

Agenda Item	5.1
Report No	PLN/044/20

HIGHLAND COUNCIL

Committee: North Planning Applications

Date: 24 November 2020

Report Title: 20/03919/PAN: The Glenmorangie Company
Land 700M NW Of Tower View, Fearn

Report By: Acting Head of Development Management

Purpose/Executive Summary

Description: Erection of whisky maturation warehouses, cask filling and disgorging facility with associated tank farm, tanker filling bay, welfare facilities and car park

Ward: 7 – Tain and Easter Ross

Recommendation

Committee members are is asked to note the submission of the Proposal of Application Notice (PAN) and highlight any material issues that they wish to be brought to the attention of the applicant before the submission of a planning application.

1.0 BACKGROUND

- 1.1 This report informs committee members of the submission of the attached PAN which was received by the Council on 2 October 2020 and validated on 23 October 2020.
- 1.2 The PAN is a statutory requirement for full planning applications for major or national developments and must be lodged at least 12 weeks prior to the submission of a planning application.
- 1.3 The submitted information attached includes:
- Proposal of Application Notice (PAN);
 - Site Location Plan;
 - Existing Site Layout Plan;
 - Proposed Site Layout Plan;
 - Proposed Warehousing Site General Arrangement Plan; and
 - 23 Oct 2020 Prospective Applicant Correspondence (confirming the newspaper advert date and project website address).
- 1.4 In line with Covid-19 public health advice and temporary modifications made to the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, the prospective developer proposes to undertake an online public consultation. This will be in the form of a dedicated website - www.fearnconsultation.co.uk with a presentation outlining the proposal with there being an opportunity to make comments and discuss the proposals. The consultation is anticipated to take place from 30 October to 20 November 2020.
- 1.5 Furthermore, the consultation will still be publicised and advertised in accordance with the appropriate statutory requirements with adverts to be placed within the Ross-Shire Journal. A letter drop will also be undertaken by the applicant to make people aware of the proposed development, the catchment for which has been agreed with the Planning Authority and will cover a 3.5km radius which includes the Seaboard Villages, Hill of Fearn and all other properties that may have visibility of the proposed development.
- 1.6 The forthcoming application will be accompanied by a Pre-Application Consultation (PAC) report explaining the consultation undertaken, feedback received, and any resultant amendments made to the planning application.

2.0 DESCRIPTION OF PROPOSED DEVELOPMENT

- 2.1 Based on the description of development contained within the proposal of application notice, and the submitted supporting information lodged, the proposal is for the erection of approximately 20 whisky maturation warehouses, cask filling and disgorging facility with associated tank farm, tanker filling bay, welfare facilities and car park. The applicant has advised that the maturation warehouses are proposed to be constructed over a 10 year period, with the processing facility to be provided in 5 years time.

- 2.2 The purpose of the proposed infrastructure is to support an increase in whisky production (Glenmorangie and Ardbeg brands with distilleries in Tain and Islay). From a logistics perspective, whisky maturation requires little in the way of interaction and the warehouses could be situated anywhere between Tain and the applicant's bottling facility located in the central belt of Scotland.
- 2.3 The prospective applicant has sought formal pre-application advice from the Planning Authority via the Pre-Application Advice Service for Major Developments. The pre-application meeting took place in August 2020 with the pre-application advice pack having been issued on 9 September 2020.

3.0 SITE DESCRIPTION

- 3.1 The proposed development would be situated on land which formed part of Fearn Aerodrome which was formally a military base from the 1940s to the 1970s and is now used as a business / industrial estate and agricultural ground, with remains of the former military use/buildings still evident, including the category C(s) listed Control Tower (LB 47342) to the south. In recent years a large potato cold store building with graded area has been formed, with a new access road. The proposed development intends to utilise this access.
- 3.2 The site does not fall within or particularly close to any natural heritage designations. The landscape is very open with the principal visual receptors being users of the B9166 to the north which links the Seaboard Villages to the east with the village of Hill of Fearn to the west and the A9. There are trees present within the site with forestry mapping showing an area to the north-west of the site as 'Native Woodland' albeit that it appears that part of this woodland has been previously felled during the military use. The former uses of the site may have resulted in contamination which requires further site investigation. The site also sits within the aviation safeguard area (Civil Aviation Authority consultation area) for the nearby Easter Airfield which sits to the south of Fearn aerodrome.

