

Agenda Item	5.3
Report No	PLS-040-20

HIGHLAND COUNCIL

Committee: South Planning Applications Committee

Date: 18 August 2020

Report Title: 20/02469/FUL: NHS Highland
Land 330M NW Of Inverness College UHI, 1 Inverness Campus,
Inverness

Report By: Area Planning Manager – South

Purpose/Executive Summary

Description: Construction of Elective Care Centre (amendment to design & layout of 18/04829/FUL)

Ward: Ward 19 – Inverness South

Development category: Major

Reason referred to Committee: Major Development

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **Grant** planning permission as set out in section 11 of the report.

1. PROPOSED DEVELOPMENT

- 1.1 Planning permission is sought to construct a new Elective Care Centre for NHS Highland to provide Orthopaedic and Ophthalmology healthcare for the North of Scotland region. The facility will house 24-bed inpatient rooms, operating theatres, clinics and outpatient departments.
- 1.2 The proposal is essentially a redesign of the Centre for Health Science development that was granted planning permission on 04 February 2019. The main changes are that the building will now function solely an elective care centre, with the multidisciplinary life sciences centre project involving Highlands and Islands Enterprise and the University of Highlands and Islands being delivered on a separate site within the Campus. This has resulted in the scale of the development being reduced with the most significant changes consisting of the removal of the southern wings, reduction in size of the north wings, and additional revisions to the design of the building, proposed external materials, and layout and landscaping of the site. The cumulative effect of the changes necessitates the need for a new planning permission for the development.
- 1.3 The revised building sits on a rectilinear 'Y' shaped footprint and is two storeys in height. It features a clinical area with two wings extending out from the north section at an angle of 120 degrees housing the patient zones.
- 1.4 As with the previous proposal, the scale of development means that it has been necessary to combine three of the original campus plots into one larger area. This has resulted in several deviations from the original masterplan including the removal of the landscape buffer strips that separate the individual plots.
- 1.5 Access to the site is via the main Campus access off the B9006 and the main public entrance to the building is located to the north, along with the main car parking area. The service yard area sits behind the west elevation adjacent to the A9 trunk road. In total 149 parking spaces will be provided. 129 spaces will be located to the north of the building, including 12 disabled spaces. A further 20 spaces will be located along the western boundary of the service yard.
- 1.6 A varied palette of external materials is proposed intended to compliment the high quality contemporary designs and finishes of other Campus buildings. Anodised effect metal panelling will be used on the external walls and the roof will be finished in standing seam metal.
- 1.7 High quality landscape treatment forms an integral part of the overall design. The existing landscape and wildlife corridors separating the plots will be relocated and the existing planting reused where possible. The intention is to provide a rich and stimulating environment for both people and wildlife.
- 1.8 Surface water drainage scheme will be discharged to the existing sewer systems running parallel with the road to the east of the site. The treatment of surface water prior to discharge will consist of underground storage tanks from permeable paving in the car park area with tree pits and swales located in other areas.

- 1.9 Pre-Application Consultation: PAC was carried out by the applicant in July 2018 and included three public exhibitions held on 3rd, 4th and 25th of July.
- 1.10 The applicant has also presented the proposal to the Inverness Design Review Panel. The Panel's Executive Summary is referred to below and the main report is included as Appendix 1.

“The Panel welcomes this opportunity to comment on proposals for a very substantial suite of buildings spanning two Campus plots, which is expected to be a significant catalyst for future development. While acknowledging the challenge and complexity of working to a healthcare brief, the Panel encourages the developer to maintain the Campus’ high standard of investment in the public realm, architectural quality, connectivity and wayfinding that have so far delivered award-winning standards of environmental design.

This report highlights aspects of the draft design that are somewhat at odds with Design Guidelines set out in the Campus Masterplan, in particular the extent to which car parking has replaced built form, active frontages and buffering. In addition to suggesting ways in which the design could align more closely with these guidelines, the report makes a case to depart from the requirement to restrict building heights to two storeys because this could achieve more satisfactory massing/landscape/public realm design and more effective screening of car parking.

Layout and massing should attach greater priority to views from both the Golden Bridge and the A9 because of the visual impact that development will have on these important gateways. The importance of achieving homogeneity in the design and treatment of elevations is also emphasised, along with a need to ensure that: the palette of building materials is in keeping with what already exists on Campus; internal greenspace is attractive and fit for purpose; tree-planting and SuDS make a positive contribution to the public realm; and access arrangements contribute proactively to achieving modal shift.

The developer is invited to submit a more detailed scheme for design review at an appropriate stage between now and the planning application.”

- 1.11 Supporting Information: the following information has been submitted in support of the application:
- Pre-application Consultation Report;
 - Design and Access Statement;
 - Transport Assessment;
 - Landscape Strategy, Specification and Maintenance Schedule;
 - Archaeological Watching Brief; and
 - Waste Management Strategy

1.12 Variations: Not applicable.

2. SITE DESCRIPTION

- 2.1 The site is a relatively flat 1.76 Ha greenfield area of land that forms part of a larger 3 Ha area of land forming plots 3, 4 and 5 within the Campus. The plots are located

on the northwestern area of the Campus; bounded to the south by Inverness College, to the west by the A9 trunk road, and to the east by one of the internal access roads serving the Campus.

3. PLANNING HISTORY

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|-----|------------------|---|--|
| 3.1 | 08 March 2011 | 09/00887/PIPIN: Education Campus comprising non-residential institution, business, residential institutions, assembly and leisure and associated landscaping, open space, parking and infrastructure, services and means of access. | Granted planning permission in principle |
| 3.2 | 01 August 2016 | 15/00094/MSC: Matters specified in Condition 21 of 09/00887/PIPIN – Travel Plan | Approval of matters specified in condition |
| 3.3 | 04 February 2019 | 18/04829/FUL - Construction of a new Centre for Health Science 2 including an Elective Care Centre (NHSH), Life Science Business Incubator (HIE) and Health Innovation Facility (UHI) | Granted planning permission |

4. PUBLIC PARTICIPATION

- 4.1 Advertised: Unknown Neighbour
Date Advertised: 17 July 2020
Representation deadline: 31 July 2020
- Timeous representations: None
Late representations: None

5. CONSULTATIONS

- 5.1 **Raigmore Community Council:** No comments received.
- 5.2 **Flood Risk Management:** No objection subject to a condition requiring approval of the final drainage design.
- 5.3 **Access Officer:** No comment to make.
- 5.4 **Environmental Health:** No objection. Recommend conditions requiring compliance with Construction Methodology Statement and approval of a site-specific Noise Management Plan.
- 5.5 **Archaeology:** No objection. Recommend a condition requiring approval of an archaeological watching brief.

- 5.6 **Transport Planning:** No objection. Recommend conditions relating to enhanced active travel and public transport infrastructure; public transport infrastructure improvements at Inverness Campus and Raigmore Hospital; new active travel route from Inshes to the Campus; and delivery of an enhanced bus service between Inverness Campus and Raigmore Hospital.
- 5.7 **Transport Scotland:** No objection. Recommend conditions relating to lighting, landscaping, trunk road barrier, and drainage connections.
- 5.8 **Forestry Officer:** No comments received.
- 5.9 **HIAL:** No objection. The development will not impact the safeguarding criteria for Inverness Airport.
- 5.10 **Scottish Water:** No objection.
- 5.11 **Inverness Access Panel:** No comments received.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

28 - Sustainable Design
29 - Design Quality & Place-making
31 - Developer Contributions
41 - Business and Industrial Land
56 - Travel
57 - Natural, Built & Cultural Heritage
64 - Flood Risk
65 - Waste Water Treatment
66 - Surface Water Drainage
72 - Pollution
74 - Green Networks
75 - Open Space
77 - Public Access

6.2 Inner Moray Firth Local Development Plan 2015

2 – Delivering Development

7. OTHER MATERIAL CONSIDERATIONS

7.1 Highland Council Supplementary Planning Policy Guidance

Construction Environmental Management Process for Large Scale Projects (August 2010)
Flood Risk & Drainage Impact Assessment (Jan 2013)
Green Networks (Jan 2013)
Public Art Strategy (March 2013)
Sustainable Design Guide (Jan 2013)

Inverness East Development Brief (June 2018)
Developer Contributions (November 2018)

7.2 **Scottish Government Planning Policy and Guidance**

Scottish Planning Policy (June 2014)

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

8.3 The key considerations in this case are:

- a) compliance with the development plan and other planning policy
- b) site layout and design
- c) transport impacts
- d) developer contributions
- e) any other material considerations.

Development plan/other planning policy

8.4 The site lies within the Inverness Campus, allocated for mixed use development in the Highland-wide Local Development Plan (HwLDP) and was subsequently refined for business use, student accommodation and community uses within the Inner Moray Firth Local Development Plan (IMFLDP) and contained wholly to the south of the Highland Main Line. Supplementing the allocation is the Inverness East Development Brief which provides the detailed land use requirements for the Inverness East city expansion areas, including the Campus.

8.5 The IMFLDP requires development of the Campus in accordance with the original planning permission in principle 09/00887/PIPIN and related permissions, the need for active travel connections (including the previously delivered A9 overbridge); local road network improvements; and linkage to the green network.

8.6 The 2009 planning application for the Campus site was granted on 08 March 2011 and this gave planning permission in principle for an education campus comprising non-residential institution, business, residential institutions, assembly and leisure and associated landscaping, open space, parking and infrastructure, services and access. Conditions imposed included a requirement to produce a masterplan for the campus development area and submission of design guidelines. A further condition required detailed plans for the siting, design and external appearance of all buildings

to be broadly in accordance with the general principles set out in the master plan and design guidelines.

- 8.7 The proposed building will be used as an elective care centre, a use falling under Class 8 residential institutions (hospital) of the 1997 Use Classes Order. In terms of use, the proposed development accords with the description of development granted under the terms of the planning permission in principle.
- 8.8 Subject to the proposal adequately demonstrating that the development will broadly conform (i) to the design principles approved under the terms of the planning permission in principle (which in turn is a prerequisite of the IMFLDP) and (ii) subject to the proposal having no significant detrimental impact in terms of transportation matters, and finally (iii) that any undesirable effects arising from the development can be adequately mitigated through appropriate developer contributions and/or planning conditions, the proposal would comply with the development plan.

Site layout and design

- 8.9 The report to Committee on the previous proposal noted that the overall scale and form of the building had been considerably improved and refined since the initial proposal was presented to the Inverness Design Review Panel. The current revisions continue those previous improvements. The simplified palette of materials and colours provides a more unified appearance to the building that will complement and enhance the appearance of the Campus and integrate well with the existing neighbouring users, ensuring that the overall original design ethos for the Campus is maintained.
- 8.10 The overall scale and massing of the building is similar to the previously approved development with the height to eaves level of the building being approximately 10.5 metres and with an overall height to ridge level of approximately 14.5 metres. In terms of building footprint, the current proposal equates to approximately 3,060 square metres, a significant reduction from the previous 5,200 square metre footprint. This is largely attributable to the deletion of the south wings and a slight shortening of the north wings.
- 8.11 Enhancements to the external fabric of the building include the introduction of vertical fins at the entrance, gables, and courtyard, creating elegant sculptural design features that accentuate key areas of the building, along with a horizontally aligned base plinth that contrasts with the vertically aligned upper cladding, the combination of which helps control the building proportions.
- 8.12 Whilst the resultant surplus land to the south of the development has been identified by the applicant as being suitable for future expansion of the healthcare facility, it has been vitally important to ensure that the redesigned building has the appearance of a completed structure, rather than simply the first phase of a two-stage development. This has been successfully achieved by carefully considering the aesthetic appearance and treatment of the south gable elevation which includes enhanced design detailing and a mix of finishes.

- 8.13 The extent of external paved areas has been reduced, however the revised hard and soft landscaping scheme ensures that the overall design quality has not been diminished.

Transport impacts

- 8.14 The traffic survey results carried out for the previous application revealed that the existing developments at the Campus are generating more traffic than originally predicted. This means that the existing signal controlled junction is operating at capacity. The Transport Assessment (TA) submitted in support of that application predicted that, without mitigation, there will be a negative impact on the performance of the Campus junction on the B9006 public road that will create congestion and will have a detrimental knock-on effect on the adjacent roads network.
- 8.15 The applicant has provided a Transport Assessment Addendum in support of this revised application and whilst it is noted that there will be a decrease in peak hour traffic flows, nevertheless the development will have a negative impact on the operation of the junction and the local road network. Therefore, as with the previous application, a number of off-site improvements are required to mitigate this impact and provide improvements to public transport and active travel links, with a particular focus on creating a bus corridor linking the Campus site, Inverness Retail Park, Raigmore Hospital, Inverness City Centre and East Inverness. As with the earlier proposal these can be secured by condition.

Developer contributions

- 8.16 Subject to acceptance by Members, the proposed mitigation will include the following:
- requirement to create a new bus gate through the Raigmore Hospital site to link with the Raigmore Estate;
 - the installation of a bus priority lane exiting from the hospital site at the signalled junction onto Perth Road; and
 - the installation of an active travel link between Culloden Road and the Campus.
- 8.17 In addition to the proposed infrastructure improvements which are considered necessary to mitigate the potential undesirable traffic impacts arising from the development, the following additional matters that can also be imposed as conditions to support the measures identified above:
- the existing dedicated bus lane exiting the campus and the signalised junction arrangements should remain as currently operated in the interests of promoting sustainable travel; and
 - the requirement for the developer to produce a Travel Plan that will be subject to periodical review and revisions with the intention to reduce single occupancy car journeys and promote active travel arrangements, including improved bus services.

Other material considerations

- 8.18 The Inverness East Development Brief was approved as supplementary planning guidance and forming part of the development plan and is a material consideration in the determination of this application as the Campus site is located within the western boundary of the brief area.
- 8.19 The brief sets out a vision of how the whole of Inverness East should be developed over the coming years. It also sets out what will be expected in terms of developer contributions towards various infrastructure requirements. It is noted that some of these requirements relate to all new development, respective of type.
- 8.20 In relation to the Campus the brief simply states that development will follow the existing design code to deliver exemplars of modern design and layout.
- 8.21 Members will wish to note that the North Bridge linking the Campus with the Inverness Business and Retail Park has recently been completed and is now available for use, providing an active travel link between the two sites.
- 8.22 There are no other material considerations.

