

Agenda Item	7.6
Report No	PLS/059/18

HIGHLAND COUNCIL

Committee: South Planning Applications Committee
Date: 8 August 2018
Report Title: 17/01652/FUL: Mr R Howie
Land South of Craigellachie Cottage, Wester Galcantray, Cawdor
Report By: Area Planning Manager – South/Major Developments

Purpose/Executive Summary

Description: Erection of house and self contained living accommodation

Ward: 18 – Nairn and Cawdor

Development category: Local

Reason referred to Committee: More than five objections from third parties

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** planning permission as set out in section 11 of the report.

- b) Recent works by the Council to help alleviate flooding in the area were carried out – concerns that work to the application site may negate these works.
- c) Serious rainfall in 2009 resulted in flooding to several properties in the area; any development should have a fully independent drainage system as existing system will not cope with additional demands.
- d) Single track road with few passing places which carries heavy farm traffic; access is unacceptable and will add to existing problems in the area; grass verge opposite already used as a passing place which has caused damage to stone wall; local road network cannot accommodate further development.
- e) Poor visibility due to trees and also vehicles waiting to exit Crofters/Craigellachie Cottage junction.
- f) Loss of visual amenity and privacy in a largely unspoilt area of countryside
- g) Design modern and large and not in keeping with the existing houses
- h) Results in ribbon development which is contrary to the Council's Housing in the Countryside policy; no occupational need demonstrated.

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Transport Planning:** Further roads information was requested, including a speed survey and visibility splays of 90m in each direction was required, including evidence that the land within the splays (including neighbouring tree) is within the control of the applicant; SDB2 junction required; stop up of existing Craigellachie Cottage access; surface water drainage detail at public road access. Further to the submission of further information (including a speed survey) Transport Planning agreed to relax its standards by measuring the visibility splays to the centreline of the road, to 2.4 x 60m to the north and 2.4 x 90m to the south. Achieving the splays to the south will require the neighbouring tree to be removed. A number of proposals to reduce the speed of the traffic were put forward but for technical reasons these have not been acceptable. Signing and lining alone are not effective at reducing the speed of traffic and there is insufficient room on the narrow single track road for horizontal traffic calming. Transport Planning are therefore unable to support the application due to insufficient visibility to the south of the access. Further details are also required to demonstrate that the SDB2 access is profiled to ensure that any surface water runoff will not flow onto the public road and that it will be built with a bituminous surface.

5.2 **Flood Risk Management:** Noted a history of surface water flooding in the area and objected to the application subject to the submission of further information to demonstrate that surface water runoff had been adequately considered; details of any proposed mitigation measures to protect the site; a demonstration that any such measures will have no detrimental effect on flood risk to the surrounding land, including the road and adjacent properties; and evidence that the post development runoff rate will be no greater than the pre-development rate. The FRM team subsequently removed its objection subject to the function of existing drainage infrastructure such as field drains being preserved during the construction phase, and the finished floor level of the house being set at a minimum of 250mm above surrounding ground levels.

- 5.3 SEPA: Do not object. The site is outwith the medium likelihood flood extent of the SEPA flood maps and SEPA hold no record of flooding in the area. However they are aware that Highland Council holds records of surface water flooding in the vicinity of the site. Water quantity aspects of surface water drainage is largely within the remit of local authorities and Highland Council is better placed to provide more detailed advice on surface water mitigation measures or drainage proposals.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

- 28 - Sustainable Design
- 29 - Design Quality & Place-making
- 30 - Physical Constraints
- 35 - Housing in the Countryside (Hinterland Areas)
- 66 - Surface Water Drainage

6.2 Inner Moray Firth Local Plan 2015

No site specific policies

7. OTHER MATERIAL CONSIDERATIONS

7.1 Highland Council Supplementary Planning Policy Guidance

- Access to Single Houses and Small Housing Developments (May 2011)
- Flood Risk & Drainage Impact Assessment (Jan 2013)
- Housing in the Countryside and Siting and Design (March 2013)

7.2 Scottish Government Planning Policy and Guidance

SPP

8. PLANNING APPRAISAL

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy
 - b) siting and Design
 - c) site access and visibility
 - d) surface water drainage
 - e) any other material considerations.

Development plan/other planning policy

- 8.4 The site sits within the Hinterland of Inverness therefore the Council's Housing in the Countryside policy applies. This presumes against housing development within the hinterland unless it can be demonstrated that it meets one of the exceptions to the policy as set out in the Council's Housing in the Countryside and Siting and Design Supplementary Planning Guidance.
- 8.5 One such exception is for housing proposals which infill or round off an existing rural housing group of 3 or more detached houses. There are 3 detached and 2 semi-detached houses which sit to the west, north and north-east of the site. These share a well-defined and cohesive character and can be considered to be a housing group under the terms of the policy. The proposal would round off the group and can therefore be capable of meeting policy subject to specific siting and design factors and having no significant detrimental impact upon infrastructure and individual/community residential amenity.

Siting and Design

- 8.6 The proposed house and annex is a linked, single storey building of long, low form consisting of a 2 bedroomed house to the front with a one bedroomed granny annex to the rear, linked by a sunroom. The building could easily revert to use as a single house in the future. There is attic storage and a home office within the roof space. The building incorporates the sloping site within the design; is traditional in form and proportion (including a pitched roof, timber front porch, smooth white render, chimneys and natural slate roof). This is in keeping with the existing traditional properties in the immediate area. The stone wall which runs along the roadside boundary will be taken down and rebuilt further into the site to allow for better visibility at the site access.

Access to Site / Visibility

- 8.7 The proposed site access is onto the U1169 public road which is single track in this location. The road forms part of the National Cycle Network and has a 60mph speed limit, however a speed survey demonstrates that the 85th %ile speed of traffic is 30.2 (northwards) and 33.1 (southwards). Based on this the Council's guidance requires visibility splays of 90m in both directions of the new access. A site visit by the Transport Planning Team found that a splay of 90m is achievable to the north, but that 90m is not achievable to the south due to the presence of a tree within the neighbouring garden. It has been confirmed by the applicant that there is

no scope for the tree to be removed. If Council guidance is relaxed and the splay measured to the centre line of the road a splay of 60m is achievable to the south. Transport Planning informed the applicant that measures to reduce the speed of traffic to below 30mph would be required before the application could be supported.

- 8.8 The applicant has put forward a number of proposals with the aim of reducing the speed of traffic, but for technical reasons they were not acceptable. Signing and lining alone are not effective at reducing the speed of the traffic and there is insufficient room on the narrow single track lane for horizontal traffic calming. Transport Planning has concluded that while it does not object to the proposal, it is not able to formally support it because the visibility to the south does not meet Council standards.
- 8.9 It should be noted that the previously granted permission for a house on the site, by the Planning Applications Committee in 2012, included a new vehicular access in a similar location to that which is currently proposed. This was considered under the previous Roads Guidance; however the visibility requirements for rural accesses have not changed since 2012. Council's Road Engineers who visited the site in relation to the previous application concluded that while the actual, measurable, visibility to the south is only around 40m (measured to the edge of the road), given the single carriageway at this location, a sight line of 90m can be achieved and there will be no safety issues for the proposed or existing dwellings as a result of development on the site. The previous application was therefore supported by the Area Roads team at that time. The reduced visibility was considered to be appropriate because the road is single track with no opportunity for overtaking, therefore a northbound vehicle cannot be on the opposing (nearest) side of the road when approaching the site access and hence would be visible within a safe stopping distance.
- 8.10 This is not a clear cut matter; professional judgement of two different road engineers has resulted in two different opinions on the suitability of the achievable visibility.
- 8.11 The engineer for the applicant has submitted some additional comments in respect of the access. He maintains that the proposal will improve the existing road network by providing a formal passing place at the access and by lowering and setting back the boundary wall which will benefit the existing accesses to the north and south as well as the proposed access. It should also be noted that the proposal includes parking and turning space for the adjacent holiday cottage (Craigellachie Cottage). This currently uses an access to the north of the site which has poor visibility to the north. The removal of traffic from this substandard access is arguably of further benefit to the overall road network at this location. The access cannot be closed off as it does serve other properties in addition to Craigellachie Cottage, but users of the holiday cottage will be directed to the new parking area within the application site which will result in an overall reduction in traffic using the substandard access.
- 8.12 It has been confirmed that there have been no recorded road accidents within 1km of the site between 2005-2015, despite a number of the existing accesses in the vicinity having restricted visibility; and the road only carries around 75 two-way

vehicle movements per day, which is very light.