4.0 DEVELOPMENT PLAN

The following policies are relevant to the assessment of the proposal:

4.1 Highland Wide Local Development Plan (2012)

- 28 - Sustainable Design
- 29 - Design Quality & Place-making
- 30 - Physical Constraints
- 31 - Developer Contributions
- 36 - Development in the Wider Countryside
- 41 - Business and Industrial Land
- 42 - Previously Used Land
- 51 - Trees and Development
- 52 - Principle of Development in Woodland
- 55 - Peat and Soils
- 56 - Travel
- 57 - Natural, Built & Cultural Heritage
- 58 - Protected Species

- 59 - Other Important Species
- 60 - Other Important Habitats
- 61 - Landscape
- 63 - Water Environment
- 64 - Flood Risk
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage
- 72 – Pollution

4.2 Inner Moray Firth Local Development Plan (2015)

The site is neither allocated for development nor safeguarded from development in the Inner Moray Firth Local Development Plan. The site is in close proximity to the northern boundary of the Fearn Aerodrome Strategic Employment Site, allocation FE1, a 45ha site identified for business and industrial land uses.

4.3 Highland Council Supplementary Guidance

- Developer Contributions (November 2018)
- Flood Risk & Drainage Impact Assessment (Jan 2013)
- Green Networks (Jan 2013)
- Highland Historic Environment Strategy (Jan 2013)
- Highland's Statutorily Protected Species (March 2013)
- Managing Waste in New Developments (March 2013)
- Physical Constraints (March 2013)
- Public Art Strategy (March 2013)
- Roads and Transport Guidelines for New Developments (May 2013)
- Special Landscape Area Citations (June 2011)
- Standards for Archaeological Work (March 2012)
- Sustainable Design Guide (Jan 2013)
- Trees, Woodlands and Development (Jan 2013)

4.4 Scottish Government Policy and Guidance

- Scottish Planning Policy (June 2014)
- National Planning Framework for Scotland 3 (Jun 2014)

5.0 POTENTIAL MATERIAL PLANNING CONSIDERATIONS

- a) Compliance with the Development Plan and other planning policy;
- b) Planning history;
- c) Landscape and visual impact (including site landscaping);
- d) Natural heritage (including tree impacts);
- e) Built and cultural heritage;
- f) Water environment (flood risk, drainage and private water supplies);
- g) Contaminated land and soils;
- h) Roads, transport, access and recreation;
- i) Residential amenity (including noise, dust, odour, air quality and lighting);
- j) Construction impacts;
- k) Aviation impacts;

- l) Health and safety (hazardous substances consent); and
- m) Any other material considerations raised within representations.

6.0 CONCLUSION

6.1 The report presents the information submitted to date as part of the PAN. Summarised are the policy considerations against which any future planning application will be considered as well as the potential material planning considerations and key issues based on the information available to date. The list is not exhaustive and further matters may arise as and when a planning application is received and in the light of public representations and consultation responses.

7.0 IMPLICATIONS

7.1 Not applicable.

8.0 RECOMMENDATION

8.1 It is recommended the committee members note the submission of the PAN and advises of any material issues it wishes to be brought to the applicant's attention.

Designation: Acting Head of Development Management
Author: Peter Wheelan
Background Papers: Documents referred to in report and in case file.

Relevant Plans: Plan 1 - Proposal of Application Notice (PAN)
Plan 2 - Site Location Plan
Plan 3 - Existing Site Layout Plan
Plan 4 - Proposed Site Layout Plan
Plan 5 - Proposed Warehousing Site General Arrangement Plan
Plan 6 - 23 Oct 2020 Prospective Applicant Correspondence

PROPOSAL OF APPLICATION NOTICE MOLADH BRATH IARRTAIS

The Town and Country Planning (Scotland) Act 1997 as amended by the Planning Etc. (Scotland) Act 2006
Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2008

The Council will respond within 21 days of receiving the Notice. It will advise whether the proposed Pre-application Consultation is satisfactory or if additional notification and consultation above the statutory minimum is required. Please note that a planning application for this proposed development cannot be submitted less than 12 weeks from the date the Proposal of Application Notice is received by the Council and without the statutory consultation requirements having been undertaken. The planning application must be accompanied by a Pre-application consultation report.

