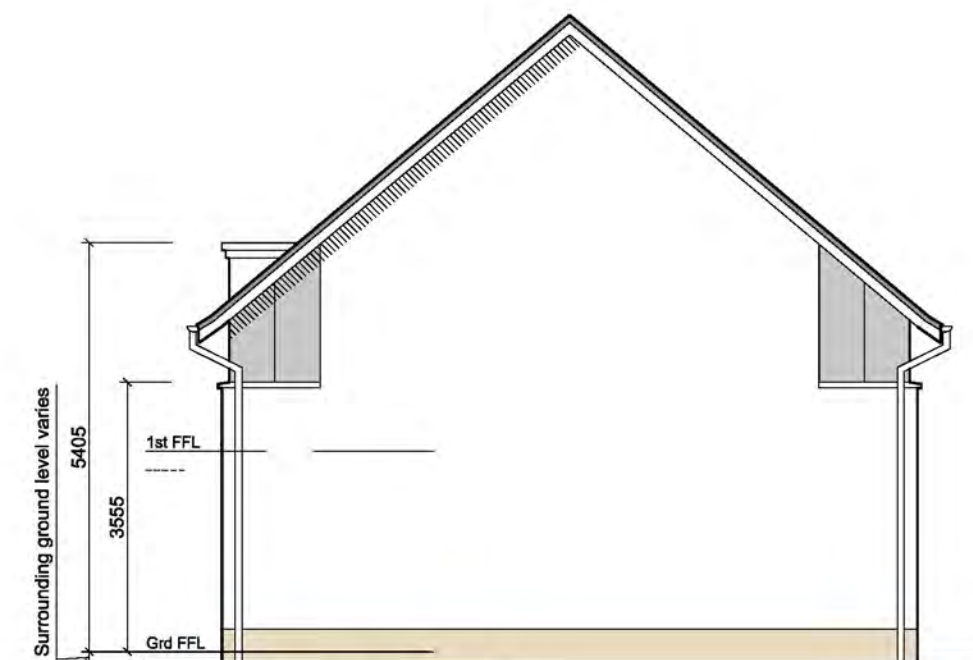
GABLE ELEVATION



VISUAL REPRESENTATION OF THE SOUTH ELEVATION



FIRST FLOOR PLAN



SECTION AA



REAR ELEVATION (NORTH)

**FINISHES**

**External walls:** Rendered, colour-off white with cast stone ashlar block below DPC level, colour buff. Window sills, precast, dark grey.

**Feature Gable wall:** Faced with stone reclaimed from demolished outhouse complete with ashlar quoins

**Feature Cladding to Dormer & Clerestory:** Metal standing seam, Slate Grey

**Windows:** RAL 7015 Slate Grey

**Roof Windows:** Velux

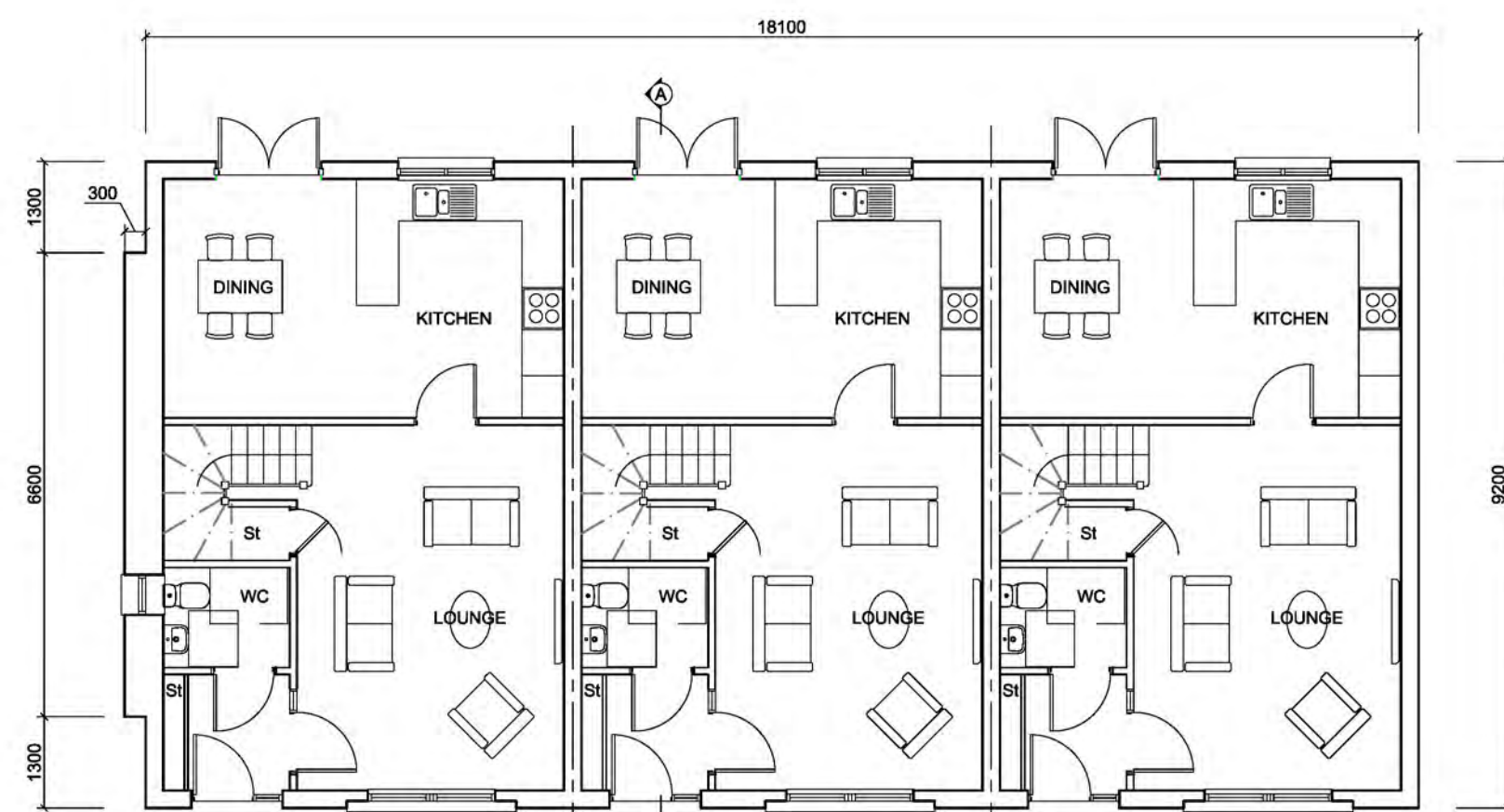
**Doors:** Timber RAL 7015 Slate Grey

**Rainwater Goods:** Pressed aluminium half round gutter, with circular aluminum flush joint downpipes, RAL 7015 Slate Grey

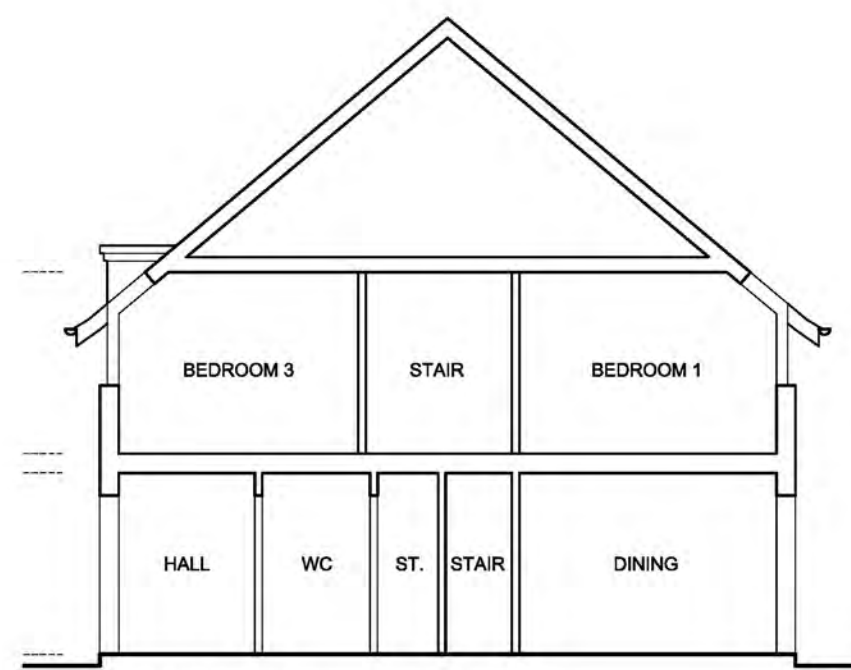
**Roof:** Natural slate, Cupa Heavy 3 with slate grey, metal with hip roll zinc flashing to ridge. Bituminous membrane to dormers.

**Fascia & Soffits:** PVC, colour Mid grey

**Canopies:** Proprietary frameless, laminated glass panel with stainless steel planar fixings and support brackets



GROUND FLOOR PLAN



FRONT ELEVATION (SOUTH)

B	08.02.18	Finishes and dimensions added	CM
A	26.1.18	Gable amended to show stone salvaged from outhouse	CM
REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILLCOLTRY, FK13 6EF  
TEL: 01259 752365

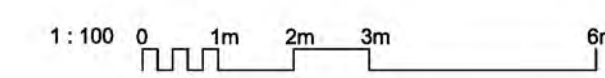
5 NESS BANK, INVERNESS, IV2 4SF  
TEL: 01463 233760

