

Agenda Item	6.4
Report No	PLS-060-20

HIGHLAND COUNCIL

Committee: South Planning Applications Committee
Date: 08 December 2020
Report Title: 20/02471/FUL: Boleskine House Foundation SCIO
Baile Os-Ceann, Foyers, Inverness, IV2 6XT
Report By: Area Planning Manager – South

Purpose/Executive Summary

Description: Reinstatement and alterations to fire damaged house; siting of 10No holiday twin-units, reception, store, car parking; installation of sewage treatment plant

Ward: 12 – Aird and Loch Ness

Development category: Local

Reason referred to Committee: Manager's discretion

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **Grant** planning permission as set out in section 11 of the report.

1. PROPOSED DEVELOPMENT

1.1 The proposal is split into two distinct but inter-related parts:

- reinstate and make alterations to the fire damaged Boleskine house, so that it can operate as a residential property again
- construct 10 holiday units, a reception, store, car parking and servicing, all to the southwest of the house

The holiday units are individually set into the hillside with grass roof and comprise 1 and 2 bedroom units. There are four different designs, but they follow the same theme with larch timber cladding, double glazed timber windows and doors and a green roof system. Retaining walls formed from gabion baskets filled with stone and topped with turf will set each cabin into their individual location on the site.

1.2 Boleskine House itself has its own driveway and gatehouse. This remains unchanged. Access to the field accommodating the cabins largely remains unchanged. There is an existing one way access/egress arrangement and the egress will be widened to allow better turning onto the single track road.

1.3 Pre Application Consultation: The applicant was advised that the restoration of Boleskine House is generally acceptable. In terms of the cabins, at the time of the Pre-App, there was little information about them, but it was felt that the concerns raised would most likely be mitigated by design, landscaping and screening measures.

1.4 Supporting Information:

- Design and Heritage Statement
- Habitat Survey
- Protected Species Survey Report,
- Traffic Statement
- Written Scheme of Investigation for Proposed Archaeological Work

1.5 Variations: widen the egress to the site

2. SITE DESCRIPTION

2.1 The proposed development site forms an area of grassed sloping ground to the southwest of Boleskine House in an area of ground bounded to the northwest by the Inverness to Foyers public road (B852). There is woodland to the southeast with views over Loch Ness to the northwest. The Boleskine estate has an elevated position that typically slopes upward to the south east.

2.2 Boleskine House is a Category B listed building and has been largely destroyed following two significant fires in 2015 and 2019. The building is laid out in a 'U' plan form enclosing a courtyard to the south east with a formal frontage, facing the loch, to the north west.

2.3 As part of the estate, there are other built structures at various locations including a Gate Lodge, the Coach House and a pig shed as well as a small covered log store.

3. PLANNING HISTORY

- 3.1 24 June 2020 20/01665/LBC - Repair and reinstatement works Listed building consent granted
- 3.2 20/02817/LBC - Reinstatement of fire-damaged building, with some alterations; not including full internal fit-out Pending decision

4. PUBLIC PARTICIPATION

4.1 Advertised: Unknown neighbour

Date Advertised: 17.07.2020

Representation deadline: 31.07.2020

Timeous representations: 3

Late representations: 221 (69 objection, 152 support, 3 neutral)

4.2 Material considerations raised are summarised as follows:

- a) Traffic generation and adequacy of existing infrastructure
- b) Noise and disturbance
- c) Impact on nature and Protected Species
- d) Trees
- e) Impact on local heritage
- f) Access and flooding on to the public road
- g) Significant changes to listed building.

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Historic Environment Team:** In terms of Boleskine House, all comments will be addressed through the Listed Building Consent (20/02817/LBC) application. There is sufficient spatial and visual separation between the holiday units and ancillary development and Boleskine House that the setting of the listed building will not be adversely affected. The proposal therefore accords with Policy 57.

5.2 **Flood Team:** No objection

5.3 **Forestry:** No objection

5.4 **Contaminated Land:** No objection

5.5 **Transport Planning Team:** Improvements are required to the egress to ensure compliance with standards. The Planning Authority should seek improvements to the public road to take account of the increase in vehicle movements. These include:

1. Ensuring visibility splays are maintained;

2. Passing place next to egress needs extended;
3. Stabilising the carriageway opposite egress;
4. Historic wired vehicle restraint system along the loch-side edge of the carriageway needs assessment and strengthening;
5. Road surfacing at the proposed access needs improving;
6. Bridge culvert north of proposed access requires a change to its surface to draw attention to the bridge and reduce traffic speeds;
7. Bridge culvert north of cemetery requires new signage and change to surface to draw attention to the bridge and reduce traffic speeds;
8. If trees are to be removed near access to Boleskine House, make formal passing place;
9. Any increase in the use of the access to Boleskine House will require improvements;
10. The carriageway in front of the Gate House is being used as a passing place. There needs to be a scheme to improve that.
11. Carriageway is deteriorating between the Gate House and the proposed egress. An overlay of the carriageway with suitable edge of road markings would protect against further deterioration as a result of increased traffic movements. A proportionate proposal would be the extent of overlay to the existing carriageway required of this development is limited to the points where works are being sought, being the proposed access and egress arrangement for the lodges and the new passing place being sought in the vicinity of the existing Gate House.
12. Removal of rock for realignment of egress may be difficult to deliver suitable gradient.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application:

6.1 Highland Wide Local Development Plan 2012

28 - Sustainable Design
 29 - Design Quality & Place-making
 44 - Tourist Accommodation
 51 - Trees and Development
 56 - Travel
 57 - Natural, Built & Cultural Heritage
 66 - Surface Water Drainage

6.2 Inner Moray Firth Local Development Plan 2015

No specific policies apply.