Applicant <u>THE GLENMORANGIE COMPANY</u>	Agent <u>BLYTH AND BLYTH</u>
Address <u>THE CUBE</u> <u>45 LEITH STREET</u> <u>EDINBURGH, EH1 3AT</u>	Address <u>60 SOUTH GYLE CRESCENT</u> <u>EDINBURGH</u> <u>EH12 9EB</u>
Phone No. <u>0131 603 8888</u>	Phone <u>0131 474 2700</u>
E-mail <u>D.Montgomery@glenmorangie.co.uk</u>	E-mail <u>mike.horsburgh@blythandblyth.co.uk</u>

Address or Location of Proposed Development Please state the postal address of the prospective development site. If there is no postal address, please describe its location. Please outline the site in red on a base plan to a recognised metric scale and attach it to this completed Notice

LAND 700m NW OF TOWER VIEW, FEARN.

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Description of Development Please include detail where appropriate – eg the number of residential units; the gross floorspace in m² of any buildings not for residential use; the capacity of any electricity generation or waste management facility; and the length of any infrastructure project. Please attach any additional supporting information.

ERECTION OF WHISKY MATURATION WAREHOUSES, CASK FILLING AND DISGORGING FACILITY WITH ASSOCIATED TANK FARM, TANKER FILLING BAY, WELFARE FACILITIES AND CARPARK.

Pre-application Screening Notice

Has a Screening Opinion been issued on the need for a Proposal of Application notice by the Highland Council in respect of the proposed development?

If yes please provide a copy of this Opinion.

YES........

NO.....

Community Consultation [See checklist of Statutory minimum consultation attached]

State which other parties have received a copy of this Proposal of Application Notice.

Community Council/s	Date Notice Served
F.EARN... COMMUNITY... COUNCIL.....	01 - 10 - 20
BALINTORE AND HILTON COMMUNITY COUNCIL.....	01 - 10 - 20
NIGG AND SHANDWICK COMMUNITY COUNCIL.....	01 - 10 - 20
Names/details of any other parties	Date Notice Served

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.....

Please give details of proposed consultation

Proposed public event	Venue	Date and time
ONLINE... CONSULTATION... VIA NEW... WEBSITE... DUE TO... COVID... RESTRICTIONS... WEB PAGE TO BE SHOWN ON ADVERT.		

Newspaper Advert – name of newspaper	Advert date(where known)
ROSS-STARRE... JOURNAL.....	TBC.....