- 8.13 It should also be noted that a number of the objections to the application from neighbouring properties raise issues relating to the road network and visibility, with concerns that the introduction of a new access has the potential to worsen road safety in the vicinity.

Surface Water Drainage

- 8.14 The application attracted a number of objections from neighbouring properties, all of which raised concerns about a history of flooding from surface water runoff in the area. This is verified by the Council's Flood Risk Management (FRM) Team who note that they have recorded incidences of surface water flooding in the Wester Galcantray area, adjacent to the application site. The Flood Risk Management team originally objected to the application subject to the submission of further information to demonstrate that surface water runoff had been adequately considered; details of any proposed mitigation measures to protect the site; a demonstration that any such measures will have no detrimental effect on flood risk to the surrounding land, including the road and adjacent properties; and evidence that the post development runoff rate will be no greater than the pre-development rate.
- 8.15 Further to the submission of further information the Flood Risk Management Team has confirmed that it is satisfied with the proposed drainage arrangements for the site and has withdrawn its objection to the application. FRM note that all surface water originating from the site will be managed by an internal drainage system that discharges to appropriately sized soakaways. Additionally a swale and bund has been included between the site and the public road to help reduce runoff from the site.
- 8.16 Foul drainage will be treated via a biological treatment tank which will discharge to a soakaway, sized to suit the ground porosity, and not into neighbouring land.
- 8.17 It is considered that the drainage has been designed to internally accommodate all surface water generated from the development within the site itself and it has been demonstrated that the proposal will not exacerbate the drainage issues already present in the area. Furthermore, additional swale/bunding has been included to alleviate any runoff from the land onto the public road. The drainage proposals are therefore considered to be acceptable.

Other material considerations

- 8.18 The fact that a previous application (ref 10/03447/FUL) for a house on the site was granted in 2012, albeit not implemented, is material to the determination of this application. The previous decision is relevant and discussed in Paragraph 8.9 above.

Matters to be secured by Section 75 Agreement

8.19 None

9. CONCLUSION

9.1 The siting and design of the house accords with the Housing in the Countryside policy and guidance and is acceptable.

9.2 There is a history of surface water flooding in the area, therefore the neighbouring residents are understandably concerned about the impact a new development will have on the existing situation. However the applicant has demonstrated to the satisfaction of the Flood Risk Management Team that the drainage solution is appropriate and the post development runoff will be no greater than the pre-development rate. Additional measures have also been taken to further reduce runoff from the site which should result in an overall improvement. The drainage is therefore considered to be acceptable.

9.3 It has not been possible for the applicant to achieve the Council standards of a 90m visibility splay to the south of the proposed access due to the position of a tree in the neighbouring garden. Traffic calming solutions have been put forward and considered but for technical reasons are not suitable. Transport Planning is not, therefore, in a position to support the application, although neither has it formally objected.

9.4 Road safety is clearly paramount, and any such concern would generally result in a recommendation to refuse a planning application. However in this case there are several factors which are in the application's favour and must also be considered. The fact that the Council has previously granted a similar access to the site based on the guidance of the Council's Roads Engineer at the time is a material consideration and demonstrates that the professional judgement of 2 different engineers can result in different conclusions. The new access will provide a new, formal passing place to this stretch of road and the repositioning of the stone wall will further improve visibility in general. Furthermore, the relocation of the parking area assigned to the holiday unit Craigellachie Cottage to within the curtilage of the site will remove some traffic from the adjacent substandard access.

9.5 Overall, taking all of the above into consideration, it is considered that the introduction of a new access, along with the improvements that it will bring, will not have a significant detrimental effect on the existing traffic situation in the area and the proposal can be supported.

9.6 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued	N
Notification to Scottish Ministers	N
Conclusion of Section 75 Obligation	N
Revocation of previous permission	N

Subject to the above, it is recommended that planning permission be **GRANTED**, subject to the following:

Conditions and Reasons

1. The house for which planning permission is hereby approved shall not be occupied unless the means by which foulwater drainage is to be accommodated on site has been installed and completed to the satisfaction of the Planning Authority and thereafter so maintained. No work will commence on site unless and until such details are submitted to and approved in writing by the Planning Authority and thereafter so installed.

Reason: In the interests of public health.

2. The house for which planning permission is hereby approved shall not be occupied unless the surface water drainage associated with the development including areas of hardstanding and the driveway, is installed and completed to the satisfaction of the Planning Authority and in accordance with SEPA's guidelines on SUDS. There shall be no COMMENCEMENT of this development until such details are submitted to and approved in writing by the Planning Authority.

Reason: In order to ensure that the site is properly and adequately drained.

3. The provision for the parking and turning of two cars within the curtilage of each house shall be made prior to its occupation and shall be maintained at

all times thereafter.

Reason: In the interests of road safety.

4. No other development shall commence until the site access has been constructed in accordance with The Highland Council's Access to Single Houses and Small Housing Developments guidelines with:
 - i. the junction formed to comply with drawing ref. SDB2; and
 - ii. visibility splays of 2.4m x 60m (the X dimension and Y dimension respectively) in a northwards direction and 2.4m x 60m in a southwards direction (both measured to the centreline of the public road)

Within the stated visibility splays, at no time shall anything obscure visibility between a driver's eye height of 1.05m positioned at the X dimension and an object height of 0.60m anywhere along the Y dimension.

Reason: In the interests of road safety

5. The SDB2 junction shall be profiled such that any surface water run off from the access will not flow onto the public road, to the satisfaction of the planning authority in consultation with the roads authority.

Reason: In the interests of road safety

6. The house shall not be occupied until the boundary wall to the west of the site has been rebuilt in accordance with approved drawings and outwith the visibility splays.

Reason: In the interests of amenity and road safety

7. The house shall not be occupied until a suitable refuse bin collection point for the new property has been provided close to the public road but outwith the visibility splays.

Reason: In the interests of environmental health and road safety

8. Finished floor levels shall be set at a minimum of 250cm above surrounding ground levels to the satisfaction of the planning authority.

Reason: In order to ensure the floor levels are clear of any overland flows

9. The function and efficiency of existing drainage infrastructure within the site, such as field drains, shall be preserved during the construction phase.

