


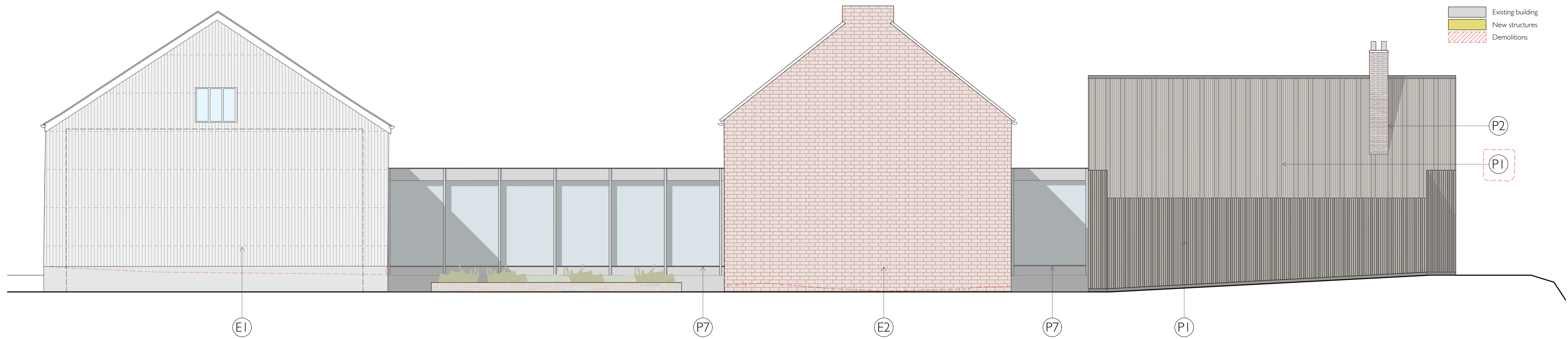
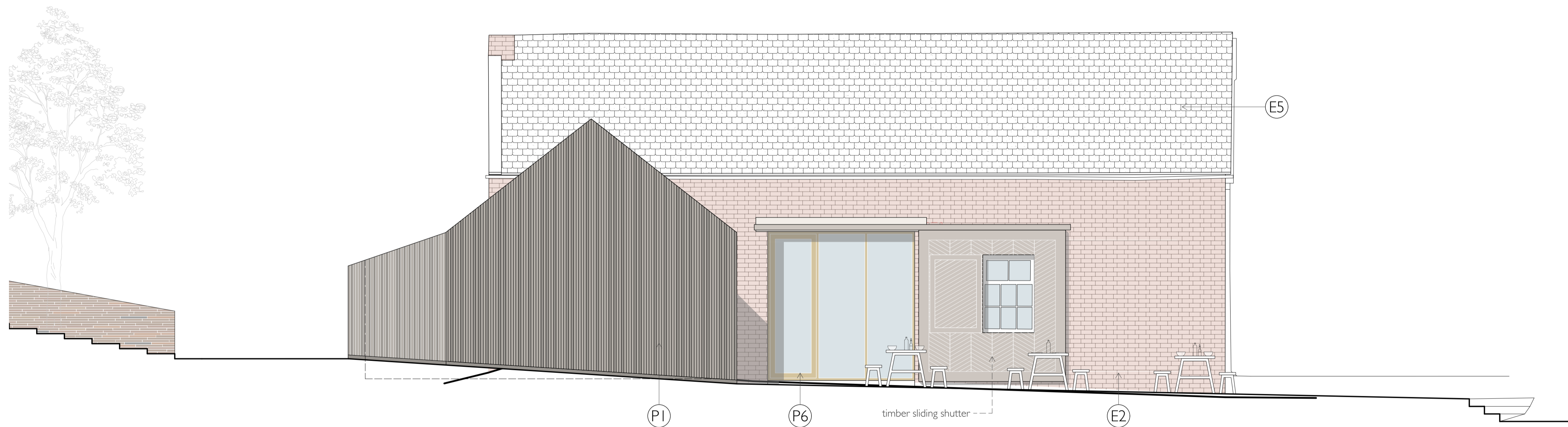


KEYS

-  Existing building
-  New structures
-  Demolitions



EAST ELEVATION



NORTH ELEVATION

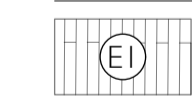
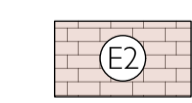
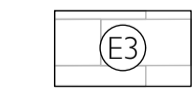
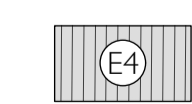
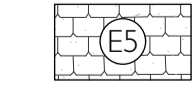
A	16.07.20	material clarification
revision	date	notes

PLANNING

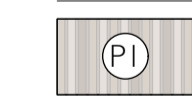
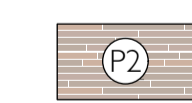
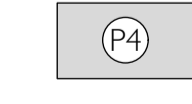
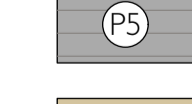
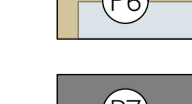
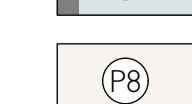
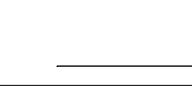
NOT FOR CONSTRUCTION

MATERIALS LEGEND

EXISTING MATERIALS

-  **Timber Cladding**
Existing timber cladding removed, reconditioned and re-installed. Supplemented with new boards to match as necessary.
-  **Brickwork**
Existing re-pointed with traditional lime mortar; areas of cement mortar raked out. Repaired and replaced where necessary with new brickwork to match / re-use of existing on site as available.
-  **Stonework**
Existing stone re-pointed with traditional lime mortar to match existing. Existing cement mortar raked out.
-  **Metal Roofing**
Re-use of the metal profiled roofs where condition permits.
-  **Slate roofing**
Recondition existing slate roof; replace areas of broken tiles or deterioration with slate to match existing.

PROPOSED MATERIALS

-  **Timber Cladding**
Selected to compliment cladding in existing buildings
-  **Brickwork**
-  **Cor-ten steel cladding**
-  **Zinc cladding**
Finish: Pre-weathered Grey
-  **Slate roofing**
-  **Timber-framed windows and doors**
-  **Metal-framed windows and doors**
-  **Stone**
New stone tooled and sized to match existing
Lime mortar beds to match existing

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TONGUE GARAGE
01/02. GASTROPUB / STONECUTTER'S
AS PROPOSED
ELEVATIONS EAST and NORTH

989-TON-P-01-302 Rev: A

1:50 @ A1, 1:100 @ A3

1. Do not scale from drawings. Request from Architect any dimensions not provided.
2. All dimensions to be checked on site prior to starting work.
3. Any discrepancies to be reported to Architect.
4. Drawings to be read in conjunction with structural engineer's and consultant's drawings, specifications and schedules.
5. Location of stud in partitions are indicative only.

KEYS

- Existing building
- New structures
- Demolitions

MATERIALS LEGEND

EXISTING MATERIALS

- E1 Timber Cladding**
Existing timber cladding removed, reconditioned and re-installed. Supplemented with new boards to match as necessary.
- E2 Brickwork**
Existing re-pointed with traditional lime mortar; areas of cement mortar raked out. Repaired and replaced where necessary with new brickwork to match / re-use of existing on site as available.
- E3 Stonework**
Existing stone re-pointed with traditional lime mortar to match existing. Existing cement mortar raked out.
- E4 Metal Roofing**
Re-use of the metal profiled roofs where condition permits.
- E5 Slate roofing**
Recondition existing slate roof, replace areas of broken tiles or deterioration with slate to match existing.

PROPOSED MATERIALS

- P1 Timber Cladding**
Selected to compliment cladding in existing buildings
- P2 Brickwork**
- P3 Cor-ten steel cladding**
- P4 Zinc cladding**
Finish: Pre-weathered Grey
- P5 Slate roofing**
- P6 Timber-framed windows and doors**
- P7 Metal-framed windows and doors**
- P8 Stone**
New stone tooled and sized to match existing. Lime mortar beds to match existing.
- P9 Rainwater goods**
Grey metal to match existing / new roof coverings

revision	date	notes

PLANNING

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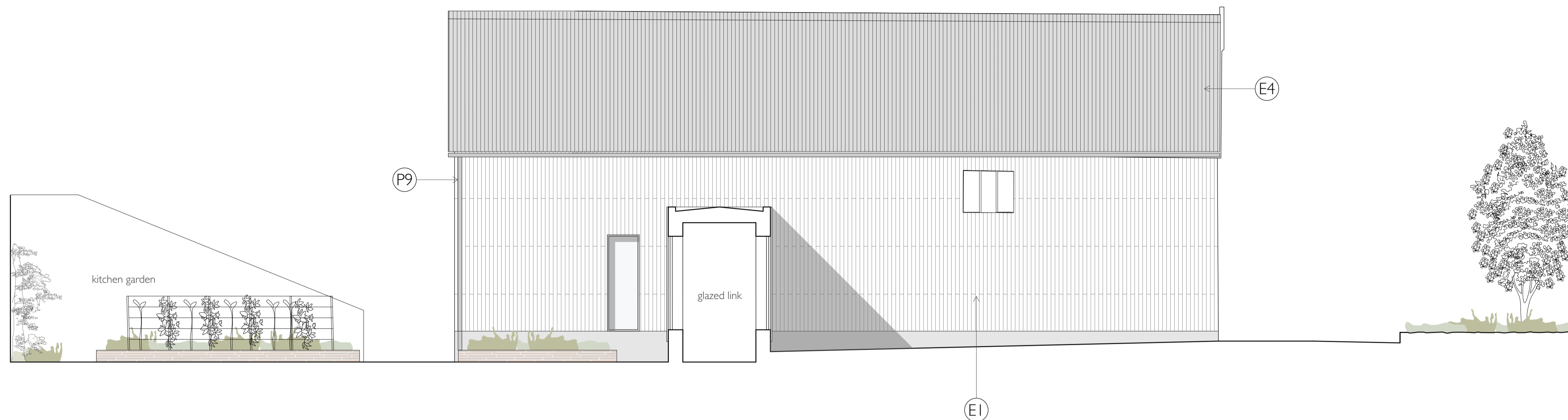
mail@helenlucas.co.uk
31-35 MARCHMONT ROAD EDINBURGH EH9 1HU
t 0131 478 8880

TONGUE GARAGE
01/02. GASTROPUB / STONECUTTER'S
AS PROPOSED
SECTION A-A B-B

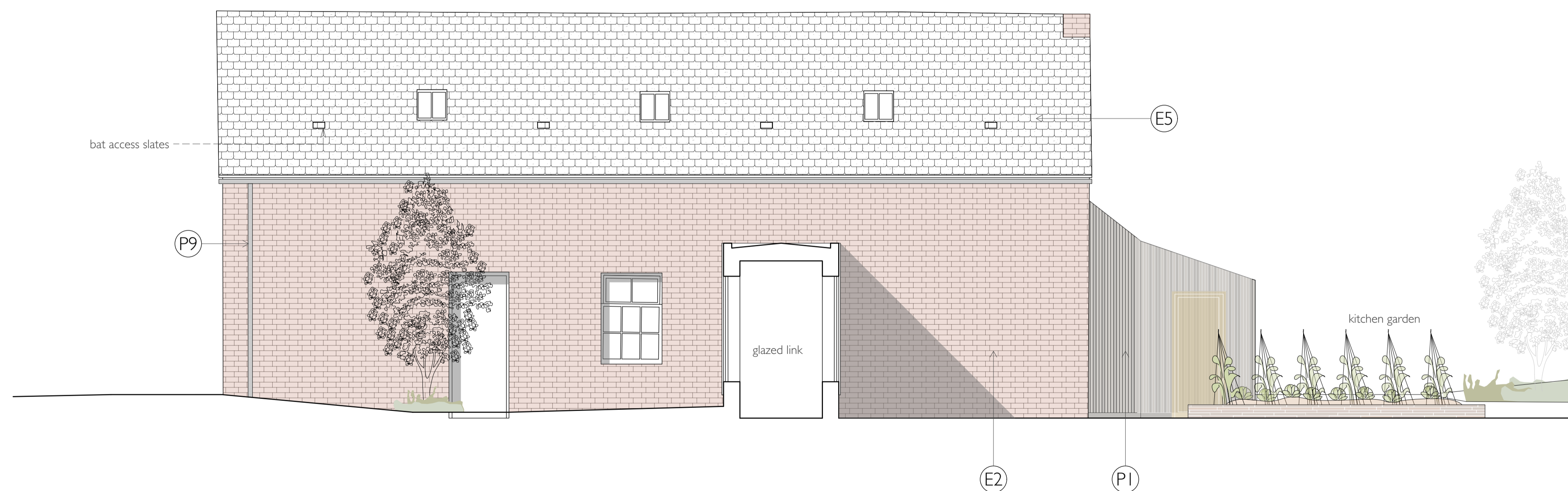
989-TON-P-01- 303 Rev: --

1:50 @ A1, 1:100 @ A3

1. Do not scale from drawings. Request from Architect any dimensions not provided.
2. All dimensions to be checked on site prior to starting work.
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4. Drawings to be read in conjunction with structural engineer's and consultant's drawings, specifications and schedules.
5. Location of stud in partitions are indicative only.