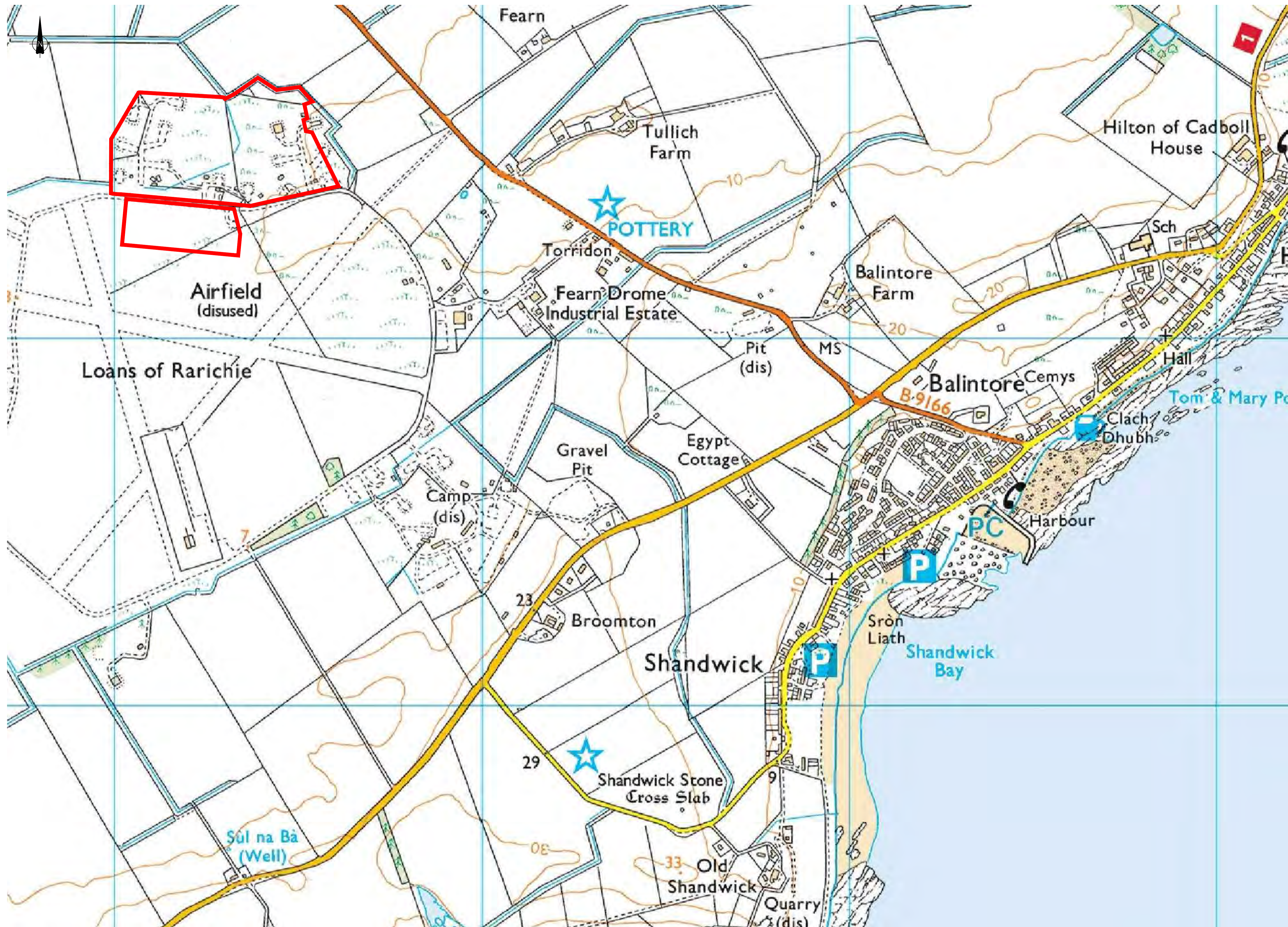
Details of any other consultation methods (date, time and with whom)

.....
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Signed 

Date... 02-10-20.....

0 5 10 20 30 40 50 60 70 80 90 100 millimetres



LEGEND

— SITE BOUNDARY

NOTES

- 1. FOR PROPOSED SITE PLAN, REFER TO DRAWING EC21423-PL-003.

Revisions	Date	Drm.