DRUMMONDHILL  
INVERNESS  
TULLOCH HOMES LTD

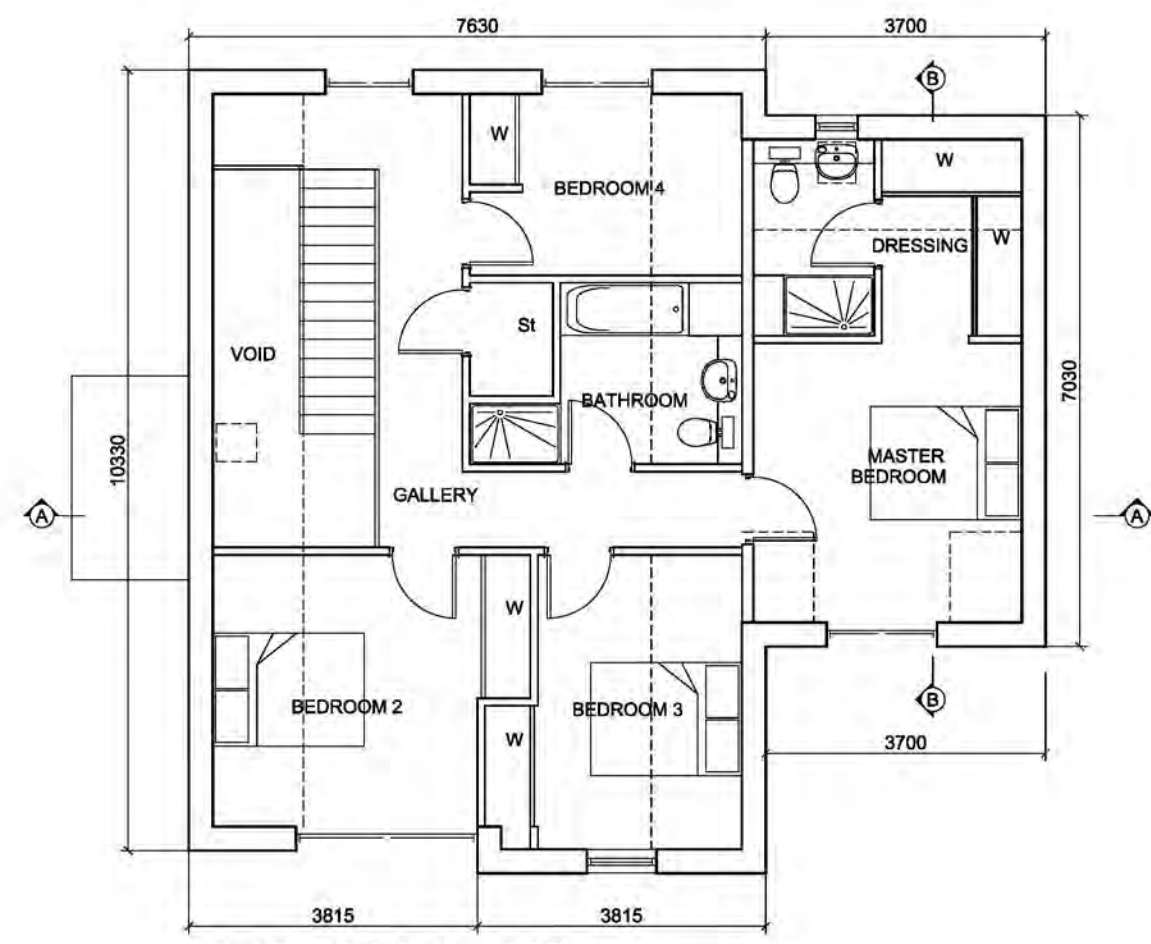
TITLE  
COTTAGES - GENERAL LAYOUT

SCALE	DATE	BY	PL
1 : 100	01/09/2017	PLANNING	PAPER
DWG NO.-REV			A1

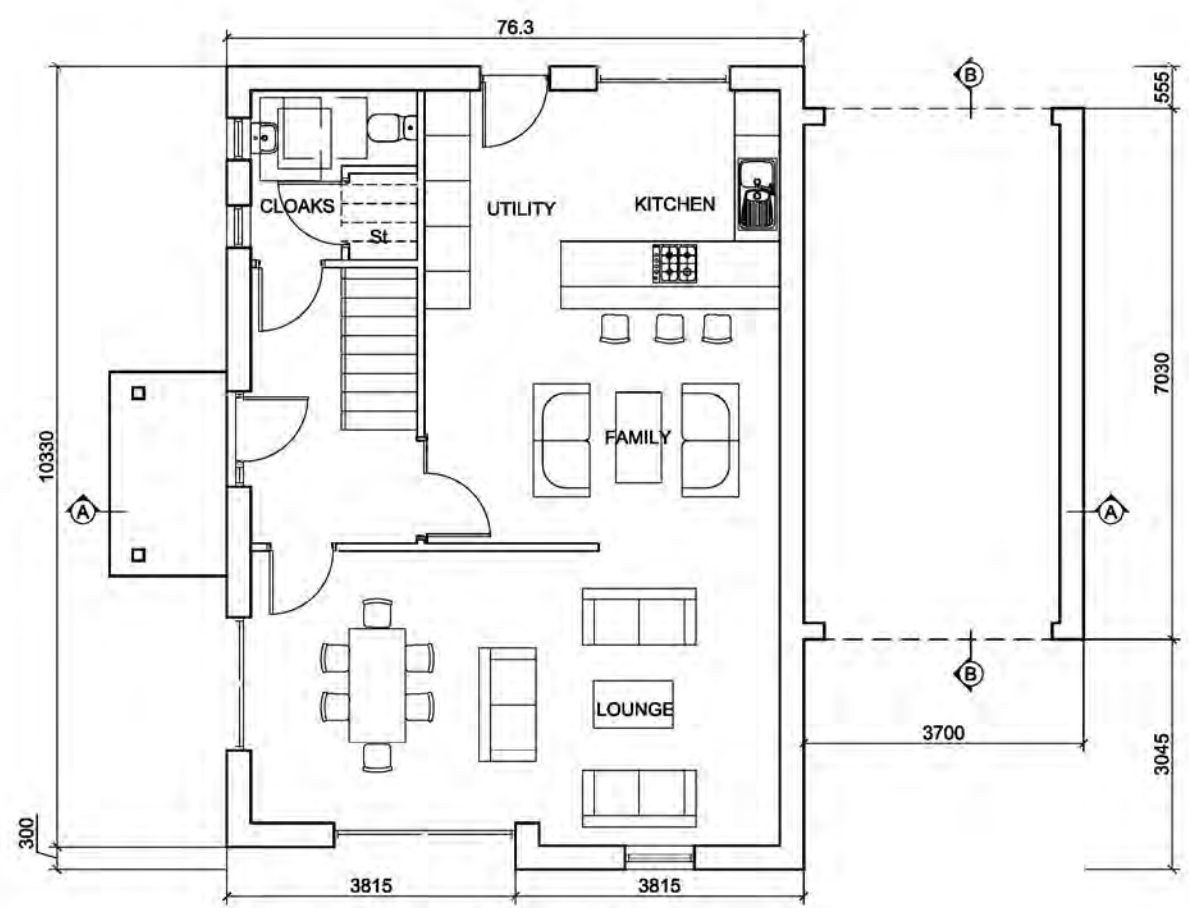
4265-01-003 B



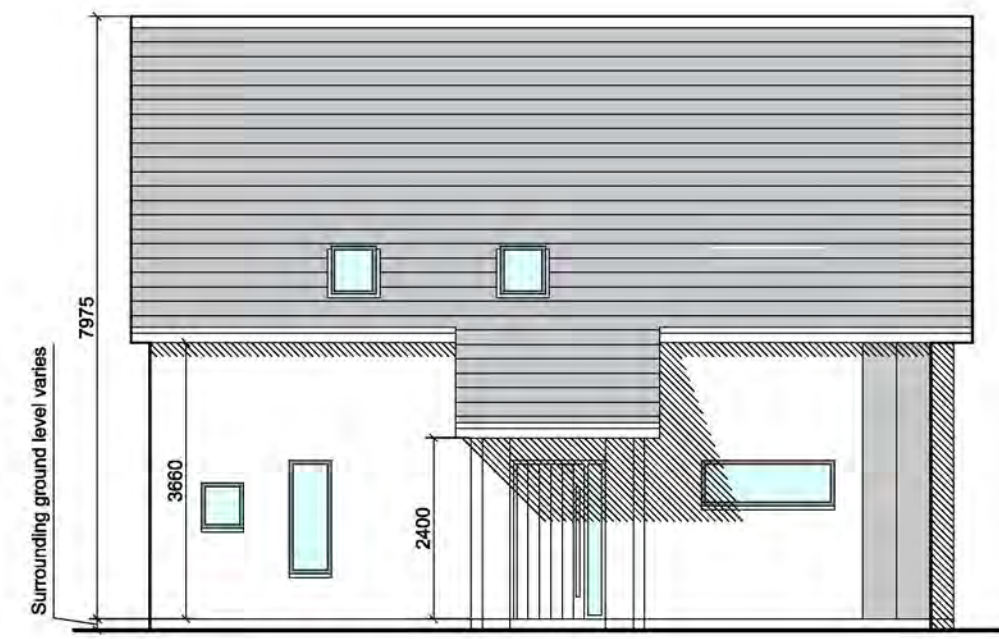




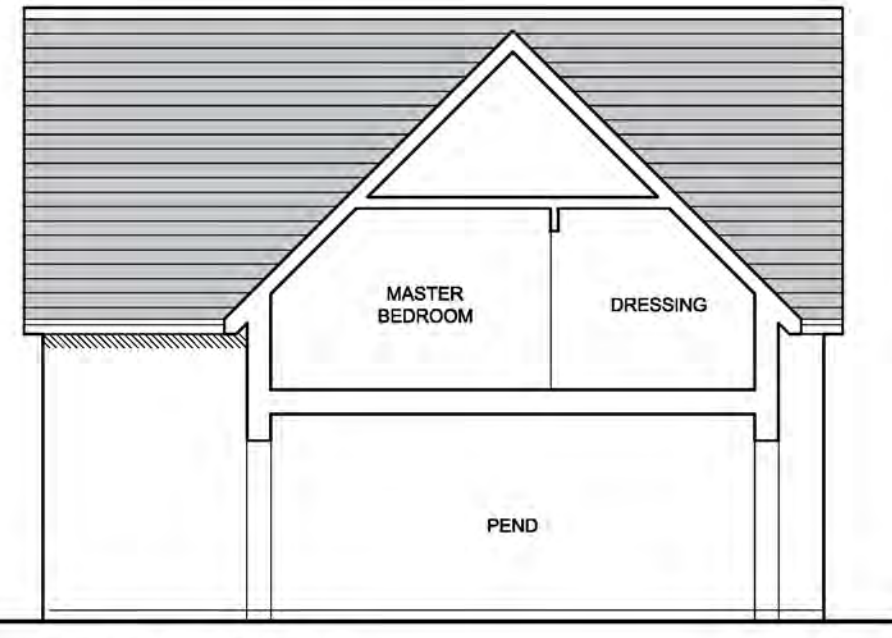
First Floor [handed to unit 38]  
91.86sqm



Ground Floor [handed to unit 38]  
61.8sqm  
GIF: 159.48sqm



FRONT ELEVATION (NORTH) [handed to unit 38]



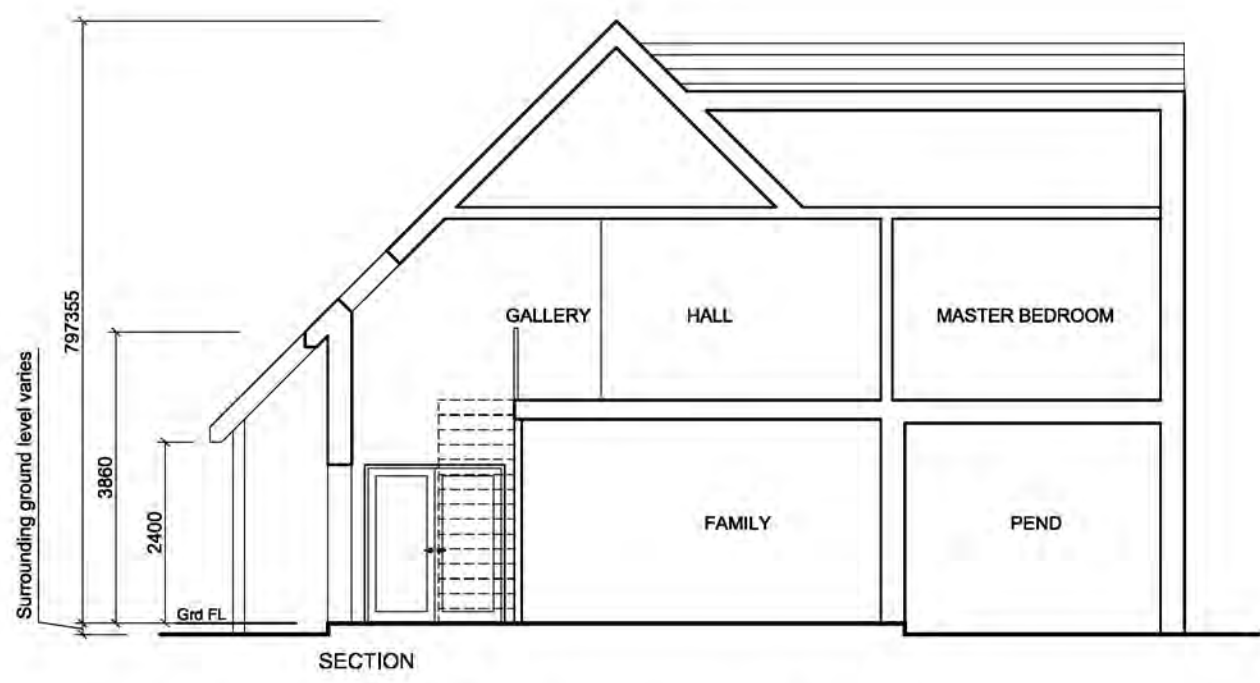
SECTION BB THROUGH PEND



GABLE ELEVATION (WEST) [handed to unit 38]



GABLE ELEVATION (EAST) [handed to unit 38]