Reason: In order to ensure the site is adequately drained at all times.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

FOOTNOTE TO APPLICANT

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Accordance with Approved Plans & Conditions

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the

application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks & Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud & Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities: You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place

outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

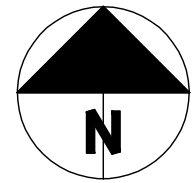
If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and Scottish Natural Heritage must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from SNH: www.snh.gov.uk/protecting-scotlands-nature/protected-species

Signature: Nicola Drummond
Designation: Area Planning Manager – South/Major Developments
Author: Christine Macleod
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 - PL001 rev A (location)
Plan 2 - PL002 rev B (site plan)
Plan 3 - 121699-sk1003 rev C (visibility)
Plan 4 - 01 rev B (drainage)
Plan 5 - PL005 rev C (elevations)
Plan 6 - PL003 rev A (ground floor plan)
Plan 7 - PL004 rev A (first floor plan)
Plan 8 - SDRDS 01 rev B (access detail)
Plan 9 - SSDD01 (drainage section)

DO NOT SCALE, IF IN DOUBT PLEASE ASK
 All setting out must be checked on site prior to commencement. Any discrepancy must be reported to
 G. H. JOHNSTON Building Consultants Ltd



PLANNING APPLICATION

REVISIONS

rev.	description	date
A	client's right of way added to plan	04.17

Client
 Richard Howie

Project
 House at Galcantray
 by Croy
 Naimshire

Drawing
 Location Plan

Scale	Date	Drawn by
As Noted@A3	Mar 17	PHJ

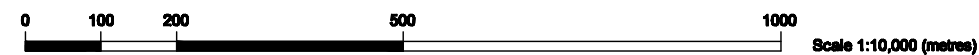
Project no	Dwg no	Rev
2399	PL001	A



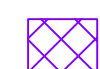

G.H.JOHNSTON
 BUILDING CONSULTANTS LTD

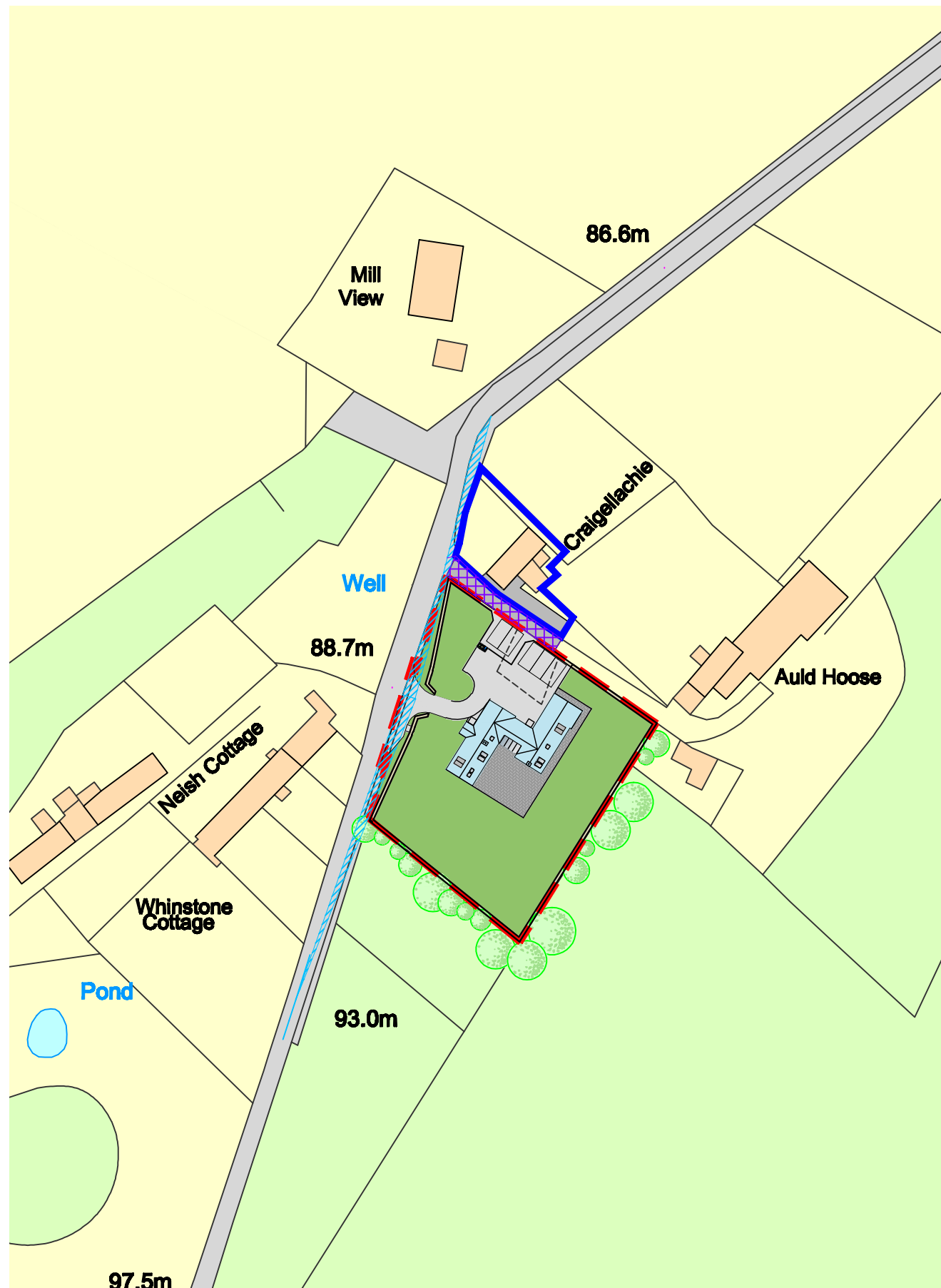
WILLOW HOUSE
 STONEYFIELD BUSINESS PARK
 INVERNESS IV2 7PA
 Email: technical@ghjohnston.co.uk
 TEL (01463) 237229
 FAX (01463) 243258



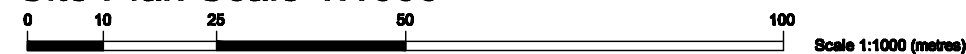
Location Plan Scale 1:10000



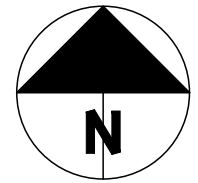
-  application site
-  land ownership boundary
-  right of way
-  visibility splay



Site Plan Scale 1:1000



DO NOT SCALE, IF IN DOUBT PLEASE ASK
 All setting out must be checked on site prior to commencement. Any discrepancy must be reported to G. H. JOHNSTON Building Consultants Ltd



PLANNING APPLICATION

REVISIONS

rev.	description	date
A	Roof updated	04.17
B	Access & Splays adjusted to tie in with Fairhurst drawing 121699-SK1003revC	07.18

Client
 Richard Howie

Project
 House at Galcantray by Croy Nairnshire

Drawing
 Site Plan

Scale 1:500@A3	Date Mar 17	Drawn by PHJ
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Project no 2399	Dwg no PL002	Rev B
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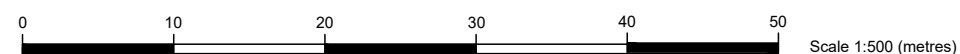
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 BUILDING CONSULTANTS LTD