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

Not applicable

8. PLANNING APPRAISAL

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.
- 8.2 Section 59 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states that when considering whether to grant planning permission for development that affects a listed building or its setting, a planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Determining Issues

- 8.3 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.4 The key considerations in this case are:
- a) compliance with the Development Plan and other planning policy
 - b) design and layout
 - c) roads and access
 - d) habitat and trees
 - e) historic environment
 - f) any other material considerations.

Development Plan/other planning policy

- 8.5 The Highland-wide Local Development Plan supports tourism development where the scale of the proposal is proportionate to the location, where it will increase the length of peoples' stay, increase visitor spending, promote a wider spread of visitors and where it will have a positive effect on natural, built and cultural heritage features. In addition, tourism development is supported where it is essential to the operation of a new rural business, where it involves re-use of brownfield land and where it can demonstrate sensitive siting and high quality design in keeping with the character of the area and the historic and natural environment.
- 8.6 However, there are a number of other key policy considerations against which the development must be assessed, including the siting, layout and design of the proposal and the impact it could have on natural and cultural heritage features. This includes the potential impacts on trees, landscape setting and other natural, built and cultural heritage assets. All development proposals need to be assessed against the importance and type of heritage features, form and scale of development and impact on the feature or setting.

- 8.6 In addition, proposals should contribute to the economic and social development of the community without significantly impacting on existing services and/or infrastructure or on individual and community residential amenity.
- 8.7 Subject to the proposal having no significantly detrimental impact on the landscape setting, the setting of the listed building, on existing infrastructure and on individual and community amenity, the proposal would accord with the development plan.

Siting and Design

- 8.8 The proposed cabins are sunk into the hillside, each individually designed to the topography of the land in which it sits. Visible walls are larch timber clad with timber windows and doors and a green roof system. Domed circular roof lights bring daylight into the cabins. The gatehouse reception is similarly designed. These traditional materials and the individual nature of each cabin are considered acceptable.
- 8.9 While there are no immediate neighbours to this site, the impact of light from the site must be considered. In this regard the applicant submitted a cabin lighting and screening study. From the B852 public road, the mature trees and steep hillside will largely block any views of the cabins. However, the site can be seen from across Loch Ness, although from 1.2 miles away, the cabins would be difficult to see. The cabin site is to have sensor operated low level lighting that is designed to have very little visual impact.

Roads and Access

- 8.10 Policy 56 of the Highland wide Local Development Plan requires that any development that may involve traffic generation to provide for sustainable modes of transport, in particular walking and cycling and may require developers to make some contribution to the walking/cycling network. The policy also requires an appropriate level of parking provision. In this case, the applicant has provided a large parking area with 29 car parking spaces including two disabled bays within the woodland on the existing access and open area on the lower slopes of the hillside. This is below all of the units. The applicant has indicated that this car park will be available for the local community to use when visiting the adjacent cemetery which at present has limited car parking and when busy can cause blockages for larger vehicles on this narrow section of the B852.
- 8.11 Transport Planning has provided a detailed assessment of access and roads matters relating to the proposal. These are set out in Paragraph 5.5 above. Discussion with the applicant and Transport Planning has identified that:
1. In order to comply with current standards, the applicant will need to widen the egress from the site on to the B852 to ensure a safe turning to the north as well as the south. They will further widen this part of the B852 to extend the existing passing place to the north of the egress. Full details of this can be conditioned.
 2. The applicant has agreed to extend the passing place adjacent to the egress and again this can be conditioned.
 3. The applicant does not own the road or land to the north west of the road where the works are required but has suggested that a financial contribution is agreed for the works as the Council has greater powers to improve the road network

and works to adjoining lands. Transport Planning, in response to this, advised that the applicant should deliver the requested mitigation, using the land they can get permission to use, including the land within the public road boundary. This can be conditioned.

4. The applicant does not own the road or land to the north west of the road where the works are suggested. Transport Planning, in response to this, advised that there is a requirement for an assessment of the need to install a vehicular restraint system along the wester edge of the B852 in the vicinity of the proposed egress. If the assessment concludes that a barrier is required, this should be constructed before the cabin development comes into operation. This too can be secured by condition.
5. The applicant has agreed to re-surface the access to the holiday accommodation, to form a new passing place to the north of the proposed access and to resurface the bellmouth.
6. The applicant has agreed to re-surface the bridge culvert north of the proposed access with a thin buff overlay.
7. The applicant has agreed to re-surface the bridge culvert north of the cemetery just south of the existing access to Boleskine House with a thin buff overlay and provide additional signage as required.
8. The applicant clarified that there was no proposal to remove the mature trees opposite Boleskine Lodge, just to the south of the Gate House into Boleskine House. Transport Planning accepted this and removed the requirement for a new formal passing place.
9. The applicant clarified that use of the access into Boleskine House at the Gate Lodge access would be limited to the owner's personal vehicle only offering a reduction in the use of the access. As such, and as it is an existing access, it is not considered appropriate to make this a condition of any planning permission.
10. The applicant has confirmed that the Gate Lodge is not in their ownership and is listed along with the railings and gates for Boleskine House. In addition, there are a number of mature trees forming part of the setting for the listed building. At present the space immediately in front of the gates and the Gate House is used as an informal passing place. It is accepted that formalising a passing place at this location would require works that would affect the listed structures and the setting of the listed building. However, a condition can be included to require the applicant to provide some level of improvement for road users.
11. The applicant has agreed to overlay the existing carriageway at the points where works are being - the proposed access and egress arrangement for the lodges. Road marking can also be sought.
12. The applicant has confirmed that the removal of rock for realignment of the egress has been assessed and noted. Full details of the egress works can be conditioned.