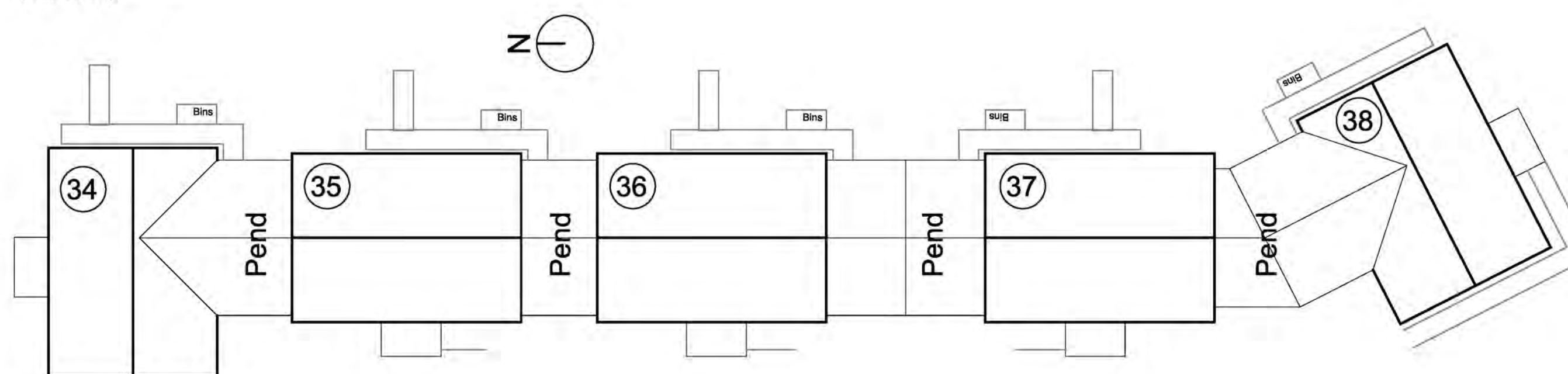


SECTION

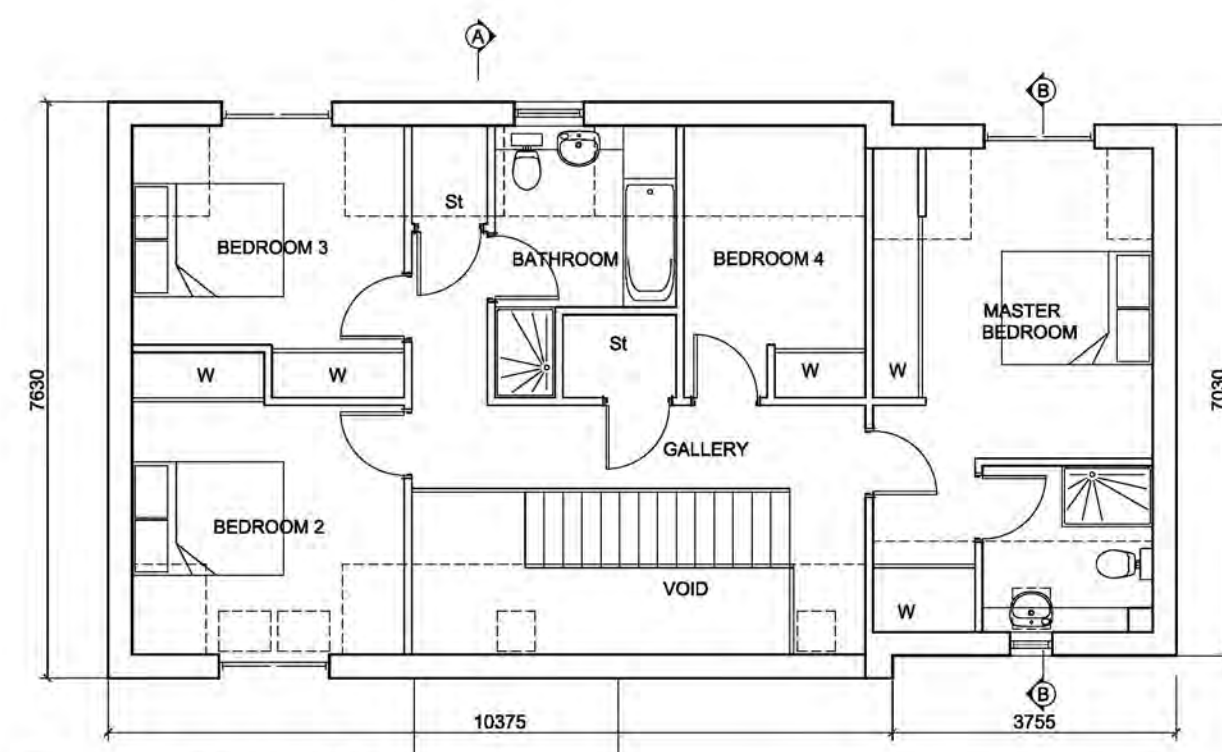
MEWS END 34 [handed to unit 38]



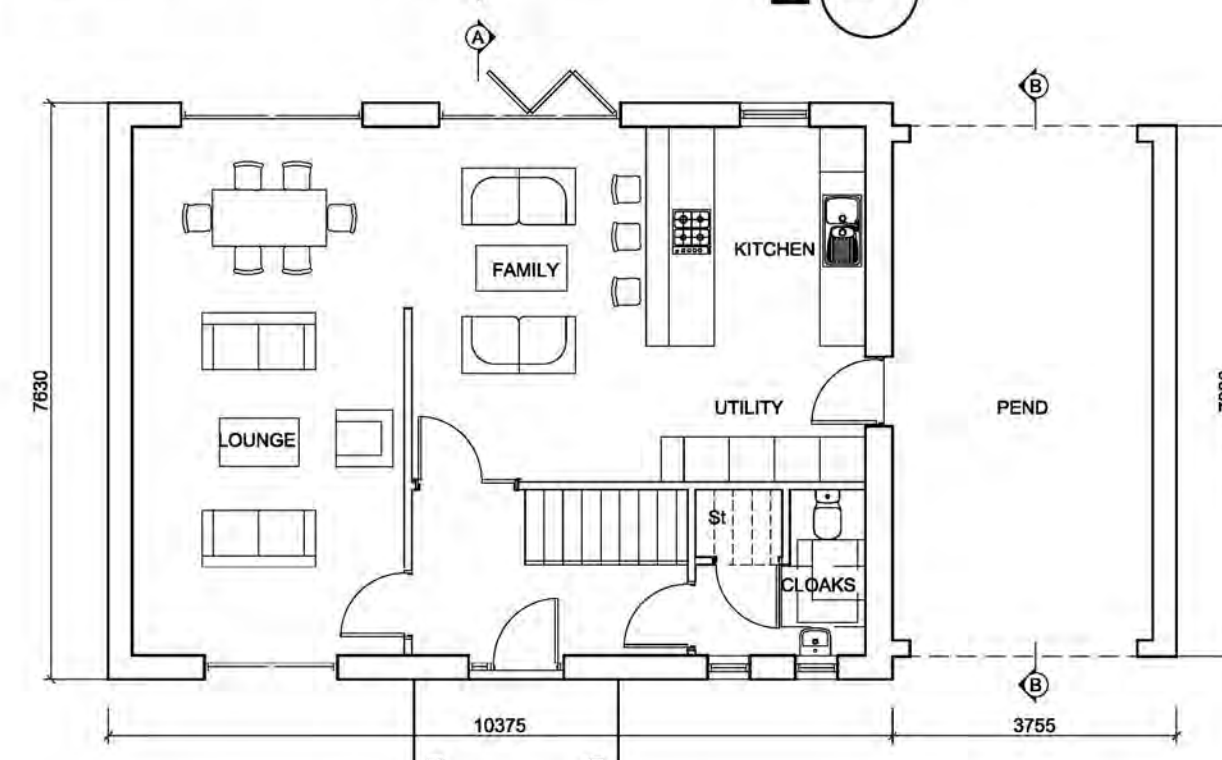
STREET ELEVATION - 1:200  
(FACING WEST)



BLOCK PLAN - 1:200



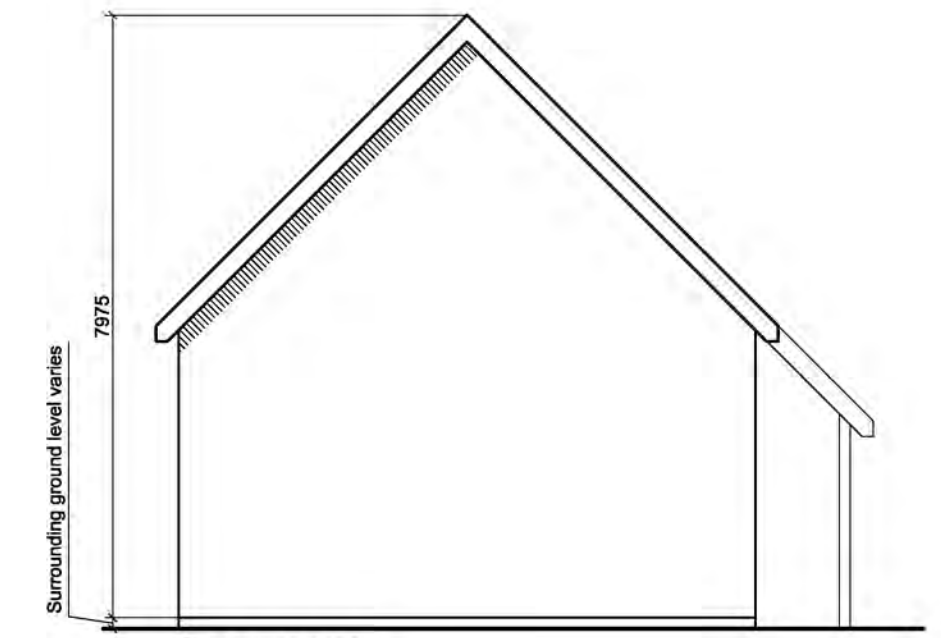
First Floor [handed to unit 37]  
112.22sqm



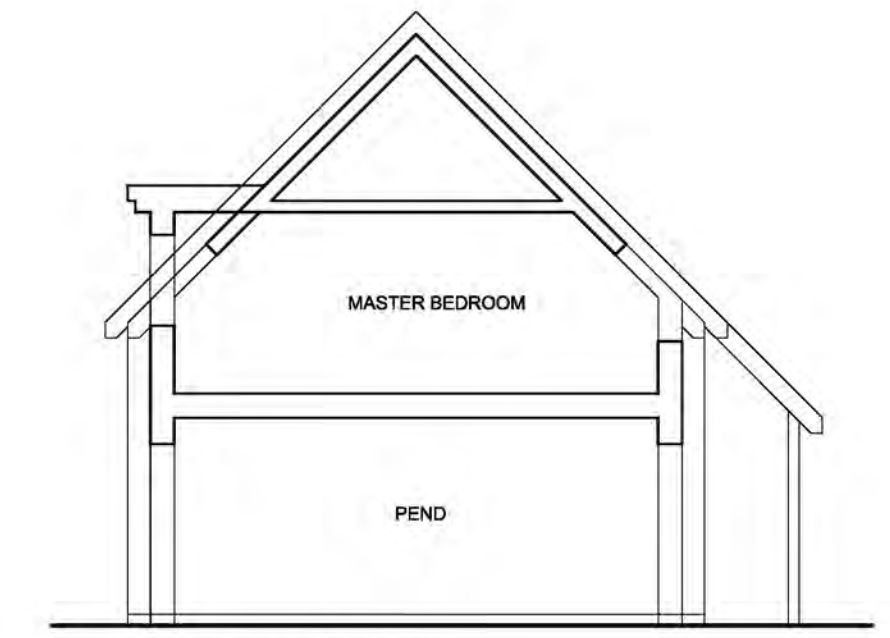
Ground Floor [handed to unit 37]  
91.16sqm  
GIF: 30.30sqm



SECTION AA



GABLE ELEVATION



SECTION BB THROUGH PEND



FRONT ELEVATION (WEST) [handed to unit 37]



REAR ELEVATION (EAST) [handed to unit 37]

MEWS MID  
[handed to unit 37]

**FINISHES**

**External walls:** Rendered, colour-off white with mid grey masonry block below DPC level. Window sills, precast, coloured to match masonry.

**Corner Feature Cladding to End Mews:** Metal standing seam, Slate Grey

**Dormer Surrounds:** Metal standing seam, Slate Grey

**Windows:** RAL 7015 Slate Grey

**Roof Windows:** Velux

**Doors:** Timber RAL 7015 Slate Grey

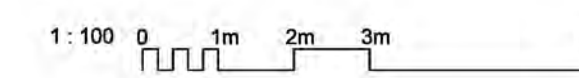
**Balustrades:** Frameless structural glass with top brushed stainless steel rail

**Rainwater Goods:** Pressed aluminium half round gutter, with circular aluminum flush joint downpipes, RAL 7015 Slate Grey

**Roof:** Natural slate, Cupa Heavy 3 with slate grey, metal with hip roll zinc flashing to ridge. Metal tanding seam roof to pend

**Fascias & Soffits:** PVC, colour Mid grey

**Exposed Rafter:** Timber painted mid grey to match the fascias



A	7.02.18	Finishes and dimensions added	CM
REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOLTRY, FK13 6EF

TEL: 01259 752365

5 NESS BANK, INVERNESS, IV2 4SF

TEL: 01463 233760

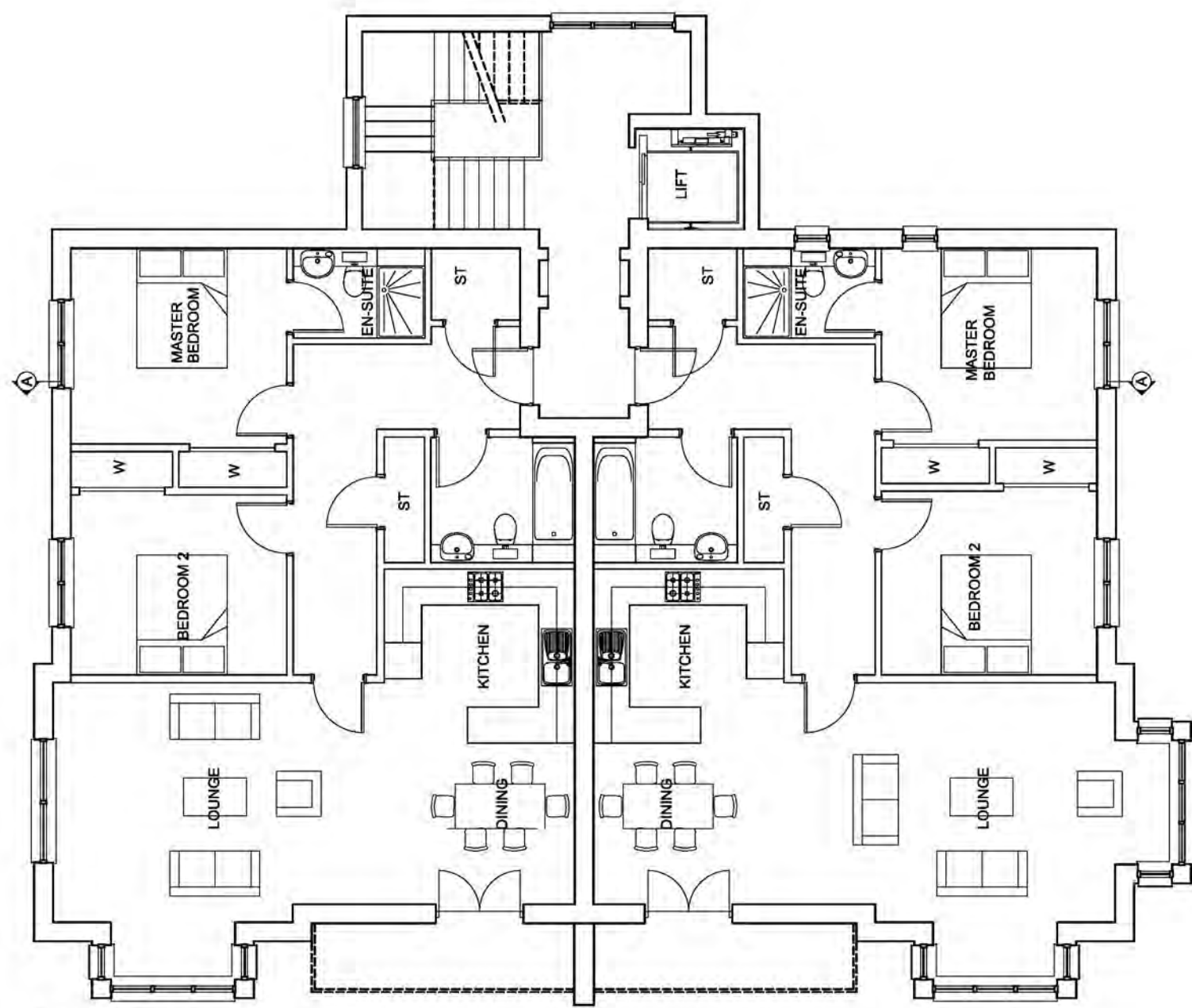
DRUMMONDHILL  
INVERNESS  
TULLOCH HOMES LTD