Matters to be secured by Section 75 Agreement

- 8.23 None.

9. CONCLUSION

- 9.1 Planning permission is sought for the construction of an Elective Care Centre providing Orthopaedic and Ophthalmology healthcare to the North of Scotland region. It is essentially a redesign and reduction in size of a development granted planning permission in February 2019.
- 9.2 The building has been designed and sited to create a further exemplar development that will complement the high quality environment that already exists at the Campus. It is however recognised that the traffic generated by existing developments on the Campus site mean that the main signal controlled junction with the B9006 is operating at capacity. As with the previous proposal a number of measures are recommended through the conditions appended to this report which will deliver significantly enhanced infrastructure improvements to promote a more sustainable approach to travel to and from the Campus and mitigate the potential adverse effects arising from the development.
- 9.3 Whilst the redesign has resulted from a number of different factors that have impacted on the development, including the need to reduce the capital costs associated with the project, it is important to stress that the redesign itself and the resultant changes to the design of the building and layout of the site have not diminished the overall quality of the development that will positively maintain the high quality of development already delivered at the Campus.
- 9.4 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained

within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued N

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation N

Revocation of previous permission N

Subject to the above, it is recommended that planning permission be **GRANTED**, subject to the following:

Conditions and Reasons:

1. No development or work (including site clearance) shall commence until proposals for an archaeological watching brief to be carried out during site clearance and excavation works has been submitted to, and approved in writing by, the Planning Authority. Thereafter, the watching brief shall be implemented as approved.

Reason: In order to protect the archaeological and historic interest of the site.

2. No development shall commence until a Site Noise Management Plan required as part of the approved Construction Methodology Statement has been submitted to, and approved in writing by, the Planning Authority. Thereafter development and works shall proceed in accordance with the approved details.

Reason: To ensure that suitable safeguards are in place to manage noise in the interests of environmental protection.

3. Within three months of the commencement of development, full details of secure and protected cycle parking, located to be easily acceptable from the entrances to the building, shall be submitted to the Planning Authority for

approval. The details shall include the dimensions, numbers and types of cycle parking proposed. No part of the development shall be occupied until the secure and protected cycle parking has been installed and available for use in accordance with the approved details.

Reason: To ensure the necessary provision of cycle parking in accordance with planning for transport policies.

4. Within three months of the commencement of development, full details of two public transport shelters and stops equipped to display real time information and serving both northerly and southerly direction of travel through Inverness Campus, shall be submitted to the Planning Authority for approval. Following approval no part of the development shall be occupied until the two public transport shelters and stops have been installed and made available for use in accordance with the approved details.

Reason: To ensure the necessary provision of public transport infrastructure in accordance with planning for transport policies and to mitigate the negative impact of the development traffic on the surrounding road network.

5. Within three months of the commencement of development a detailed specification for all proposed external materials and finishes (including trade names and samples where necessary) shall be submitted to the Planning Authority for approval. Thereafter, development and work shall progress in accordance with these approved details.

Reason: In order to enable the Planning Authority to consider these matter(s) in detail prior to the commencement of development; in the interests of amenity.

6. Within three months of the commencement of development full details of all lighting within the site shall be submitted to the Planning Authority for approval, in consultation with Transport Scotland. Thereafter, development and work shall progress in accordance with the approved details.

Reason: To ensure that there will be no distraction or dazzle to drivers on the trunk road and that the safety of the trunk road will not be diminished.

7. Within three months of the commencement of development full details of the landscaping treatment along the trunk road boundary shall be submitted to the Planning Authority for approval, in consultation with Transport Scotland. Thereafter, development and works shall progress in accordance with those approved details.

Reason: To ensure that there will be no distraction to drivers on the trunk road, and that the safety of the traffic on the trunk road will not be diminished.

8. Within three months of the commencement of development full details of barrier proposals along the trunk road boundary shall be submitted to the Planning Authority for approval, in consultation with Transport Scotland.

Thereafter, development and works shall progress in accordance with those approved details.

Reason: To minimise the risks of pedestrians and animals gaining uncontrolled access to the trunk road with the consequential risks of accidents.

9. Within six months of the commencement of development full details of a public transport/active travel corridor with bus priority measures from the junction of Old Perth Road at the signalised junction to Raigmore Hospital and leading through the Raigmore Hospital site to the Raigmore housing estate to the north of Raigmore Hospital, shall be submitted to the Planning Authority for approval. Following approval, no part of the development shall be occupied until public transport/active travel corridor has been constructed and is available for use.

Reason: To ensure the adequate and timeous provision of a public transport/active travel corridor through Raigmore Hospital to promote public transport and active travel links with the surrounding area in accordance with planning for transport policies and to mitigate the negative impact of the development on the surrounding road network.

10. Within six months of the commencement of development, full details of a new active travel link between Culloden Road (B9006) and Inverness Campus shall be submitted to the Planning Authority for approval. Following approval no part of the development shall be occupied until the new active travel link has been constructed and made available for use in accordance with the approved details.

Reason: To ensure the adequate and timeous provision of an active travel link to mitigate the negative impact of the development.

11. Within six months of the commencement of development details for the provision of public art, in accordance with the Council's Public Art Strategy – Supplementary Guidance shall be submitted to the Planning Authority for approval. Following approval, the public art shall be delivered within one year of first occupation of the development.

Reason: To ensure the adequate provision of public art in accordance with the Council's supplementary guidance.

12. No part of the development shall be occupied until a Travel Plan specific to this development and targeted towards reducing the dependency on the use of the private car, with emphasis on single occupancy car trips, has been submitted to, and approved in writing by, the Planning Authority. The Travel Plan shall include as a minimum:

- i. Defined aims and objectives for the Travel Plan including suitable Targets and/or Indicators that adhere with the principles of SMART (Specific, Measurable, Attainable, Relevant, Time-bound), including engagement with

local bus operators with a view to extending and increasing the frequency of local bus services and the promotion of those services;

ii. The measures that will be implemented through the Travel Plan to achieve those aims and objectives;

iii. The name of the Travel Plan Coordinator responsible for developing and implementing the Plan, including all associated monitoring and reporting. This person shall be a member of staff working at this building and will be given the necessary authority or a suitable decision-making structure to undertake all tasks associated with developing and implementing the Plan;

iv. A defined structure for decision making linked with the implementation of the Travel Plan, including clear roles and responsibilities at all levels and a commitment from senior management towards the delivery of the Plan;

v. The arrangements for monitoring the performance of the Plan and how that monitoring will be reported and acted on. For clarity, a minimum of 5 years' worth of annual monitoring reports will be required, which the Plan should define how and when they will be produced and issued to the Planning Authority. Given that a key indicator for the success of the Travel Plan will be how effective the Plan is in limiting the number of vehicle trips in and out of the development at the busiest times on the road network in the local area, the Travel Plan shall include the establishment of permanent traffic counters at each point of vehicular access into the site, which will need to be implemented and maintained by the owners / occupiers of the development;

vi. The process for making changes to the Travel Plan as a result of the monitoring being undertaken.

Thereafter, the Travel Plan shall be implemented in full and reviewed in accordance with those approved details.

Reason: To promote the delivery of sustainable travel patterns associated with the development in accordance with planning for transport policies.

13. No part of the development shall be occupied until all roads, footpaths and the car parking areas have been formed, completed and made available for use.

Reason: In the interests of public safety, and that the works involved comply with applicable standards.

14. Notwithstanding the recommendations contained within the Transport Statement prepared by Fairhurst (document number 125303/ED/T/R01) the existing bus priority lane at Inverness Campus shall remain strictly in operation and classified as a bus lane and no changes shall be carried out to the phasing of the signal controlled junction.

Reason: The mitigation measure proposed in the Transport Statement are not acceptable and do not accord with Scottish Planning Policy and national

and regional transport policy that seeks to reduce single occupancy car trips and promote alternative active and sustainable travel methods.

15. All landscaping works shall be carried out in accordance with the scheme and plans approved as part of this permission. All planting, seeding or turfing as may be comprised in the approved scheme and plans shall be carried out in the first planting and seeding seasons following the commencement of the development, unless otherwise stated in the approved scheme. Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

Reason: In order to ensure that a high standard of landscaping is achieved, appropriate to the location of the site.

16. There shall be no drainage connections to the trunk road drainage system.

Reason: To ensure the efficiency of the existing trunk road drainage network is not affected by the development.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

FOOTNOTE TO APPLICANT

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Accordance with Approved Plans & Conditions

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

Archaeology

Further to Condition 1 of this planning permission you are advised that a controlled soil strip will ensure that any features uncovered will be adequately recorded, while causing minimum delay to the development. You should engage the services of a professional archaeologist. The work will result in a report which will be lodged in the Historic Environment Record (HER), where it may be consulted for research. Archaeological contractors are asked to send copies of such reports directly to HER who will advise you of receipt and confirm that they form a satisfactory record. Further information is available from: Environmental Advice & Consultancy Team, The Highland Council, Glenurquhart Road, Inverness IV3 5NX. 01463 702504.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud & Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

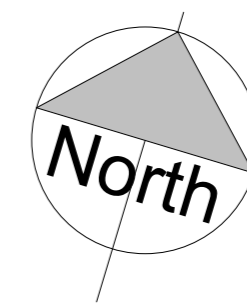
You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

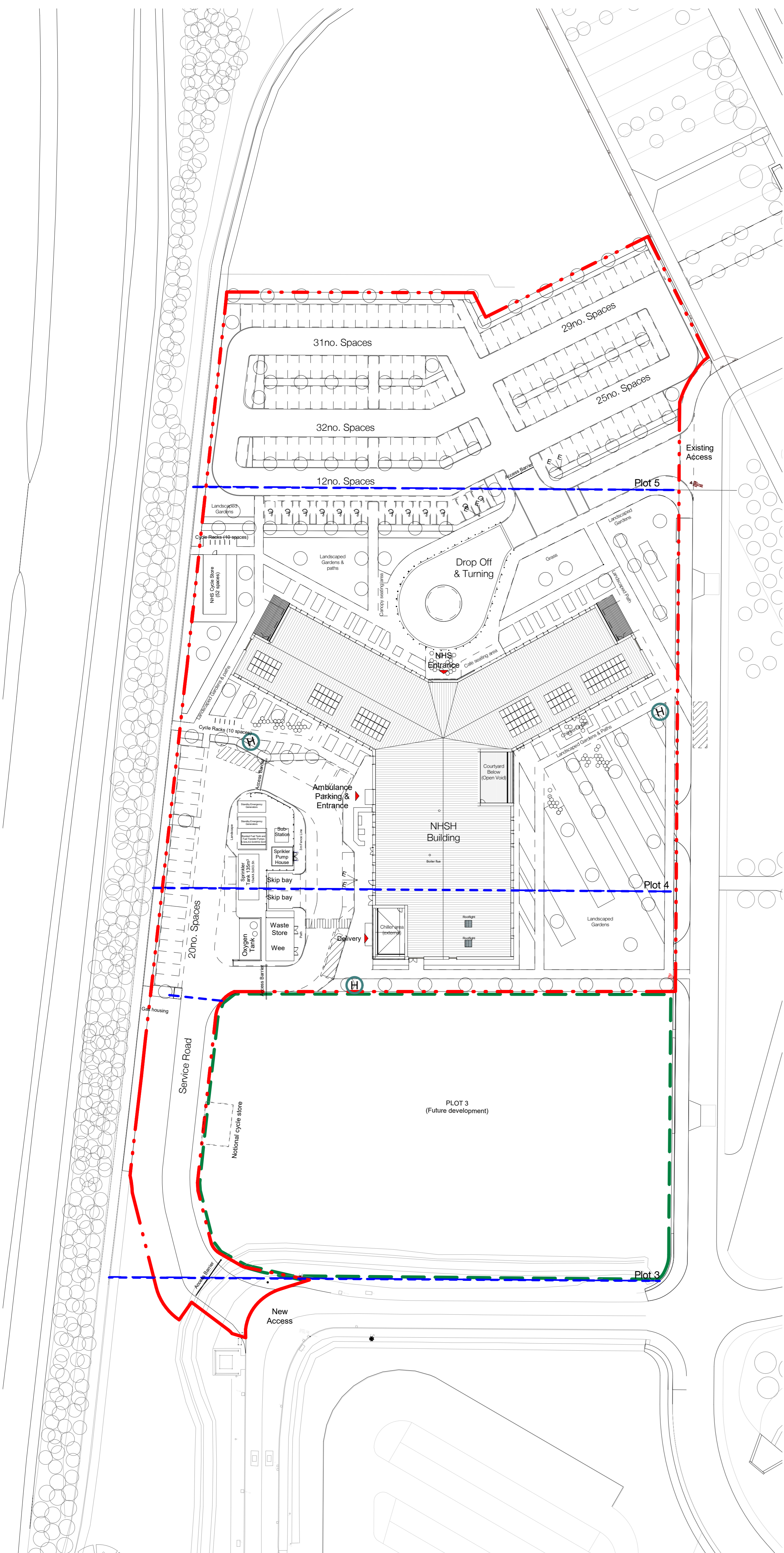
Designation: Area Planning Manager – South
Author: John Kelly
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 - Location/Site Layout
Plan 2 - Elevation Plan 1 of 2
Plan 3 - Elevation Plan 2 of 2
Plan 4 - Ground Floor Plan

- Plan 5 - First Floor Plan
- Plan 6 - Second Floor Plan
- Plan 7 - Roof Plan
- Plan 8 - Landscaping Proposals