- 8.13 The applicant has pointed out that this application is for 10 cabins with weekly rentals. At the peak of the summer, when fully occupied, this equates to 14 vehicles per week. Given the number of vehicles using the B852 to travel around the loch and visit sights like the Falls of Foyers (in the region of 70,000), 14 additional vehicles per week is not considered significant. As such the agreed improvements, that can be conditioned, are considered proportionate and appropriate for the proposed development.

- 8.14 The Access Officer identified some use of the site for access from the B852 to the network of forest paths, some of which are Core Paths, and the South Loch Ness Trail, uphill (southeast) of the site. Local aspiration to see this path formalised was also highlighted. In response to this, the applicant has identified a route through the site as a new public access footpath connection. The Access Officer is satisfied this is sufficient in terms of retaining public access through the site.

Habitat and Trees

- 8.15 The Forestry Officer has confirmed that 15 trees are proposed to be removed while all the other trees and woodland on the site are to be retained and safeguarded from construction. The trees proposed for removal are generally located around the access/egress and the majority of which have been assessed as being Category C trees (low quality with an estimated remaining life expectancy of 10 years). There is one Category B tree (medium quality with an estimated remaining life expectancy of 20 years) to be removed close to where the gatehouse building will be. The Forestry Officer accepts this proposal and is satisfied that the impact on the wider environment is not significant and the proposal to plant trees to provide a setting for the cabins mitigates the loss of the 15 trees.
- 8.16 The applicant has submitted a Phase 1 Habitat Survey and Protected Species Survey Report which states that “there are no statutory or non-statutory sites designated for their nature conservation interest on the site or adjacent to it.” The survey does not identify any evidence of bats, water voles, red squirrels, pine martens, reptiles or Scottish wildcats. There was no evidence of otters, but it was noted that they may commute to feeding areas along the burn that runs north west through the site. Only one bird, a single pied wagtail, was observed on the site along with some moths and butterflies. The report makes some recommendations regarding construction timings which should be conditioned. Taking all the above into account, it is not considered that the proposal will have a significant adverse impact on the natural environment.

Historic Environment

- 8.17 The Historic Environment Team has not objected to this application and advised that details relating to the proposed reinstatement and alterations to the listed building will be considered in the associated application for Listed Building Consent. The principle of restoration of the Category B listed building as a house is considered to accord with Development Plan Policies 28 Sustainable Design, 29 Design Quality and Place-Making, 57 Natural, Built and Cultural Heritage, and is supported by National Policy. The restoration is to be welcomed. The materials to be used in the restoration works are to match those of the original house. The full details of this will be assessed within the associated Listed Building Consent application.
- 8.18 The applicant has indicated that the proposal for the holiday accommodation is to provide a viable plan for an income for the house and estate. The estimated rebuild of Boleskine House is £1.2 million, and this does not include the upkeep and maintenance of the house and the lands once restored. It is a precondition of heritage grants that a feasibility for longevity is demonstrated. Many donors also insist on a feasibility plan for the estate to be self-sustaining before donating significant sums of money. In order to borrow from official lending bodies (for example, the Architectural

Heritage Fund) the applicant must demonstrate feasibility to repay the borrowing. The cabin development is that feasibility and the borrowing could cover the balance required to finish the restoration of the house.

- 8.19 The holiday units and ancillary development are located to the southeast of Boleskine House. The Historic Environment Team advises that there is sufficient spatial and visual separation between the holiday units and Boleskine House to ensure that the setting of the listed building will not be adversely affected. This development does not, therefore, raise any significant issues in conservation terms. The reconstruction of the Category B listed building is considered to meet the general duties which Planning Authorities have to exercise in respect of s59 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997, as it will aid in the preservation of the remaining original building, its setting and architectural and historic interest.

Other material considerations

1. Economic and social benefit to the community

- 8.20 It is worth noting the substantial number of letters of support of this proposal. These letters refer to the positive impact the holiday accommodation will have for the local community, bringing revenue to the Foyers area through employment and tourism. Letters also refer to the benefits of restoring a historic building to its former status as a house. The car park will provide somewhere for visitors to the cemetery to park rather than parking in the passing places and a new footpath will provide walkers and cyclists with a route off the B852. Positive tourism will be created from those interested in Scottish history, religious history, archaeology, wildlife, architecture and craftsmanship.

2. Adverse impact upon historic fabric by selling bags of material on-line

- 8.21 The selling of waste material on-line to help fund the restoration, is not problematic in itself; the material in question is charred timber, broken plaster and tiny fragments of stone, which would all otherwise have ended-up in a landfill site

3. Procedural confusion over change-of-name of site

- 8.22 The registered postal address uses the Gaelic version of the name, which appears to have confused the many objectors who are not resident in the Highland area. The use of this name, in preference to its English version, has no material effect on the ability of the Council to determine the application. The land is easily identifiable.