TITLE  
MEWS - GENERAL LAYOUT

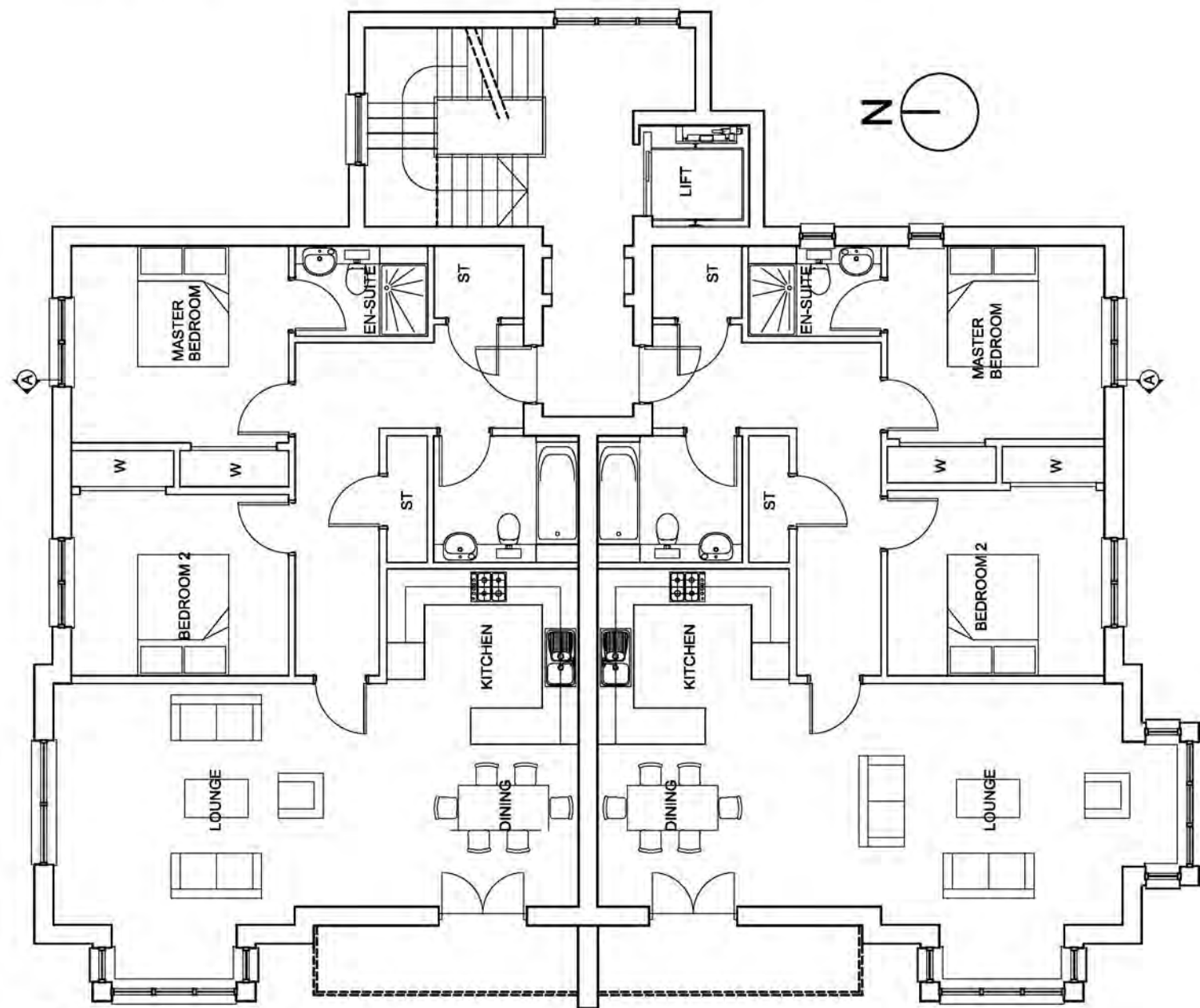
SCALE	1 : 100	DATE	27/09/2017	BY	PL
DWG NO.-REV		PURPOSE	PLANNING	PAPER	A1

DWG NO.-REV 4265-01-004 A

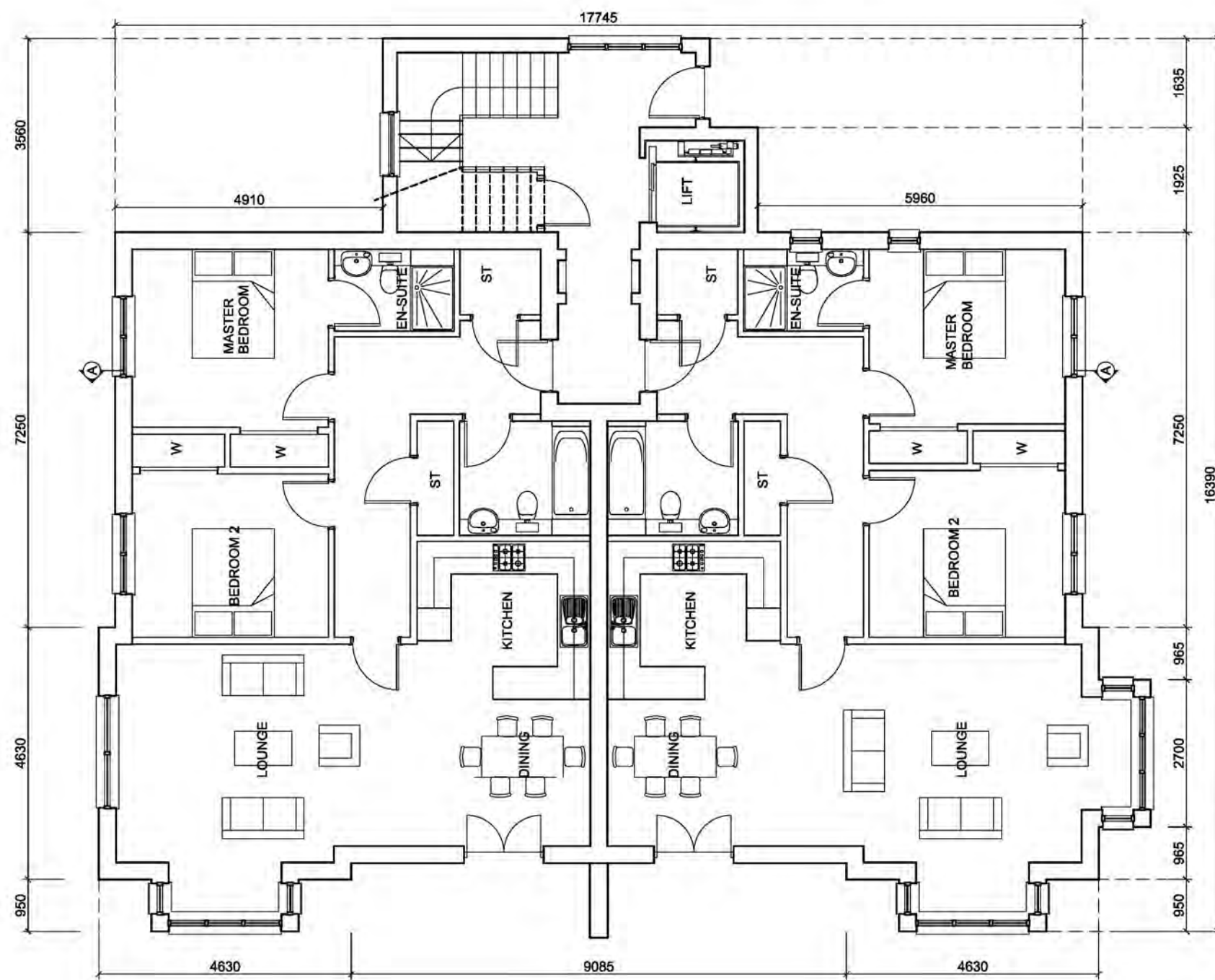




SECOND FLOOR



FIRST FLOOR



GROUND FLOOR



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

**FINISHES**

**External walls:** Cast stone ashlar walling with uniform coursing, colour Buff, with rendered feature panels, colour, off white.

**Cladding Panels:** Metal standing seam, Slate Grey

**Spandrel Panels:** Metal standing seam, Slate Grey

**Windows and patio doors:** RAL 7015 Slate Grey

**Entrance Door:** Timber RAL 7015 Slate Grey

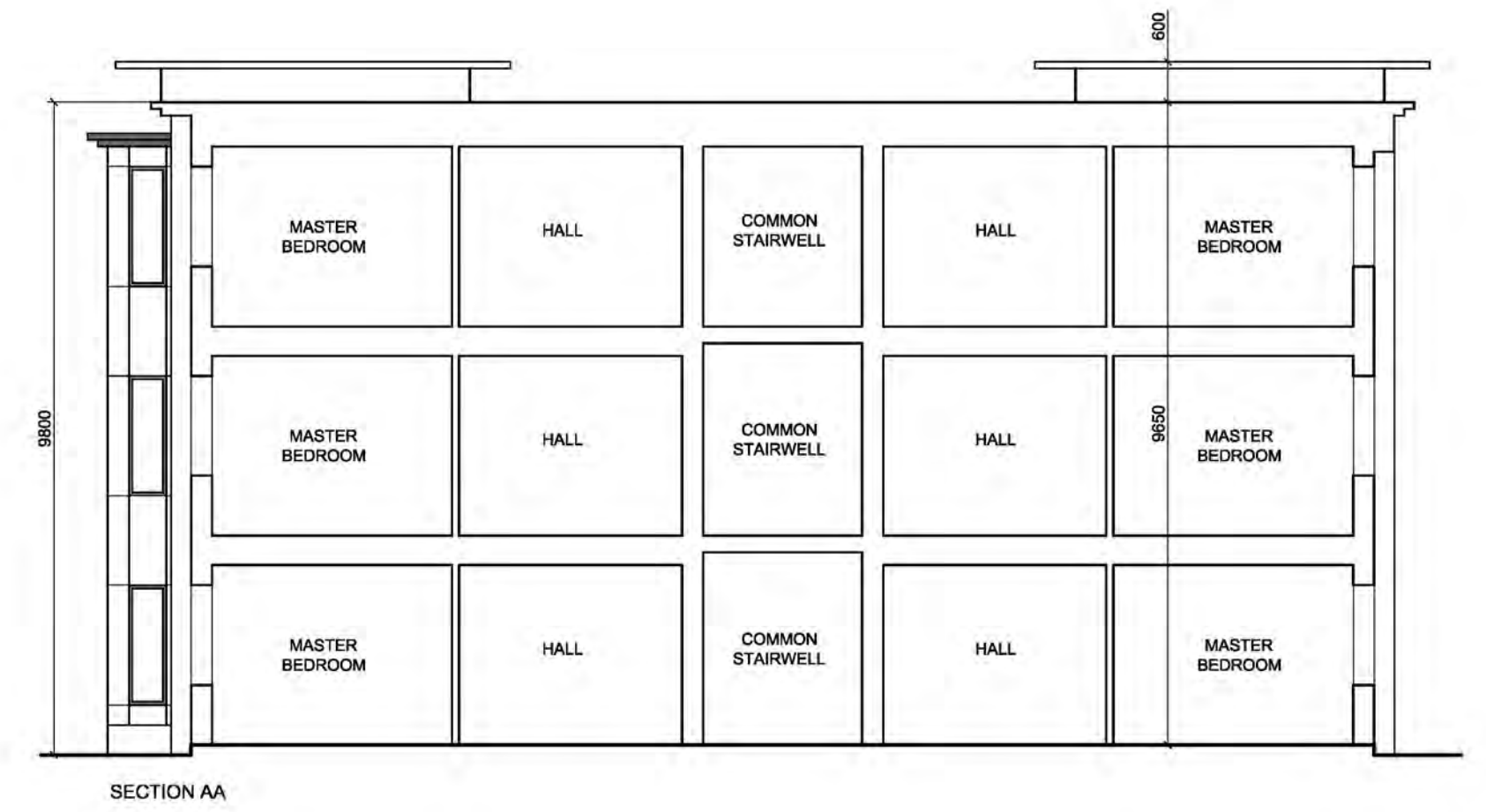
**Coping:** PPC Aluminium, coloured to match standing seam wall cladding