SECTION A-A
Stonecutter's Elevation (North)



SECTION B-B
Bakehouse Elevation (South)

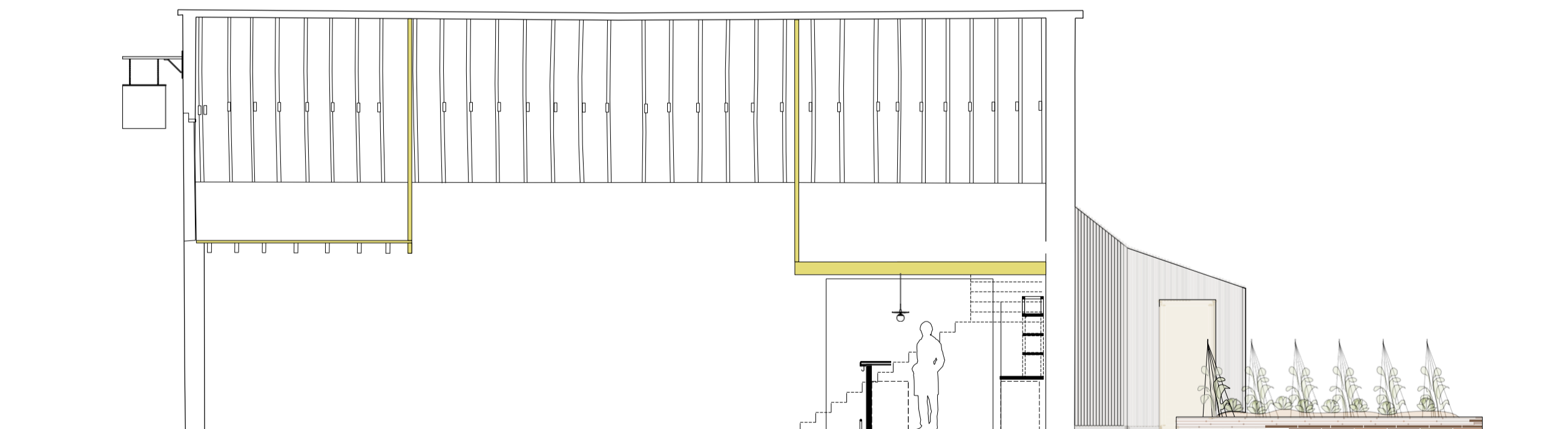
scale bar - 1:50
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KEYS

- Existing building
- New structures
- Demolitions



SECTION CC



SECTION DD

revision	date	notes
PLANNING		
<small>NOT FOR CONSTRUCTION</small>		
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<small>t 0131 478 8880</small>		
TONGUE GARAGE		
01/02. GASTROPUB / STONECUTTER'S		
AS PROPOSED		
SECTIONS C-C / D-D		
989-TON-P-01-350 Rev:--		
1:50 @A1, 1:100 @A3		
<small>1. Do not scale from drawings. Request from Architect any dimensions not provided. 2. All dimensions to be checked on site prior to starting work. 3. Any discrepancies to be reported to Architect. 4. Drawings to be read in conjunction with structural engineer's and consultant's drawings, specifications and schedules. 5. Location of stud in partitions are indicative only.</small>		

PLANNING

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TONGUE GARAGE
01/02. GASTROPUB / STONECUTTER'S
AS PROPOSED
SECTIONS C-C / D-D

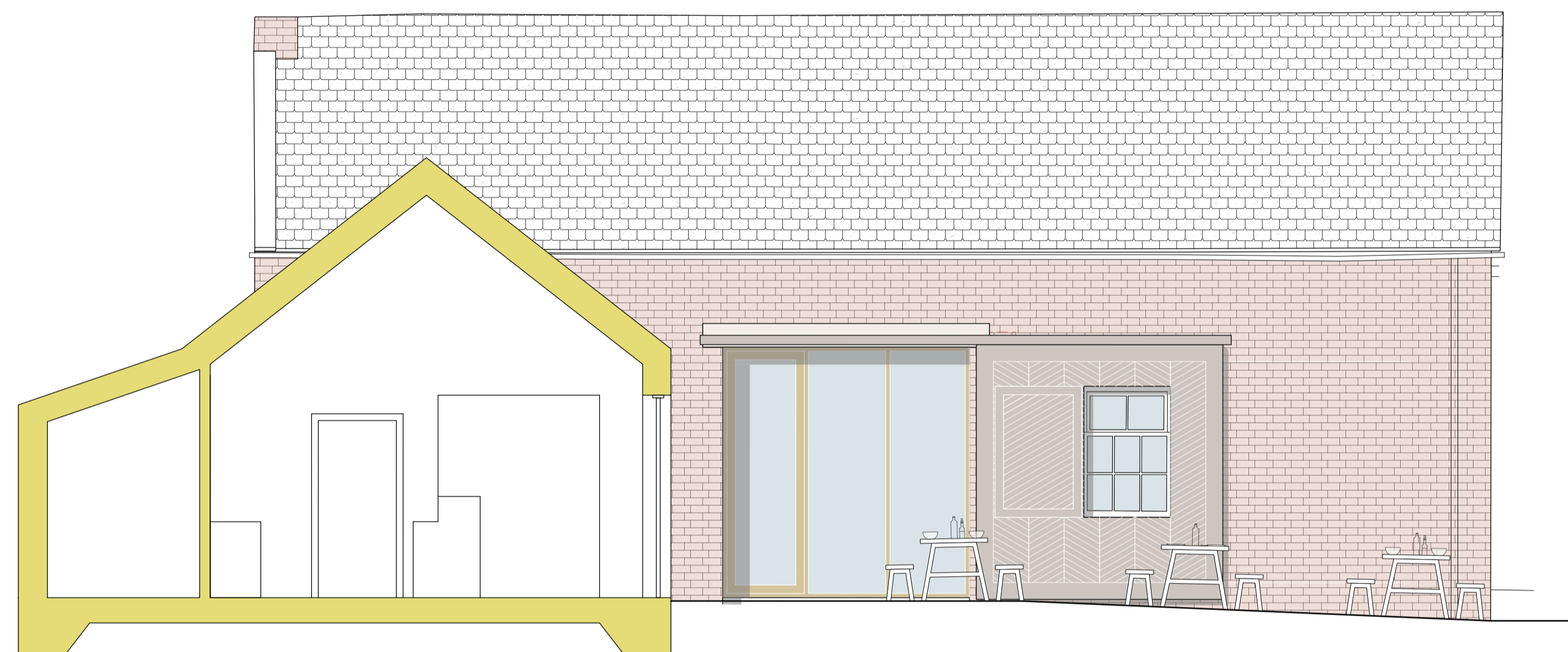
989-TON-P-01-350 Rev:--

1:50 @A1, 1:100 @A3

1. Do not scale from drawings. Request from Architect any dimensions not provided.
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4. Drawings to be read in conjunction with structural engineer's and consultant's drawings, specifications and schedules.
5. Location of stud in partitions are indicative only.

KEYS

- Existing building
- New structures
- Demolitions



SECTION EE

revision	date	notes
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TONGUE GARAGE
 01/02. GASTROPUB / STONECUTTER'S
 AS PROPOSED
 SECTION E-E

989-TON-P-01-351 Rev: --

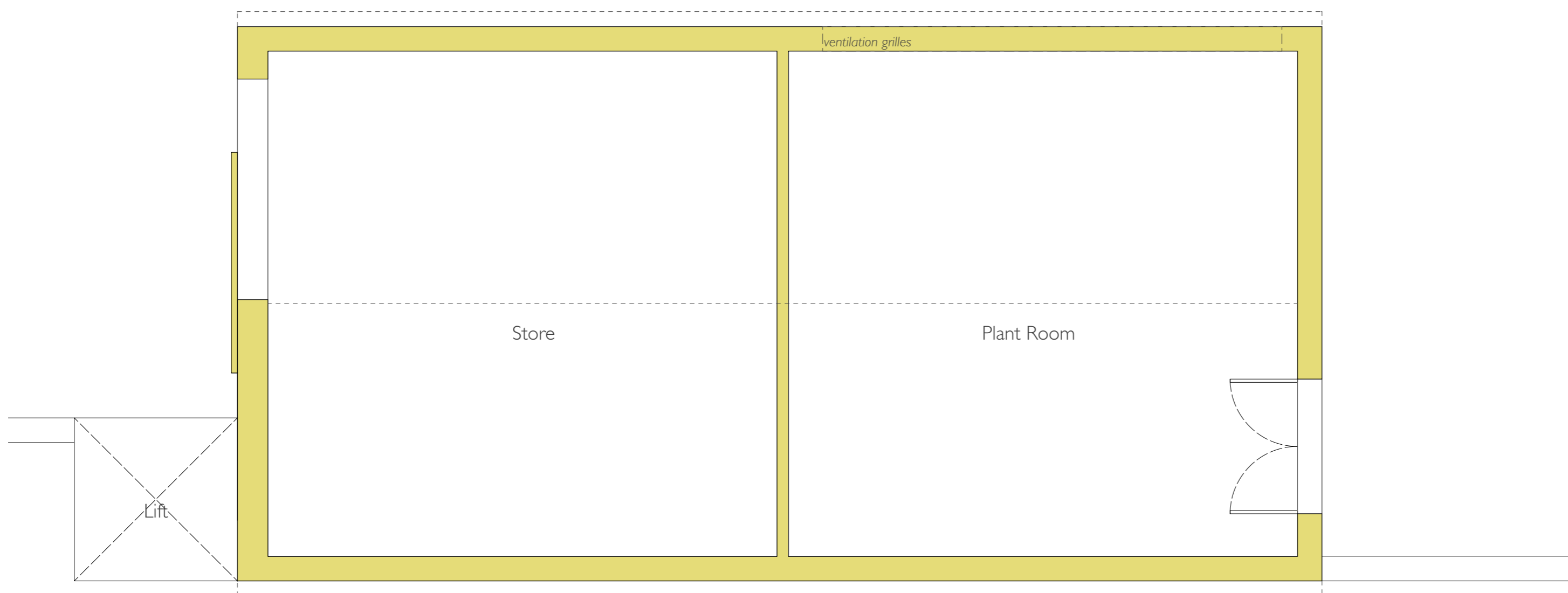
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 2. All dimensions to be checked on site prior to starting work.
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 5. Location of stud in partitions are indicative only.

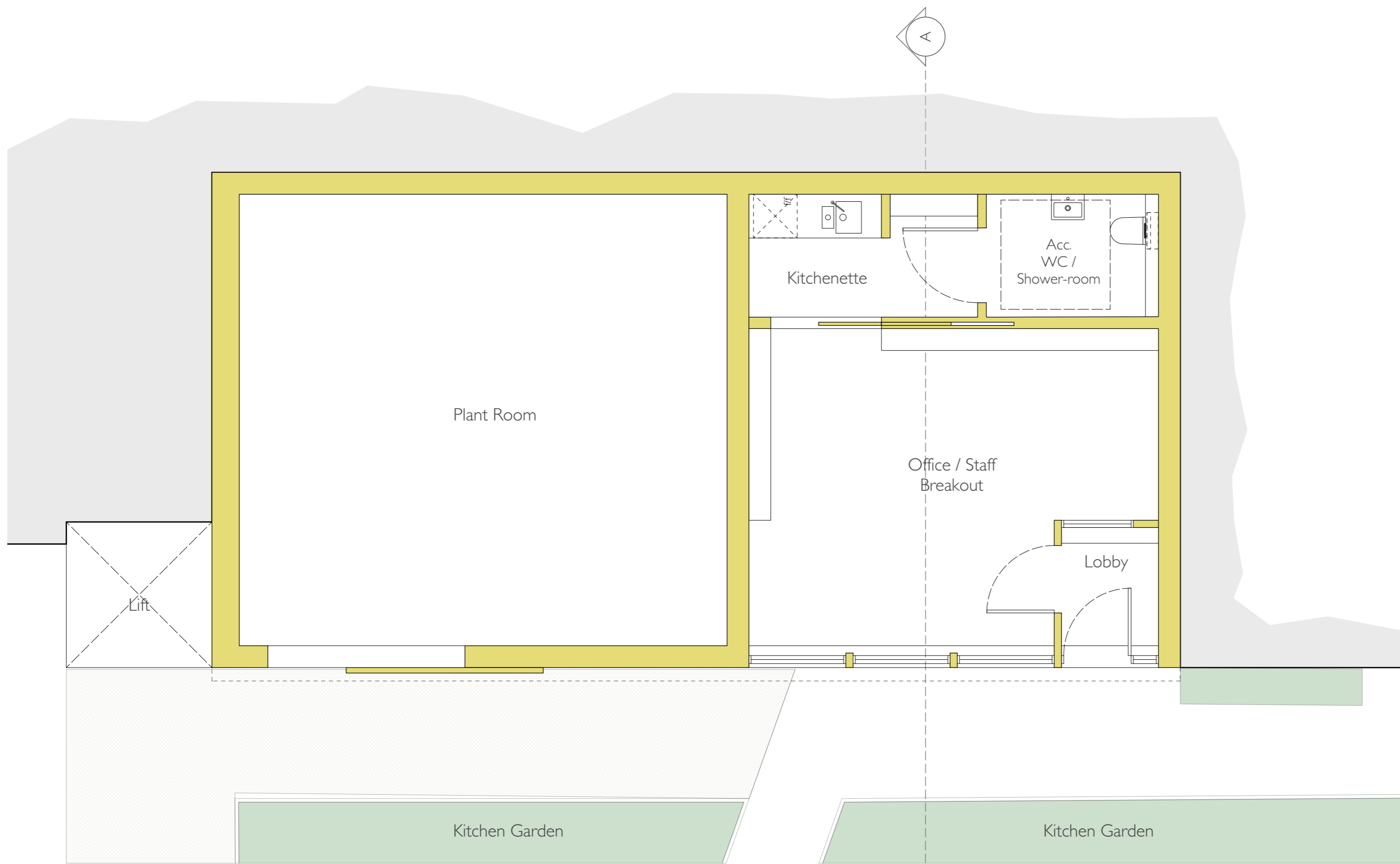
- Existing building
- New structures
- Demolitions



PROPOSED ROOF PLAN



PROPOSED GROUND FLOOR
(car park level)



PROPOSED BASEMENT FLOOR
(kitchen garden level)

revision	date	notes

PLANNING
NOT FOR CONSTRUCTION

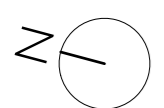
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t 0131 478 8880