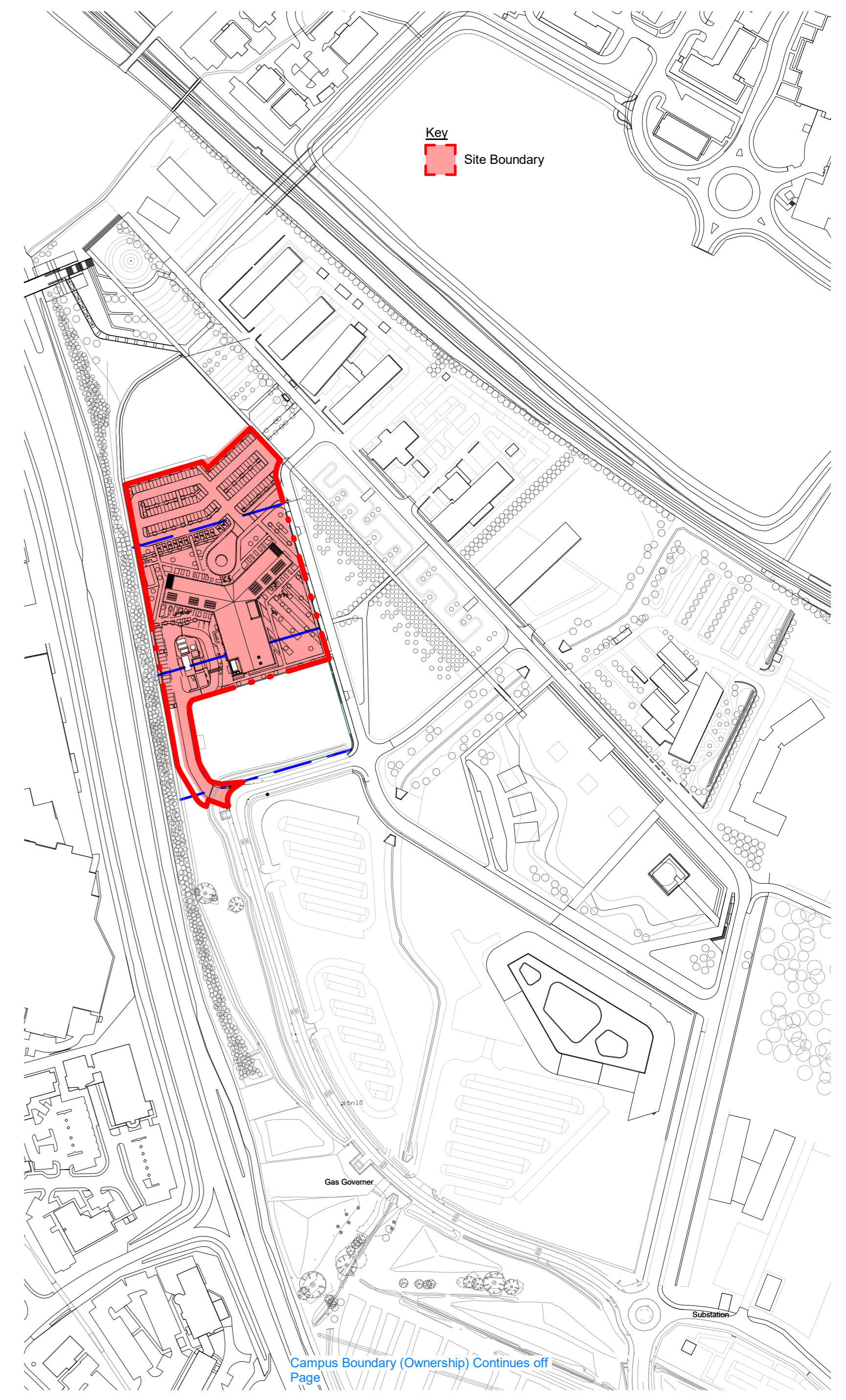


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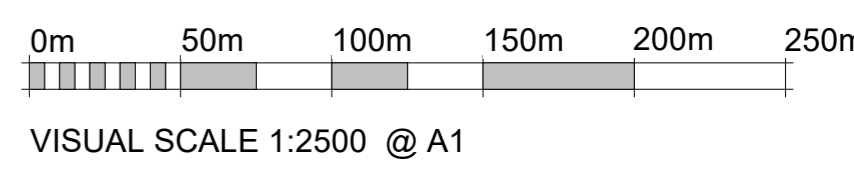
Rev.	Date	Amendment
A	03.07.20	First Issue
B	07.07.20	Ownership boundary updated

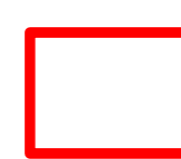






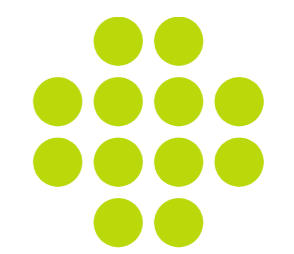
Site
1 : 500



Site 1:2500
1 : 2500



-  Site Boundary
Plots 3 (Part), 4, 5 (Part)
-  Adjacent Plot Boundary
Plot (Future Development)
-  Campus plot division line
-  Hydrant
-  Electrical Charging Point

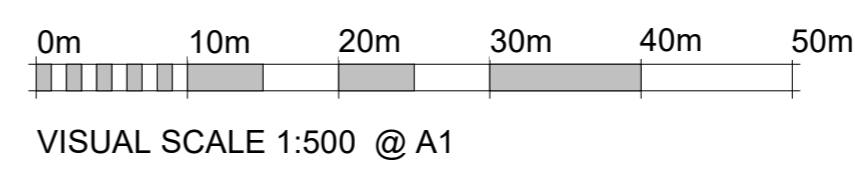


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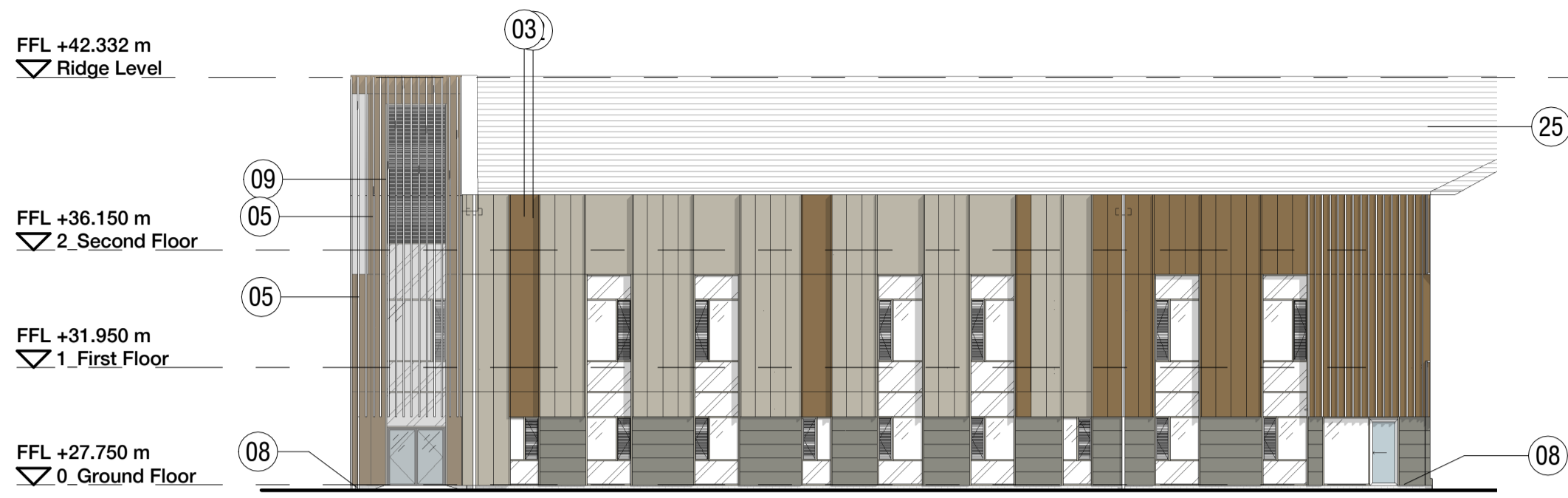
Project Name
The Elective Care Centre
Inverness Campus

Title
Site Plan &
Location Plan Within Campus

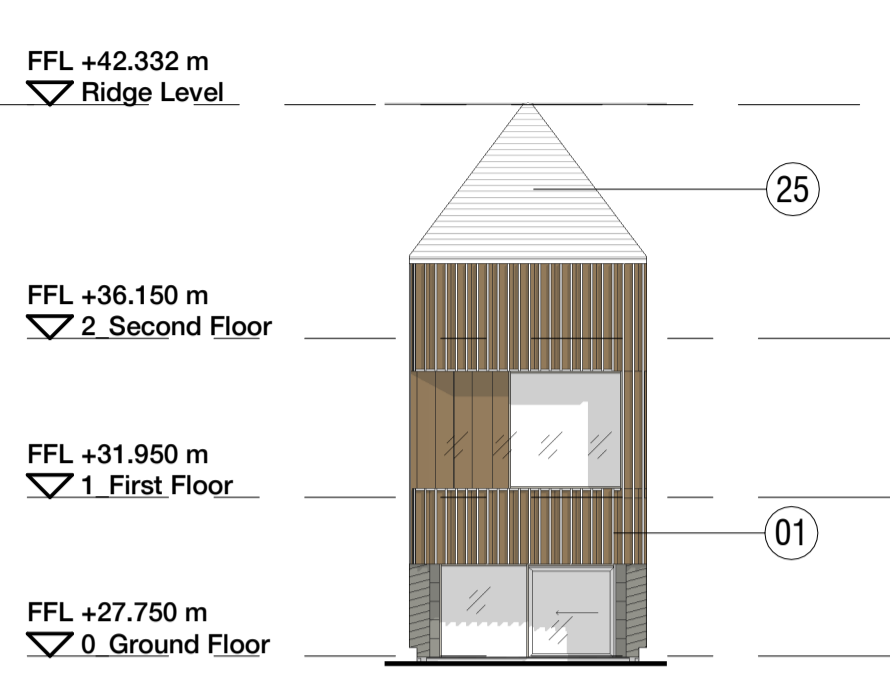
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Planning	
Project no. -	Drawing no. -
2311- TDC-OBE-XX-XX-DR-A-PL-102 B	
Drawn By	AM
Drawn date	22/04/20
Scales @ A1	As indicated
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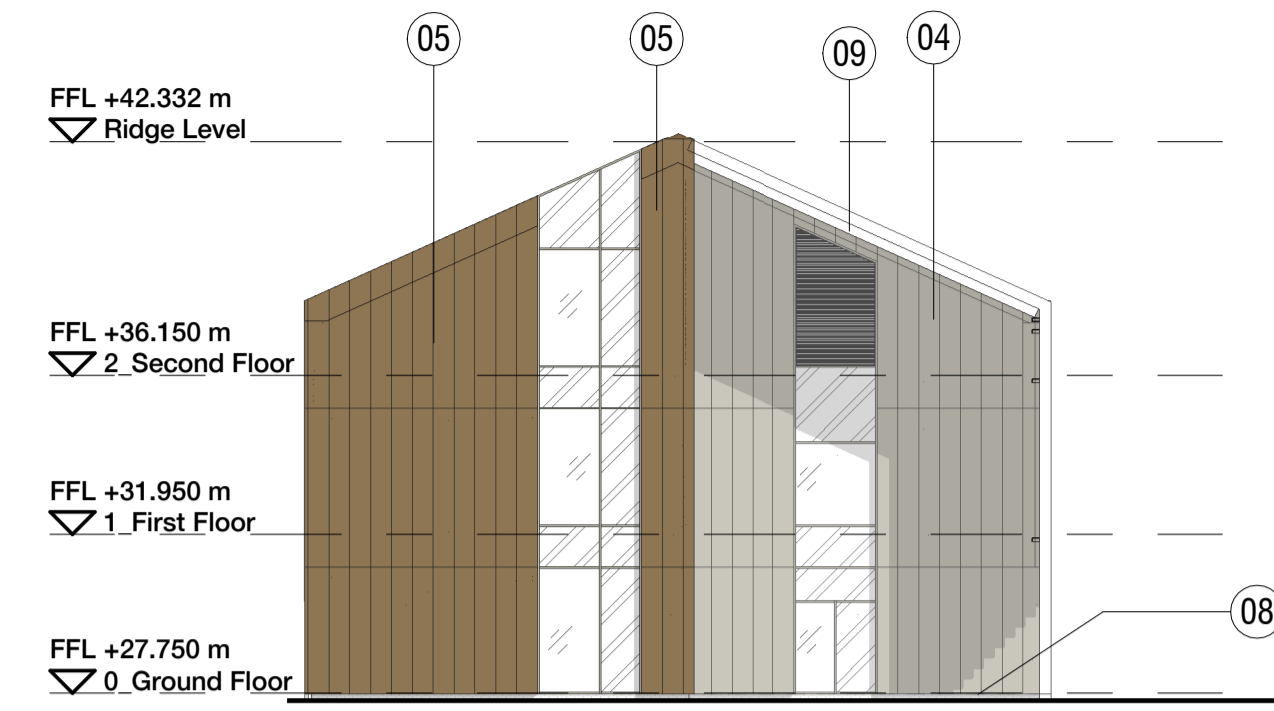
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Rev.	Date	Amendment	
A	03.07.20	First Issue	