**Balustrades:** Frameless structural glass with top brushed stainless steel rail

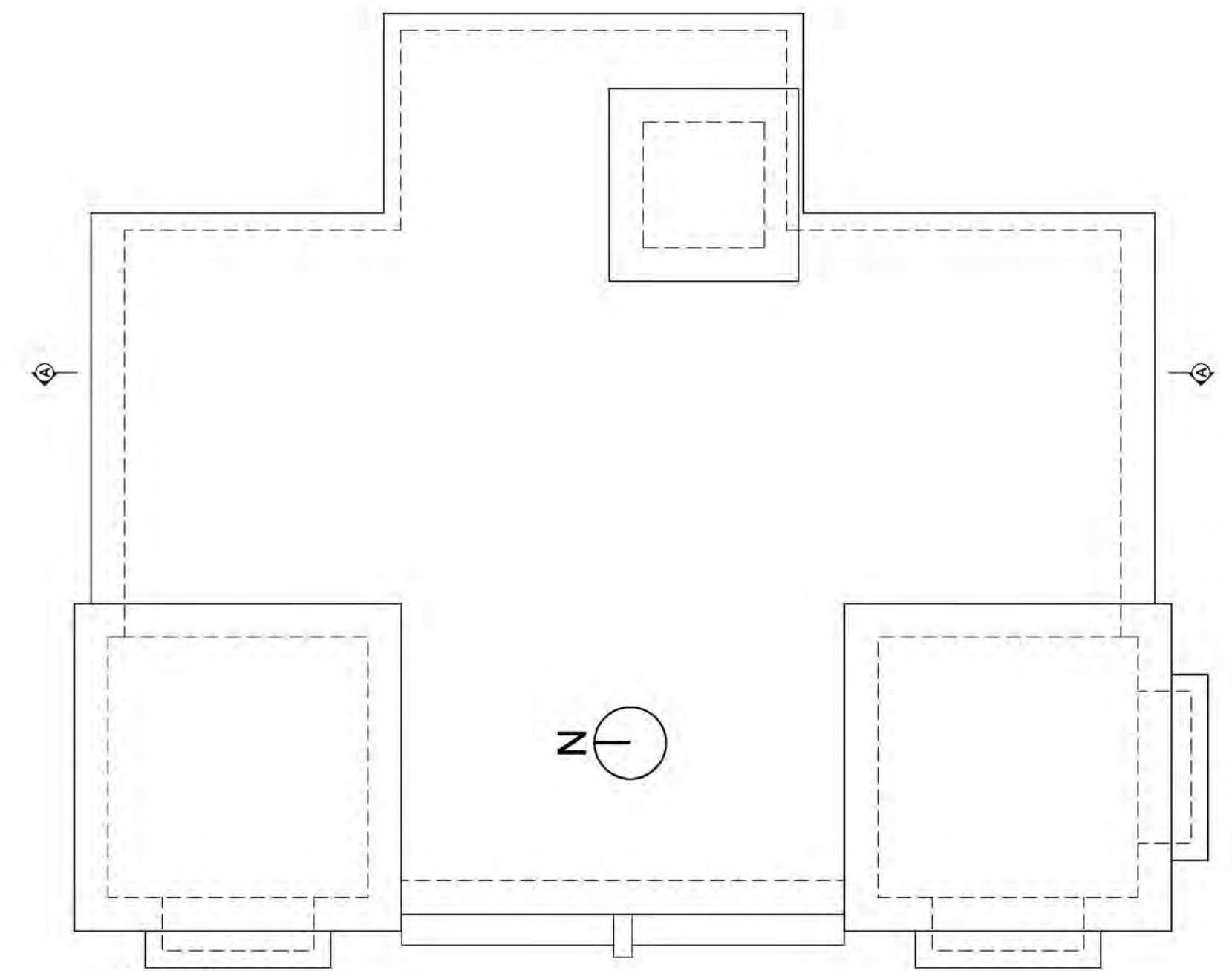
**Rainwater Goods:** Circular aluminum flush joint downpipes, RAL 7015 Slate Grey

**Roof:** Bituminous membrane

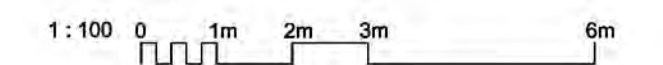
**Canopy to entrance:** Proprietary frameless, laminated glass panel with stainless steel planar fixings and support brackets



SECTION AA



ROOF PLAN



REV	DATE	DESCRIPTION	CM	DRN
A	08.02.18	Finishes and dimensions added		

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILLCOUNTRY, FK13 6EF  
TEL: 01259 752365

5 NESS BANK, INVERNESS, IV2 4SF  
TEL: 01463 233760

DRUMMONDHILL  
INVERNESS  
TULLOCH HOMES LTD

TITLE  
FLATS - GENERAL LAYOUT UNITS 25-30

SCALE	DATE	BY	PL
1 : 100	19/10/2017		
DWG NO.-REV	PURPOSE	PAPER	A1
	PLANNING		

4265-01-002 A





FRONT ELEVATION (EAST)  
[Handed to units 10 & 11]



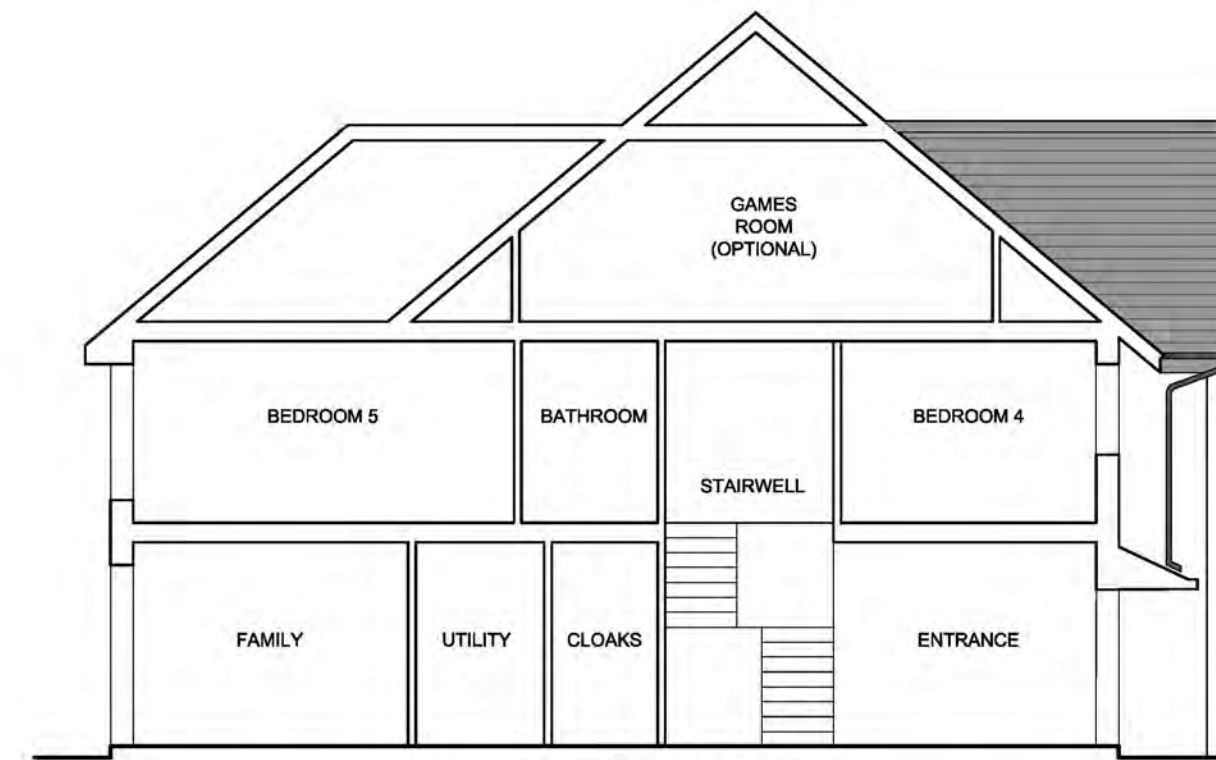
GABLE ELEVATION unit 9 (South)



REAR ELEVATION (WEST)  
[Handed to units 10 & 11]



GABLE ELEVATION unit 9 (North)  
[Handed to units 10 & 11 (South)]



SECTION AA

**FINISHES**

**External walls:** Rendered, colour- off white with mid grey masonry block below DPC level. Sills, precast, coloured to match masonry.

**Cladding:** Metal standing seam, Slate Grey

**Windows:** RAL 7015 Slate Grey

**Doors:** Timber RAL 7015 Slate Grey

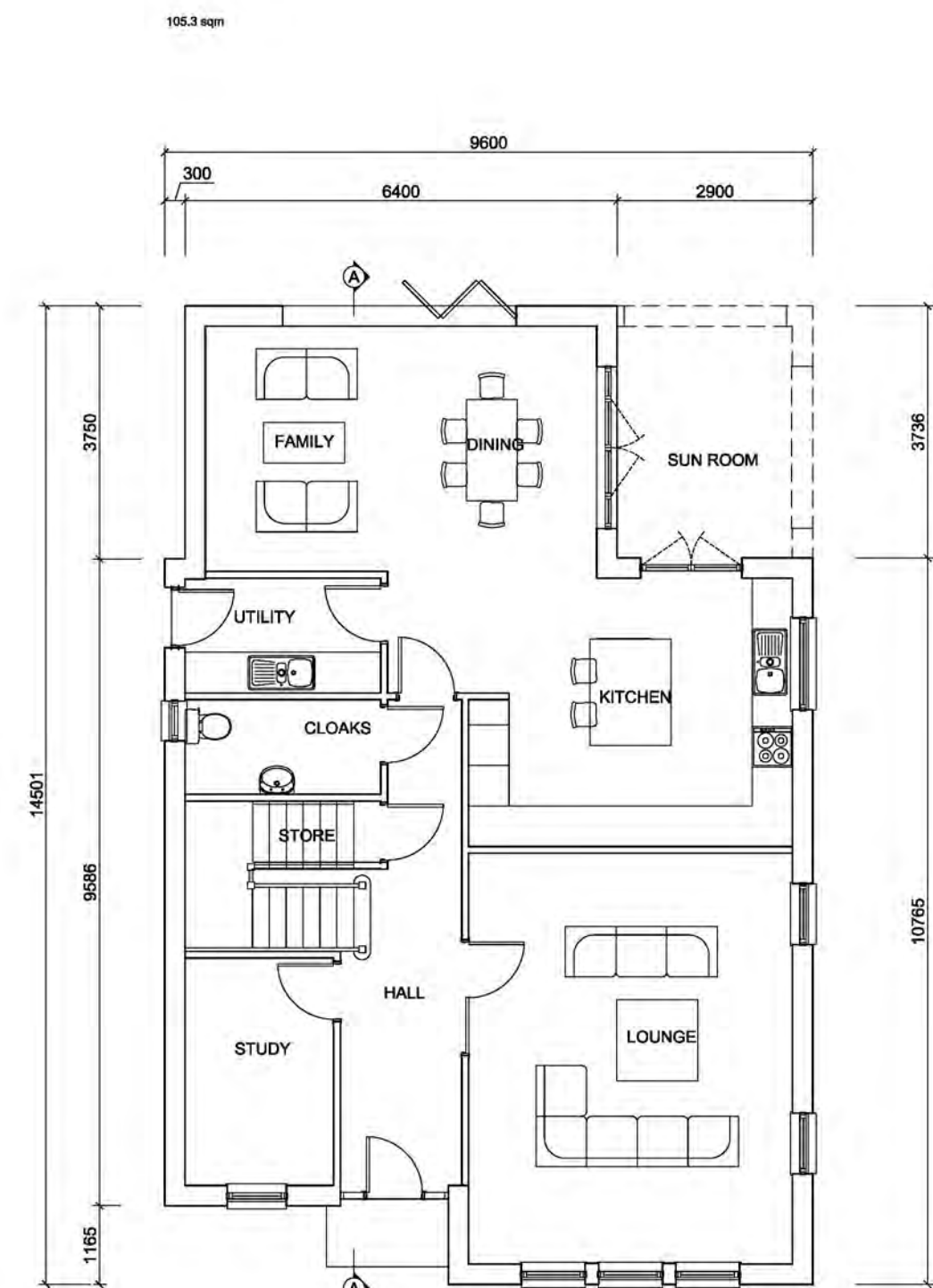
**Balustrades:** Frameless structural glass with top brushed stainless steel rail

**Rainwater Goods:** Pressed aluminium half round gutter, with circular aluminum flush joint downpipes, RAL 7015 Slate Grey