TONGUE GARAGE SITE
08. SITE OPERATIONS
AS PROPOSED
FLOOR PLANS

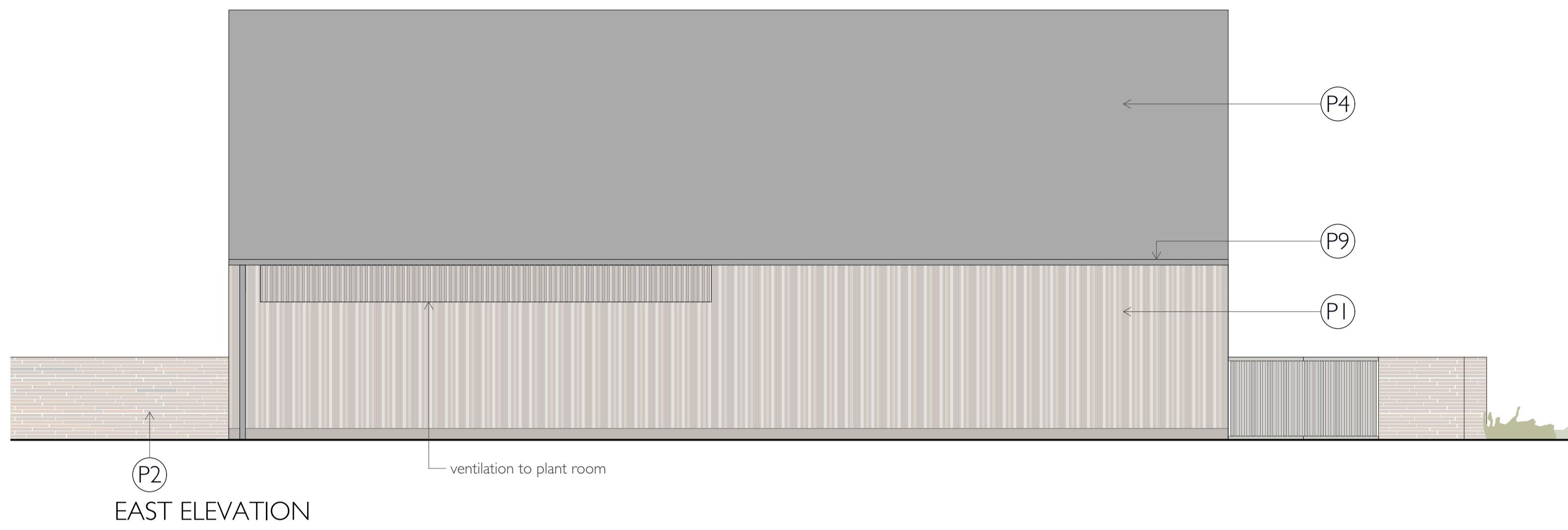
989-TON-P-08-201 Rev: --

1:250 @ A1

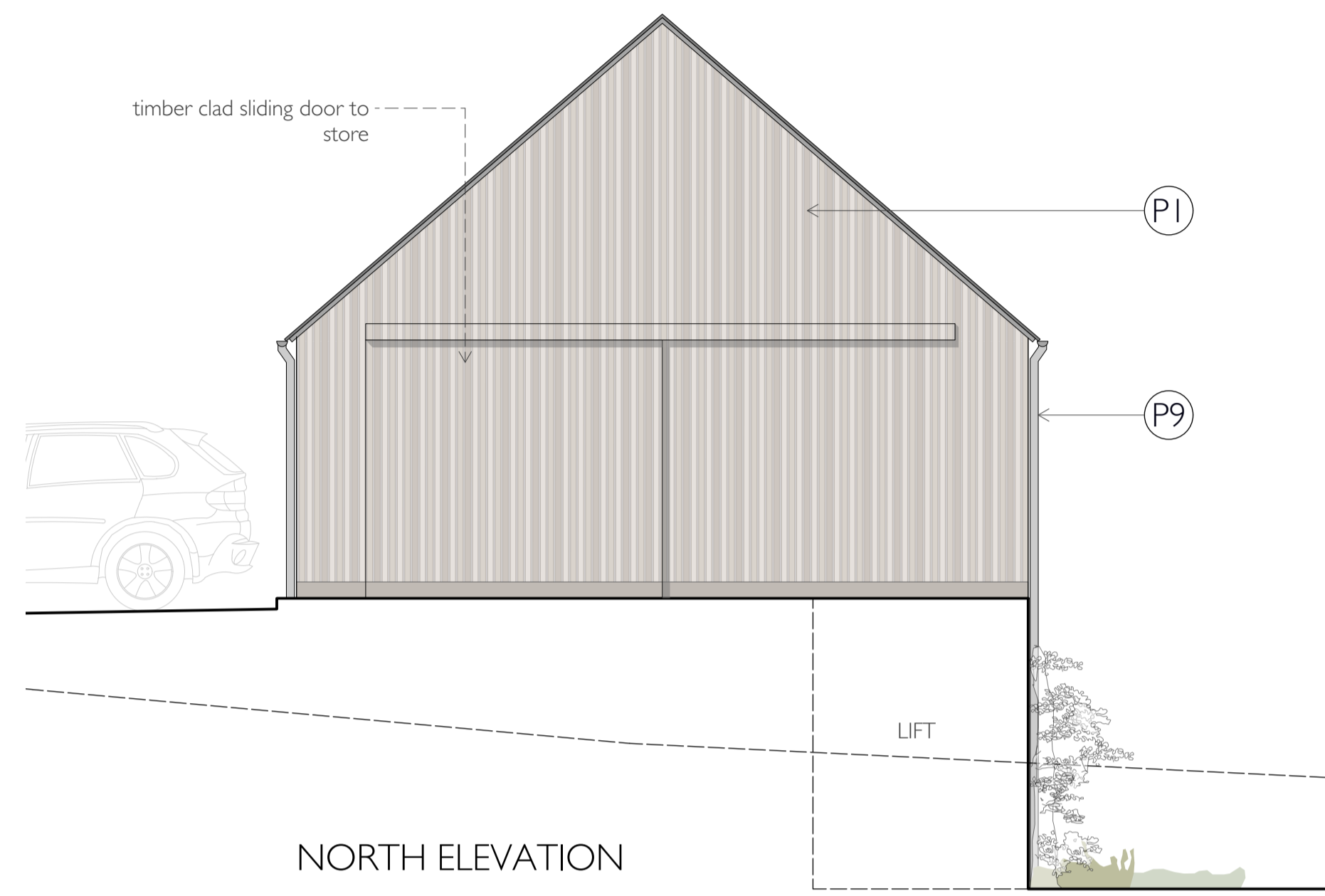


scale bar - 1:50
0 1 2 2.5m

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2. All dimensions to be checked on site prior to starting work.
3. Any discrepancies to be reported to Architect.
4. Drawings to be read in conjunction with structural engineer's and consultant's drawings, specifications and schedules.
5. Location of stud in partitions are indicative only.



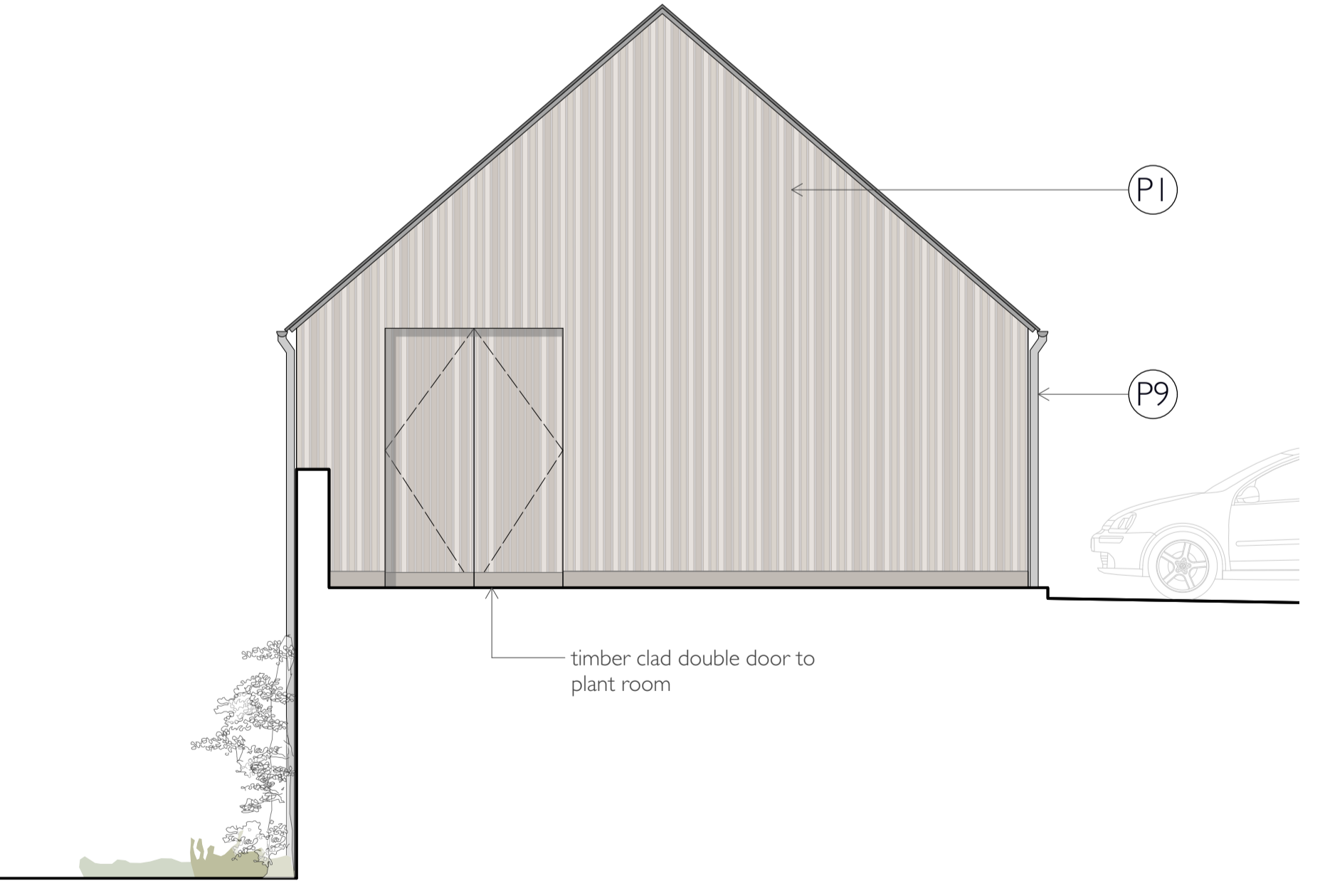
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

KEYS

	Existing building
	New structures
	Demolitions

MATERIALS LEGEND

EXISTING MATERIALS

	Timber Cladding Existing timber cladding removed, reconditioned and re-installed. Supplemented with new boards to match as necessary.
	Brickwork Existing re-pointed with traditional lime mortar; areas of cement mortar raked out. Repaired and replaced where necessary with new brickwork to match / re-use of existing on site as available.
	Stonework Existing stone re-pointed with traditional lime mortar to match existing. Existing cement mortar raked out.
	Metal Roofing Re-use of the metal profiled roofs where condition permits.
	Slate roofing Recondition existing slate roof. replace areas of broken tiles or deterioration with slate to match existing.

PROPOSED MATERIALS

	Timber Cladding Selected to compliment cladding in existing buildings
	Brickwork
	Cor-ten steel cladding
	Zinc cladding Finish: Pre-weathered Grey
	Slate roofing
	Timber-framed windows and doors
	Metal-framed windows and doors
	Stone New stone tooled and sized to match existing. Lime mortar beds to match existing.
	Rainwater goods Grey metal to match existing / new roof coverings

revision	date	notes
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TONGUE GARAGE SITE
08. SITE OPERATIONS
AS PROPOSED
ELEVATIONS

989-TON-P-08- 301 Rev: --

1:50 @ A1

1. Do not scale from drawings. Request from Architect any dimensions not provided.
2. All dimensions to be checked on site prior to starting work.
3. Any discrepancies to be reported to Architect.
4. Drawings to be read in conjunction with structural engineer's and consultant's drawings, specifications and schedules.
5. Location of stud in partitions are indicative only.

KEYS

- Existing building
- New structures
- Demolitions



revision	date	notes

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TONGUE GARAGE SITE
 08. SITE OPERATIONS
 AS PROPOSED
 SECTION AA

989-TON-P-08-350 Rev: --

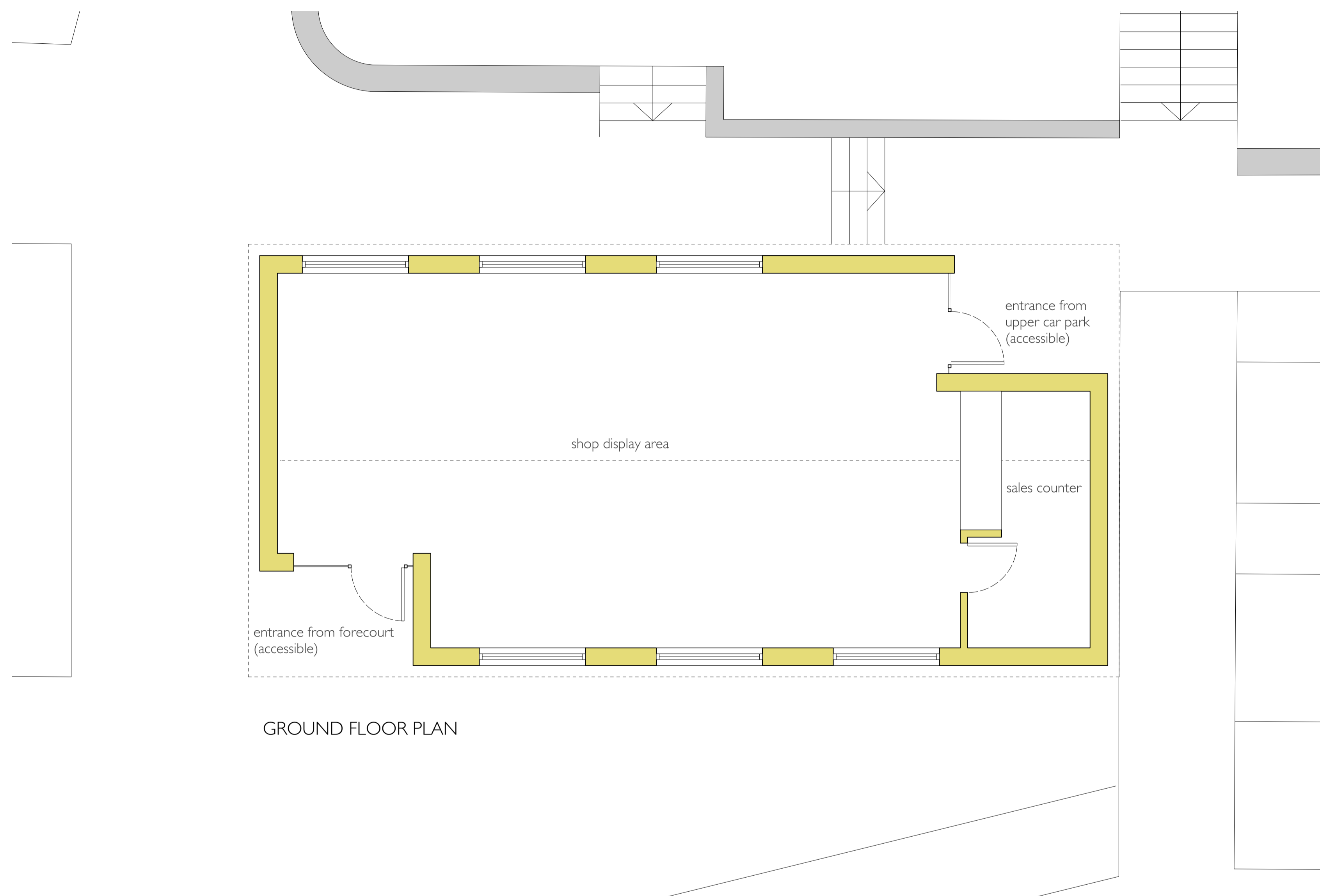
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1. Do not scale from drawings. Request from Architect any dimensions not provided.
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 3. Any discrepancies to be reported to Architect.
 4. Drawings to be read in conjunction with structural engineer's and consultant's drawings, specifications and schedules.
 5. Location of stud in partitions are indicative only.

KEYS

- Existing building
- New structures
- Demolitions



GROUND FLOOR PLAN

revision	date	notes

PLANNING

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TONGUE GARAGE SITE
09. SHOP

AS PROPOSED -
SHOP: PLANS

989-TON-P-09-201 Rev: --

1:50 @ A1; 1:100 @ A3

1. Do not scale from drawings. Request from Architect any dimensions not provided.
2. All dimensions to be checked on site prior to starting work.
3. Any discrepancies to be reported to Architect.
4. Drawings to be read in conjunction with structural engineer's and consultant's drawings, specifications and schedules.
5. Location of stud in partitions are indicative only.



KEYS

- Existing building
- New structures
- Demolitions

MATERIALS LEGEND

EXISTING MATERIALS

- E1 Timber Cladding**
Existing timber cladding removed, reconditioned and re-installed. Supplemented with new boards to match as necessary.
- E2 Brickwork**
Existing re-pointed with traditional lime mortar; areas of cement mortar raked out. Repaired and replaced where necessary with new brickwork to match / re-use of existing on site as available.
- E3 Stonework**
Existing stone re-pointed with traditional lime mortar to match existing. Existing cement mortar raked out.
- E4 Metal Roofing**
Re-use of the metal profiled roofs where condition permits.
- E5 Slate roofing**
Recondition existing slate roof, replace areas of broken tiles or deterioration with slate to match existing.