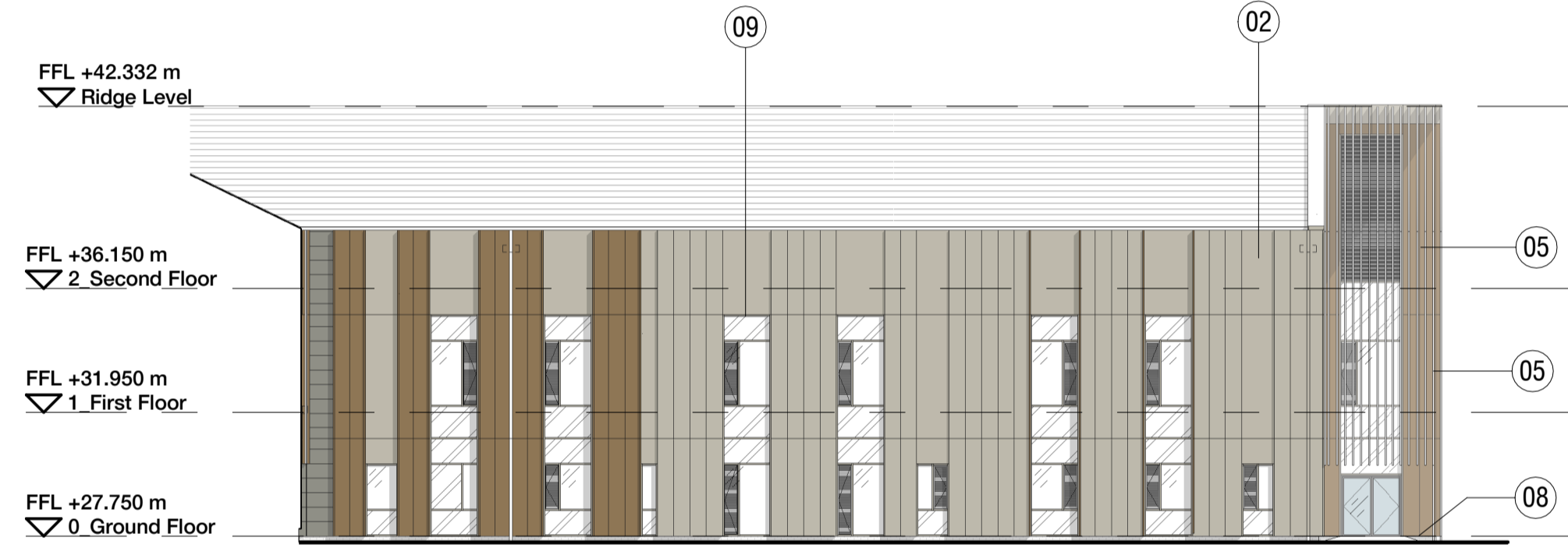
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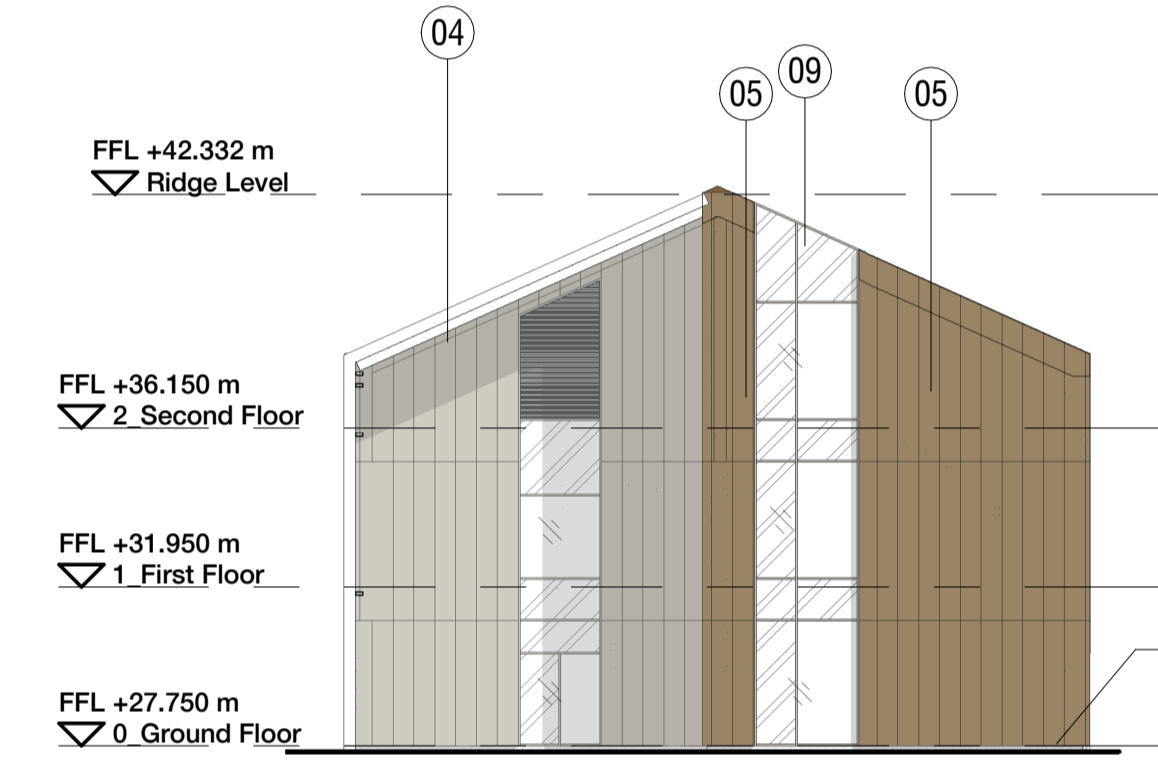
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PL - Elevation B
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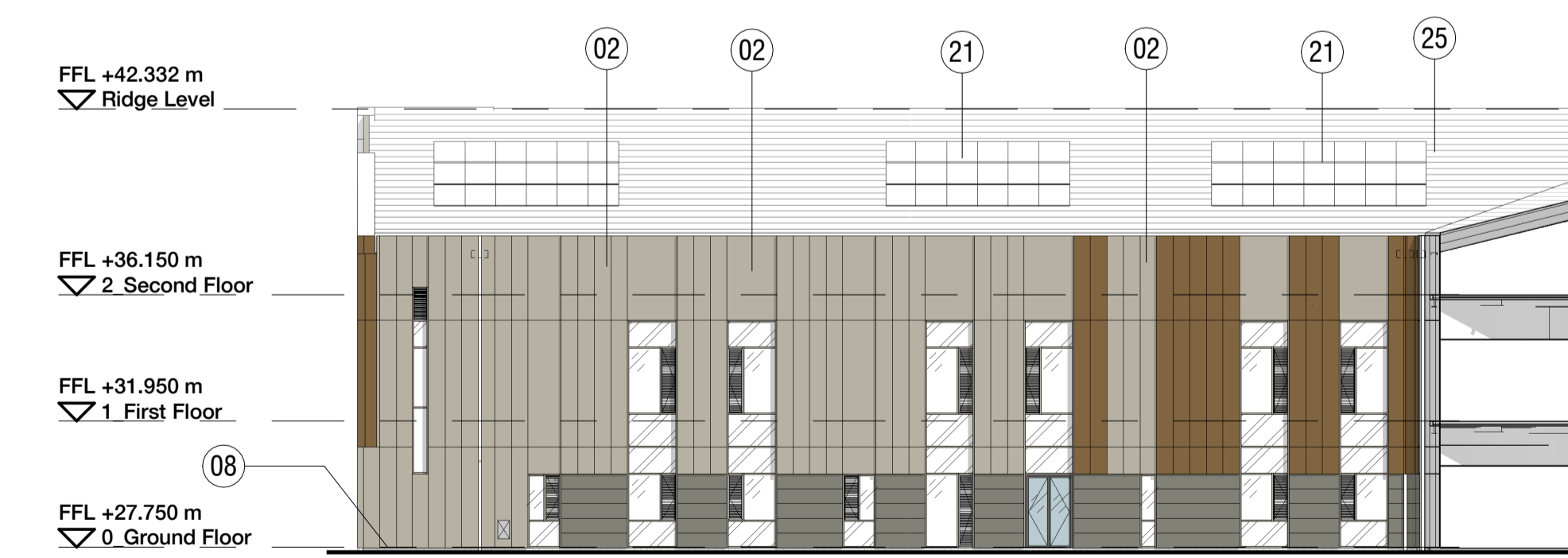
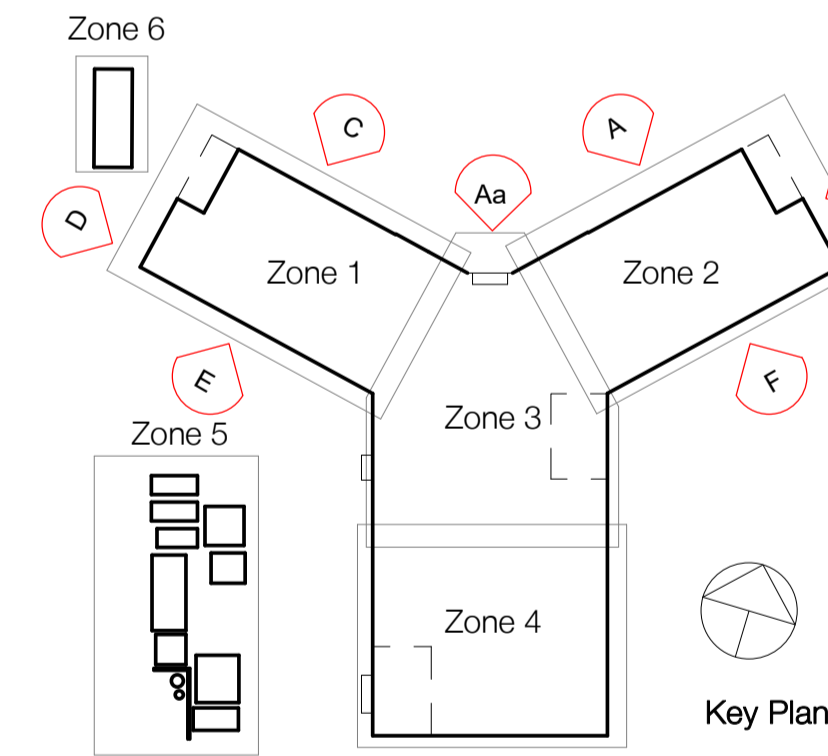
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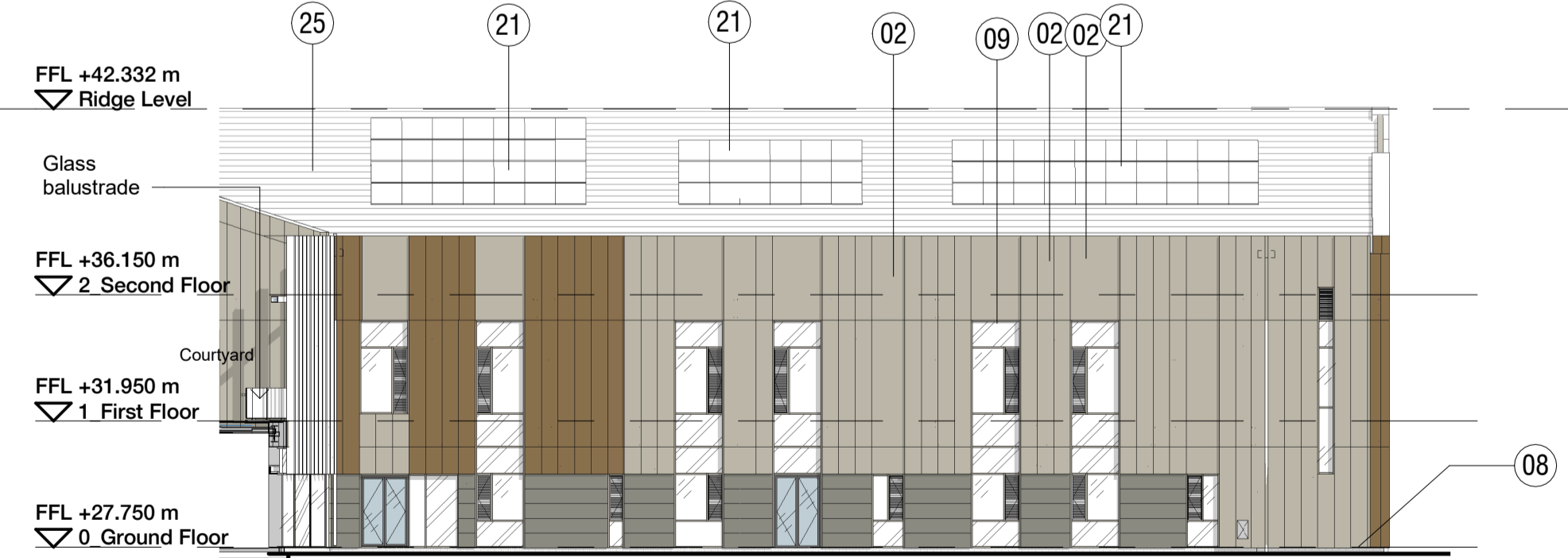
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Key	Materials Key
01	Aluminium Cladding 105mm - Horizontal Panel - H31/120D
02	Aluminium Cladding 105mm - Vertical Panel - Colour 2 - H31/120E
03	Aluminium Cladding 105mm - Vertical Panel - Colour 3 - H31/120E
04	Aluminium Cladding 205mm - Vertical Panel - Colour 2 - H31/120E
05	Aluminium Cladding 205mm - Vertical Panel - Colour 3 - H31/120E
06	Aluminium FM Cladding - Colour 3 - H31/120E
07	Fin Structure
08	Facing Brickwork - F10/110A
09	Aluminium Curtain Wall/Fixed Gazing - H11
10	Aluminium Frame Louvre - L10
11	Aluminium Frame Doors - L20
12	Aluminium Frame Windows - H11 & L10
13	Spandrel Panel - Colour 2
14	Aluminium security RWDP
16	Aluminium Frame Rooflight - L10
21	PV Panels
22	Single Ply Membrane Roof Covering - External Courtyard - J42/110F
23	Vertical Timber slats cladding - Energy Centre masonry walls - H21/110F
24	Single Ply Membrane Roof Covering - External Plant Deck - J42/110D
25	Standing Seam Roof Cladding - H31/120A
27	Canopy - J42/130A
28	Vertical Timber slats cladding - Perimeter fence - Siberian Larch - H21/110F
29	Shelter - Timber Cladding BY OTHERS