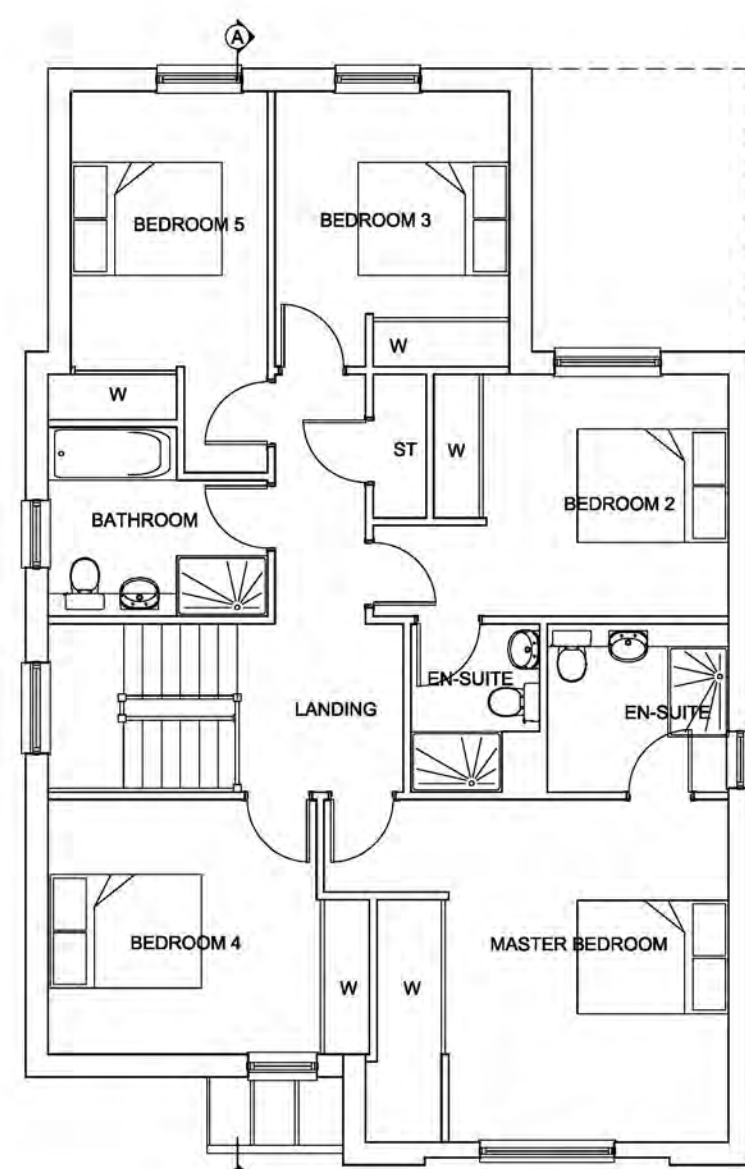
**Roof:** Natural slate, Cupa Heavy 3 with hip roll zinc flashing to ridge and hips

**Fascias and Soffit:** PVC, colour Mid grey

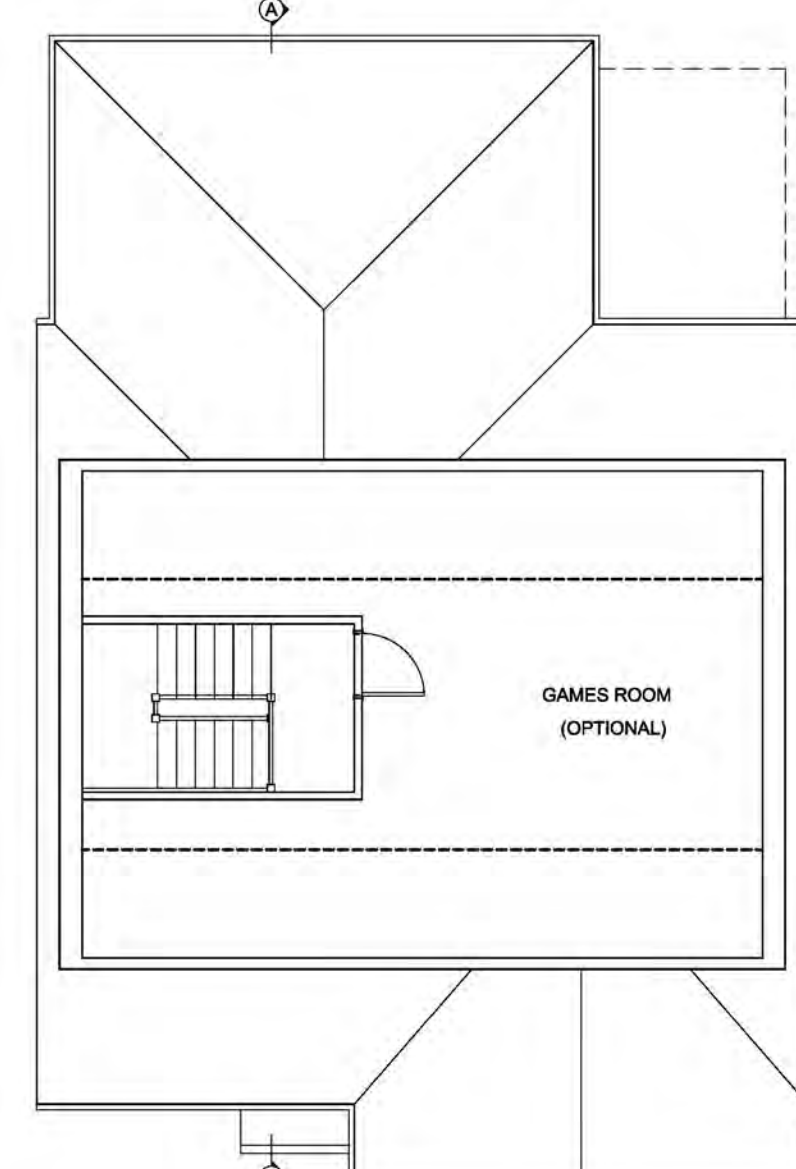
**Canopy:** Metal standing seam roof, to match cladding



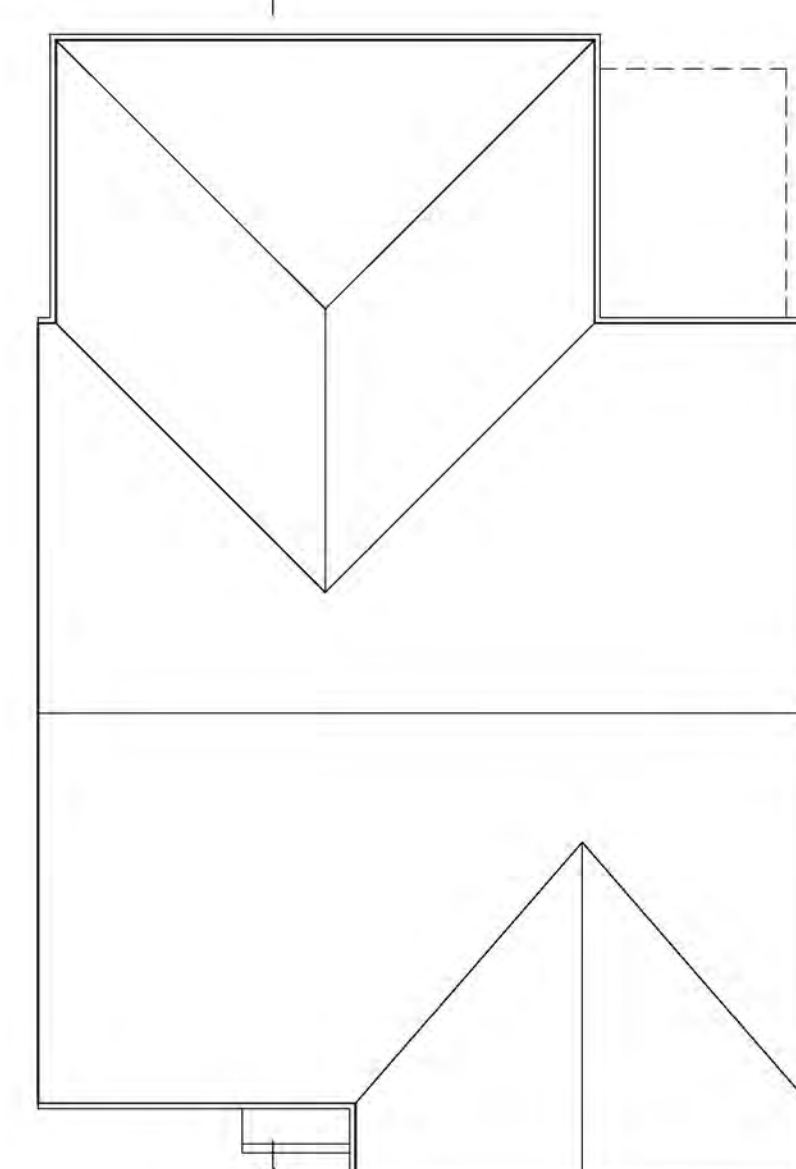
Ground Floor unit 9 [Handed to units 10 & 11]  
107.0 sqm



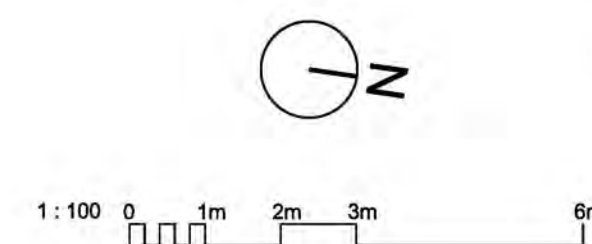
First Floor unit 9 [Handed to units 10 & 11]  
105.2 sqm



Second Floor unit 9 [Handed to units 10 & 11]  
41.5 sqm



Roof Plan unit 9 [Handed to units 10 & 11]



REV	DATE	DESCRIPTION	CM	DRN
A	07.02.18	Finishes and dimensions added and minor updates to correct roof plan		

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF  
TEL: 01259 752365  
5 NESS BANK, INVERNESS, IV2 4SF  
TEL: 01463 233760