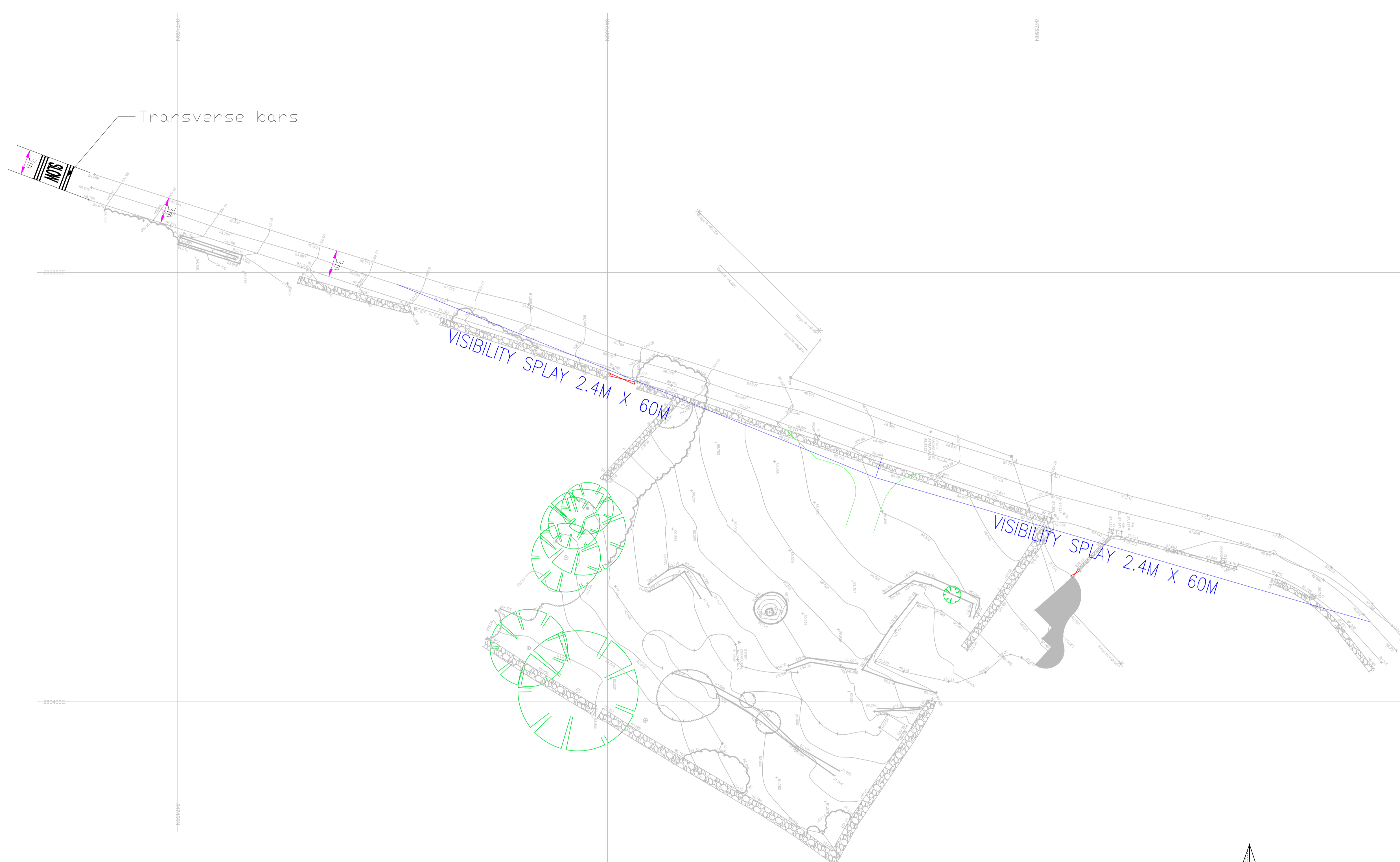
WILLOW HOUSE
 STONEYFIELD BUSINESS PARK
 INVERNESS IV2 7PA
 Email: technical@gjohnston.co.uk

TEL (01463) 237229
 FAX (01463) 243258



Site Plan Scale 1:500





Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

Rev.	Date	Description	Drawn	Chkd	Appd.
C	10/07/18	VEHICLE ACTIVATED SIGANLE, COLOURED SURFACE AND CHICANES REMOVED	LW	RMcD	RMcD
B	01/06/18	VEHICLE ACTIVATED SIGANLE AND COLOURED SURFACE ADDED. CHICANE AMENDED	LW	RMcD	RMcD
A	03/02/18	CHICANE DETAIL AMENDED	LW	MA	RMCD

FAIRHURST

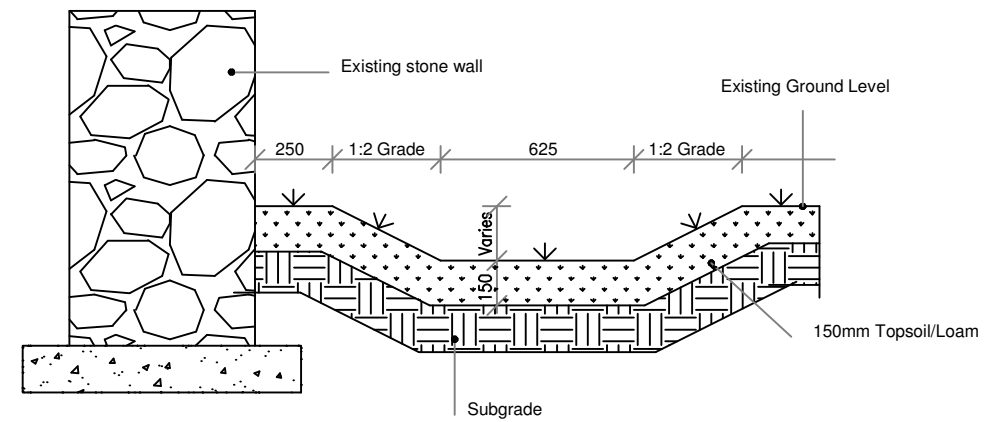
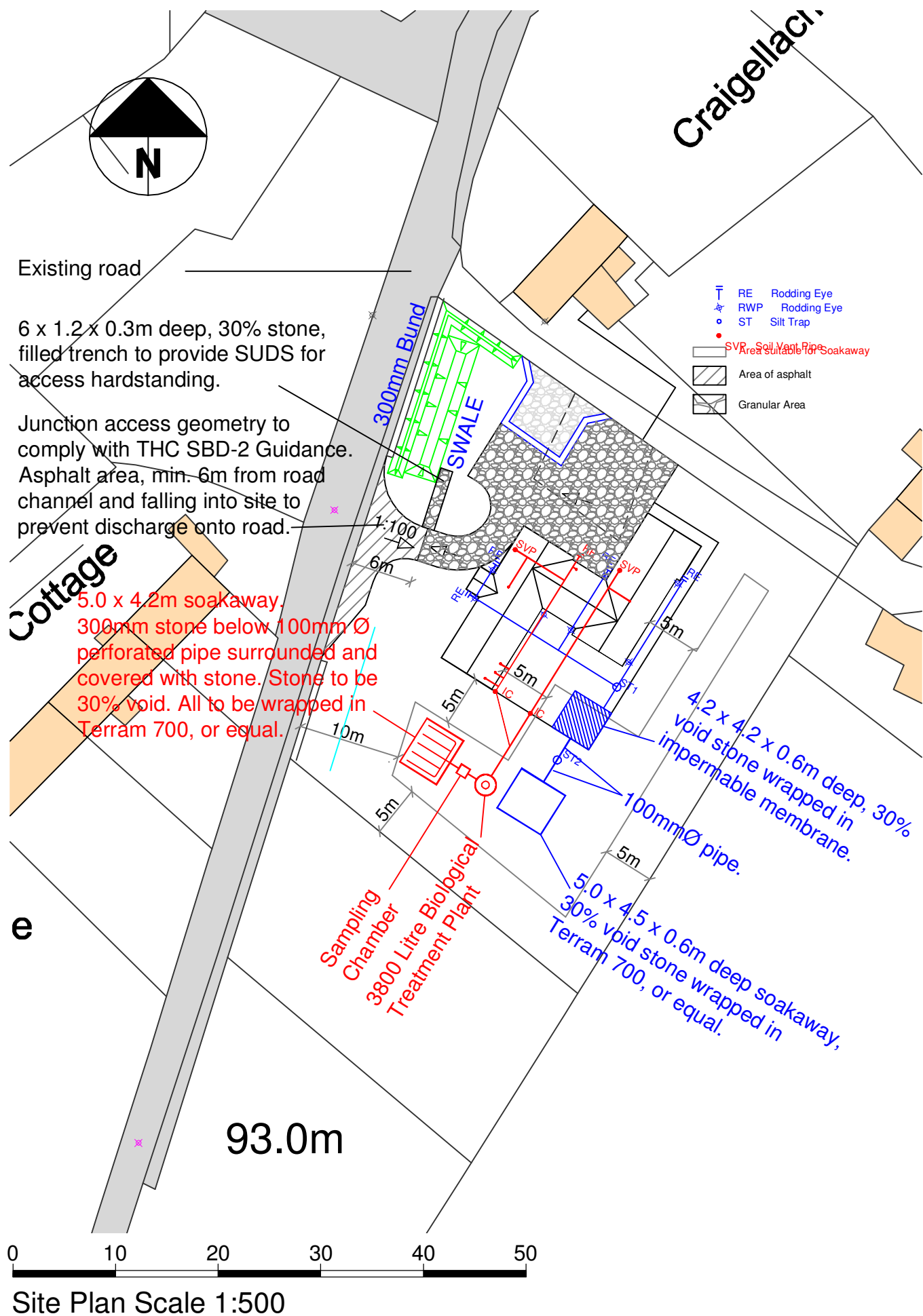
88 Queens Road
 ABERDEEN
 AB15 4YQ
 Tel: 01224 321222
 Fax: 01224 323201