PROPOSED MATERIALS

- P1 Timber Cladding**
Selected to compliment cladding in existing buildings
- P2 Brickwork**
- P3 Cor-ten steel cladding**
- P4 Zinc cladding**
Finish: Pre-weathered Grey
- P5 Slate roofing**
- P6 Timber-framed windows and doors**
- P7 Metal-framed windows and doors**
- P8 Stone**
New stone tooled and sized to match existing. Lime mortar beds to match existing.
- P9 Rainwater goods**
Grey metal to match existing / new roof coverings
- P11 Profilled metal roof**

revision	date	notes

PLANNING

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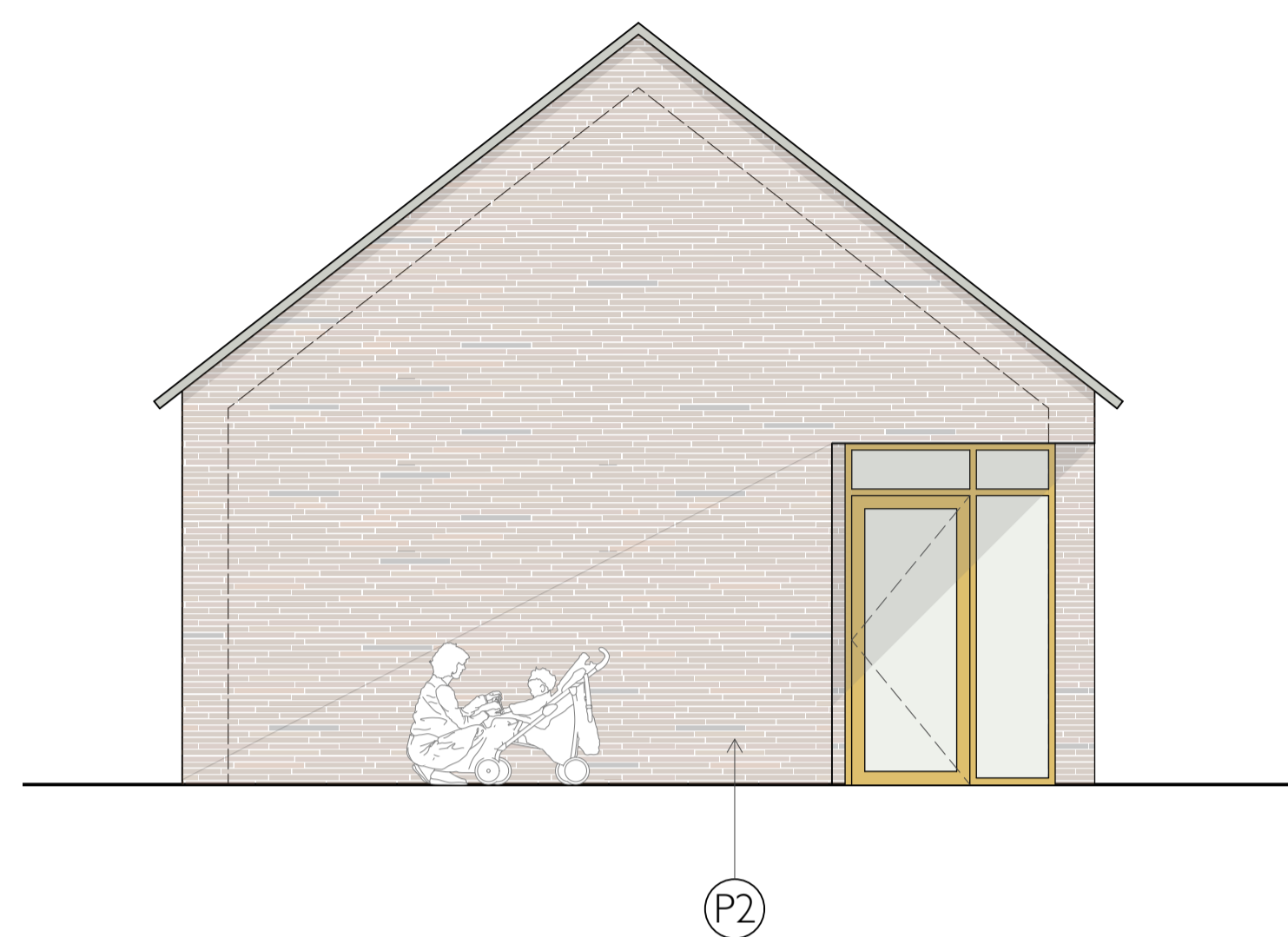
TONGUE GARAGE SITE
09. SHOP

AS PROPOSED -
SHOP: ELEVATIONS

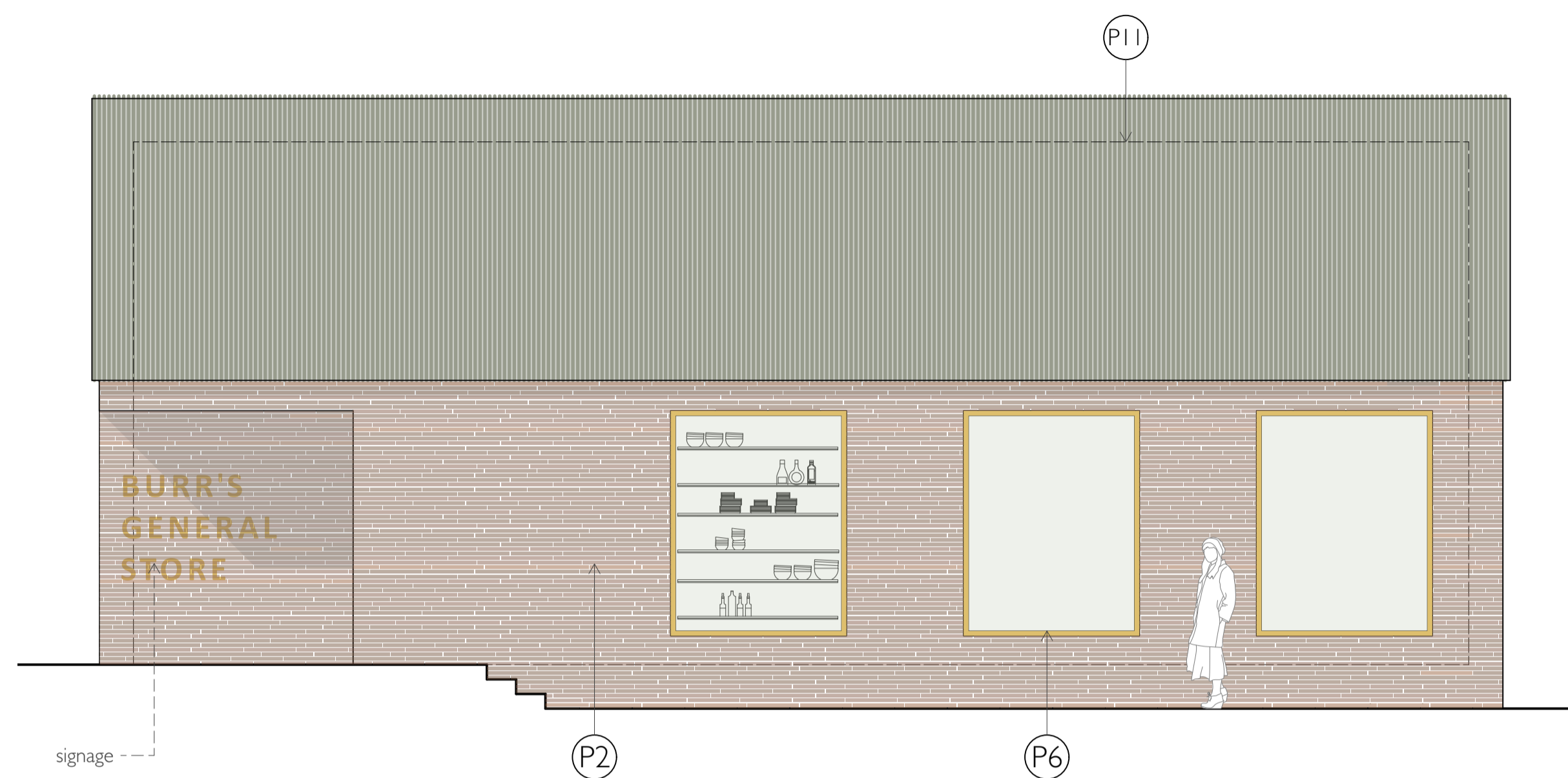
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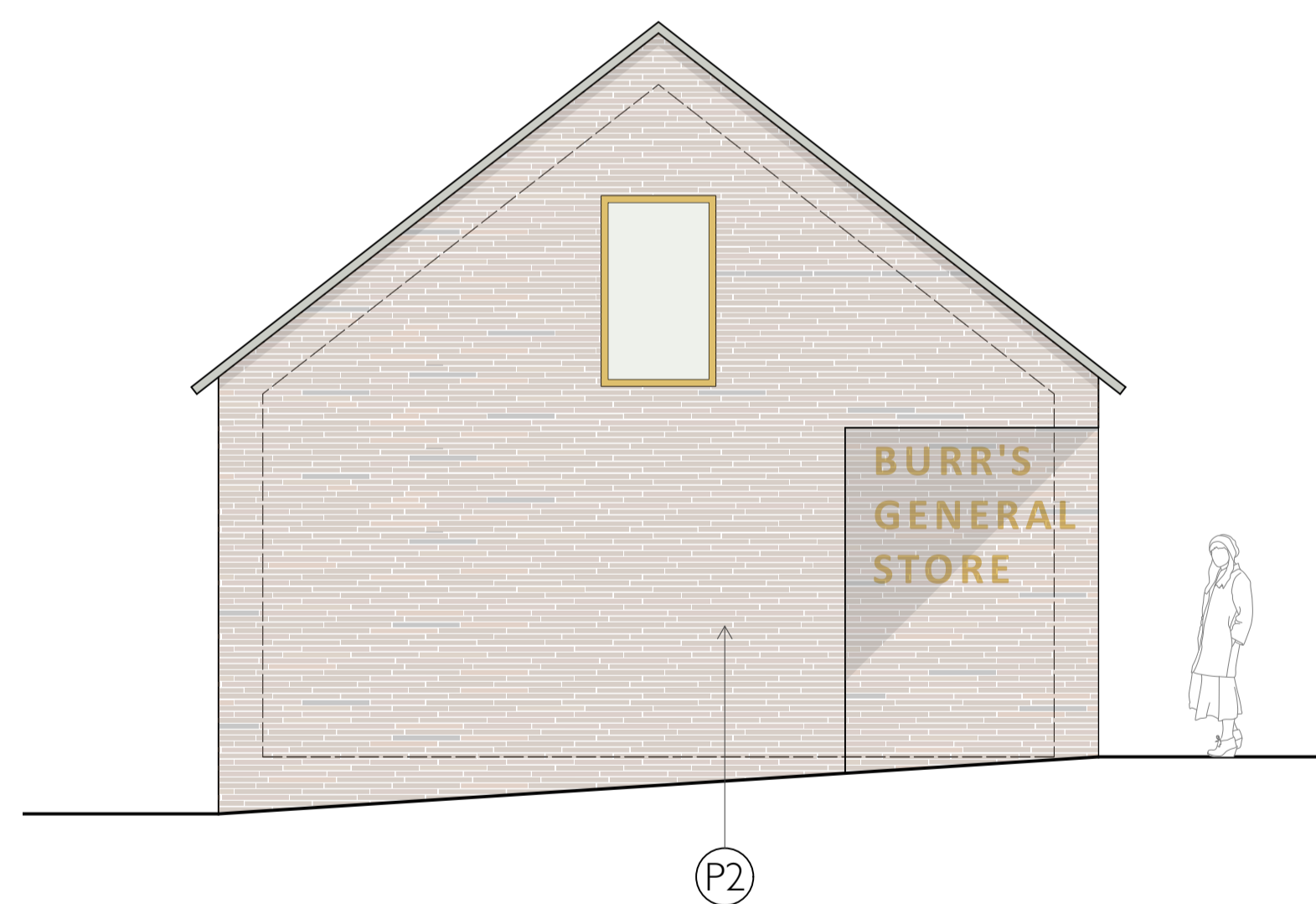
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3. Any discrepancies to be reported to Architect.
4. Drawings to be read in conjunction with structural engineer's and consultant's drawings, specifications and schedules.
5. Location of stud in partitions are indicative only.



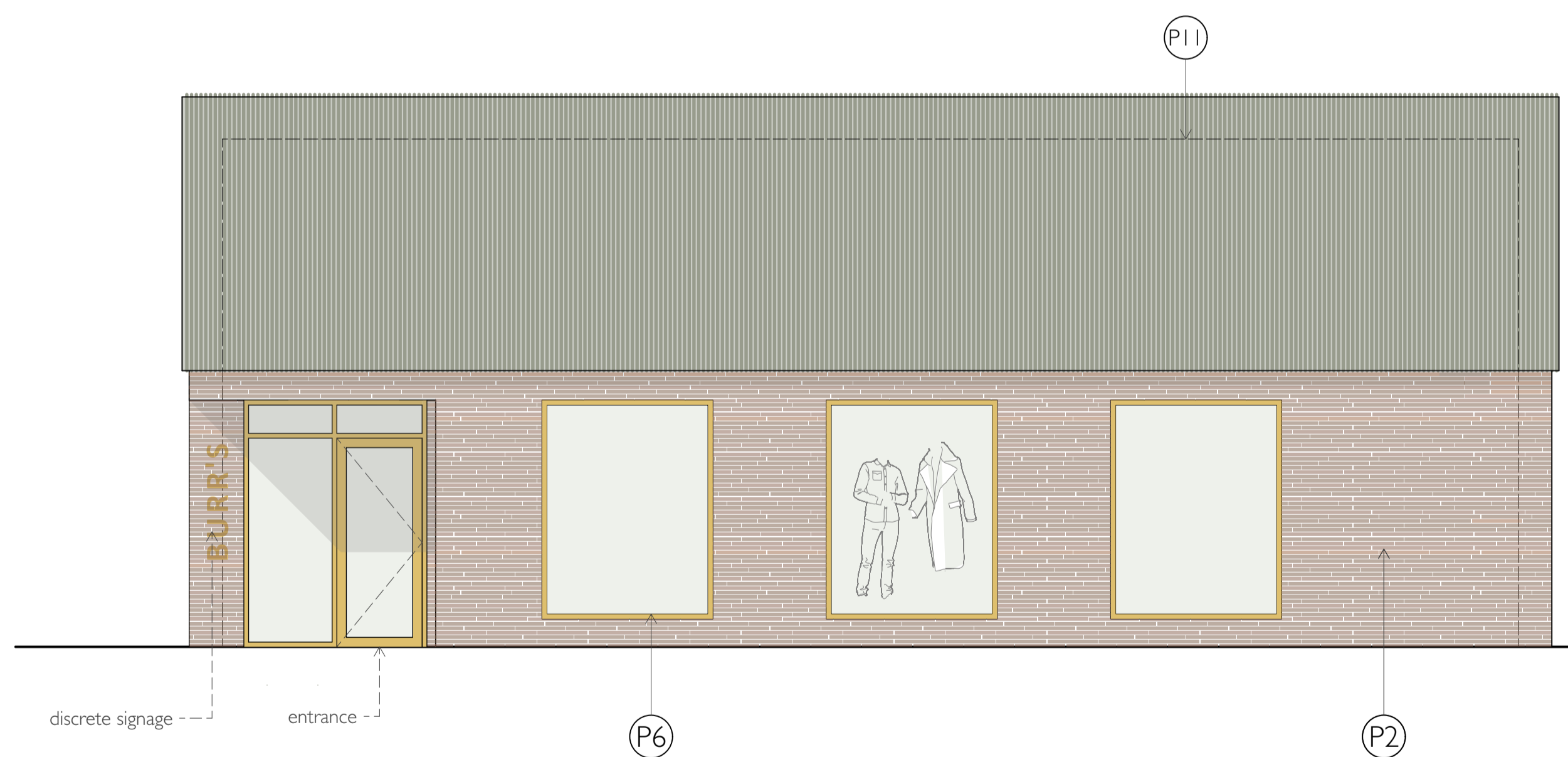
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

DO NOT SCALE FROM THIS DRAWING.
WORK TO FIGURED DIMENSION ONLY.