Non-material considerations

- 8.23 The house has an interesting history, with early associations to General Wade and later with the ownerships of Aleister Crowley and later still Jimmy Page. The applicant does not seek to celebrate any particular one of these characters but through the restoration of the house provide an opportunity to tell some of that story. Many representations focus on the association with Aleister Crowley in particular.

- 8.24 These representations do nothing other than detract from consideration of the key planning issues discussed above. There is no evidence to substantiate any claims made in these representations and even if there was it is not relevant to the determination of this application. The planning authority is required to have regard only to relevant and material planning considerations in its assessment of the proposal. These matters should therefore be set aside.

Matters to be secured by Section 75 Agreement

- 8.25 None

9. CONCLUSION

- 9.1 While it is accepted that Boleskine House has a long, complicated and emotive past, the Planning Authority is bound by legislation to consider only the planning merits of the proposal. When looking at those, this is simply an application to restore a fire damaged, Category B listed building, and reinstate its use as a house, and to construct 10 cabins for holiday rentals within the estate that will enable the applicant to achieve this aim.
- 9.2 The principle of restoring a listed building and bringing part of the built heritage back into use is very much supported in local and national policy. In this case the applicant has confirmed that the house is to be used as a residential property. Any changes to that use would require a further application for planning permission, which would be assessed on its merits.
- 9.3 Taking into account the responses from various consultees, it is considered that the applicant has sufficiently demonstrated that the proposed cabins will not have an adverse impact on the built and natural heritage of the area and that the improvements to the local road network that they will carry out will not only mitigate the impact of the proposed development but will provide betterment for the local community. The development is also likely to have a positive economic impact to the community. There will be no significantly detrimental impact on the individual and/or community amenity.
- 9.4 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued	N
Notification to Scottish Ministers	N
Conclusion of Section 75 Obligation	N
Revocation of previous permission	N

Subject to the above, it is recommended that planning permission be **GRANTED** subject to the following conditions and reasons:

Conditions and Reasons

1. Prior to any site excavation or groundworks, all retained trees are to be protected against construction damage using protective barriers located as per the approved Tree Protection Plans and in accordance with BS5837:2012 Trees in Relation to Design, Demolition & Construction. Barriers are to remain in place throughout the construction period and must not be moved or removed without the prior written approval of the Planning Authority.

Reason: To ensure the protection of retained trees throughout the construction period.

2. A suitably qualified Arboricultural Consultant must be employed by the applicant to ensure that the Approved Tree Protection Plans are implemented to the agreed standard. Stages requiring supervision are to be set out in an Arboricultural Method Statement for the written agreement of the Planning Authority and certificates of compliance for each stage are to be submitted for approval.

Reason: To ensure the protection of retained trees throughout the construction period.

3. No development shall commence until a detailed Tree Planting Plan and maintenance programme has been submitted to and approved by the Planning Authority. The Tree Planting Plan shall be implemented in full during the first planting season following commencement of development or as otherwise agreed in writing by the Planning Authority.

Reason: In the interests of amenity.

4. The development shall be undertaken in accordance with the recommendations set out in section 6 of the Phase 1 Habitat Survey and Protected Species Survey Report (June 2020).

Reason: To ensure the protection of protected species and habitats.

5. No development shall commence until full details of all surface water drainage provision within the application site (which should accord with the principles of Sustainable Urban Drainage Systems (SUDS) and be designed to the standards outlined in Sewers for Scotland Fourth Edition, or any superseding guidance prevailing at the time) have been submitted to, and approved in writing by, the Planning Authority. Thereafter, only the approved details shall be implemented, and all surface water drainage provision shall be completed prior to the first occupation of any of the development.

Reason: To ensure that surface water drainage is provided timeously and complies with the principles of SUDS; in order to protect the water environment.

6. No development shall commence on the cabin site until full details for the design and construction of the egress from the cabin site onto the B852 has been submitted to, and received the approval in writing of, the Planning Authority. For the avoidance of doubt, these details shall include:
 - i. visibility splays of 2.4m x 120m (the X dimension and Y dimension respectively) in each direction formed from the centre line of the junction.

Within the stated visibility splays, at no time shall anything obscure visibility between a driver's eye height of 1.05m positioned at the X dimension and an object height of 0.60m anywhere along the Y dimension. Thereafter, only the approved details shall be implemented prior to commencement of the remainder of the cabin development.

Reason: In order to ensure the safety and free flow of traffic on the public road.

7. No development shall commence on the cabin site until full design and construction details of all passing places connected with this development have been submitted to, and received the approval in writing of, the Planning Authority in consultation with the Roads Authority. For the avoidance of doubt, the passing places shall be at the access to and the egress from the cabin development. Thereafter, only the approved details shall be implemented prior to occupation of the cabin development.

Reason: In order to ensure the safety and free flow of traffic on the public road.

8. No development shall commence on the cabin site until full design and construction details of the surfacing at the access to the cabin site have been submitted to, and received the approval in writing of, the Planning Authority in consultation with the Roads Authority. Thereafter, only the approved details shall be implemented prior to occupation of the cabin development.

Reason: In order to ensure the safety and free flow of traffic on the public road.