PRE PLANNING

The GLENMORANGIE COMPANY

PROPOSED WAREHOUSING
FEARN, TAIN

SITE LOCATION
PLAN

Drawn: KP	Ck'd: MH	Scale: 1:1000 @ A1
Date: 07.07.20	Date: 07.07.20	DO NOT SCALE

BLYTH&BLYTH

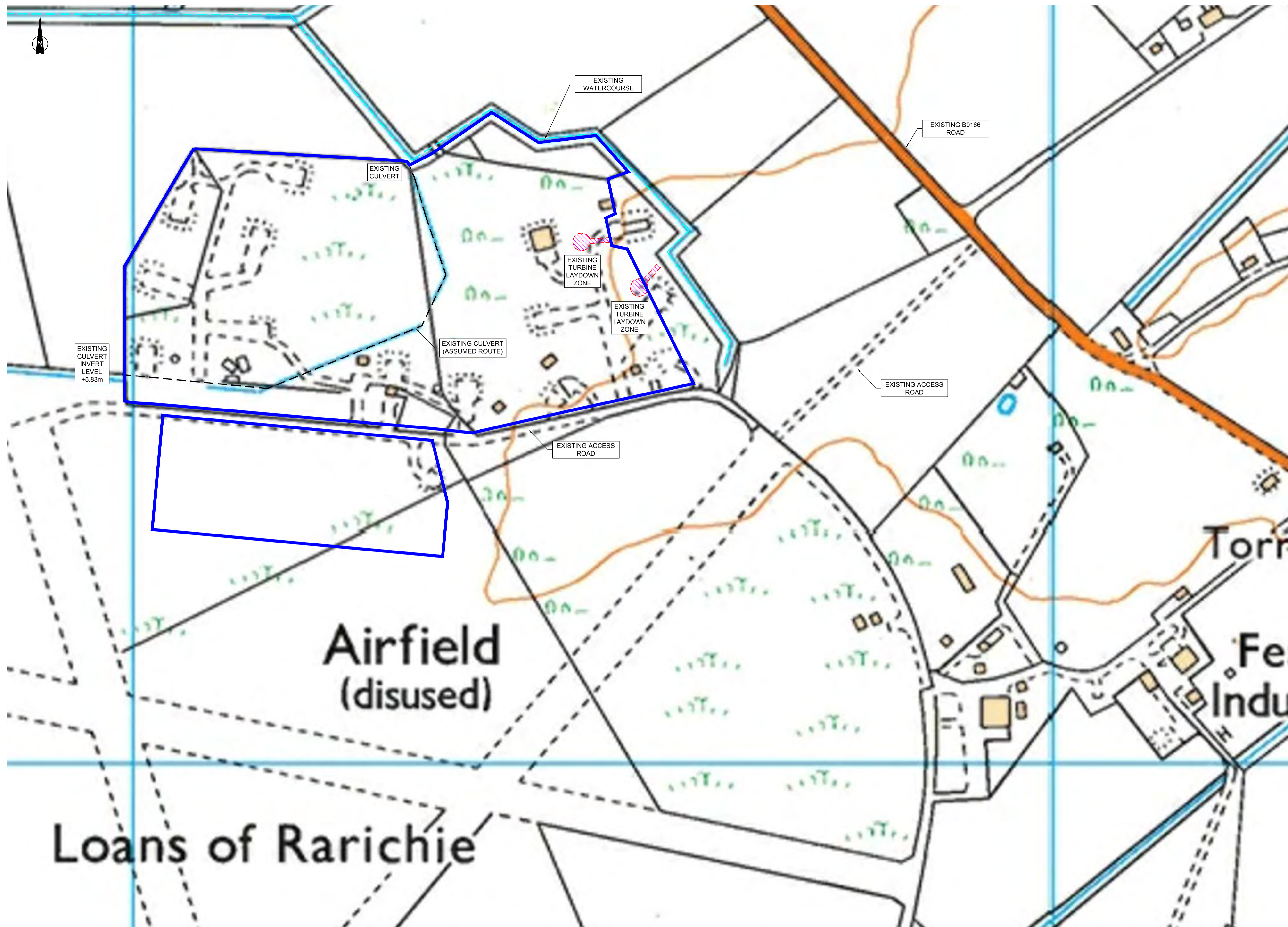
Comerstone, 60 South Gyle Crescent
Edinburgh EH12 9EB

Email: edinburgh@blythandblyth.co.uk
www.blythandblyth.co.uk Telephone: 0131 474 2700

Drawing No. EC21423:PL001	Revision -
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SITE LOCATION PLAN
SCALE 1:5000





- LEGEND**
- SITE OWNERSHIP BOUNDARY
 - - - EXISTING CULVERT (ASSUMED ROUTE)
- NOTES**
1. FOR SITE LOCATION PLAN, REFER TO DRAWING EC21423.PL-001.
 2. FOR PROPOSED SITE PLAN, REFER TO DRAWING EC21423.PL-003.

EXISTING CULVERT INVERT LEVEL +5.83m

Airfield (disused)

Loans of Rarichie

Torr
Fe
Indu

EXISTING SITE LAYOUT
SCALE 1:2000



Revisions	Date	Drn.