Project Title:
PROPOSED HOUSE AT WESTER GALCANTRAY, CAWDOR

Drawing Title:
PROPOSED ROAD MARKINGS AND VISIBILITY SPLAYS

Scale at A1: 1:500	Status: For Information
Drawn: LW	Checked: RMcD
Date: 07/02/18	Date: 07/02/18
Approved: RMcD	Date: 07/02/18

Drawing No.: **121699/sk1003** Revision: **C**



NOTE: Bed of swale to be at 1/60, i.e. 100mm rise every 6m

TYPICAL SWALE CROSS SECTION

Scale 1:25

DEVELOPMENT AT:
**New House adjacent to
 Craigellachie Cottage
 Galcantray**

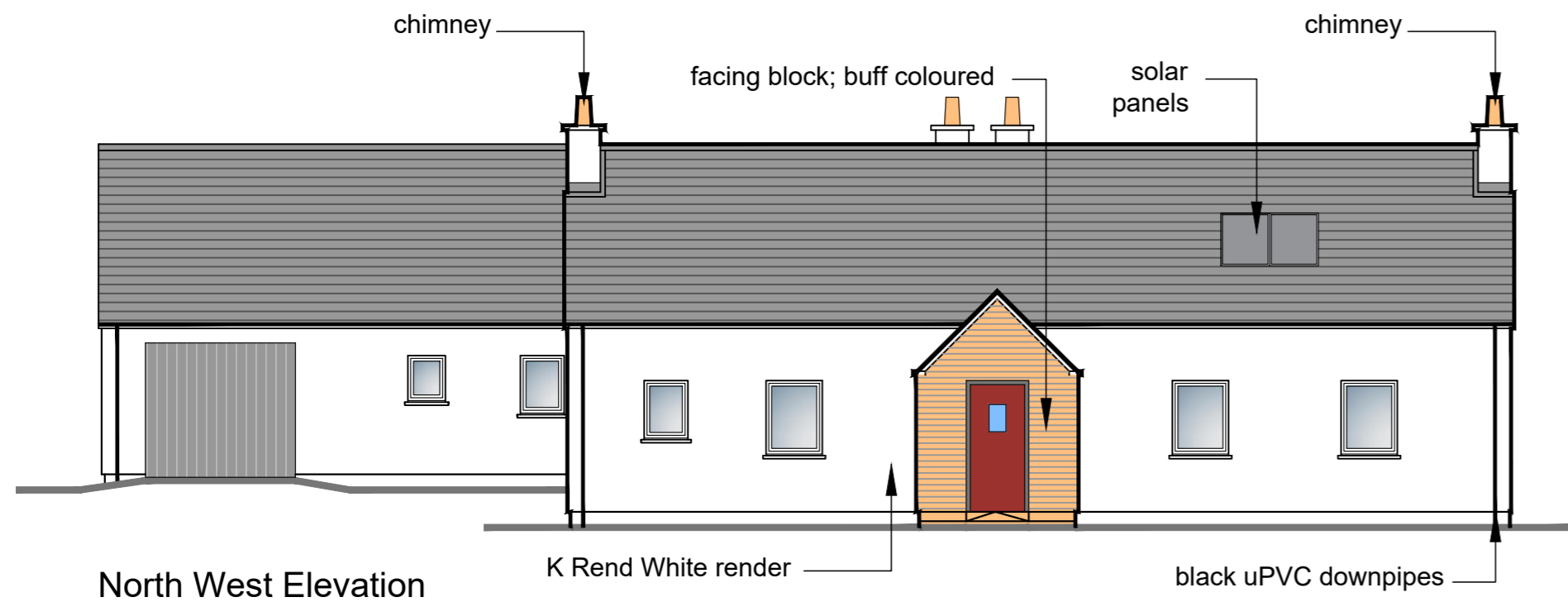
Job No.: 17/064
 Drg. No.: 01 B
 Drg. Title: Drainage Layout & Swale Detail
 Scale: As shown @ A3

Drawings prepared by
Hareshaw Properties Limited

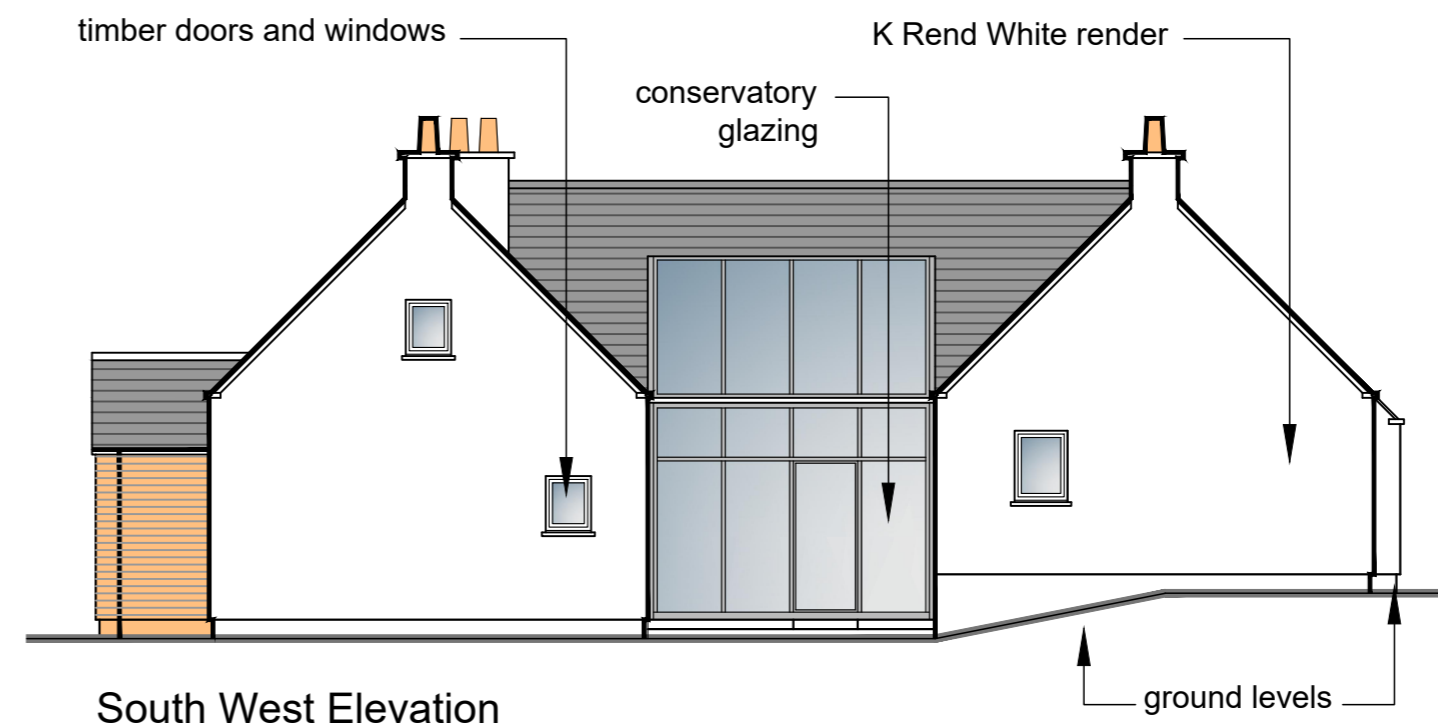
Mobile: 07931 833 128
 E-Mail: hareshaw.properties@sky.com