PL - Elevation E
1 : 200



PL - Elevation F
1 : 200



Title
1:200 Elevations
Sheet 1 of 2

Status
Planning

Project no. - Drawing no. - Rev
2311 - TDC-OBE-DC-XX-DR-A-PL-200 - A

Drawn By
EM

Drawn date
24/02/20

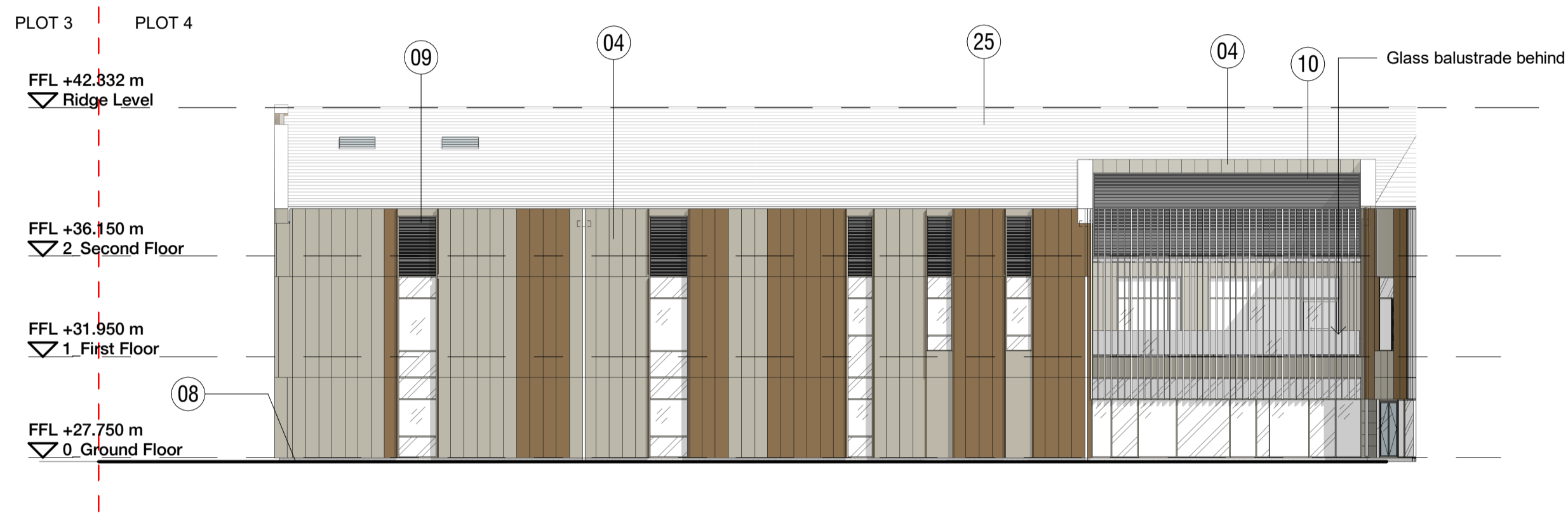
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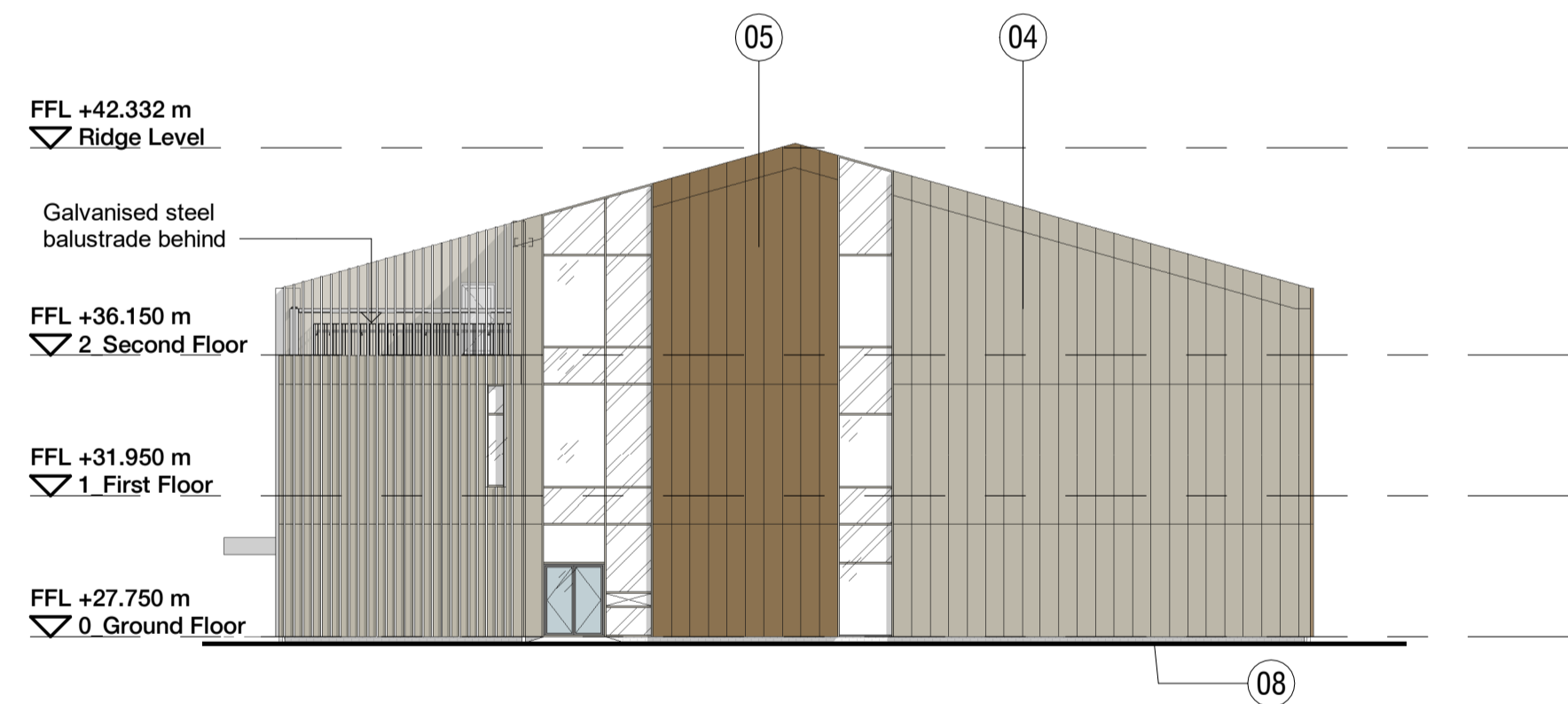
PLOT 4 PLOT 3



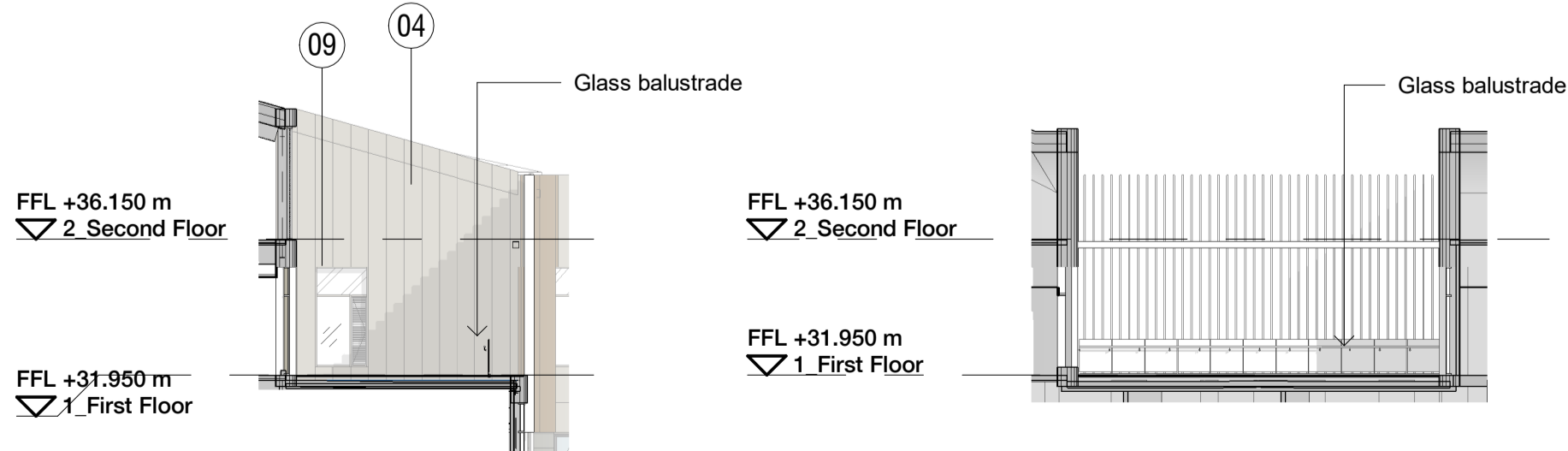
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PL - Elevation H
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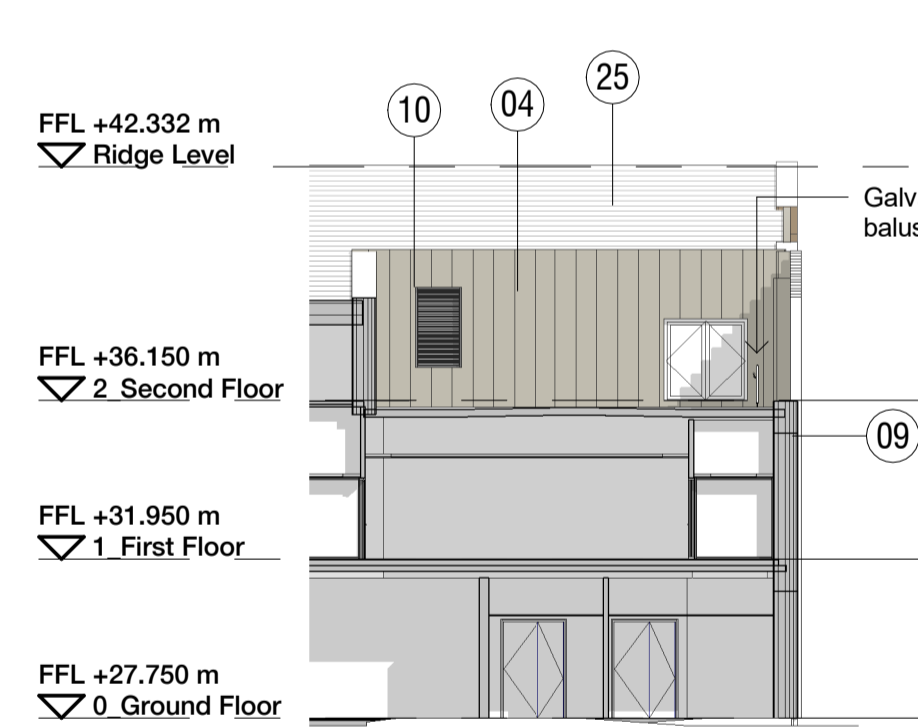


PL - Elevation I
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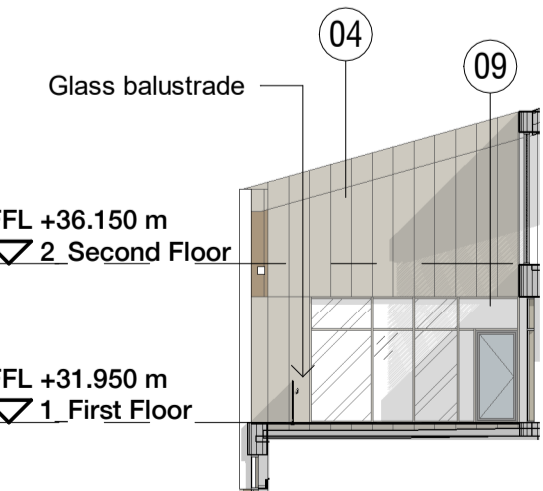