- NOTES**
- All DNA drawings are to be read in conjunction with the relevant DNA Specification and all relevant Architect's and Service Engineer's drawings and Specifications.
 - All dimensions and setting out to be confirmed by the Architect.
 - For other notes refer to drawing 18.1142-001.

DRAINAGE LEGEND

- Denotes proposed 100mm dia (UNO) PVCu foul water drainage laid at 1:80 in Bedding Class P.
- Denotes proposed pumped rising main foul water drainage.
- Denotes proposed 100mm dia (UNO) PVCu surface water drainage laid at 1:80 in Bedding Class P.
- Denotes proposed 100mm dia (UNO) PVCu perforated pipe laid at 1:80mm in granular fill wrapped in a permeable textile.
- Denotes proposed combined drainage.
- Proposed UPVC 450mm dia foul water manhole.
- Proposed UPVC 450mm dia surface water manhole.
- Proposed UPVC 450mm dia combined water manhole.
- Denotes areas of Caithness Set surfacing to drain to gullies then permeable hardcore build-up below roads.
- Denotes area where surface water to be treated by class 1 interceptor with emergency shut off valve and discharge to foul sewer in line with pollution prevention guideline 7.
- Denotes Gravel + permeable self binding gravel to drain to permeable hardcore build-up.



Perforated pipe outfall laid within gravel trench to tie into existing outfalls

Surface water Attenuation Chamber within road base

Outfall to watercourse limited via Hydrobrake

Pumped rising main to discharge to attenuation chamber

Foul water Attenuation / Pump Chamber positioned 10m from Buildings

Perforated pipe outfall laid within gravel trench to tie into existing outfalls

Pumped rising main to discharge to main sewer

Class 1 Interceptor

Pressure relief Chamber / Disconnecting Manhole

Approx. line of New Scottish water sewer currently in discussion with Scottish Water.

C	Boundary added	YM	NB	05.02.20
B	Drainage layout revised to 1:200 @ A3 sheet	YM	NB	03.02.20
A	Drainage layout revised	YM	NB	29.10.19
Rev	Description	By	Date	

Status
PLANNING

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F: 0131 225 5009
E: mail@davidnarro.co.uk

Client
KRAMER & CO
Architect
HELEN LUCAS ARCHITECTS
Job Title
TONGUE GARAGE, TONGUE

Sheet Title
DRAINAGE LAYOUT

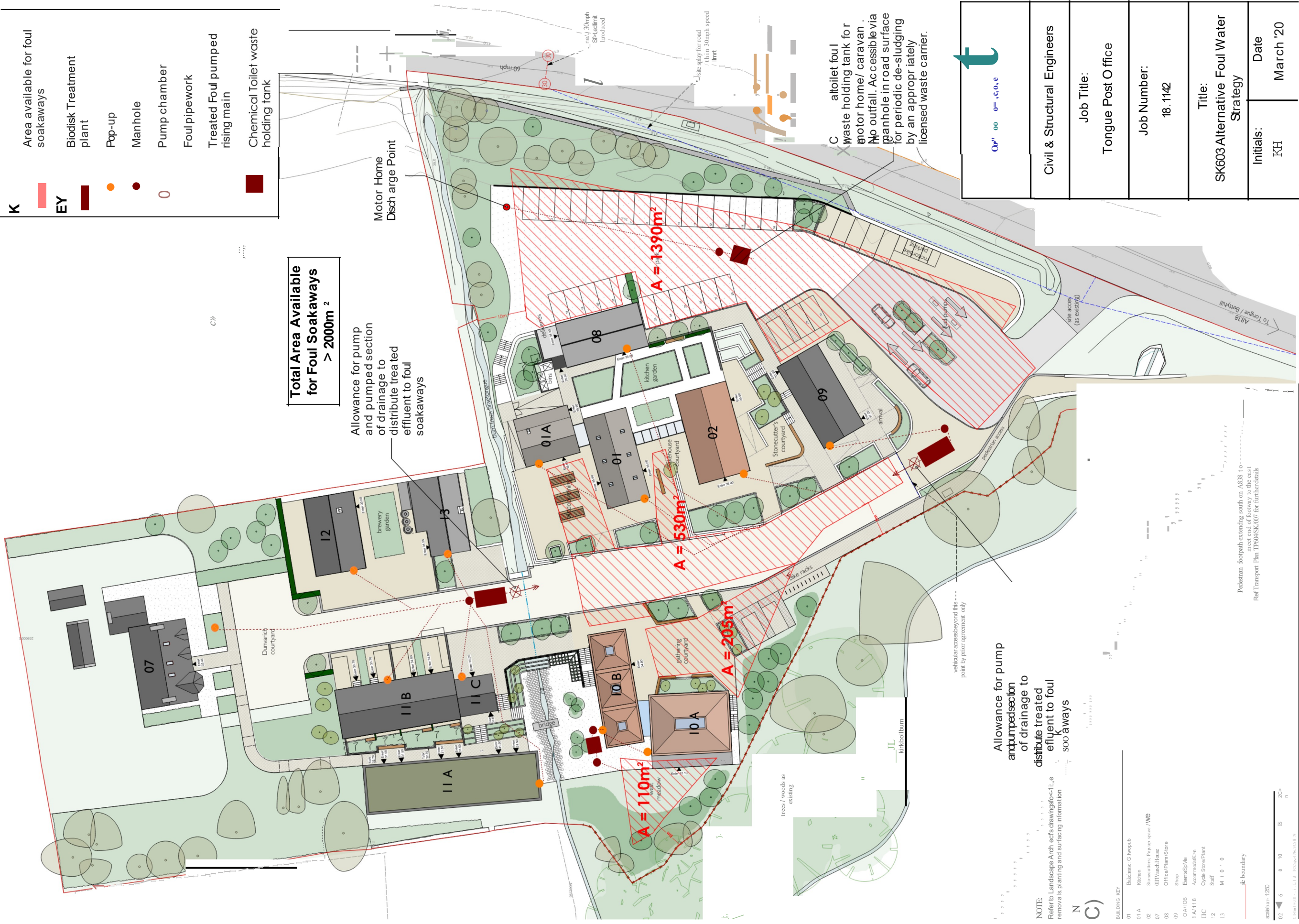
Drawn	Designed	Checked
GG	YM	LPH
Scale	Date	
1:200 @ A3	OCT 2019	

Drawing No. 18.1142-700
Revision C

K	Area available for foul soakaways
EY	Biodisk Treatment plant
●	Pop-up
●	Manhole
○	Pump chamber
	Foul pipework
	Treated Foul pumped rising main
	Chemical Toilet waste holding tank

Total Area Available for Foul Soakaways > 2000m²

Allowance for pump and pumped section of drainage to distribute treated effluent to foul soakaways



Chemical toilet waste holding tank for motor home / caravan. No outfall. Accessible via manhole in road surface for periodic de-sludging by an appropriately licensed waste carrier.

0x00 0=,0,0,0	
Civil & Structural Engineers	Job Title: Tongue Post Office
Job Number: 18.1142	
Title: SK603 Alternative Foul Water Strategy	
Initials: KH	Date: March '20

Allowance for pump and pumped section of drainage to distribute treated effluent to foul soakaways

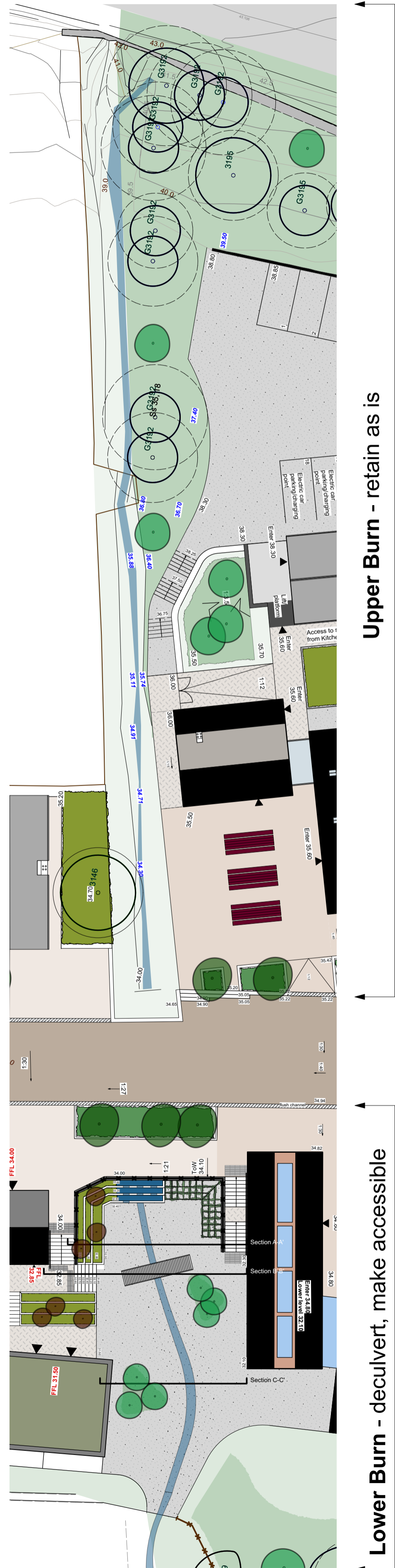
NOTE: Refer to Landscape Arch acts drawings for removal of planting and surfacing information

BUILDING KEY	
01	Blockhouse Cowpub
01A	Kitchen
02	Soakaways, Pop up space / WE
07	011Vansh House
08	Office/Plant/Store
09	Shop
10A/10B	Events/Staff
11A/11B	Accommodation
11C	Cycle Store/Plant
12	Staff
13	M100

Scalebar: 1:250
0 2 4 6 8 10 IS 20m

Pedestrian footpath extending south on A538 to meet end of footway to the east Ref Transport Plan TR0404SK/07 for further details