DRUMMONDHILL  
INVERNESS  
TULLOCH HOMES LTD

TITLE  
GIFFNOCK - GENERAL LAYOUT - DETACHED VILLA  
TYPE B

SCALE	DATE	PURPOSE	BY	PL
1 : 100	30/08/2017	PLANNING	PAPER	A1

DWG NO.-REV 4265-01-005 A





VIEW FROM THE PUBLIC ROAD



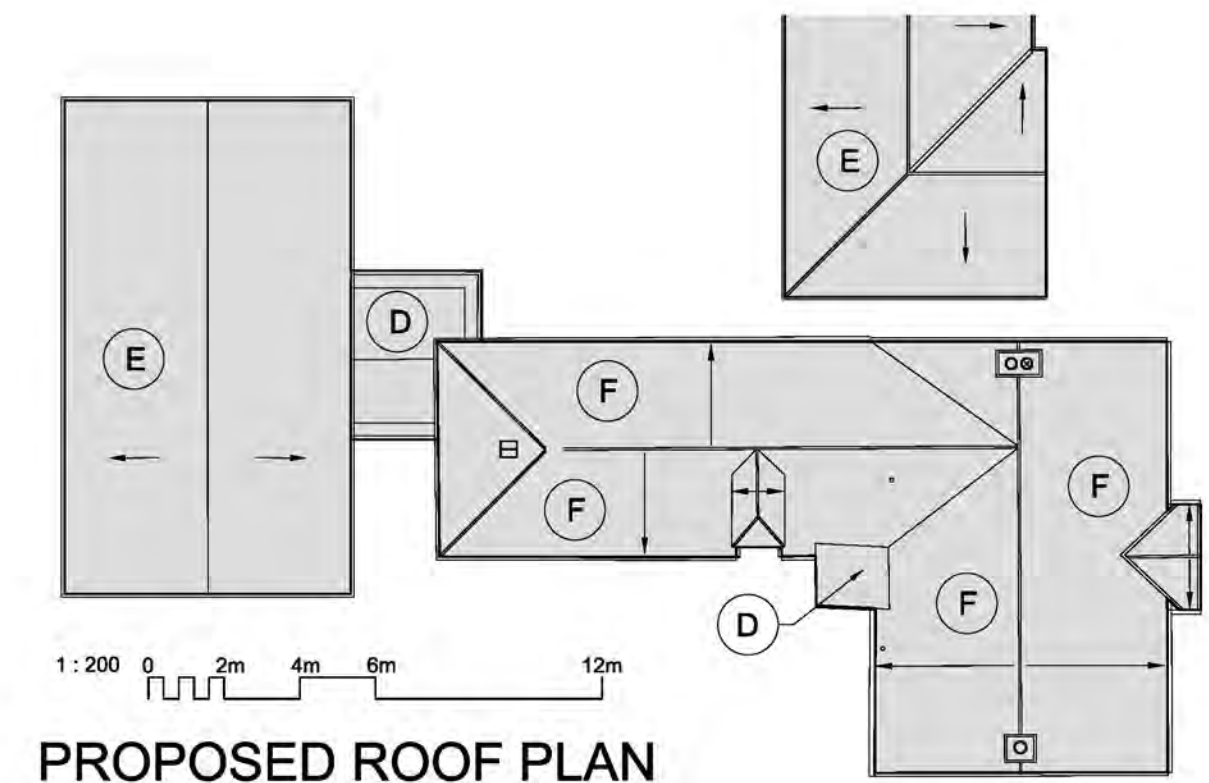
VIEW FROM THE PRIVATE AVENUE



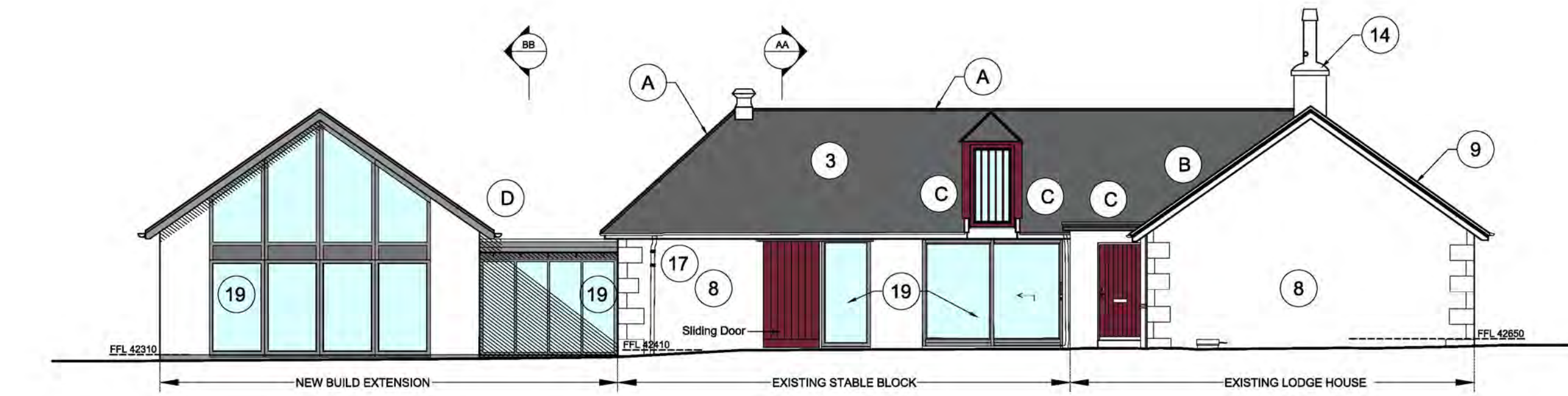
VIEW FROM THE PUBLIC ROAD

NOTES FOR NEW ROOF WORKS

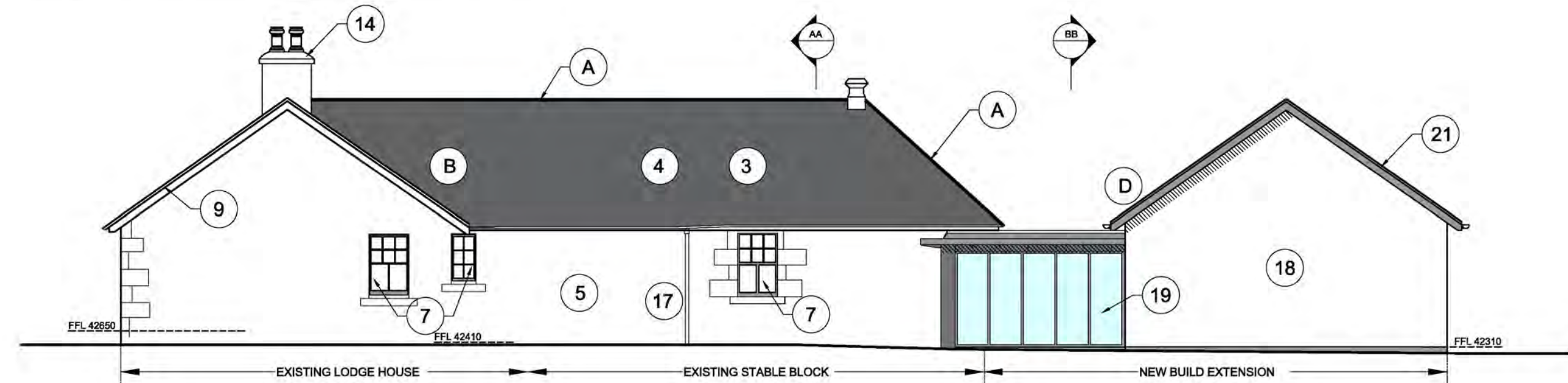
- (A) HIP AND RIDGE ROLL TO BE IN LEAD CODE 6
- (B) VALLEY GUTTER TO BE IN LEAD CODE 6
- (C) LEAD APRONS AND ABUTMENTS TO IN LEAD CODE 6
- (D) FLAT ROOF FINISH TO BE ZINC STANDING SEAM
- (E) ROOF FINISH ON EXTENSION TO BE IN CUPA H3 SLATE
- (F) ROOF FINISH ON EXISTING TO BE IN REDRESSED SLATE



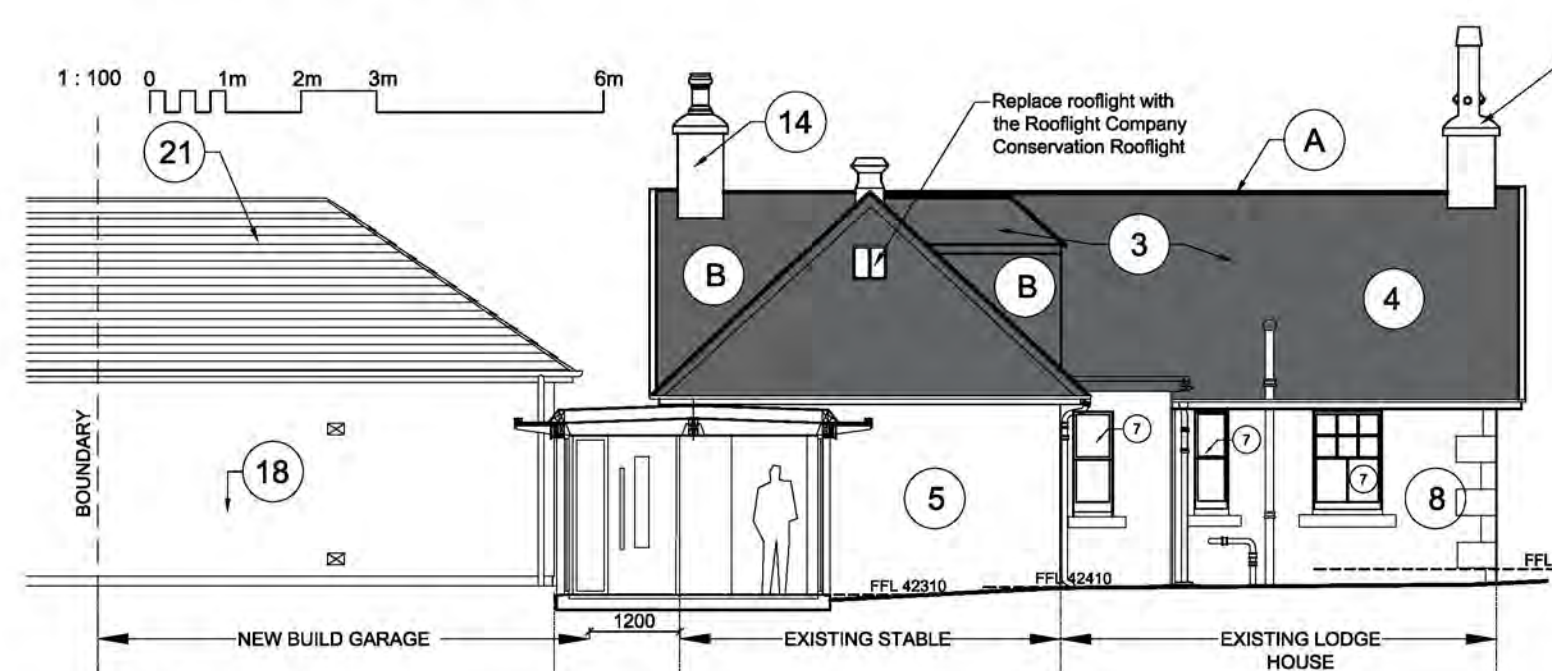
PROPOSED ROOF PLAN



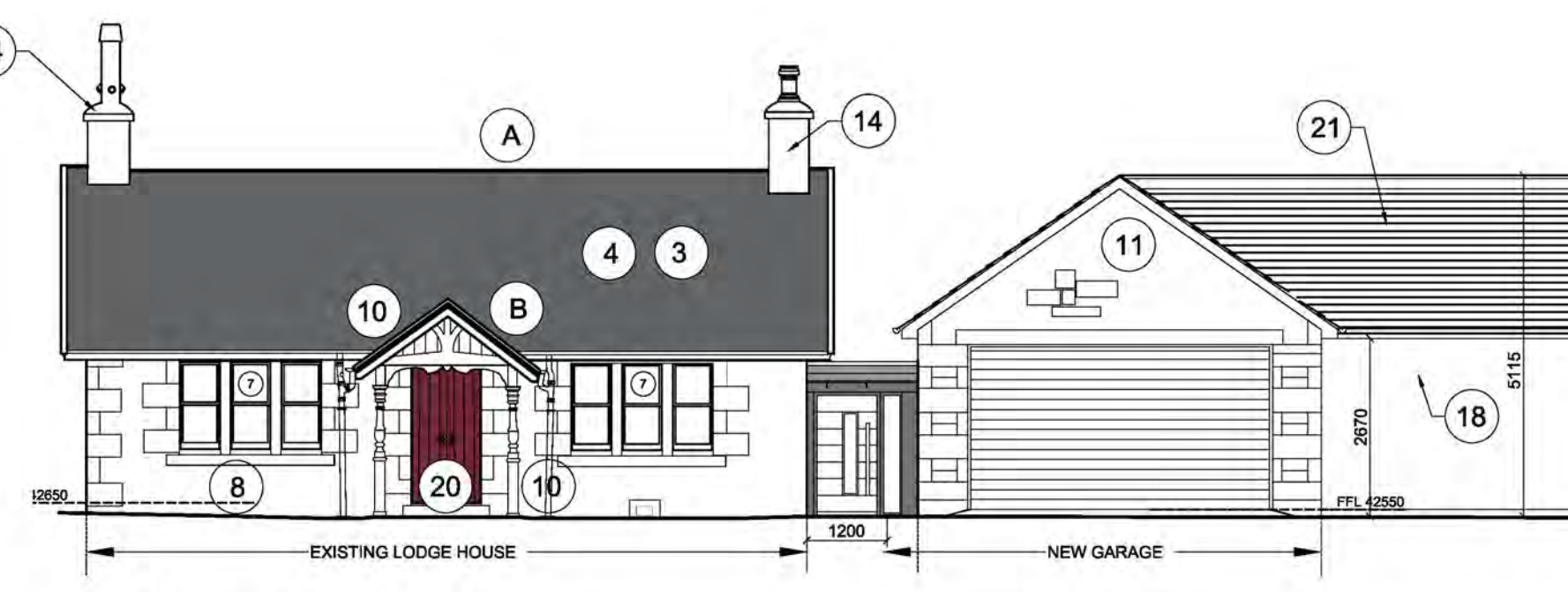
SOUTH ELEVATION (STREET)