Client: **Mr & Mrs Howie**

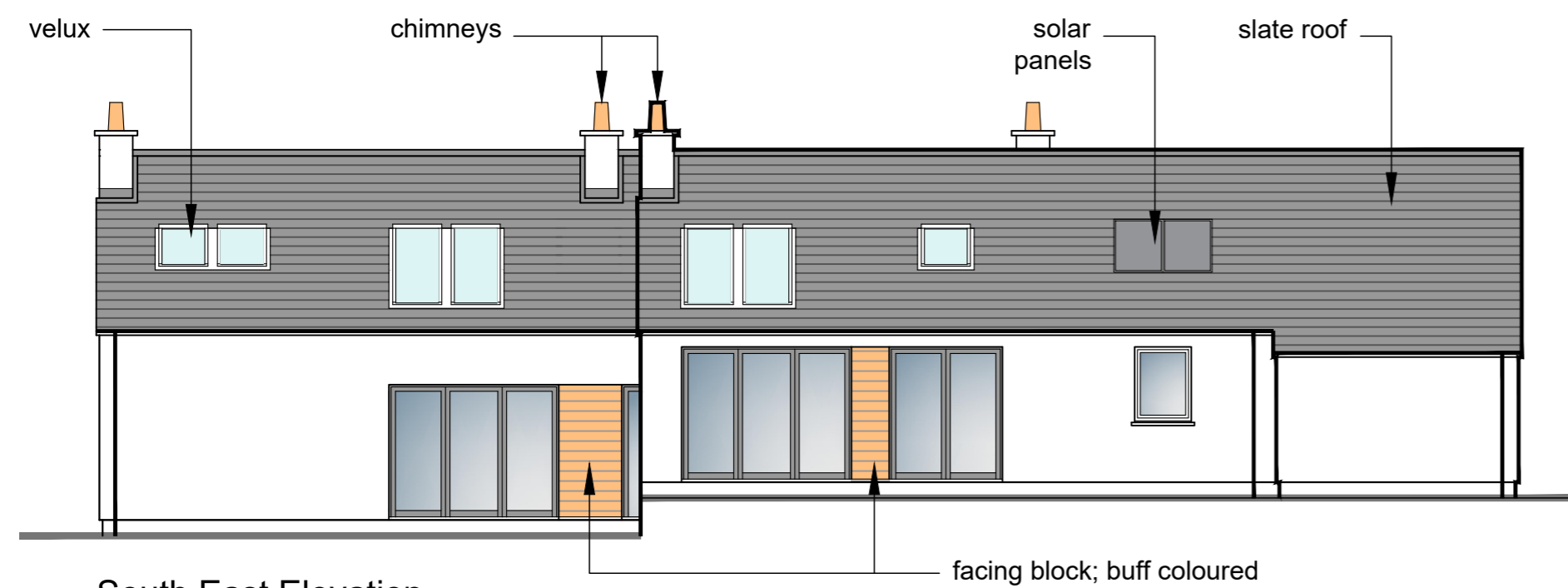
DO NOT SCALE, IF IN DOUBT PLEASE ASK
 All setting out must be checked on site prior to commencement. Any discrepancy must be reported to G. H. JOHNSTON Building Consultants Ltd



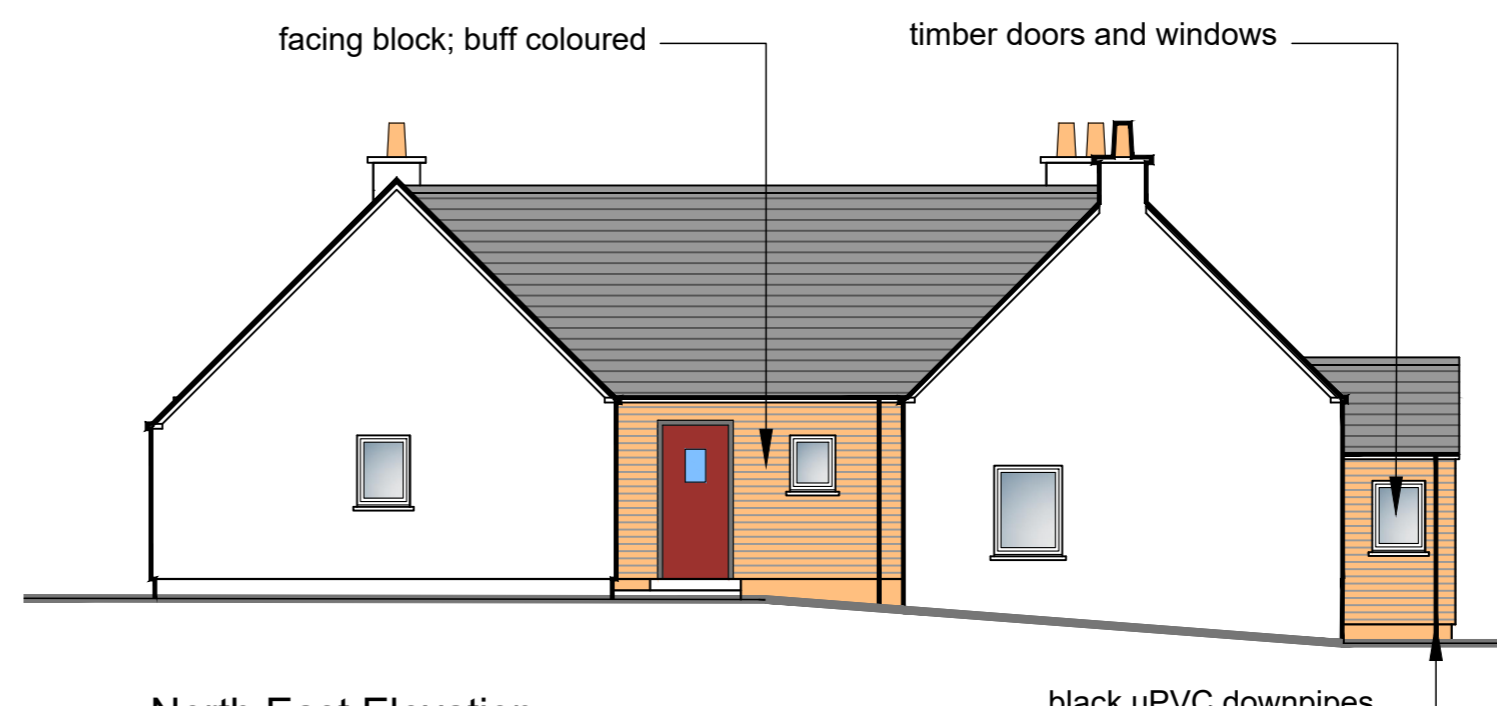
North West Elevation



South West Elevation



South East Elevation



North East Elevation

PLANNING APPLICATION

REVISIONS

rev.	description	date
A	Velux & solar panels added	04.17
B	Front door moved Chimney heads added Window positions revised	04.18
C	Building raised by 100mm to sit 250mm above adjacent ground levels	06.18