Burn Character Areas
1:250

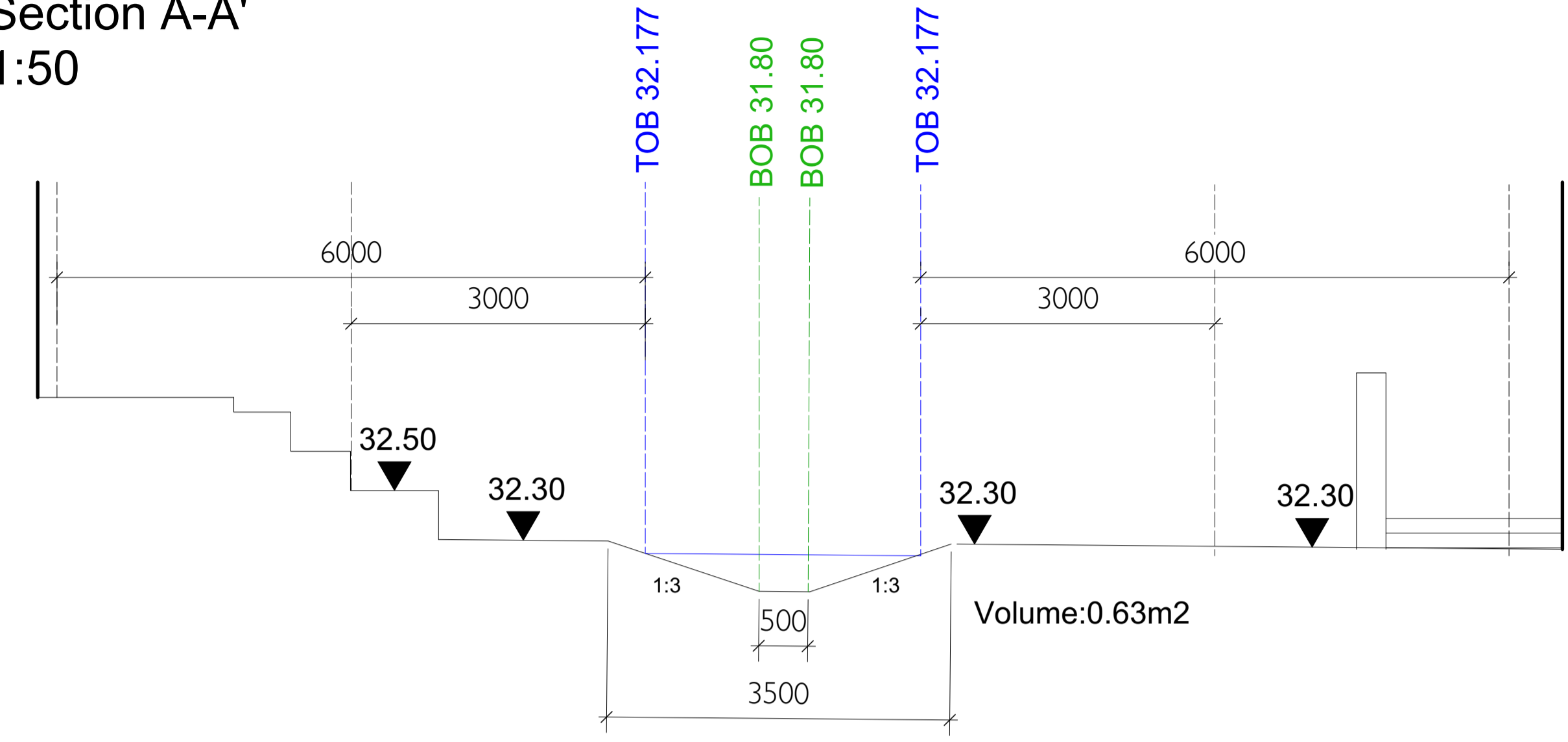


Upper Burn - retain as is

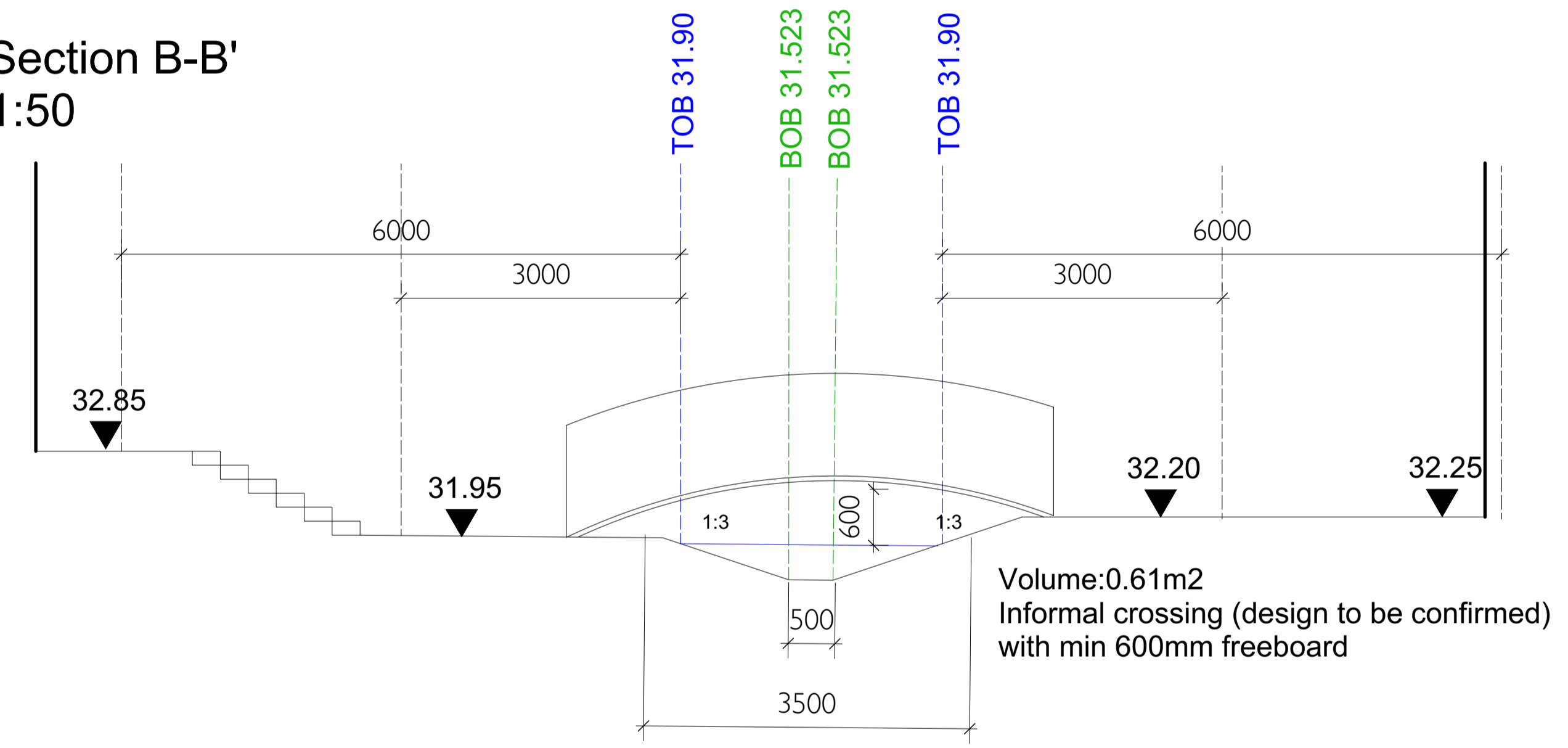
Lower Burn - deculvert, make accessible



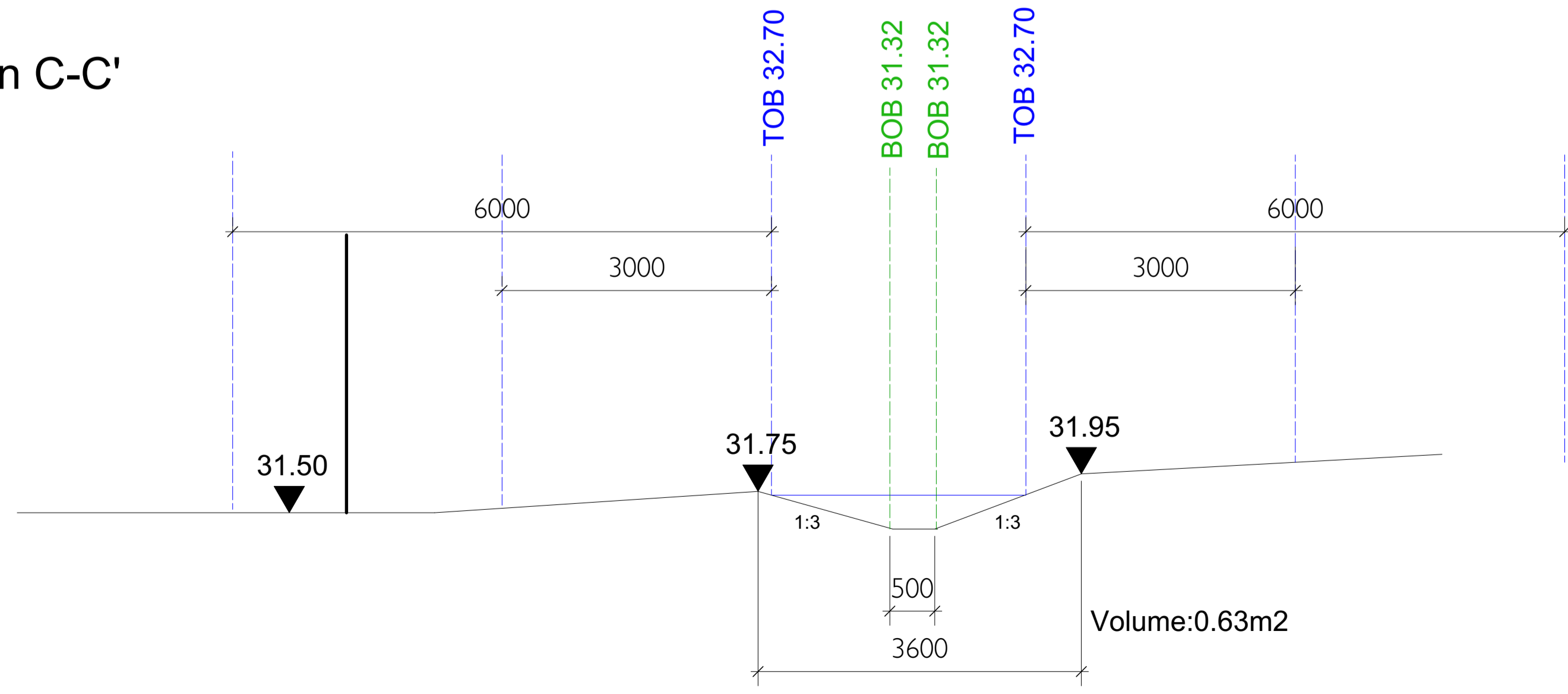
Section A-A'
1:50



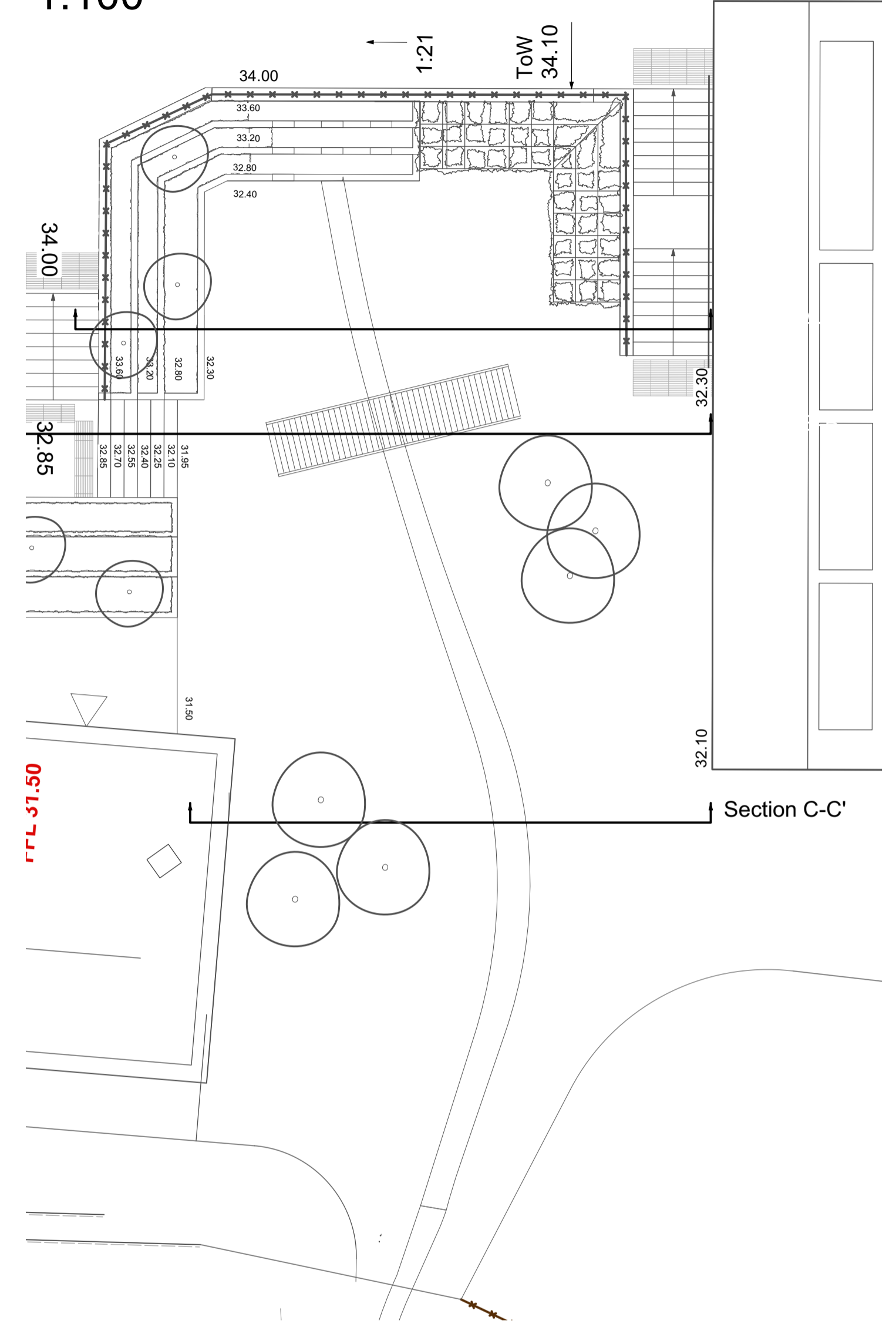
Section B-B'
1:50



Section C-C'
1:50



Section locator
1:100



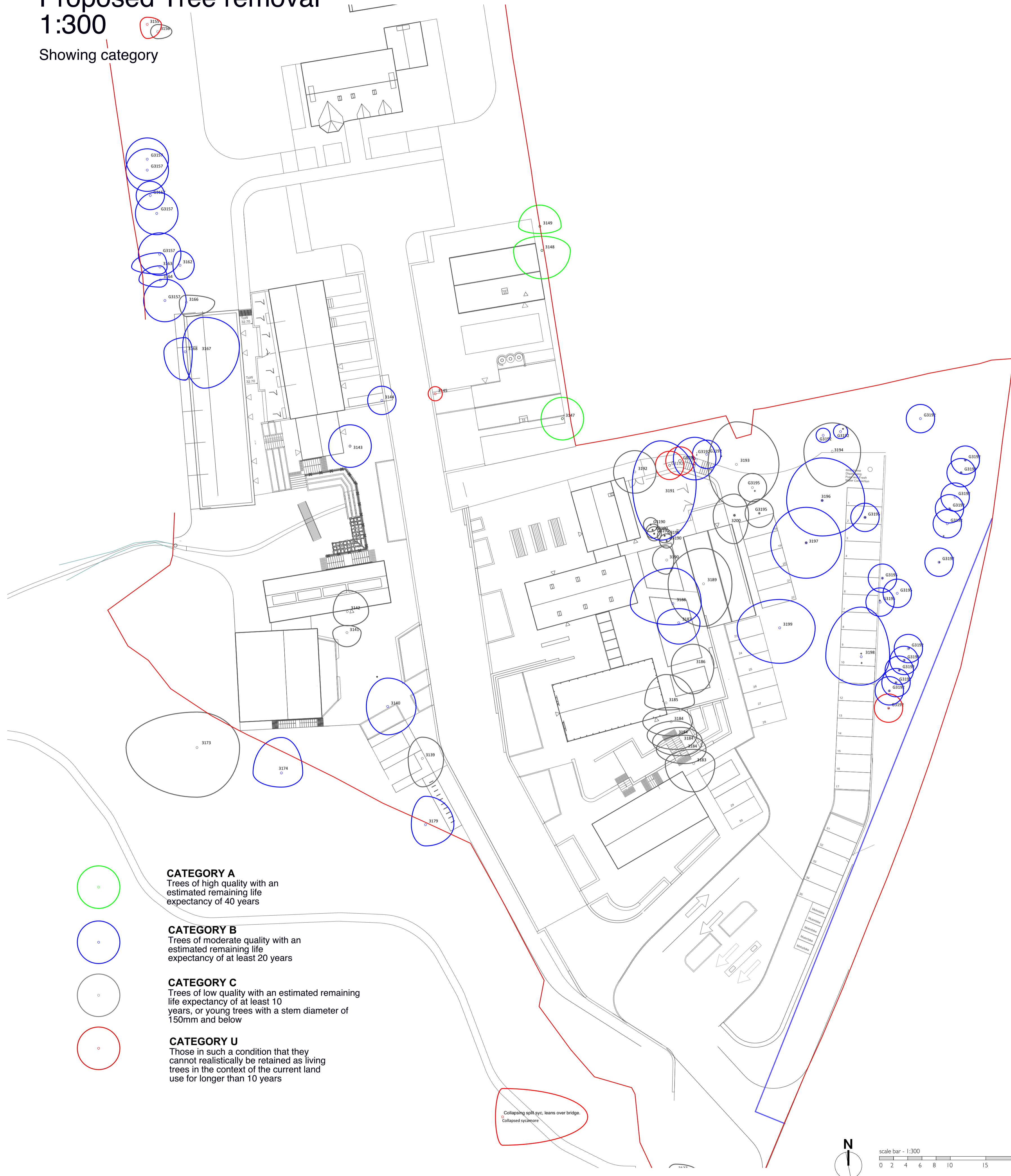
Project: TONGUE GARAGE
Client: WILDLAND LTD
Drawing: Sections Re-opened Burn/Drainage Ditch
Drawing Nr: 1908.L.L.(93)001
Rev: -
Date: 21.02.20
Status: Planning Application
Scale: 1:250/100/50

UrbanPioneers Landscape Architects
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Proposed Tree removal

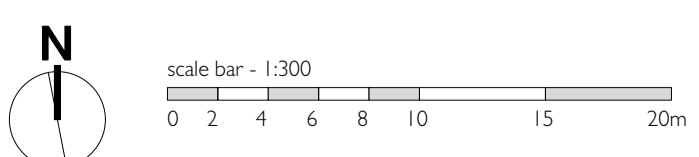
1:300

Showing category



- **CATEGORY A**
Trees of high quality with an estimated remaining life expectancy of 40 years
- **CATEGORY B**
Trees of moderate quality with an estimated remaining life expectancy of at least 20 years
- **CATEGORY C**
Trees of low quality with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter of 150mm and below
- **CATEGORY U**
Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years

Collapsing split syc. leans over bridge.
Collapsing sycamore



Proposed Tree removal

1:1000

Proportion of tree removal (red) to tree retention (black)

Overall proposed removal 75 trees of these:

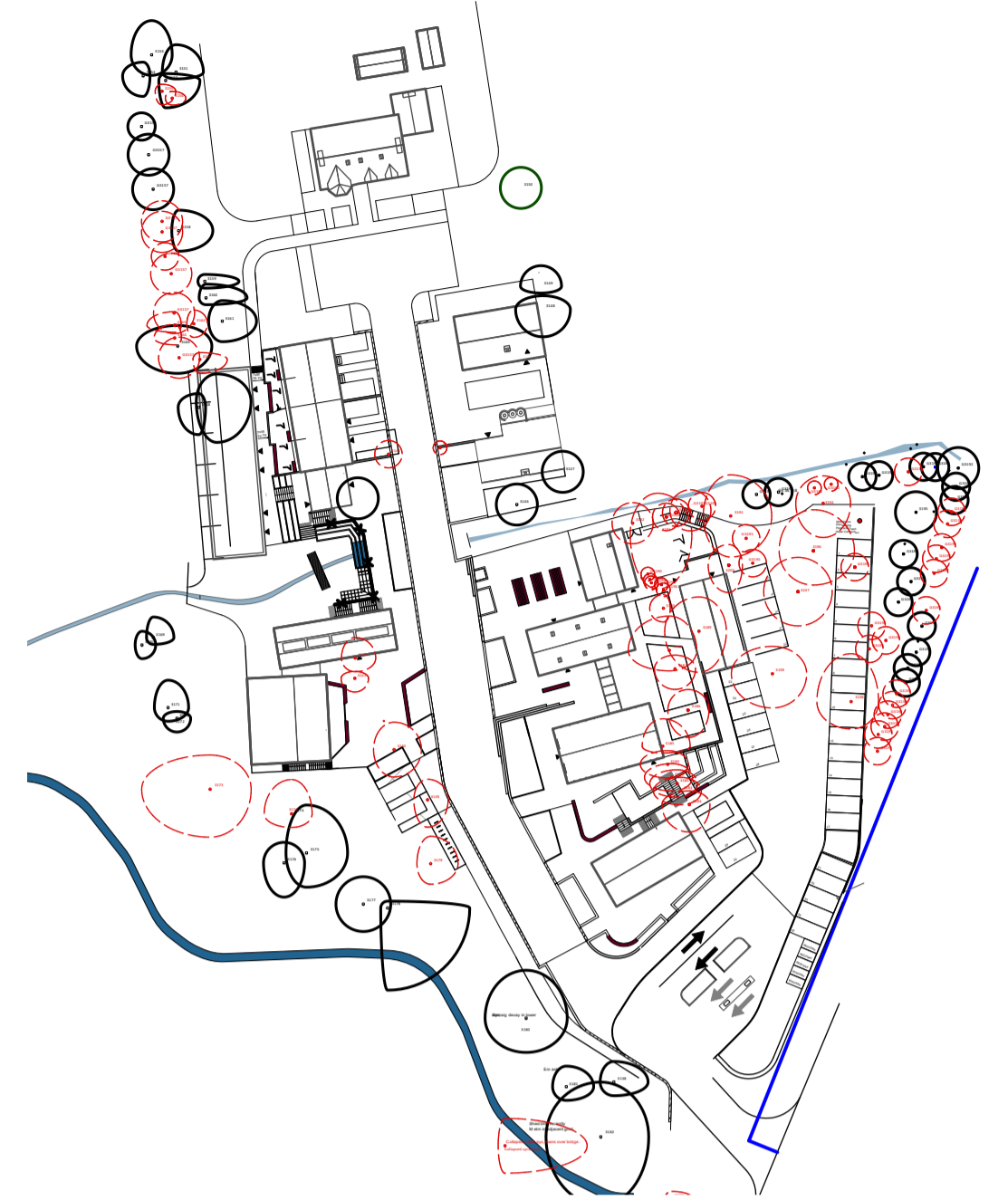
- Category A: 3
- Category B: 45
- Category C: 21
- Category U: 6

25nr of Category B 45nr trees are of fair rather than good condition (20nr)

Tree retained 41 Trees

- of these: Category A: 6
- Category B 30
- Category C 6

Refer to drawing 0903.L.G.(92)004 for planting plan
We propose to plan 89 new trees



NR	SPECIES	CATE	CONDIT	AGE	COMMENTS ARBORICULTURIST	REASON FOR REMOVAL
3155	Silver Birch	U	Dying	E-M		Dying
3156	Silver Birch	C1	Poor	E-M	Low vigor, poor shoot extension, thin foliage. Heavily shaded and 1-sided	Poor condition
3157 Group	Sitka Spruce	B2	Good	M-A	Group Sitka Spruce	Blocking view, intention is to open up some views and interplants with broadleaves to integrate better into surrounding landscape
3162	Silver Birch	B1	Good	E-M		To allow adjacent Beech to develop more uniform/balanced crown
3163	Sycamore	B1	Fair	E-M	Canopy one-side	Take down to benefit Tree 3165
3164	Sycamore	B1	Fair	E-M	Canopy one-side	Take down to benefit Tree 3165
3166	Cherry Gean	C1	Poor	M-A	Canopy suppressed. One stem of two dead. Remainder biased to E	Poor condition
3167	Sycamore	B1	Fair	M-A	Branches affecting adjacent structure. Against shed, branches on roof	May need to be removed to accommodate demolition and new building
3168	Sycamore	B1	Fair	E-M	Minor stem wound from fence wire	May need to be removed to accommodate demolition and new building
3141	Ash	C1	Fair	Y	Restricted rooting due to ground conditions. Small growing, on wall against tin shed. Potentially remove as part of development works	Clashes with proposed building footprint. Change in level
3142	Sycamore	C1	Fair	E-M	Coppice regrowth. Grows on wall against shed. Potentially remove as part of development works	Clashes with proposed building footprint. Also shed against which it grows is to be removed
3143	Sycamore	B1	Good	E-M	Branches affecting adjacent BT poles and cables	Tip back secondary branch growth to remove conflict with adjacent pole/cables
3144	Rowan	B1	Good	M	In garden of Dalvarich Lodge	
3145	Rowan	U	dead			
3140	Sycamore	B1	Good	E-M	Branches affecting adjacent BT pole and cables	To be removed due to required change in levels ensuring Village Square is accessible
3147	Sycamore	A1	Good	E-M	On boundary to field	
3148	Sycamore	A1	Good	E-M	On boundary to field	
3149	Sycamore	A1	Good	E-M	On boundary to field	
3173	Beech	C1	Fair	M	Significant cavity/decay in stem at 5m. Weak fork at 3m. Old break-out wound will eventually fall. Monitor decay at regular intervals	Take out for longterm Health and Safety
3174	Sycamore	B1	Good	M-A	Deformed stem, otherwise good	Removal proposed due to required adjustments to surrounding levels
3139	Sycamore	C1	Fair	E-M	Self-seeded, grows through chain link fence. Concrete plinth to E. Close to BT pole. Potentially remove as part of redevelopment works	Removal proposed due to required adjustments to surrounding levels, installation of road/parking bays
3179	Sycamore	B1	Fair	M-A	Regrown from decayed stump	Change in level required
NO NR	Collapsing Sycamore				Collapsing split Sycamore, leans over bridge	Removed to protect bridge
3183	Beech	C1	Poor	M-A	Restricted rooting due to ground conditions. Coppice re-growth. Multiple stems from g, grows on bank adjacent to retaining wall. Potentially remove as part of redevelopment	Removals proposed due to poor condition and required change in levels
3184 Group	Group of 4 Sycamore	C1	Poor	E-M	Group of 4, all topped, multi-stem, growing along bank between building and cottage. Potentially remove as part of redevelopment	Removals proposed due to poor condition and required change in levels
3185	Elm	C1	Fair	Y	At end of Sycamore group. Previously topped. Potentially remove as part of redevelopment works	Removal proposed due to poor condition and required change in levels
3186	Ash	C1	Fair	E-M	Coppice regrowth	Removal proposed due to poor condition and required change in levels
3187	Sitka Spruce	B1	Good	M-A		Removal proposed due to required change in levels
3188	Elm	B1	Fair	M-A	3 stems form gl	Removal proposed due to required change in levels
3189	Elm	C1	Fair	M-A	Coppice regrowth. Multiple stems with significant epicormic growth	Removal proposed due to poor condition and required change in levels
3190 Group	Sycamore	C1	Fair	Y	Group of 7 stems, all small	Removal proposed due to poor condition and required change in levels
3200	Sycamore	C1	Fair	E-M	Coppice regrowth. From old decayed stump. 2 further small stems forming group	Removal proposed due to poor condition and required change in levels
3192 Group	Sitka Spruce	3nr U 1nr C1 16nr B	Fair	M-A	Two Stems previously topped, crown regrown with multiple leaders. Start of row around perimeter, trees up to 23m height	Removal proposed due to poor condition and required change in levels
3191	Ash	B1	Fair	M	Low vigour, poor shoot extension, thin foliage. Minor crown dieback. Monitor condition annually	Removal proposed due to poor condition and required change in levels
3193	Elm	C1	Fair	M	Significant cavity/decay in stem. Stem appears hollow, some obvious decay between buttresses, but no obvious open cavities. Monitor decay at regular intervals. May need to make safe if target introduced	Removal proposed due to poor condition and required change in levels
3195 Group	Sycamore	B1	Good	E-M	Scattered group of 6 y to e-m sycamore adjacent to group of spruce demarcating boundary	Removal proposed due to required change in levels
3194	Ash	C1	Poor	M	Low vigour, poor shoot extension, thin foliage. Minor crown dieback. Monitor annually	Removal proposed due to poor condition
3195 Group	Sycamore	B1	Good	E-M	Scattered group of 7 y to e-m Sycamore adjacent to group of spruce demarcating boundary	Removal due to change in level
3196	Elm	B1	Fair	M-A	Coppice regrowth	Removal proposed to installed required parking/tracking
3197	Sycamore	B1	Fair	M-A	Coppice regrowth, 11 stems x 25cm	Removal proposed to installed required parking/tracking
3199	Elm	B1	Fair	E-M	Topped at 5m. Crown regrown from 5m. Overhead cable adjacent	Removal proposed to installed required parking/tracking
3198	Elm	B1	Fair	E-M	Coppice regrowth. 3 main stems from coppice stool, each 30dth, plus established stem from sucker, 30cm. Dense epicormic growth from base	Removal proposed to installed required parking/tracking
G3192	Sitka Spruce	C1	Fair	M	Two stems previously topped, crown regrown with multiple leaders. Start of row around perimeter, trees up to 23m height	Removal proposed for benefit of three 3195 and to be replaced with broadleaved species which are more in keeping with overall character of landscape and allow views in and out/assist with visibility

24.02.2020
16.07.2019

REV B: Switched on site boundary
REV A: Added 8nr trees to removal

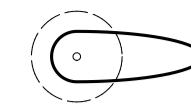
Project: TONGUE GARAGE
Client: WILDLAND LTD
Drawing: Tree removal plan
Drawing Nr: 1908.L.G.(92)002
Rev: B
Date: 26.05.2019
Status: Information
Scale: 1:300/1000

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Proposed Planting plan

1:300

KEY



Existing tree with Root Protection Area (RPA)

Avenue trees along Village Road guiding view to Dunvarich House

18nr Tilia x intermedia (Lime)
Extra heavy standard, wide spacing
18-20cm girth rootballed, full evenly branched Crown with single strong leader true to type, 200cm clear stem, 500cm overall height.
2000x2000x750mm pit filled with 50% imported topsoil and 50% tree planting compost.
Tree pit drainage connected to local drainage trench. Allow for root barriers when planted adjacent to u/g services. Tree pit to contain aeration pipe. Underground guyed.
Top soil to be Multi Purpose in accordance with 'BS 3882-2015 Topsoil'. Sub soil to be Multipurpose topsoil in accordance with 'BS 8601-2013 Specification for subsoil and requirements for use'.
Minimum combined depth of topsoil and subsoil to be 900mm

Broadleaf/Woodland trees providing structure and transition to woodland/shelter

46nr Mixed species (Sycamore, Oak, Alder, Birch)
Extra heavy standard, wide spacing
14-16cm girth rootballed, full evenly branched Crown with single strong leader true to type, 200cm clear stem, 500cm overall height.
2000x2000x750mm pit filled with 50% imported topsoil and 50% tree planting compost.
Tree pit drainage connected to local drainage trench. Allow for root barriers when planted adjacent to u/g services. Tree pit to contain aeration pipe. Underground guyed.
Top soil to be Multi Purpose in accordance with 'BS 3882-2015 Topsoil'. Sub soil to be Multipurpose topsoil in accordance with 'BS 8601-2013 Specification for subsoil and requirements for use'.
Minimum combined depth of topsoil and subsoil to be 900mm

Small ornamental trees/shrubs to provide seasonal interest

25nr Mixed species (Snowy mespilus, Rowan, Magnolia)
Extra heavy standard, wide spacing
Rowan: 14-16cm girth rootballed, full evenly branched Crown with single strong leader true to type, 200cm clear stem, 500cm overall height.
Snowy mespilus: Multistem, 4xtr, Spread 150-200cm, Height 300-350cm
Magnolia: Multistem, 6xtr, Spread 200-300cm, Height 300-350cm

2000x2000x750mm pit filled with 50% imported topsoil and 50% tree planting compost.
Tree pit drainage connected to local drainage trench. Allow for root barriers when planted adjacent to u/g services. Tree pit to contain aeration pipe. Underground guyed.
Top soil to be Multi Purpose in accordance with 'BS 3882-2015 Topsoil'. Sub soil to be Multipurpose topsoil in accordance with 'BS 8601-2013 Specification for subsoil and requirements for use'.
Minimum combined depth of topsoil and subsoil to be 900mm

Hedge

Beech (Fagus sylvatica)
Hedging plants, 2xtr, rootballed, 150-175cm

300mm depth imported topsoil over clean ripped subsoil. Cultivate and add compost, plant double staggered rows of 150-175m high feathered transplants at 7 per lin. m. 50mm depth composted bark mulch finish for full width between kerbs. 1100mm high timber post and strained wire fencing along centre of hedge.
Top soil to be Multipurpose Grade in accordance with 'BS 3882-2015 Topsoil'. Sub soil to be Multipurpose Grade in accordance with 'BS 8601-2013 Specification for subsoil and requirements for use'.
Minimum combined depth of topsoil and subsoil to be 600mm

All Herbeaceous planting/understorey

300mm depth approved imported topsoil over clean, ripped subsoil. Cultivate, adding compost, and plant with 3 litre pot grown plants at 9/m2. 50mm depth composted bark mulch finish. Grasses to be in accordance with BS 3936 Part 1:1992, and shall be planted to BS 4043:1989.
Top soil to be Multipurpose Grade in accordance with 'BS 3882-2015 Topsoil'. Sub soil to be Multipurpose Grade in accordance with 'BS 8601-2013 Specification for subsoil and requirements for use'.
Minimum combined depth of topsoil and subsoil to be 600mm

Lime Tree Walk

Plant Species	Indicative Percentage
Ajuga reptans 'Alba'	20.00%
Allium neapolitanum 'Cowanii'	N/A*
Aster divaricatus	10.00%
Bergenia 'Ice Queen'	15.00%
Geranium macrorrhizum 'Album'	10.00%
Luzula sylvatica 'Marginata'	20.00%
Polystichum polyblepharum	5.00%
Primula sieboldii	20.00%
TOTAL	100.00%
*Bulb cameos	

Woodland Planting

Plant Species	Indicative Percentage*
Centaura montana	10.00%
Euphorbia palustris	15.00%
Iris sibirica	15.00%
Leucanthemum vulgare	20.00%
Persicaria officinalis	15.00%
Polystichum polyblepharum	5.00%
Primula veris	15.00%
Thalictrum aquilegifolium 'Album'	5.00%
TOTAL	100.00%
*Percent of mix - planted with wide spacing into grassland	

Open Courtyards

Plant Species	Indicative Percentage
Achnatherum calamagrostis	10.00%
Allium 'Purple Sensation'	N/A*
Allium sphaerocephalum	N/A*
Calamagrostis 'Karl Foerster'	3.00%
Cephalaria gigantea	5.00%
Filipendula rubra 'Venusta'	5.00%
Geranium 'Patricia'	7.00%
Geranium 'Orion'	10.00%
Geum 'Mrs Bradshaw'	5.00%
Knaulia macedonica	10.00%
Lilium tigrinum 'Splendens'	N/A*
Lychnis chalcedonica	10.00%
Molinia 'Transparent'	3.00%
Persicaria 'Betty Brandt'	7.00%
Phlox paniculata 'Jade'	5.00%
Rudbeckia 'Early Bird'	5.00%
Stachys 'Hummelo'	10.00%
Veronicastrum 'Erica'	5.00%
TOTAL	100.00%
*Bulb cameos	