9. No development shall commence on the cabin site until full design and construction details of a thin buff surfacing for the two bridge culverts on the B852 to the north of the proposed access and to the south of the private access to Boleskine Lodge, and appropriate hazard signage, have been submitted to, and received the approval in writing of, the Planning Authority in consultation with the Roads Authority.. Thereafter, only the approved details shall be implemented prior to occupation of the cabin development.

Reason: In order to ensure the safety of traffic on the public road.

10. No development shall commence on the cabin site until full design and construction details of the overlay of the entire width of the carriageway at the access and egress to the cabin site have been submitted to, and received the approval in writing of, the Planning Authority in consultation with the Roads Authority. Thereafter, only the approved details shall be implemented prior to occupation of the cabin development.

Reason: In order to ensure the safety and free flow of traffic on the public road.

11. No development shall commence on site until a construction phase Traffic Management Plan (including a routing plan for construction vehicles) has been submitted to, and approved in writing by, the Planning Authority in consultation with the Roads Authority. The approved Traffic Management Plan shall be implemented prior to development commencing and remain in place until the development is complete.

Reason: In order to ensure the safety and free flow of traffic on the public road.

12. There shall be no occupation of the cabin development until a scheme to stabilise and reinstate the loch-side edge of the B852 carriageway in the vicinity of the proposed egress, on land that the applicant can get permission to use, has been submitted to, and received the approval in writing of, the Planning Authority in consultation with the Roads Authority.

Reason: In order to ensure the safety and free flow of traffic on the public road.

13. There shall be no occupation of the cabin development until an assessment of the need to install a vehicular restraint system along the western edge of the B852 in the vicinity of the proposed egress has been submitted to, and received the approval in writing of, the Planning Authority. If the assessment concludes that a vehicular restraint barrier is required, then there shall be no occupation of the cabin development until a scheme has been submitted to, and received the approval in writing, of the Planning Authority in consultation with the Roads Authority. Thereafter, only the approved details shall be implemented prior to occupation of the cabin development.

Reason: In order to ensure the safety and free flow of traffic on the public road.

14. No development shall commence on the cabin site until a scheme to enhance the ability of vehicles using the B852 to pass each other at the Gate Lodge has been submitted to, and received the approval in writing of, the Planning Authority. Thereafter, only the approved details shall be implemented prior to occupation of the cabin development.

Reason: In order to ensure the safety and free flow of traffic on the public road.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

FOOTNOTE TO APPLICANT

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Accordance with Approved Plans & Conditions

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective

of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks & Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud & Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public

road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities: You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and Scottish Natural Heritage must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from SNH: www.snh.gov.uk/protecting-scotlands-nature/protected-species

Asbestos

As part of the development works, all asbestos contained within the building fabric should be removed by an appropriately licensed contractor to a waste facility licensed to accept asbestos waste. A copy of the Waste Transfer Note recording that this has occurred should be submitted to the Planning Authority prior to completion of the development, and before the building is occupied for residential use.

Environmental Health

The Caravan Sites and Control of Development Act 1960 states that any area of land used for the siting of caravans would require a caravan site license. The design of the units means that they fall within this definition of a Caravan in terms of this Act. Consequently, the development will require a caravan site license and the applicant would require compliance with the licence conditions which the Council has adopted for such sites.

Designation: Area Planning Manager – South

Author: Elaine Watt

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

- Plan 1 - F1926 L(--) 000 Location Plan
- Plan 2 - F1926 L(--) 001 Rev C Proposed Site Layout
- Plan 3 - F1926 L(--) 002 Ground Floor Plan
- Plan 4 - F1926 L(--) 003 First Floor Plan
- Plan 5 - F1926 L(--) 004 Rev A Proposed Roof Plan
- Plan 6 - F1926 L(--) 011 Proposed Elevation North
- Plan 7 - F1926 L(--) 012 Elevations South
- Plan 8 - F1926 L(--) 021 Rev A Site Section
- Plan 9 - F1926 L(--) 022 Rev A Site Section
- Plan 10 - F1926 L(--) 023 Rev A Site Section
- Plan 11 - F1926 L(2-) 001 Floor/Elevation 1 Bedroom Cabin
- Plan 12 - F1926 L(2-) 002 Floor/Elevation 1 Bedroom Cabin
- Plan 13 - F1926 L(2-) 003 Floor/Elevation 2 Bedroom Cabin
- Plan 14 - F1926 L(2-) 004 Floor/Elevation 2 Bedroom Cabin
- Plan 15 - F1926 L(2-) 005 Floor/Elevation Gatehouse
- Plan 16 - F1926 L(2-) 006 Floor/Elevation Service and Refuse Store
- Plan 17 - F1926 L(91) 001 Rev C General Plan

Appendix 2

	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
Type	Contribution	Rate (per house)	Rate (per flat)	Total Amount*1	Index Linked ¹	Base Date*2	Payment Trigger*3	Accounting Dates*4	Clawback Period*5
Schools²									
Primary – Build Costs	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Primary – Land Costs	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Secondary – Build Costs	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Secondary – Land Costs	Insert what contribution is for	£0.00	£0.00	£0.00	No		TOC/CC	Apr/Oct	15 or 20
Community Facilities	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Affordable Housing									
On-site provision ³	X units. Insert details of unit size and timescale for delivery if agreed	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Off-site provision ⁴	X units. Insert details of location, unit size and timescale for delivery if agreed	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Commuted Sum ⁵	£0.00 per affordable unit not delivered on/off site. Insert expected timescale for payment - can be in installments	N/A	N/A	£0.00	N/A	N/A	Insert specific payment date	N/A	5 Years
Agreement for Delivery Needed	Y/N. If delivery for affordable housing has not yet been agreed, enter Y and specify the date/timescale that the scheme for delivery is to be submitted for approval	N/A	N/A	N/A	N/A	N/A	Insert date for submission to Planning Authority	N/A	N/A