PL - Courtyard - Elevation A2
1 : 200

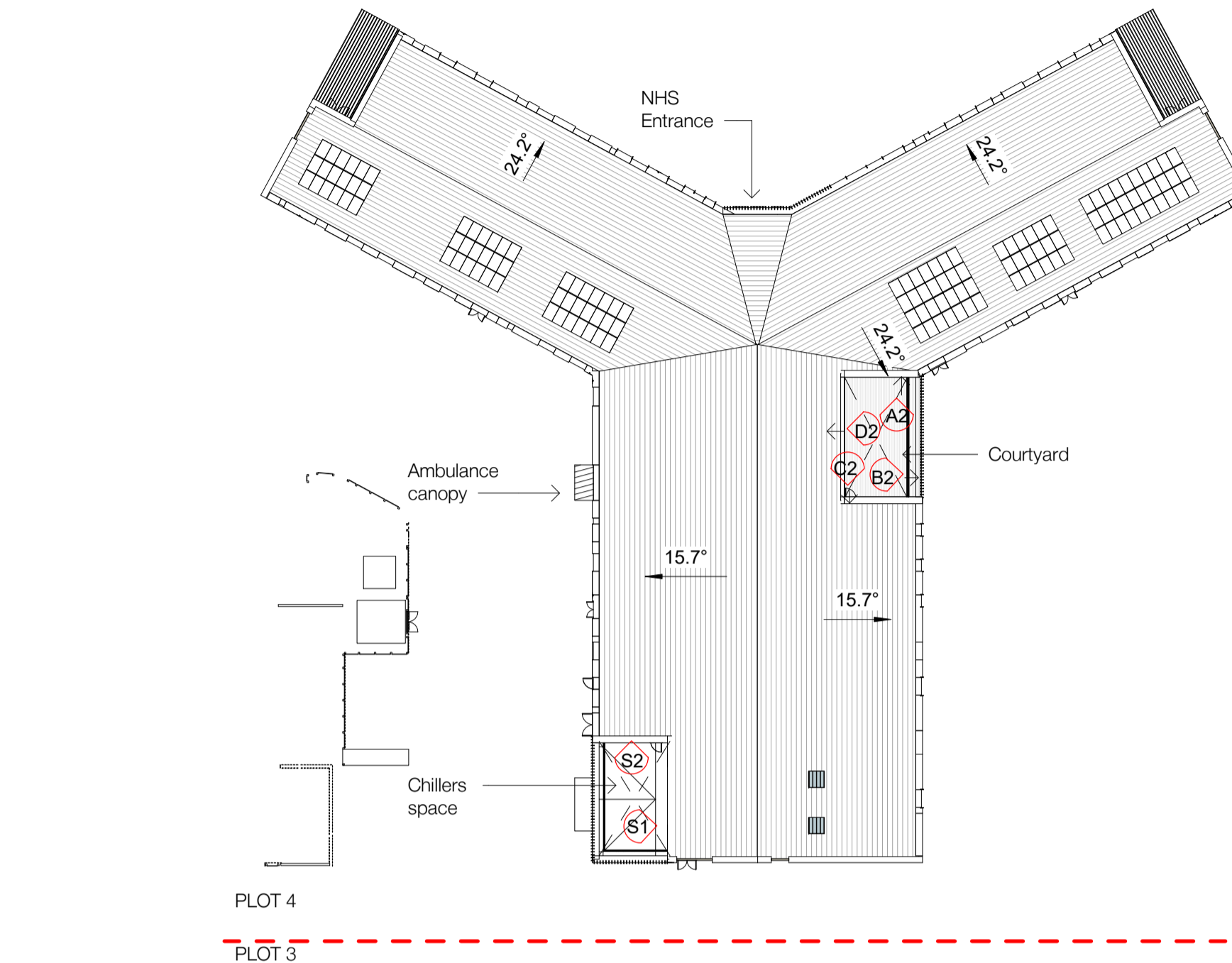
PL - Courtyard - Elevation B2
1 : 200



PL -S1 - Section through delivery undercraft
1 : 200



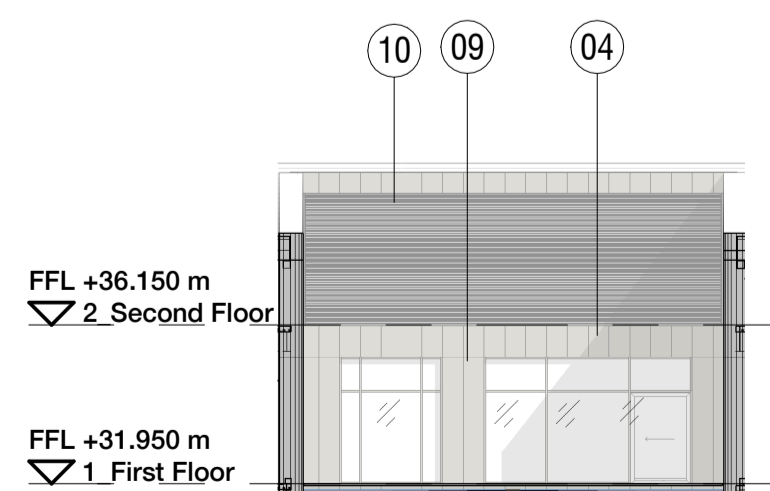
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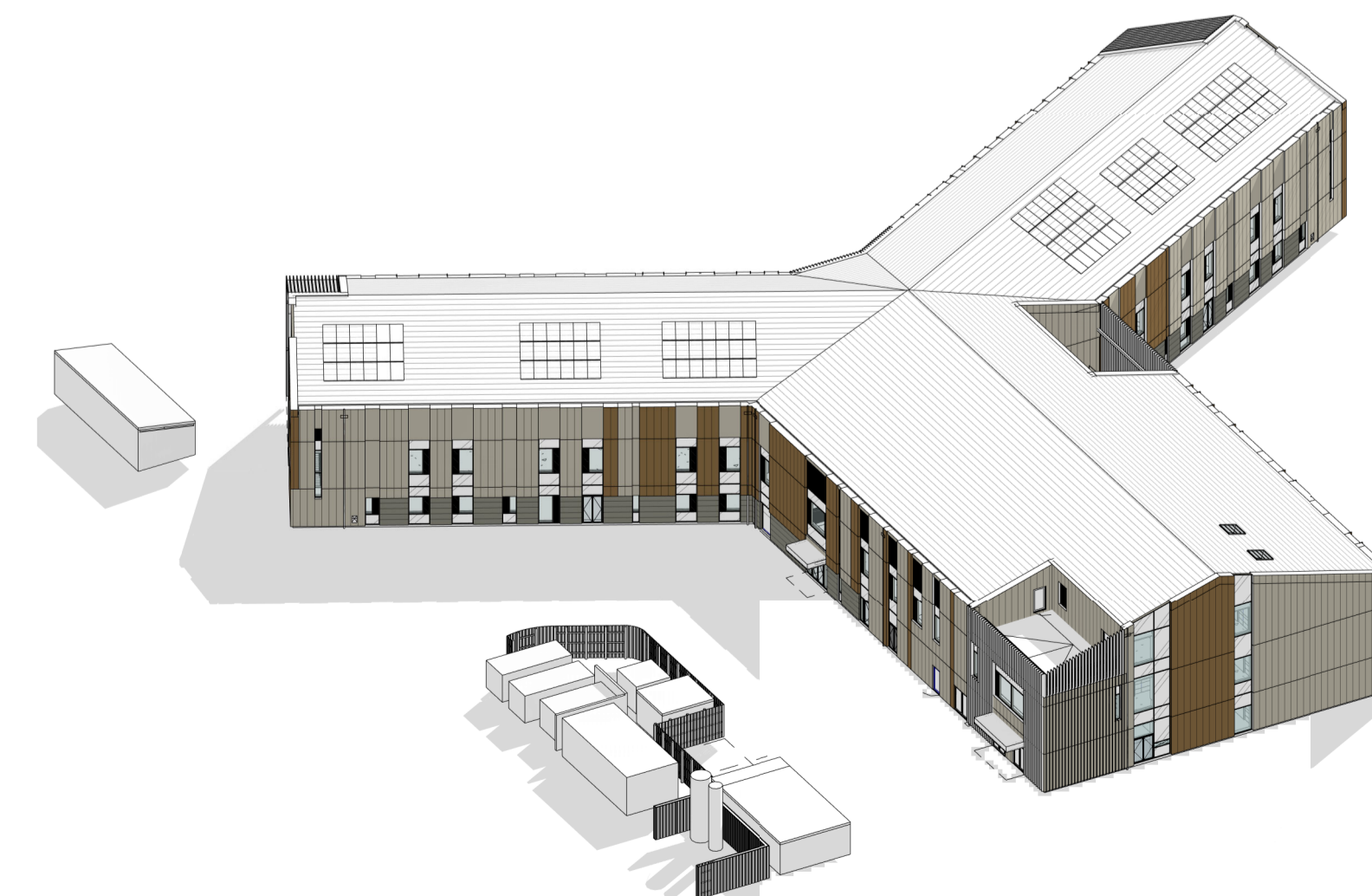
PL - Roof plan
1 : 500



PL - S2 - Section through service entrance
1 : 200



PL - Courtyard - Elevation D2
1 : 200



PL_Site - South Gable View

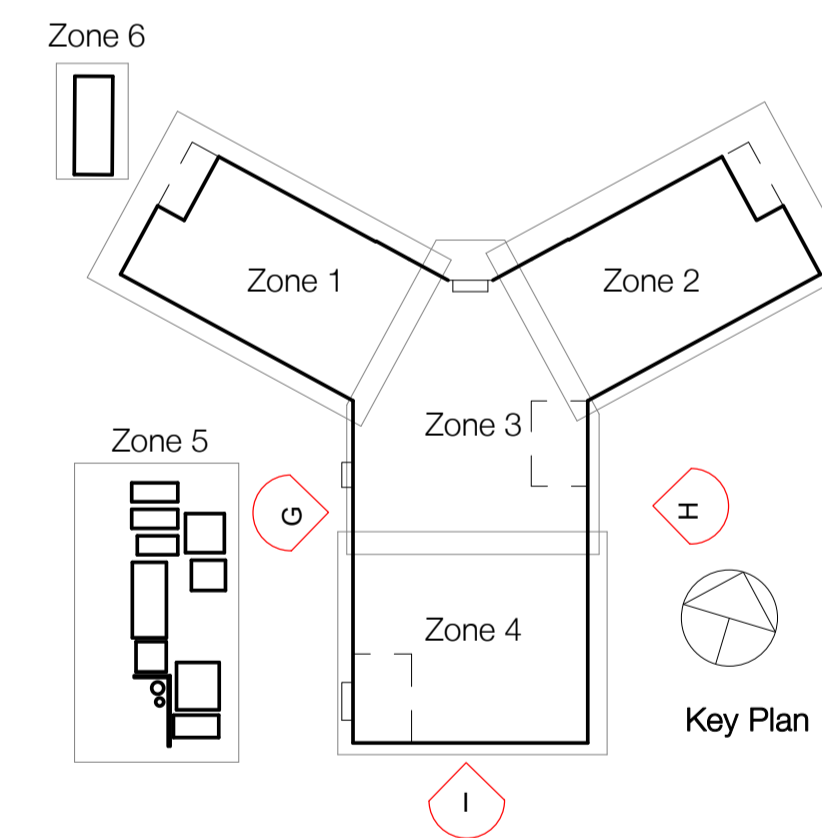
Scale converter

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Rev. Date Amendment

A	03.07.20	First Issue
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02	Aluminium Cladding 105mm - Vertical Panel - Colour 2 - H31/120E
03	Aluminium Cladding 105mm - Vertical Panel - Colour 3 - H31/120E
04	Aluminium Cladding 205mm - Vertical Panel - Colour 2 - H31/120E
05	Aluminium Cladding 205mm - Vertical Panel - Colour 3 - H31/120E
06	Aluminium FIN Cladding - Colour 3 - H31/120E
07	Fin Structure
08	Facing Brickwork - F10/110A
09	Aluminium Curtain Wall/Fixed Gazing - H11
10	Aluminium Frame Louvre - L10
11	Aluminium Frame Doors - L20
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25	Standing Seam Roof Cladding - H31/120A
27	Canopy - J42/130A
28	Vertical Timber slats cladding - Perimeter fence - Siberian Larch - H21/110F
29	Shelter - Timber Cladding BY OTHERS



Title
1:200 Elevations
Sheet 2 of 2

Status
Planning

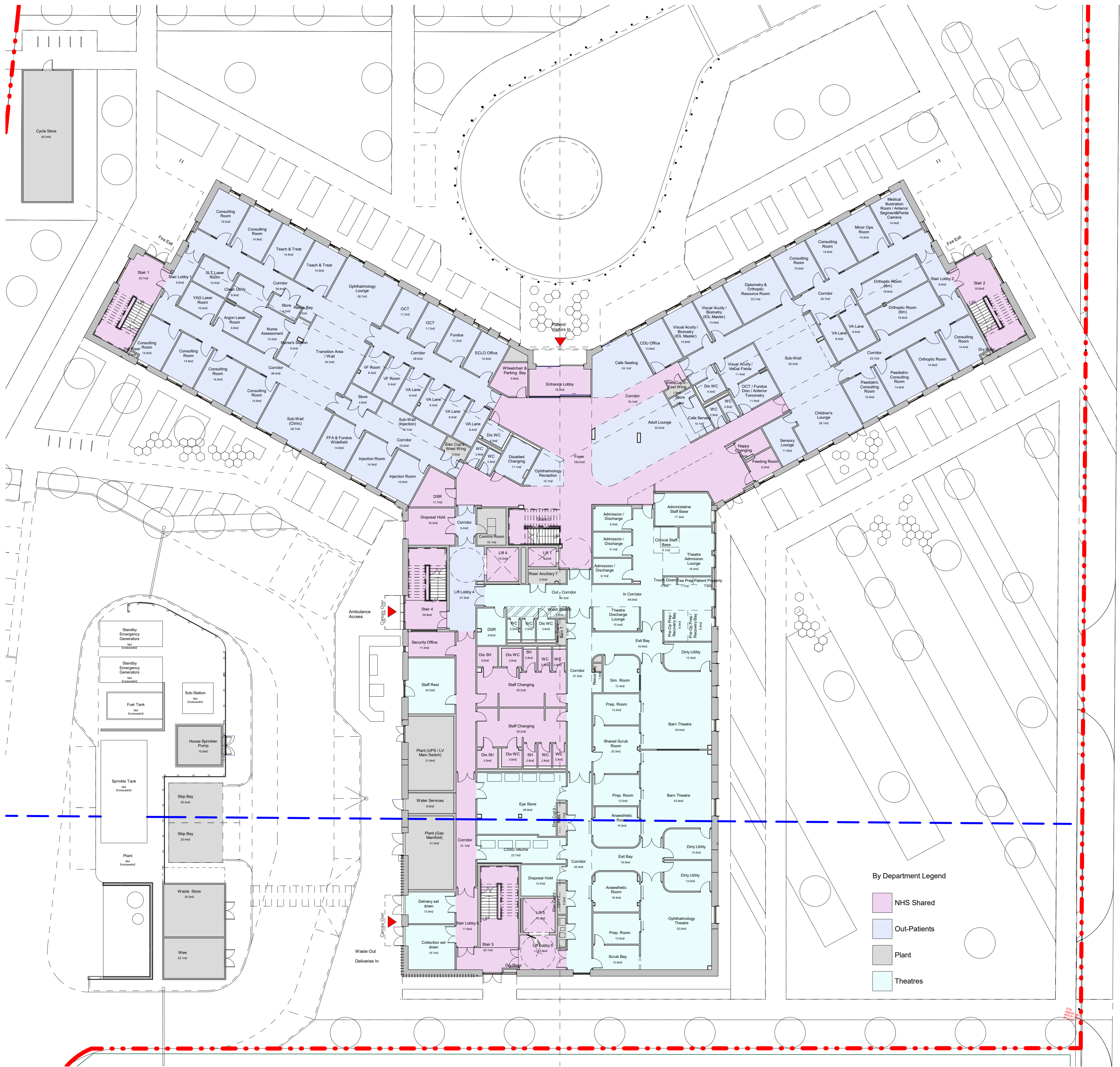
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2311 - TDC-OBE-DC-XX-DR-A-PL-201 - A

Drawn By
AM

Drawn date
24/02/20

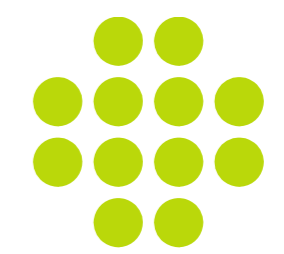
Scales @ A1
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By Department Legend

- NHS Shared
- Out-Patients
- Plant
- Theatres



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Project Name
 The Elective Care Centre
 Inverness Campus