Client
 Richard Howie

Project
 House at Galcantray
 by Croy
 Nairnshire

Drawing
 Elevations

Scale 1:100@A2	Date Mar 17	Drawn by PHJ
Project no 2399	Dwg no PL005	Rev C

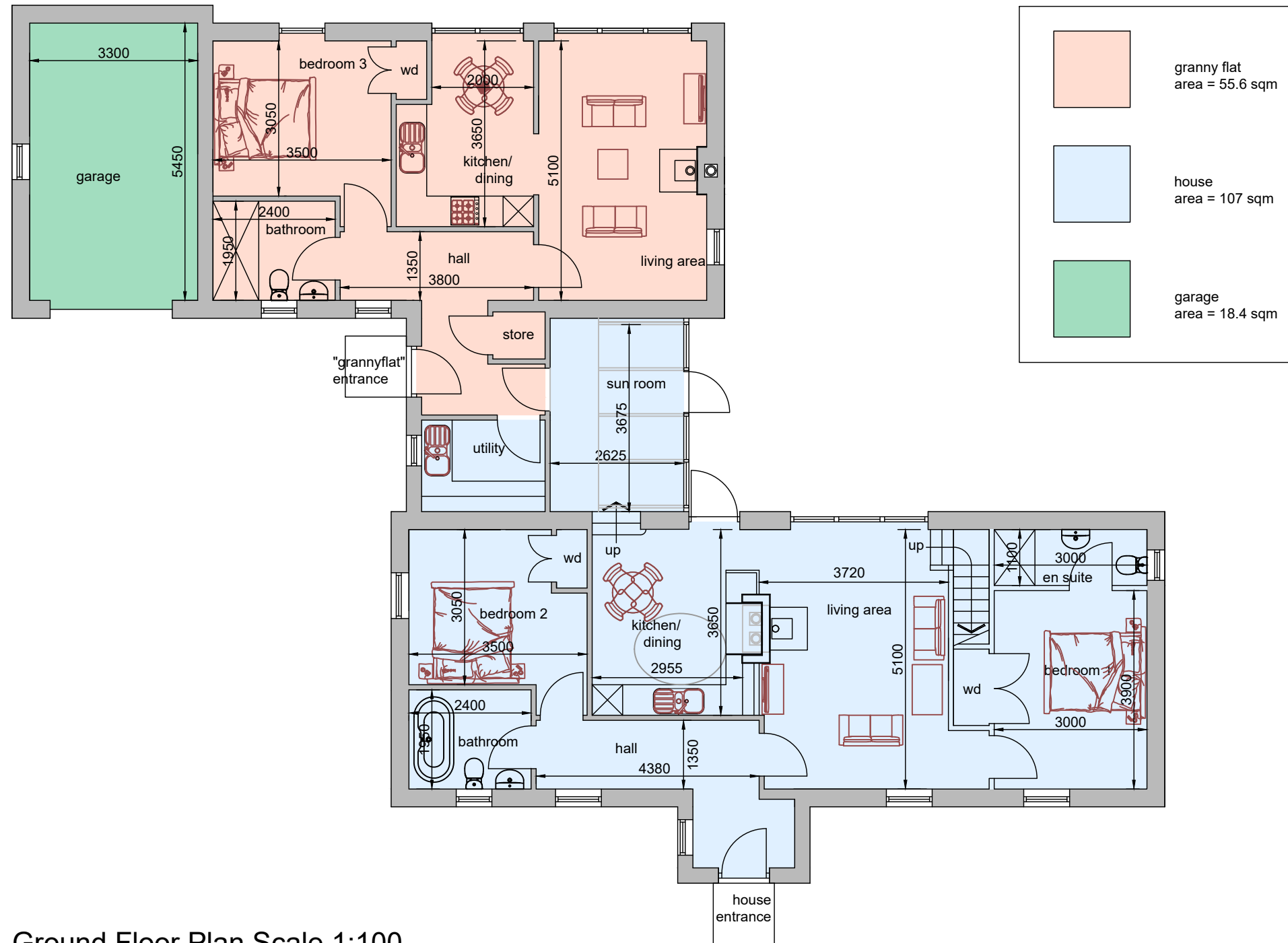
G.H.JOHNSTON
 BUILDING CONSULTANTS LTD
 WILLOW HOUSE
 STONEYFIELD BUSINESS PARK
 INVERNESS IV2 7PA
 Email: technical@ghjohnston.co.uk
 TEL (01463) 237229
 FAX (01463) 243258

Elevations Scale 1:100

Scale 1:100 (metres)



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Ground Floor Plan Scale 1:100

Scale 1:100 (metres)



PLANNING APPLICATION

REVISIONS

rev.	description	date
A	Front door moved Window positions revised	04.18

Client
Richard Howie

Project
House at Galcantray
by Croy
Nairnshire

Drawing
Ground Floor Plan

Scale 1:100@A3	Date Mar 17	Drawn by SR
Project no 2399	Dwg no PL003	Rev A

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PLANNING APPLICATION

REVISIONS

rev.	description	date
A	Velux windows added	04.17

Client
 Richard Howie

Project
 House at Galcantray
 by Croy
 Naimshire

Drawing
 First Floor/ Loft Space Plan

Scale 1:100@A3	Date Mar 17	Drawn by SR
Project no 2399	Dwg no PL004	Rev A

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First Floor/Loft Space Scale 1:100

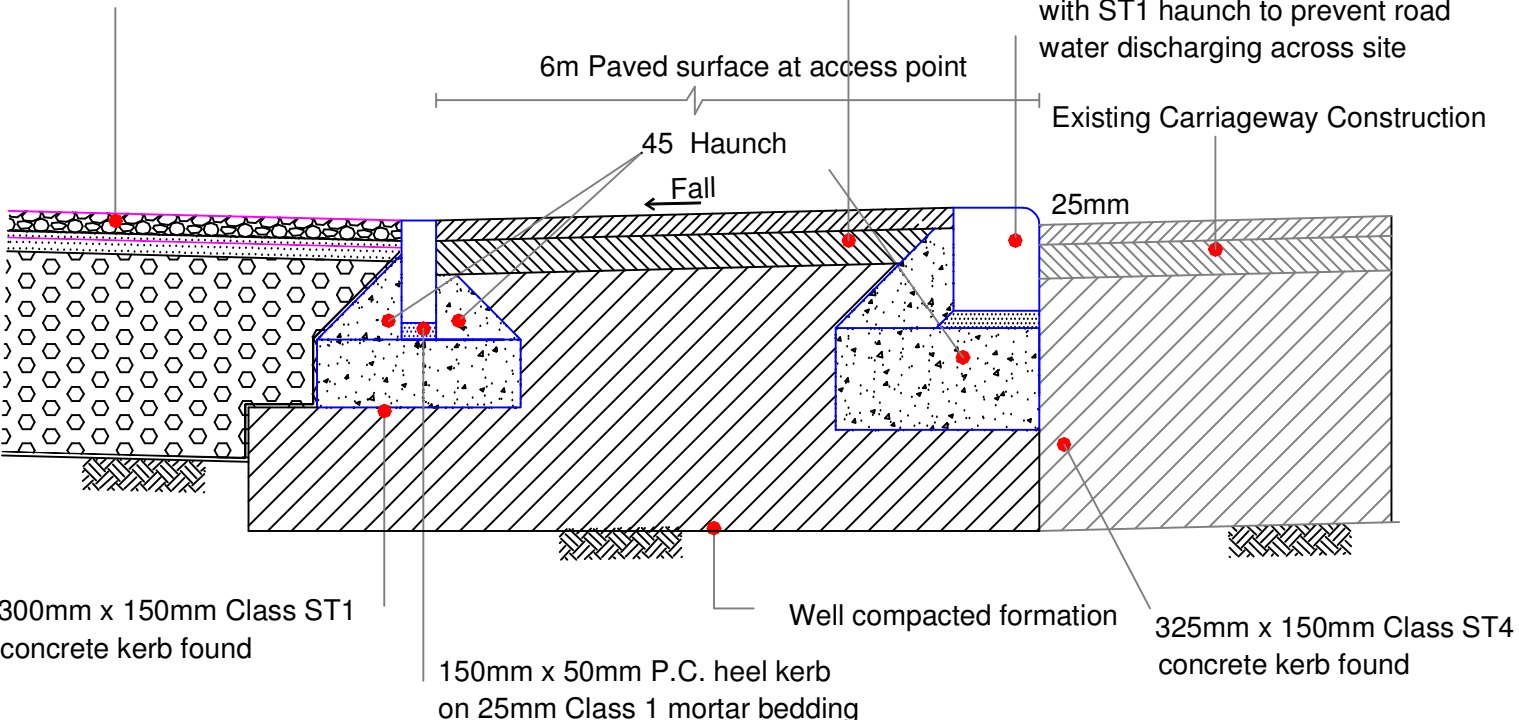
Scale 1:100 (metres)