¹ If the contribution is to be used towards infrastructure projects involving building e.g. new school, new cycle route etc BCIS ALL IN TENDER will be the index, if it doesn't involve building then another appropriate index may need to be chosen with the agreement of Team Leader

² Indicate whether or not 1 bed houses/flats are exempt

³ Indicate whether a penalty payment due for late delivery (and, if so, what it is based upon).

⁴ As above

⁵ Indicate whether a penalty payment is due for late payment of commuted sum (and, if so, what it is based upon)

Transport									
Active Travel	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Safer Routes to Schools	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Public Realm	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Wayfinding	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Public Transport	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
School Transport	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Road Improvements	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Parking	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
EV Charging	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Traffic Signals	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Lighting	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Road Traffic Orders	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Cumulative Transport Contributions	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Green Infrastructure									
Open Space	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Green Network	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Built/Natural Heritage	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Water and Waste									
Catchment Improvement Works	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Strategic Flood Scheme	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Maintenance of SuDs	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Off Street Waste Storage	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Recycling Point Provision	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Glass Banks	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
		£0.00	£0.00	£0.00					
Public Art	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Other (Please Specify)	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20

*1 Adjust total to take account of flat exemptions

*2 Base Date – Set out in Supplementary Guidance on Developer Contributions

*3 TOC/CC – The earlier of the issue of either a temporary occupation certificate or a completion certificate – or specify alternative time if appropriate

*4 Accounting dates - 1 April & 1 October each year of development (if the contribution is to be paid on a basis other than related to units completed in the preceding 6 months (e.g. lump sum on a specific date) then indicate this instead of the Apr/Oct payment dates)

*5 Clawback – 15 years for Major development; 20 years for Local development

Other Legal Agreement requirements

Type	Details
Bond	1. Describe the purpose of the Bond
	2. Specify the amount to be secured
	3. Restriction on Bond provider
	4. Set the review date and mechanism for review
	5. Describe the call on circumstances
	6. Any other relevant details
Habitat Management Plan	1. Describe what the Plan is to cover
	2. Describe the area the Plan is to cover (and provide a plan)
	3. Set the timetable for submission of the Plan
	4. Set the timescale for implementation of the Plan
	5. Describe requirements to consult third parties
	6. Specify the financial contribution (if any)
	7. Specify the clawback period (if any)
	8. Any other relevant details
Road Survey	1. Specify the timescale for the initial survey
	2. Describe which roads are to be surveyed (provide a plan)
	3. Specify an interim survey date (if required)
	4. Specify the final survey requirements and timescale
	5. Any other relevant details
Land and Asset Transfer	1. Describe the area of land / asset to be transferred (provide a plan)
	2. Describe the use of the land / asset
	3. Specify the cost of transfer
	4. Any other relevant details

Job Title:
Boleskine House, Cabins

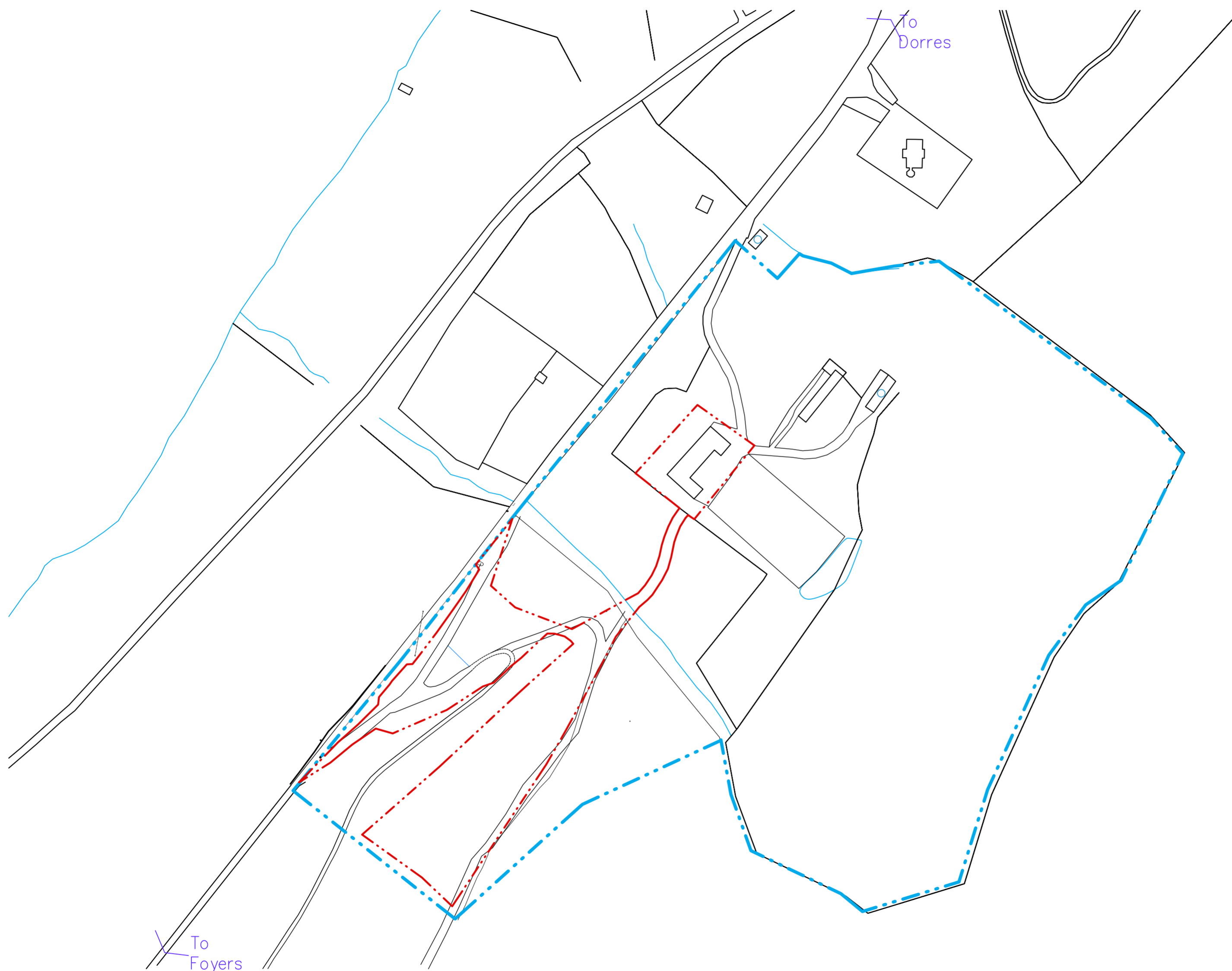
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Location Plan