PRE PLANNING

The
GLENMORANGIE
COMPANY

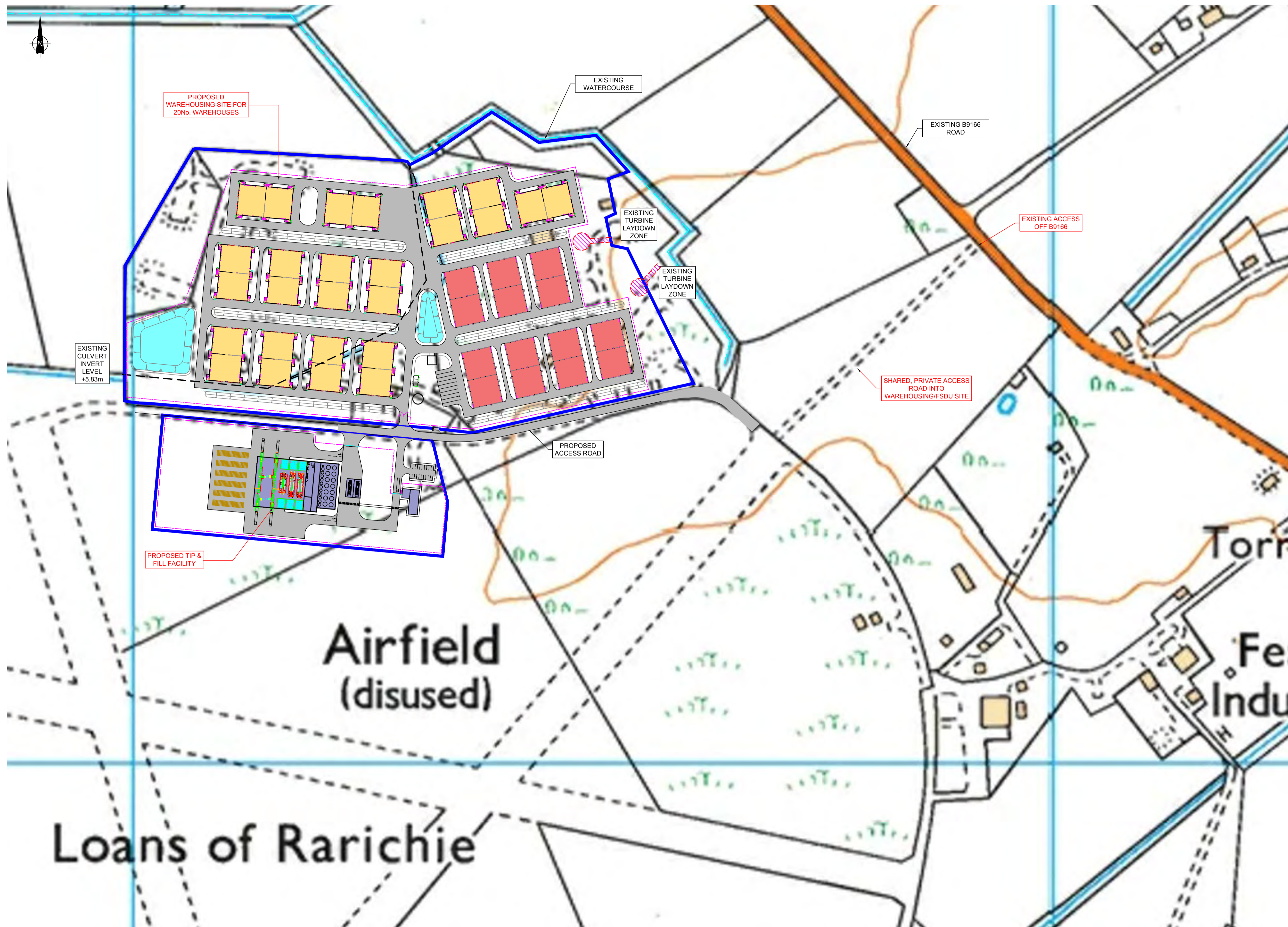
PROPOSED WAREHOUSING
FEARN, TAIN

EXISTING SITE LAYOUT

Drawn: KP	Ck'd: MH	Scale: 1:1000 @ A1
Date: 07.07.20	Date: 07.07.20	DO NOT SCALE

BLYTH&BLYTH
Cornerstone, 60 South Gyle Crescent
Edinburgh EH12 9EB
Email: edinburgh@blythandblyth.co.uk
www.blythandblyth.co.uk Telephone: 0131 474 2700

Drawing No.	Revision
EC21423:PL002	-



LEGEND

- SITE OWNERSHIP BOUNDARY
- - - EXISTING CULVERT (ASSUMED ROUTE)
- SITE SECURITY FENCE
- ACCESS ROADS
- PALLETISED WAREHOUSE
- RACKED WAREHOUSE

- NOTES**
1. FOR SITE LOCATION PLAN, REFER TO DRAWING EC21423-PL-001.
 2. FOR PROPOSED SITE GA, REFER TO DRAWING EC21423-PL-004.