GridForce GF50 vibrated 10mm into sand and filled with 10mm single size gravel
 30mm course sand on Terram 700, or equal, on 300mm sub-base to BS EN 13242:2002, 30% void stone Terram 700, or equal

40mm Close graded concrete asphalt
 60mm Dense asphalt concrete binder
 350mm Type 1 sub-base material to Cl. 803

127mm x 152mm P.C. drop kerb on 12mm Class 1 mortar bedding
 300 x 200mm Class ST1 kerb log with ST1 haunch to prevent road water discharging across site



DRIVEWAY & ACCESS CONSTRUCTION

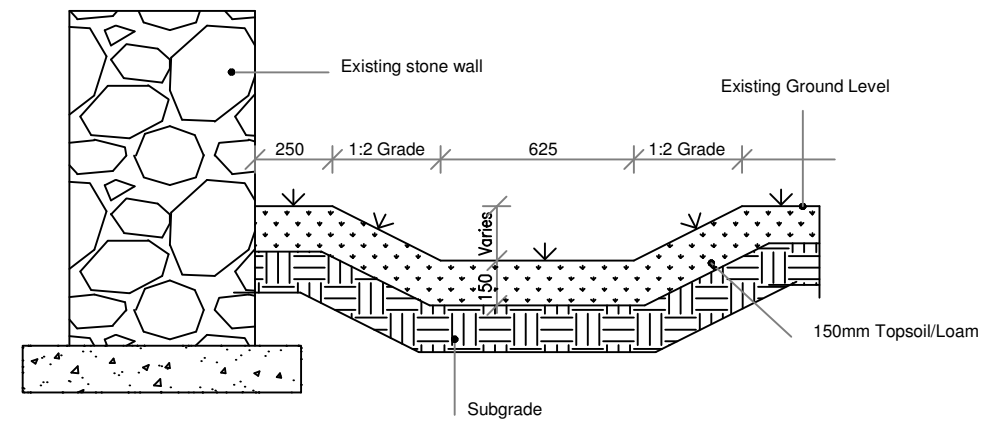
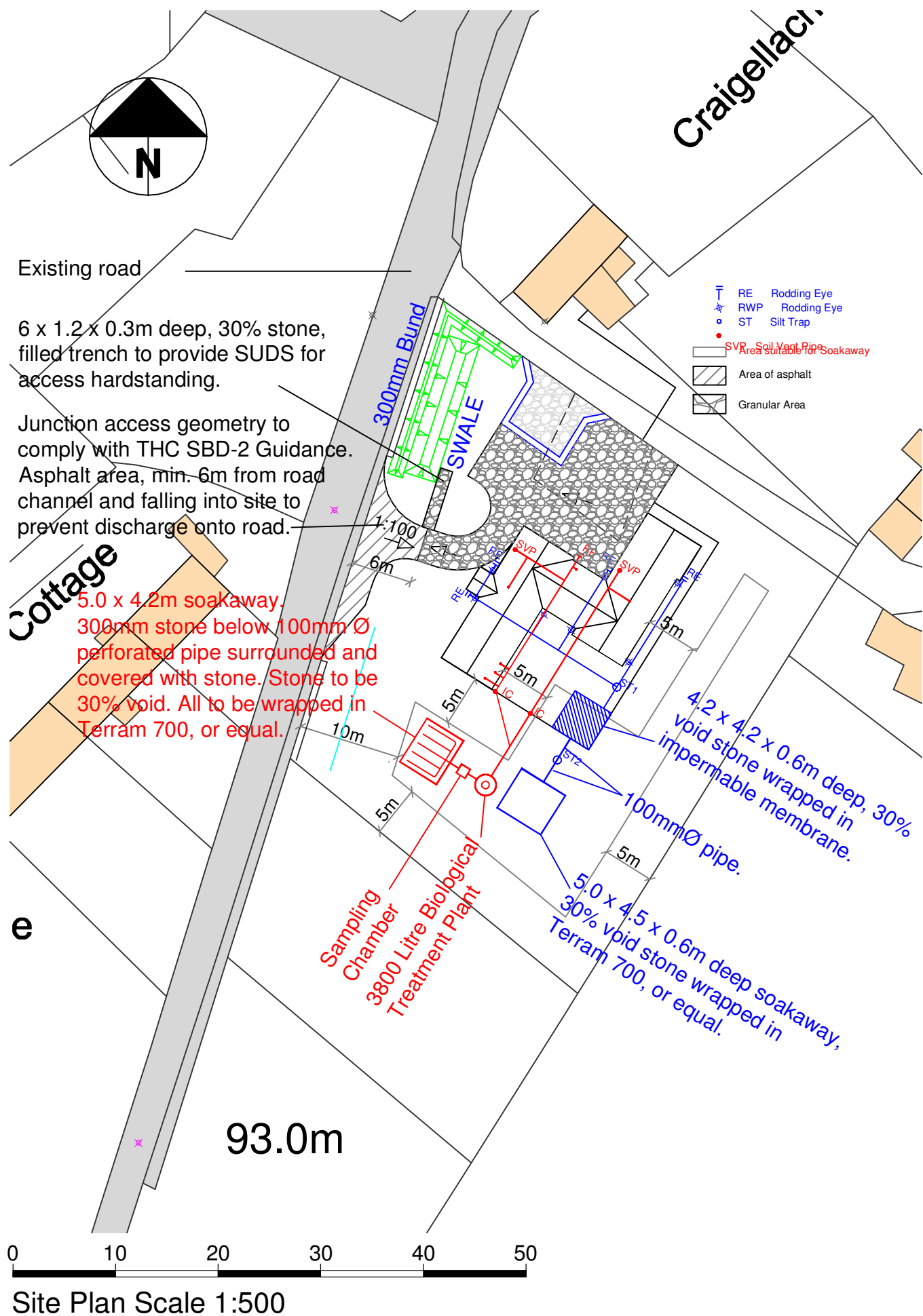
DEVELOPMENT AT:
 New house adjacent to
 Craigellachie Cottage,
 Galcantray

Drawings prepared by
Hareshaw Properties Limited

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 E-Mail: hareshaw.properties@sky.com

Job No.: 17/064
 Drg .No.: SD RDS 01 B
 Drg. Title: Driveway & Access Construction
 Scale: 1:25 @ A4

Client: **Mr & Mrs Howie**



NOTE: Bed of swale to be at 1/60, i.e. 100mm rise every 6m

TYPICAL SWALE CROSS SECTION

Scale 1:25

DEVELOPMENT AT:
**New House adjacent to
 Craigellachie Cottage
 Galcantray**

Job No.: 17/064
 Drg. No.: 01 B
 Drg. Title: Drainage Layout & Swale Detail
 Scale: As shown @ A3

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Client: **Mr & Mrs Howie**