Drawing Status:
PLANNING

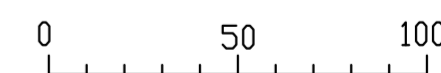
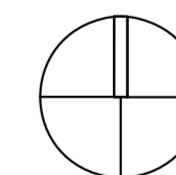
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Scale:	Date:	Drawn:	Reviewed:
1:2000	June 20	AP	SM

Revisions:



— Denotes application site boundary
— Denotes area in applicants ownership



Job Title:

Boleskine House, Cabins

Drawing Title:

Site Plan Proposed

Drawing Status:

COMMENT

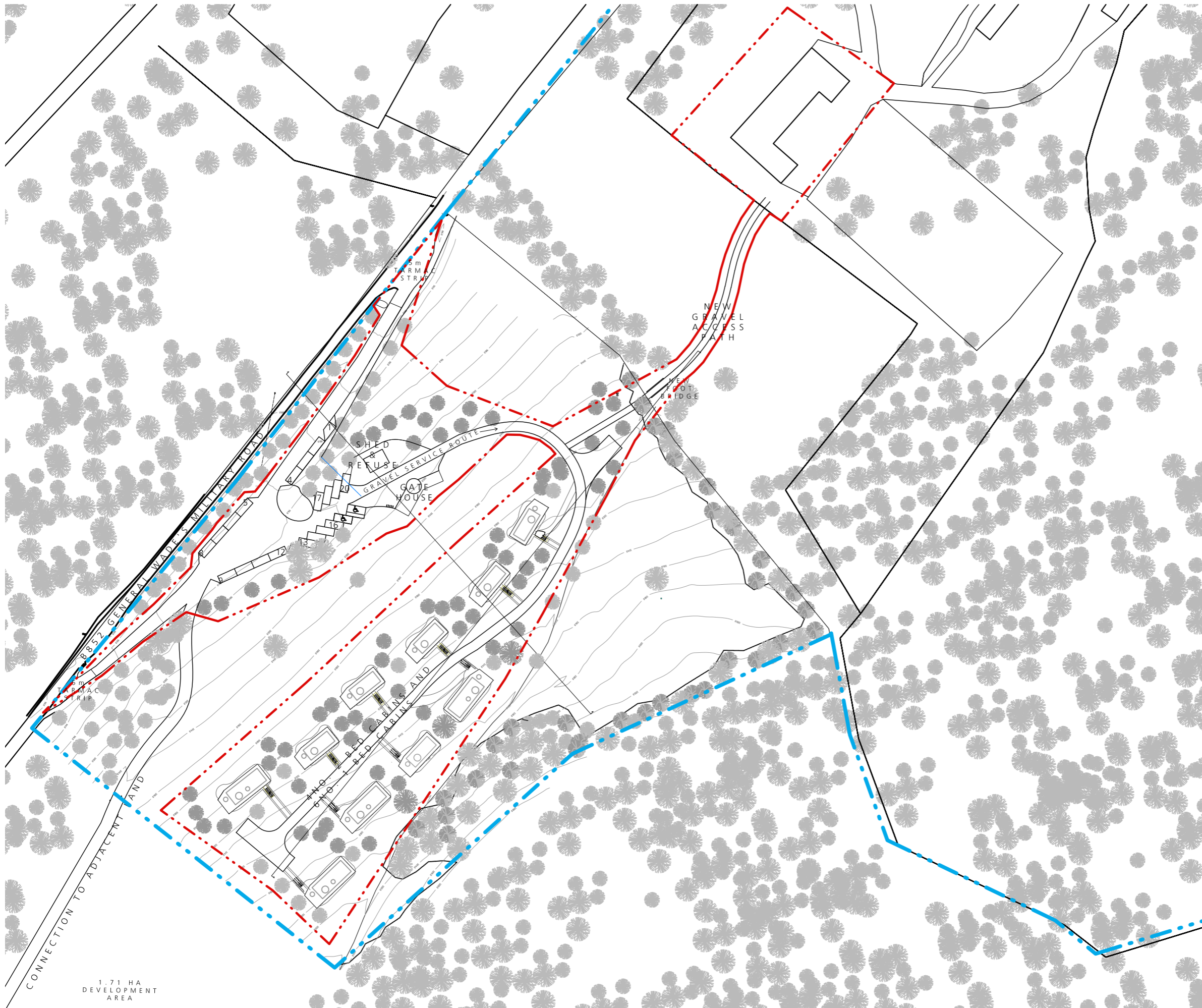
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F1926L(--)-001