Revisions	Date	Drn.
A SITE PLAN REVISED.	21.10.20	KP

**PRE
PLANNING**

The
GLENMORANGIE
COMPANY

PROPOSED WAREHOUSING
FEARN, TAIN

PROPOSED SITE
LAYOUT

Drawn: KP	Ck'd: MH	Scale: 1:1000 @ A1
Date: 07.07.20	Date: 07.07.20	DO NOT SCALE

BLYTH&BLYTH
Cornerstone, 60 South Gyle Crescent
Edinburgh EH12 9EB
Email: edinburgh@blythandblyth.co.uk
www.blythandblyth.co.uk Telephone: 0131 474 2700

Drawing No. EC21423:PL003	Revision A
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EXISTING SITE LAYOUT
SCALE 1:2000



Loans of Rarichie

Airfield
(disused)

Torr

Fe
Indu

PROPOSED
WAREHOUSING SITE FOR
20No. WAREHOUSES

EXISTING
WATERCOURSE

EXISTING B9166
ROAD

EXISTING
TURBINE
LAYDOWN
ZONE

EXISTING
TURBINE
LAYDOWN
ZONE

EXISTING ACCESS
OFF B9166

EXISTING
CULVERT
INVERT
LEVEL
+5.83m

SHARED, PRIVATE ACCESS
ROAD INTO
WAREHOUSING/FSDU SITE

PROPOSED
ACCESS ROAD

PROPOSED TIP &
FILL FACILITY

0 5 10 20 30 40 50 60 70 80 90 100 millimetres



SPACE BETWEEN EXISTING FENCELINE SITE OWNERSHIP BOUNDARY TO SITE SECURITY FENCE TO BE LANDSCAPED / BUNDED

EXISTING CULVERT INVERT TO BE INVESTIGATED AND DIVERTED / RE-ROUTED

EXISTING TREE BELT TO REMAIN

EXISTING CULVERT

EXISTING TREE BELT TO REMAIN

EXISTING TURBINE LAYDOWN ZONE

EXISTING TURBINE LAYDOWN ZONE

SUDS Pond

SUDS Pond

EXISTING CULVERT INVERT LEVEL +5.83m

INCOMING UTILITIES ADJACENT TO NEW ROAD

15m Wide Access strip to be maintained at all times

- LEGEND**
- SITE OWNERSHIP BOUNDARY
 - SITE SECURITY FENCE
 - ACCESS ROADS
 - PALLETISED WAREHOUSE
 - RACKED WAREHOUSE
 - EXISTING CULVERT (ASSUMED ROUTE)
 - 1 CAR PARKING
 - 2 GATEHOUSE
 - 3 OFFICE/WELFARE
 - 4 TANKER BAY
 - 5A TANK FARM
 - 5B PROCESS AREA
 - 6 TIP & FILL FACILITY
 - 7 CASK STORAGE AREA
 - 8 PALLETISED WAREHOUSE
 - 9 RACKED WAREHOUSE
 - 10 DRAINAGE SWALE
 - 11 FORK LIFT CHARGING BAY
 - 12 TRAILER PARKING
 - 13 LV SWITCHROOM
 - 14 FIRE WATER STORAGE TANK
 - 15 HV SWITCHROOM

- NOTES**
1. FOR TYPICAL PALLETISED WAREHOUSE ELEVATIONS, REFER TO DRAWING EC21423-PL-005.
 2. FOR TYPICAL RACKED WAREHOUSE ELEVATIONS, REFER TO DRAWING EC21423-PL-006 & 007.

Revisions	Date	Drm.
A SITE PLAN REVISED.	21.10.20	KP

PRE
PLANNING

The
GLENMORANGIE
COMPANY

PROPOSED WAREHOUSING
FEARN, TAIN

PROPOSED WAREHOUSING
SITE GENERAL ARRANGEMENT

Drawn: KP	Ck'd: MH	Scale: 1:1000 @ A1
Date: 07.07.20	Date: 07.07.20	DO NOT SCALE

BLYTH & BLYTH

Cornerstone, 60 South Gyle Crescent
Edinburgh EH12 9EB
Email: edinburgh@blythandblyth.co.uk
www.blythandblyth.co.uk Telephone: 0131 474 2700

Drawing No. EC21423:PL004	Revision A
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PROPOSED WAREHOUSING SITE LAYOUT
SCALE 1:1000

0 10 20 30 40 50m 1:1000@A1
100m