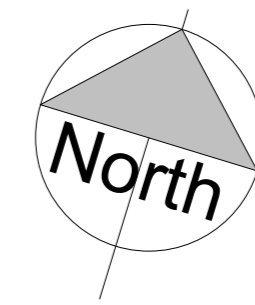
Title
 1:200 Plans
 Ground Floor Plan

Status
 Planning

Project no. - Drawing no. - Rev
 2311- TDC-OBE-DC-GF-DR-A-PL-100 A

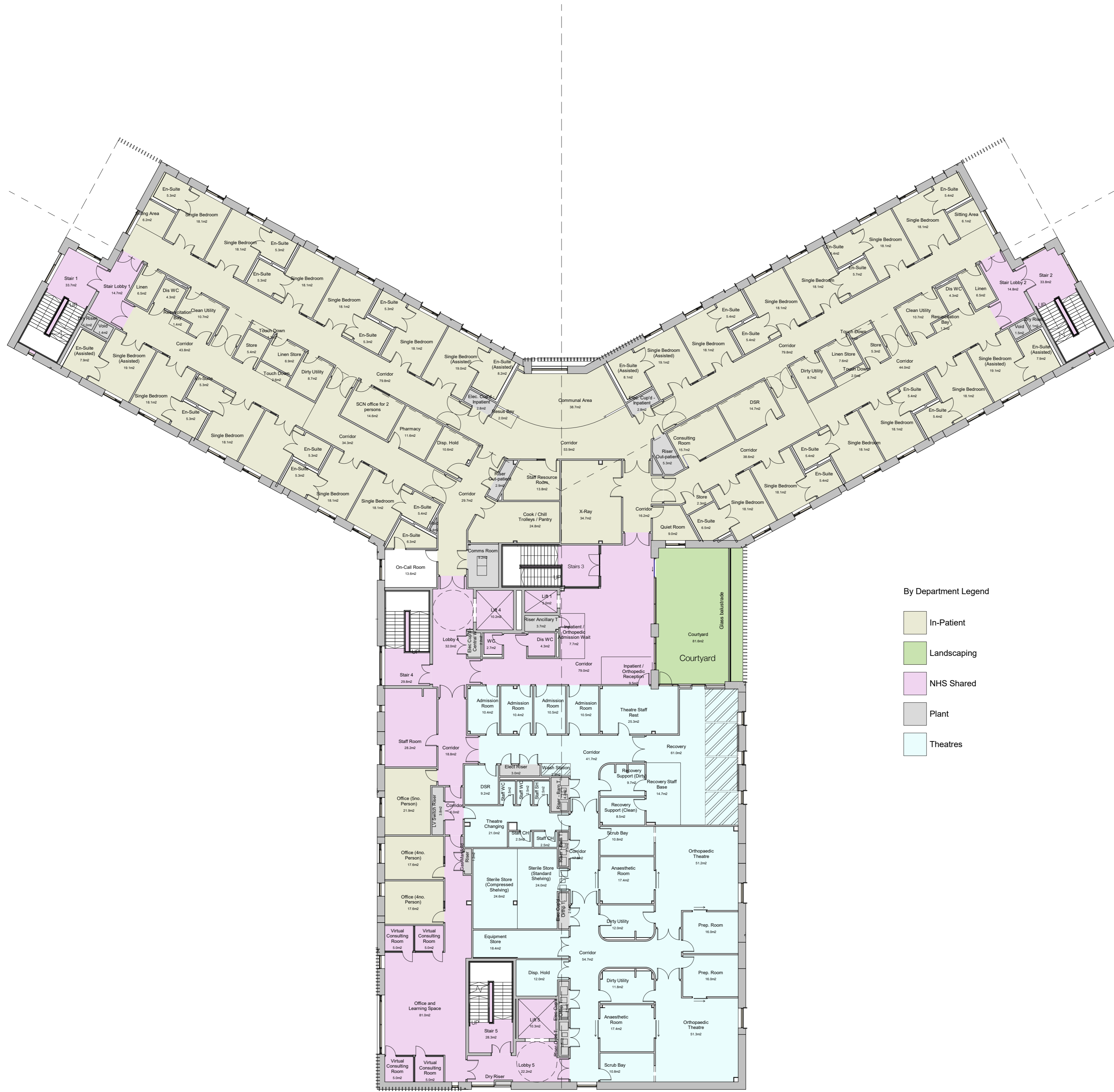
Drawn By
 AM
 Drawn date
 15/07/19
 Scale(s) @ A1
 1 : 200

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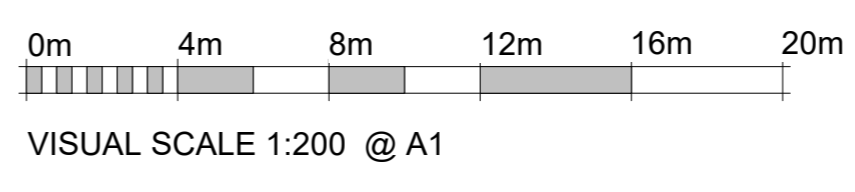
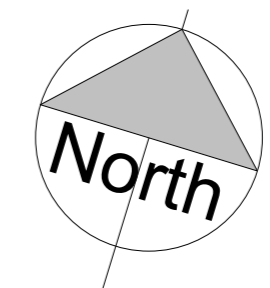


0m 4m 8m 12m 16m 20m

VISUAL SCALE 1:200 @ A1



- By Department Legend
- In-Patient
 - Landscaping
 - NHS Shared
 - Plant
 - Theatres



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 Project Name
 The Elective Care Centre
 Inverness Campus

Title
 1:200 Plans
 First Floor Plan

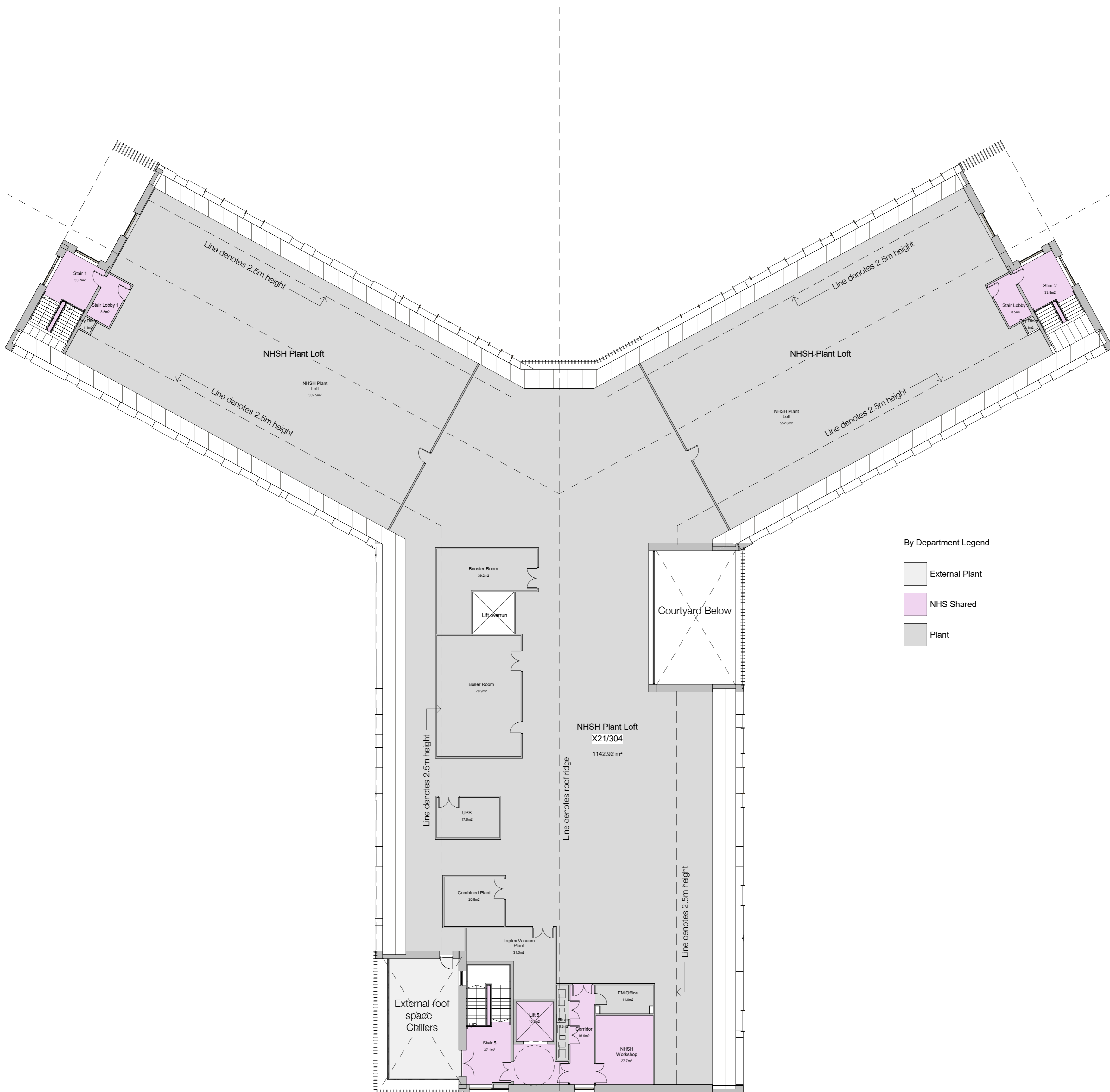
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Project no. - Drawing no. - Rev
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Drawn By
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 Drawn date
 15/07/19
 Scales @ A1
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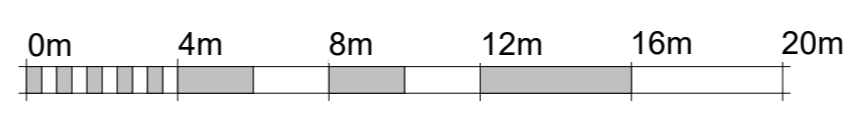
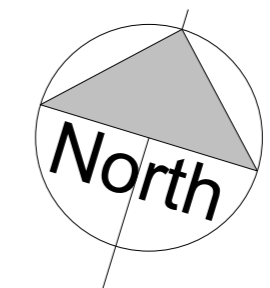
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Scale convertor			
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Rev.	Date	Amendment	
A	03.07.20	First Issue	

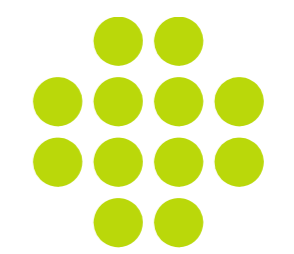


By Department Legend

- External Plant
- NHS Shared
- Plant



VISUAL SCALE 1:200 @ A1



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The Elective Care Centre
Inverness Campus

Title
1:200 Plans
Second Floor Plan

Status
Planning

Project no. - Drawing no. - Rev
2311- TDC-OBE-DC-02-DR-A-PL-102 A

Drawn By
EM
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15/07/19
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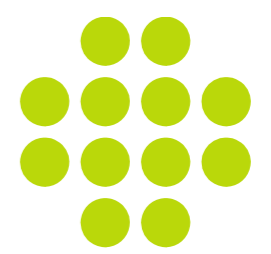
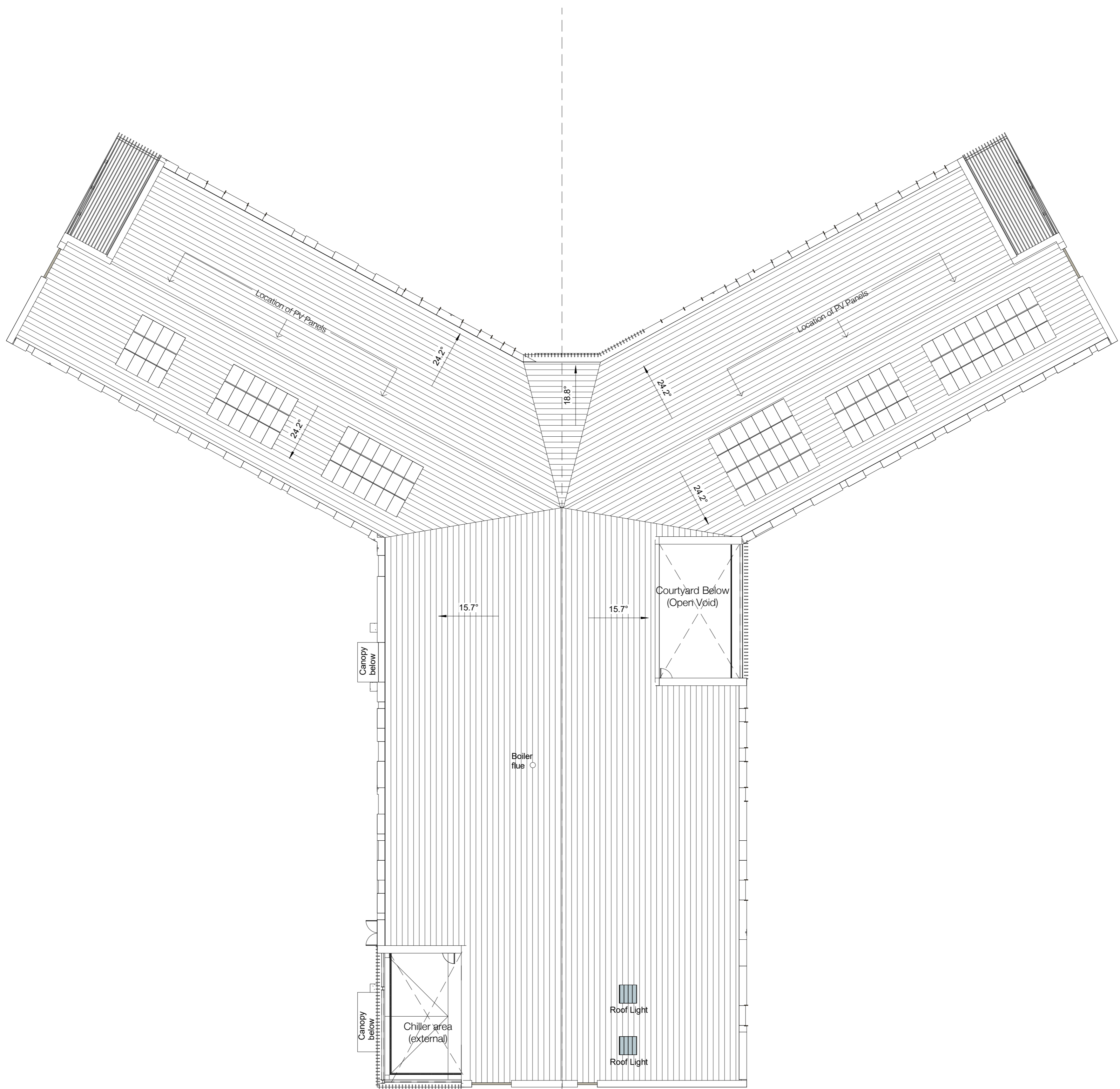
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Scale converter