Sheltered Courtyard

Plant Species	Indicative Percentage
Achillea ptarmica	7.00%
Campanula persicifolia	6.00%
Cenolophium denudatum	5.00%
Centranthus ruber	5.00%
Chaerophyllum hirsutum 'Roseum'	5.00%
Crocsmia masoniorum 'Rowallana'	7.00%
Deschampsia 'Schottland'	10.00%
Filipendula rubra 'Venusta'	3.00%
Geranium 'Orion'	10.00%
Lythrum 'Blush'	5.00%
Primula sieboldii	5.00%
Sanguisorba officinalis	5.00%
Sesleria autumnalis	10.00%
Stachys 'Hummelo'	7.00%
Succisa pratensis	7.00%
Valeriana officinalis subsp. sambucifolia	3.00%
TOTAL	100.00%

Sunny areas behind restaurant can also be used as kitchen garden

24.02.2020 REV B: Switched on site boundary. Added explanation to Visibility Splay

Project: TONGUE GARAGE
Client: WILDLAND LTD
Drawing: Planting plan
Drawing Nr: 1908.L.G.(92)003
Rev: A
Date: 14.10.2019
Status: Information
Scale: 1:300

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6nr Oak, Birch and Rowan providing a light edge to road while providing shelter

7nr Amelanchier lamarckii (Snowy mespilus) providing structure and seasonal interest

7nr Amelanchier lamarckii (Snowy mespilus) providing structure and seasonal interest

6nr Multistem Birch forming green islands along burn/blending in with woodland character around it

11nr Alder, Oak, Birch and Rowan providing transition to woodland/burn as well as additional shelter

4nr Amelanchier lamarckii (Snowy mespilus) providing structure and seasonal interest

3nr Hawthorn providing structure and seasonal interest

18nr Lime tree Avenue guiding view to D House

1nr Magnolia

Espalier Fruit trees

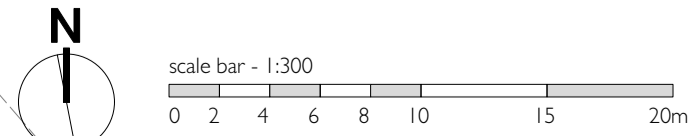
5nr Sycamore providing structure and transition to woodland

3nr Amelanchier lamarckii (Snowy mespilus) providing structure and seasonal interest

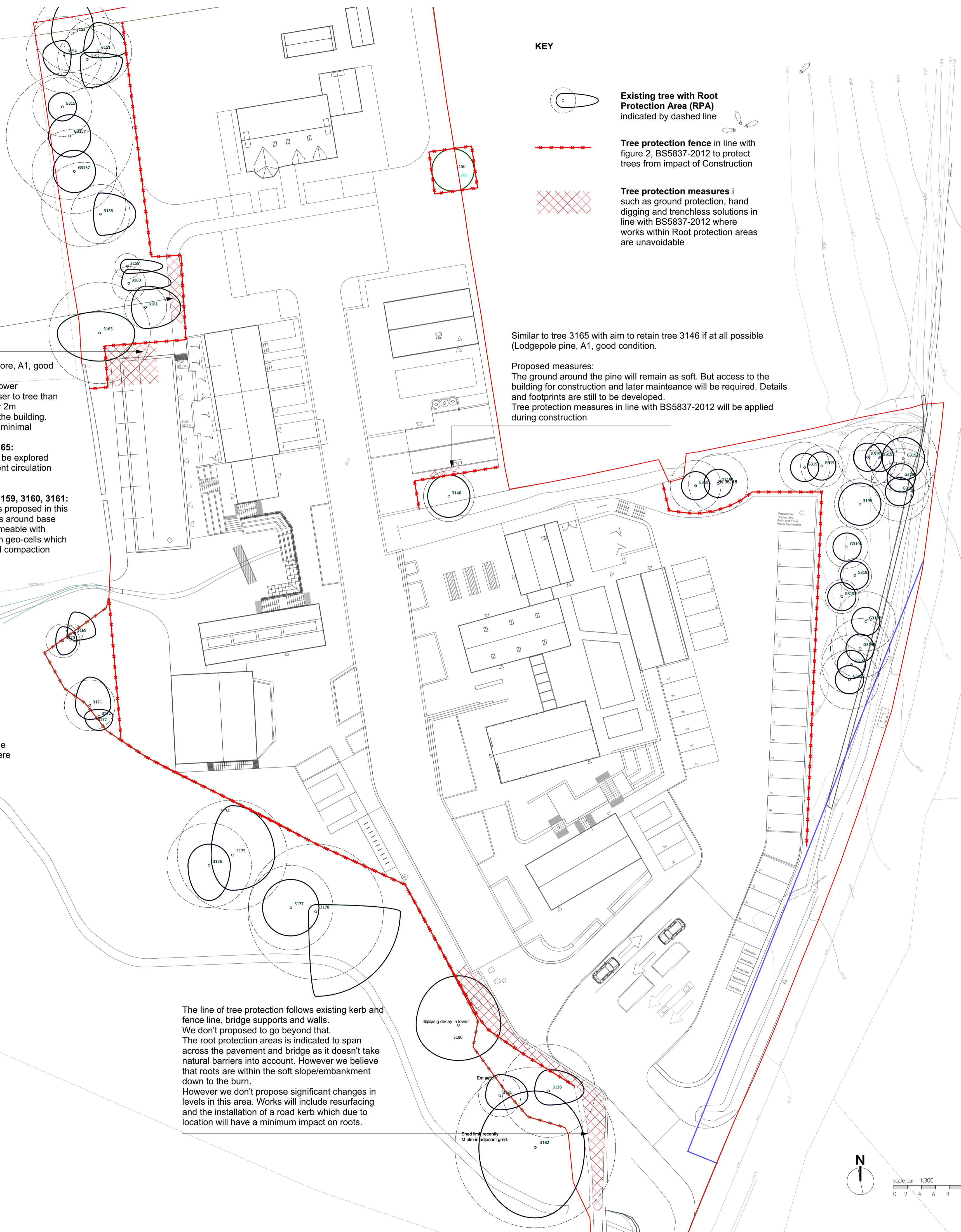
7nr Alder, Oak, Birch and Rowan providing a lighter edge to road (previously dominated by conifers) while providing shelter

9nr Sycamore providing structure and transition to woodland

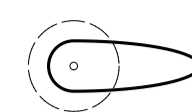


Visibility Splay
The design intent is to create a 'woodland' car park framing the site to the east. New trees are proposed where possible and appropriate. Whilst the buffer to the A838 will see an enhancement in species from mainly coniferous plants to woodland species the centre of car park will feature predominantly Sycamore, a species finds across site and proven to be robust in challenging surroundings. Its size and form are in line with the woodland concept. The only area kept clear of trees is the visibility splay (marked in blue) for the junction to ensure safe entry into site and exit onto the A838 from site.



Proposed Tree Protection 1:300



KEY

-  Existing tree with Root Protection Area (RPA) indicated by dashed line
-  Tree protection fence in line with figure 2, BS5837-2012 to protect trees from impact of Construction
-  Tree protection measures i such as ground protection, hand digging and trenchless solutions in line with BS5837-2012 where works within Root protection areas are unavoidable

Similar to tree 3165 with aim to retain tree 3146 if at all possible (Lodgepole pine, A1, good condition).

Proposed measures:
The ground around the pine will remain as soft. But access to the building for construction and later maintenance will be required. Details and footprints are still to be developed.
Tree protection measures in line with BS5837-2012 will be applied during construction

The aim is to retain tree 3165 (Sycamore, A1, good condition) if at all possible. Due to topographical challenges the lower accommodation block has moved closer to tree than hoped. We have currently allowed for 2m scaffolding/movement corridor around the building. Level changes around stem base are minimal

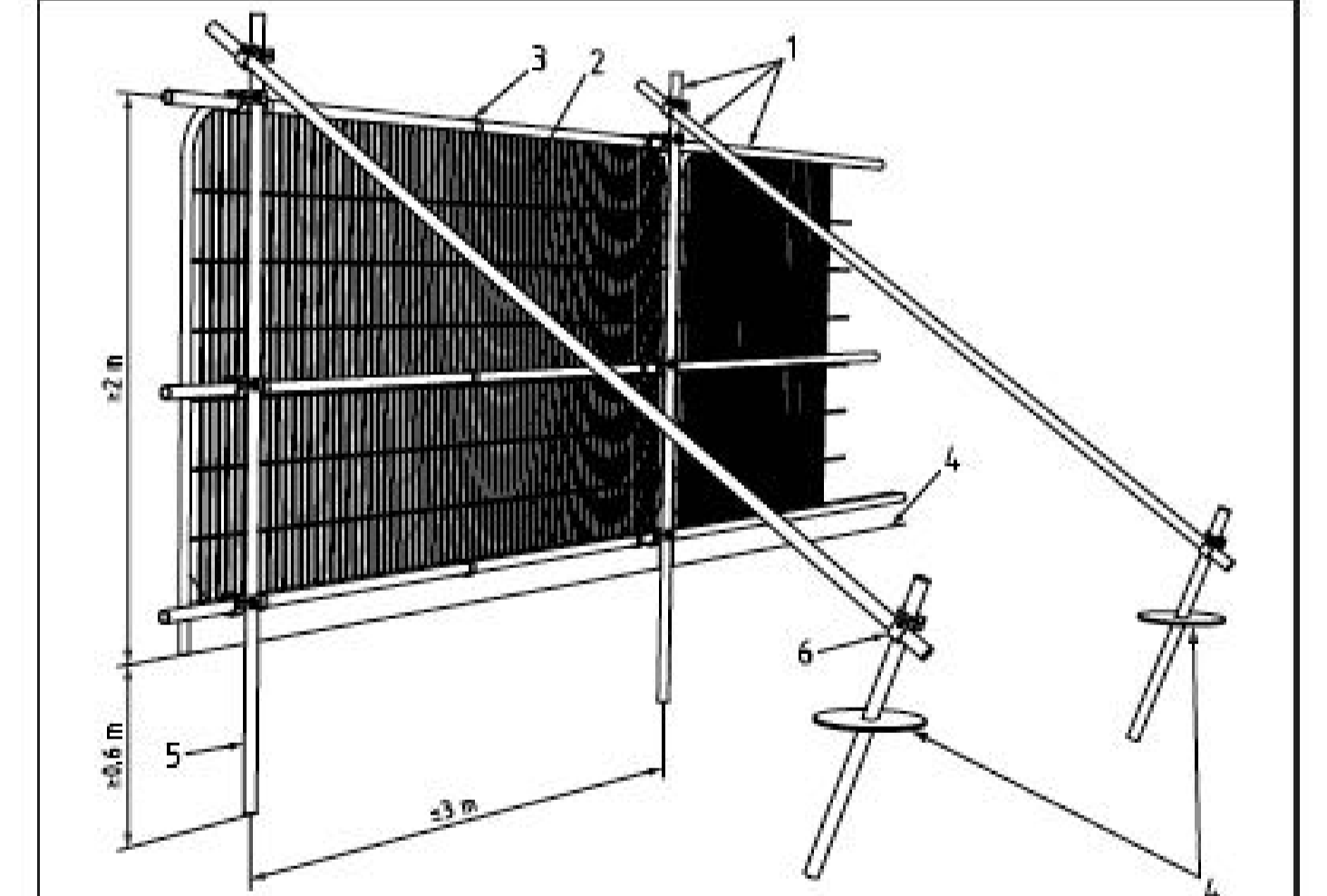
Proposed measures around tree 3165:
Ground protection measurements will be explored
Canopy trimming to allow for movement circulation without damaging crown

Proposed measures around trees 3159, 3160, 3161:
The installation of a permeable path is proposed in this area. We aim to work to existing levels around base with minimal changes. Path to be permeable with pegged edging, sub-base to be laid on geo-cells which help with weight distribution and avoid compaction

The line of tree protection follows existing kerb and fence line. We don't proposed to go beyond that. If needed a tree protection fence in line with figure 2 can be installed, but severe changes in level/embankment will prevent any access to trees

The line of tree protection follows existing kerb and fence line, bridge supports and walls. We don't proposed to go beyond that. The root protection areas is indicated to span across the pavement and bridge as it doesn't take natural barriers into account. However we believe that roots are within the soft slope/embankment down to the burn. However we don't propose significant changes in levels in this area. Works will include resurfacing and the installation of a road kerb which due to location will have a minimum impact on roots.

Figure 2 Default specification for protective barrier



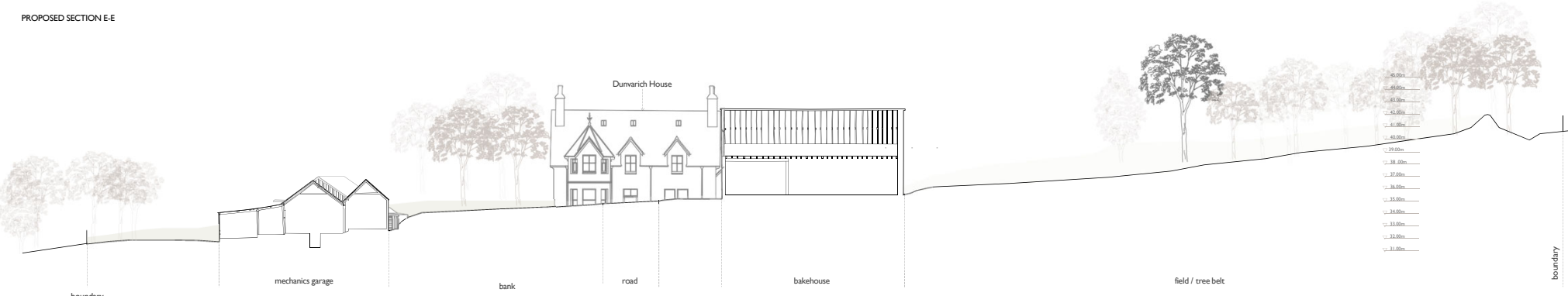
- Key**
- 1 Standard scaffold poles
 - 2 Heavy gauge 2 m tall galvanized tube and welded mesh infill panels
 - 3 Panels secured to uprights and cross-members with wire ties
 - 4 Ground level
 - 5 Uprights driven into the ground until secure (minimum depth 0.6 m)
 - 6 Standard scaffold clamps

24.02.2020 REV B: Switched on site boundary
Project: TONGUE GARAGE
Client: WILDLAND LTD
Drawing: Tree protection plan
Drawing Nr: 1908.L.G.(92)003
Rev: A
Date: 14.10.2019
Status: Information
Scale: 1:300

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PROPOSED SECTION E-E



EXISTING SECTION E-E



KEY PLAN

revision date notes
PLANNING
 NOT FOR CONSTRUCTION

helen lucas ARCHITECTS
www.helenlucas.co.uk
 31-33 FRASERPORT ROAD EDINBURGH EH9 1HU
 0131 478 8880

TONGUE GARAGE SITE
 TONGUE
 AS EXISTING / AS PROPOSED
 SECTION E-E
989-TON-P-00 354 Rev:--
 1:100 @EXTENDED A1

scale 1:100
 0 1 2 3 4 5m

1. Do not build over existing foundations unless approved and permitted.
 2. All dimensions to be finished unless given otherwise.
 3. All measurements to be taken and checked.
 4. Existing walls are shown in grey.
 5. Proposed walls are shown in black.
 6. Proposed walls are shown in grey.