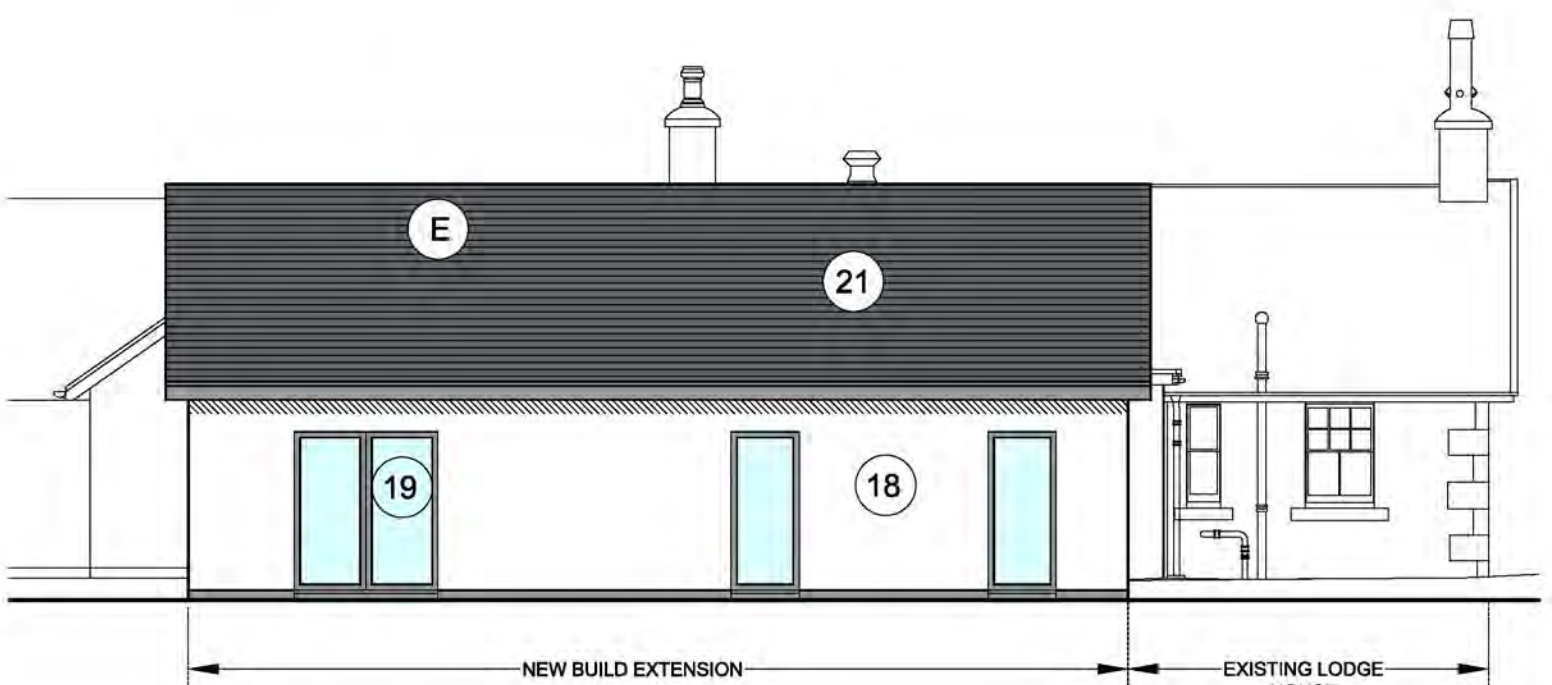
NORTH ELEVATION



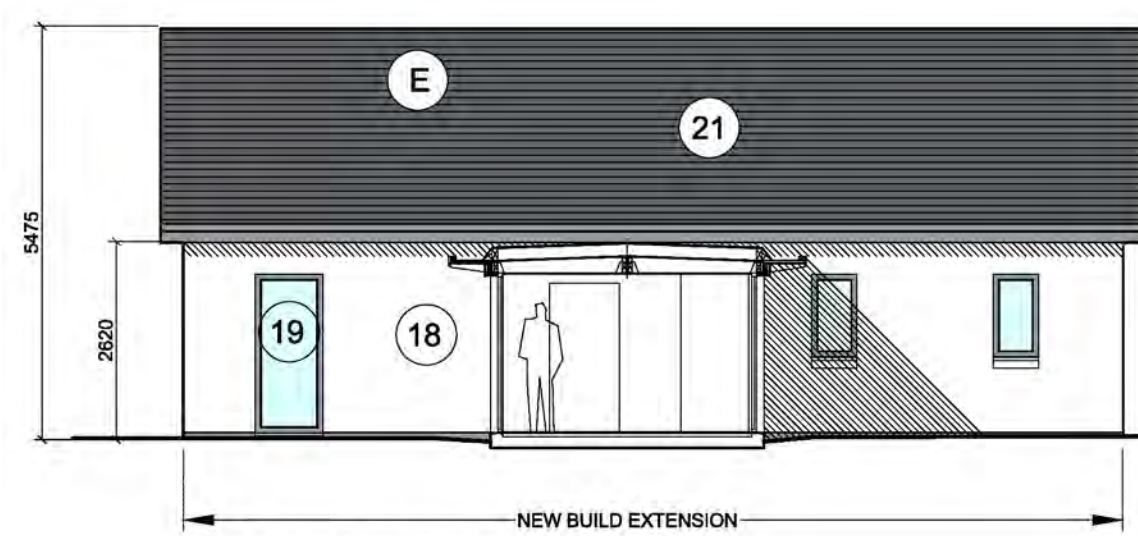
SECTION A-A



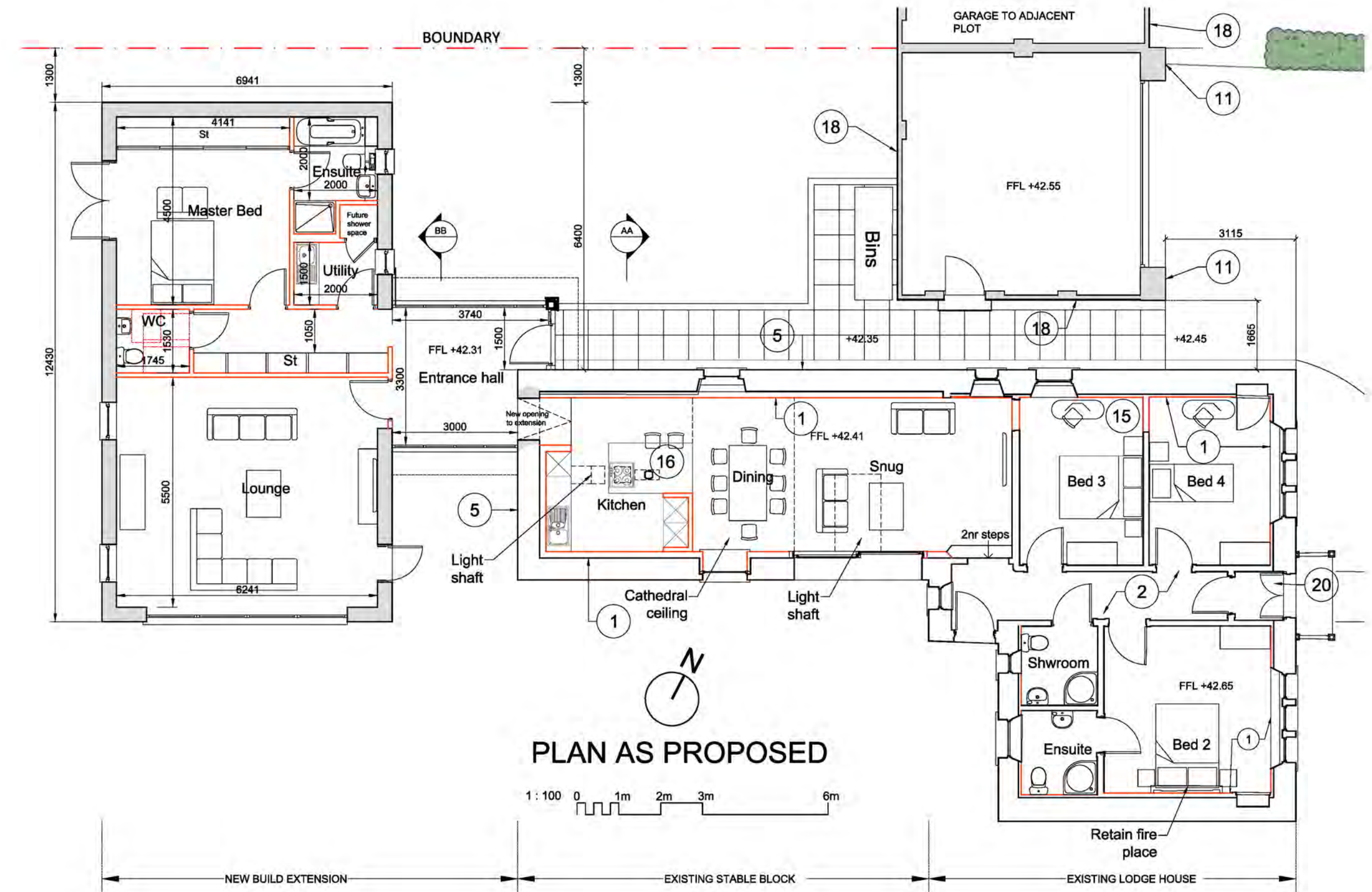
EAST ELEVATION



WEST ELEVATION OF NEW EXTENSION



SECTION B-B



PLAN AS PROPOSED

NOTES FOR DOWNTAKINGS AND NEW WORKS

- (1) INSULATE THE EXISTING STONE WALLS NBT REFURB SYSTEM IWI PAVADRY 60mm THICK, WITH TIMBER STRAPPING TO CREATE A SERVICE VOID TO THE INTERNAL FACE AND FINISHED WITH 12.5mm FERMACELL BOARD
- (2) REPLACE EXISTING TIMBER FLOOR JOISTS WHERE NECESSARY AND INSULATE BETWEEN. ENSURE VENTILATION BELOW IS MAINTAINED ADJUSTING EXTERNAL GROUND LEVELS AS REQUIRED.
- (3) OPEN UP AND INSPECT THE ROOF & RECTIFY ANY DEFECTS AS NECESSARY TO MAINTAIN THE FUTURE INTEGRITY OF THE ROOF STRUCTURE. ANY REPLACEMENT ROOF TIMBERS REQUIRED ARE TO BE LIKE FOR LIKE IN TERMS OF STRUCTURAL DESIGN, ORIENTATION AND SIZE OF TIMBERS AND FIXING TYPES AS FAR AS REASONABLY PRACTICAL. INSTALL INSULATION AND BREATHER MEMBRANE & NEW SW SARKING BOARD TO SCOTTISH DETAIL
- (4) REMOVE SLATES FOR REDRESSING AND REUSE ON THE LODGE & STABLES. SOURCE SUITABLE SECOND HAND SCOTTISH SLATE TO MAKE UP SHORT FALL.
- (5) THERMOCROMEX RENDER TO BE SPRAY APPLIED TO NORTH WALL OF COTTAGE AND STABLE, & WEST ELEVATION OF STABLE BLOCK. COLOUR MATCH TO BE CARRIED OUT TO SUIT COLOUR OF EXISTING STONEMWORK, SIMILAR TO COLOUR NO. 95. TEXTURE TO BE DASH
- (6) REMOVE AND REPLACE TIMBER SAFE LINTELS
- (7) ALL EXISTING WINDOWS TO BE REPLACED WITH SLIDING SPRING BALANCED SASH & CASE WINDOWS TO INCLUDE STEPPED SASHES & ASTRAGALS TO MATCH EXISTING. ALL WINDOWS TO BE TIMBER, PAINTED OFF WHITE. ALL GLAZING AT BELOW 800mm AFFL TO BE SAFETY GLASS TO BS 6262:Part4:2005
- (8) CARRY OUT SPOT POINTING TO EXTERNAL WALLS USING NHL3.5 LIME MORTAR
- (9) REPLACE TIMBER EAVES AND FASCIAS TO MATCH EXISTING IN DETAIL AND FINISH.
- (10) REPLACE ROTTEN TIMBERS AS REQUIRED ON PORCH TO MATCH EXISTING PROFILE.
- (11) FRONT GABLE OF GARAGE TO BE DRESSED IN STONE RECYCLED FROM DEMOLISHED OUTHOUSE
- (12) REMOVE ALL EXISTING SERVICES AND REPLACE WITH NEW.
- (13) NEW BUILD EXTENSION TO BE TIMBER FRAME INSULATED KIT WITH RENDERED BLOCKWORK OUTER LEAF
- (14) REPAIR EXISTING CHIMNEY HEADS TO BE REHAUNCHED IN NHL5 LIME MORTAR AND REPOINTED IN NHL5 LIME MORTAR.
- (15) REMOVE CHIMNEY BREASTS BELOW CEILING LEVEL AND INSTALL STABLES AS PER ENGINEER'S DETAILS.
- (16) EXISTING CAST IRON SUPPORT POST IN STABLE BLOCK TO BE REUSED.

- (17) REPLACE ALL RAINWATER GOODS WITH CAST IRON TO MATCH EXISTING. NEW RAINWATER GOODS TO MATCH EXISTING.
- (18) NEW RENDER FINISH TO EXTENSION TO MATCH NEW BUILD PROPERTIES. COLOUR TO BE AGREED WITH PLANNING.
- (19) NEW HIGH PERFORMANCE ALUMINIUM WINDOWS TO EXISTING STABLE DOOR OPENINGS AND TO EXTENSION. COLOUR TO BE CONFIRMED.
- (20) NEW TIMBER STORM DOOR TO MAIN ENTRANCE OF EXISTING LODGE BUILDING
- (21) CUPA H3 HEAVY SLATE OR SIMILAR TO EXTENSION TO MATCH FINISH OF NEW BUILD.

REV	DATE	DESCRIPTION	DRN
C	06:02:18	NOTES NO. 3, & 5 CHANGED. SLIDING DOOR ADDED TO STABLE. FOLLOWING MEETING WITH THE PLANNING DEPARTMENT	CM
B	18:01:18	AMENDMENT TO GARAGE, REMOVAL OF LOFT, MINOR NOTE CHANGES	CM
A	08:01:18	EXTENSION REVISITED FOR LISTED BUILDING CONSENT AND NOTES REVISED	MF

**Bracewell Stirling CONSULTING**

- 38 WALKER TERRACE, TILLCOUNTRY, FK13 6EF ☎: 01259 750301
- 5 NESS BANK, INVERNESS, IV2 4SF ☎: 01463 233760
- 16 LOCHSIDE STREET, OBAN. PA34 4HP ☎: 01631 359054

CLIENT:  
**TULLOCH HOMES LTD**

PROJECT:  
**DRUMMONDHILL HOUSE**

DRG. TITLE:  
**GATEHOUSE - PROPOSED PLANS & ELEVATIONS**

STATUS:  
**PLANNING**

SCALE: 1:100 DRAWN: -  
PAPER SIZE: A1 DATE: Oct 2017  
DWG No. 4265-01-201 REV. C