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Rev.	Date	Amendment
A	03.07.20	First Issue



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Inverness Campus

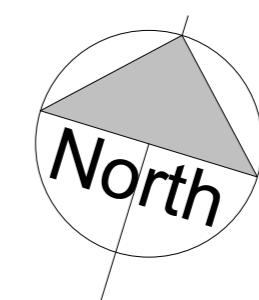
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Roof Plan**

Status
Planning

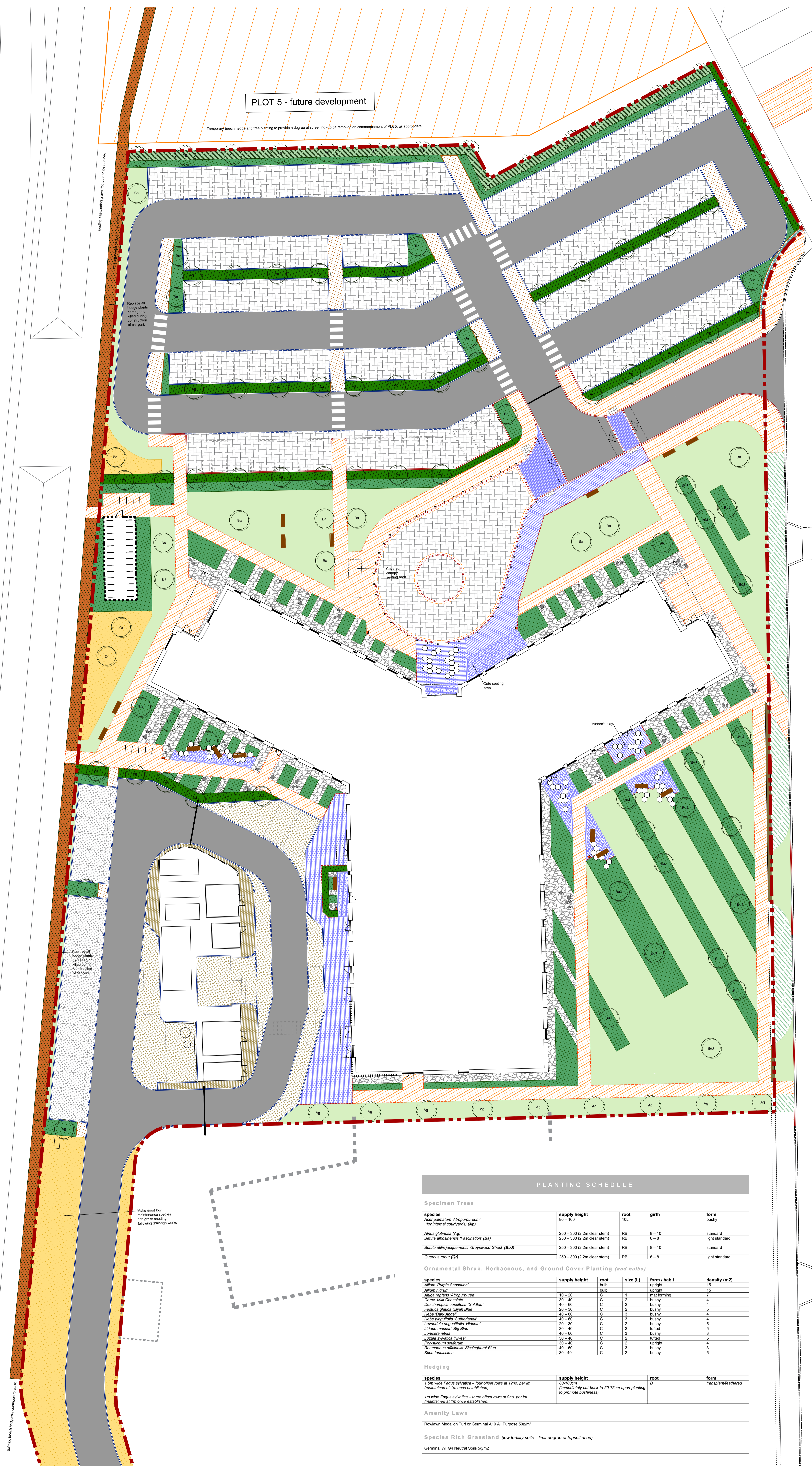
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VISUAL SCALE 1:200 @ A1



PLOT 5 - future development

Temporary beech hedge and tree planting to provide a degree of screening - to be removed on commencement of Plot 5, as appropriate

existing self-binding gravel footpath to be retained

Replace all hedge plants damaged or killed during construction of car park

Covered energy - seating area

Cafe seating area

Children's play

Replace all hedge plants damaged or killed during construction of car park

Make good low maintenance species rich grass seeding following drainage works

PLANTING SCHEDULE

species	supply height	root	girth	form
<i>Acer palmatum 'Nigrum'</i> (for internal courtyard) (Aa)	80 - 100	TOL		bushy
<i>Arnus glutinosa</i> (Ag)	250 - 300 (2.2m clear stem)	RB	8 - 10	standard
<i>Betula albosinensis 'Fascination'</i> (Ba)	250 - 300 (2.2m clear stem)	RB	6 - 8	light standard
<i>Betula utilis 'Jacquemontii'</i> Greywood Ghost (Buj)	250 - 300 (2.2m clear stem)	RB	8 - 10	standard
<i>Quercus robur</i> (Qr)	250 - 300 (2.2m clear stem)	RB	6 - 8	light standard

species	supply height	root	size (L)	form / habit	density (m2)
<i>Abutilon 'Purple Sensation'</i>	80-100cm	bulb		upright	15
<i>Abutilon 'nigrum'</i>		bulb		upright	15
<i>Agave 'nyctaginea'</i>	10 - 20	C	1	mat forming	7
<i>Carex 'Milk Chocolate'</i>	30 - 40	C	2	bushy	4
<i>Deschampsia cespitosa 'Goldilocks'</i>	40 - 60	C	2	bushy	4
<i>Festuca glauca 'Spirit Blue'</i>	30 - 30	C	2	bushy	5
<i>Helle 'Dark Angel'</i>	40 - 60	C	3	bushy	4
<i>Helle 'pinguifolia 'Sutherland'</i>	40 - 60	C	3	bushy	4
<i>Lavandula angustifolia 'Hippocrate'</i>	20 - 30	C	2	bushy	5
<i>Limonium muscari 'Big Blue'</i>	30 - 40	C	2	tufted	5
<i>Lonicera nitida</i>	40 - 60	C	3	bushy	3
<i>Luzula sylvatica 'Nivea'</i>	30 - 40	C	2	tufted	5
<i>Polystichum adnigrum</i>	30 - 40	C	2	upright	4
<i>Roemeria officinalis 'Sissinghurst Blue'</i>	40 - 60	C	3	bushy	3
<i>Stipa tenuissima</i>	30 - 40	C	2	bushy	5

species	supply height	root	form
1.5m wide <i>Fagus sylvatica</i> - four offset rows at 12m. per m (maintained at 1m once established)		B	transplant/feathered
1m wide <i>Fagus sylvatica</i> - three offset rows at 9m. per m (maintained at 1m once established)		B	transplant/feathered

Amenity Lawn

Rowlawn Medation Turf or Geminal A19 All Purpose 55g/m²

Species Rich Grassland (low fertility soils - limit degree of topsoil used)

Geminal WFG4 Neutral Soils 55g/m²

- Site boundary
 - Future development
- SOFT LANDSCAPE**
- Tree planting - soft (allow for irrigation system and timber staking - vertical and horizontal root barriers as appropriate - refer to outline specification)
 - Temporary tree planting - soft (allow for irrigation system and timber staking - vertical and horizontal root barriers as appropriate - refer to outline specification - to be removed/relocated on commencement of Plot 5)
 - Ornamental shrub, herbaceous, groundcover planting (refer to outline specification and planting schedule)
 - Existing beech hedgerow (to be maintained with any failures due to construction replaced)
 - Beech hedgerow (1m/1500mm width planting zone with rabbit proof fencing - four three row - refer to outline specification and planting schedule)
 - Temporary beech hedgerow (1500mm width planting zone with rabbit proof fencing - triple row - refer to outline specification and planting schedule - to be maintained prior to commencement of Plot 5)
 - Species rich grass seeding (refer to outline specification and planting schedule)
 - Existing grass verge (to be made good following completion of all works)
 - Amenity grass seeding/turf (refer to outline specification and planting schedule)
- HARD LANDSCAPE**
- Asphalt road (To Engineer's specification)
 - Permeable block paving (Permeable concrete blocks (to Engineer's specification), 200 x 100 x 60/80mm, charcoal grey, laid herringbone - bay divisions, surrounds and logo to accessible bays identified with white colour top blocks)
 - Block paving (Marshalls Keyblock, 100 x 200 x 80mm, pencil edge, Charcoal Grey, herringbone laid, to Engineer's specification)
 - Block paving (Marshalls Keyblock, 100 x 200 x 80mm, pencil edge, Charcoal Grey, stretcher bond laid, to Engineer's specification)
 - Bespoke hexagonal paving flag details (bespoke precast concrete paving flags (suggest 500mm edge, 1000mm dia (actual size determined following detailed paving layout), 50-60mm thick (approx. 94kg), acid etched, warm silver grey TBC, chamfered edges - suggest Plain Precast for manufacture and advice)
 - Concrete paving (Marshalls Myriad concrete blocks, 200 x 600 x 80mm, mix of Midnight, Twilight and Morning Light, laid stretcher bond)
 - Random sized concrete block paving (Marshalls Myriad concrete blocks, 100 x 200 x 200, and 200 x 400 x 80mm, mix of Midnight, Twilight and Morning Light, laid stretcher bond)
 - Regular sized concrete block paving (Marshalls Myriad concrete blocks 100 x 200 x 80mm, Midnight, laid stretcher bond)
 - Tactile paving (turf coloured 450x450mm tactile paving slabs)
 - Conservation edge course (Conservation Edge 63 x 150 x 915mm, silver grey)
 - Concrete block edge course (Marshalls Myriad concrete blocks 100 x 200 x 80mm, Midnight, double header course)
 - Conservation kerb - standard top (Marshalls Conservation kerb 145 x 255mm, silver grey - allow for standard, drop (dashed), transition, radius, and quadrant kerbs as appropriate)
 - Conservation kerb - wide top (Marshalls Conservation kerb 255 x 205mm, silver grey - all kerbs flush to road level)
 - PCC kerb (125 x 255mm precast concrete kerb, bullnosed - allow for standard, drop (dashed), transition, radius, and quadrant kerbs as appropriate)
 - Aluminium edging
 - Resin bound paving (6mm aggregate, 40mm depth, golden, with aluminium edging - vehicle suitable specification for bus overruns at NHS entrance area)
 - Self-binding gravel footpath (self-binding gravel grey, 50mm depth with 38mm timber edge as necessary)
 - 40-100mm Cobbles (100-150mm depth, 40-90mm Scottish cobbles, on Terram geotextile)
 - Feature Boulders (300-700mm - indicative locations)
- STREET FURNITURE AND BOUNDARY TREATMENT**
- Timber benches (Arform Urban Campus seat, 435x2000x621mm, powder coated anthracite grey RAL 7016/corten colour (TBC) steel frame with exotic timber seat - or similar TBC)
 - Timber benches - backrest (Arform Urban Campus seat with back rest, 780x2000x621mm, powder coated anthracite grey RAL 7016/corten colour (TBC) steel frame with exotic timber seat - or similar TBC)
 - Litter bins (Arform Urban Box litter bin, 110L, 1005x393x400mm, powder coated anthracite grey RAL 7016/corten colour (TBC) steel body with timber door - or similar TBC)
 - Existing stone walling (new access points to be created as shown)
 - Stone walling (UHI typical walling detail)
 - Timber bollards (150x150x1000mm (above ground) hardwood timber bollards with angled top, UHI standard, 1-1.5m ctrs or to suit)
 - Timber bollard fence (150x100x1000mm (above ground) hardwood timber bollards with angled top, UHI standard, 75mm ctrs)

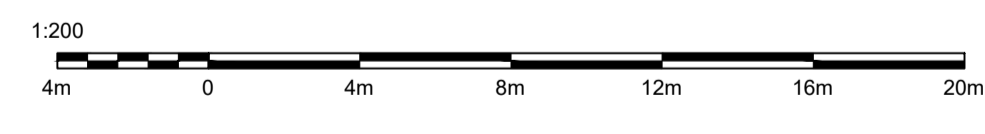
NOTES 1

Replace any damaged or dead beech hedgerow plants as a result of construction works along western boundary.

NOTES 2

Allow for ReRoot 600/1000 vertical root barriers for all trees adjacent/within close proximity of hard surfaces/utilities and ReRoot 2000 for all trees above service runs - TBC with Engineer.

Allow for linear slot drainage channels to tie in with Engineer's drainage proposals, recessed manhole covers, and tactile paving as necessary.



Revision	Date	No.

h+m

horner + maclellan
landscape architects

Client: Balfour Beatty

Project: Elective Care Centre

Drawing Title: Landscape Proposals

Drawing No: TDC-HM-XX-XX-DR-L-101 Revision No: -

Status	PLANNING	Drawn By: KW	Checked By: KH
Scale @ A0	1:200	Date	20.04.20

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