Scale:	Date:	Drawn:	Reviewed:
1:1250	April 20	AP	SM

Revisions:

A- Topographic Survey and Cabin Layouts	05/06/20
B- Trees Added, Layout Revised	12/06/20



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Job Title:
**Boleskine House,
 Foyers**
 Drawing Title:
**PROPOSED
 Ground Floor Plan**

Drawing Status:
PLANNING

Drawing Number:
F1926 L(-) 002

Revision:
D

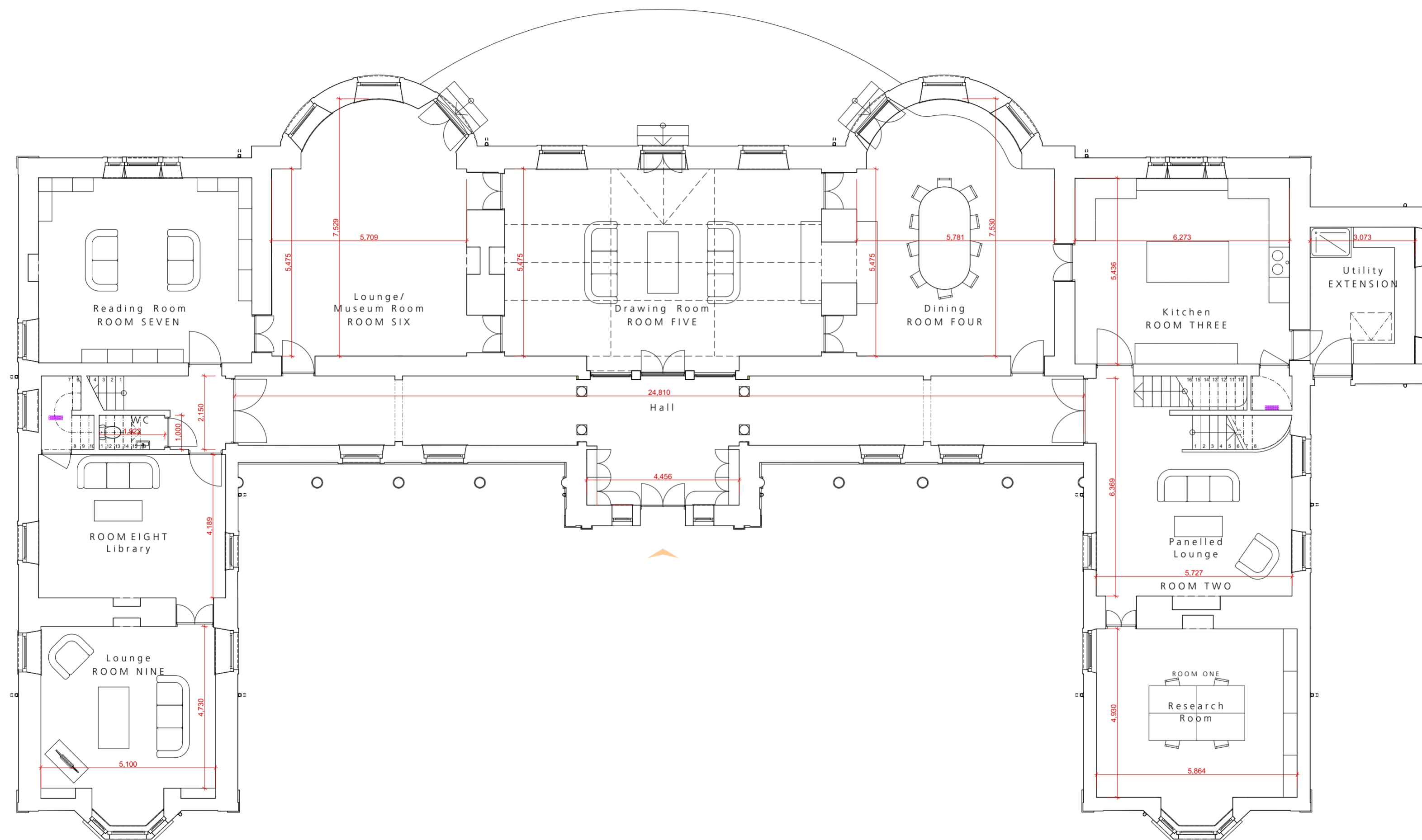
Scale:
1:100 @ A2

Date:
Dec 19

Drawn by:
MS

Reviewed by:
 —

Revisions:
 A- Internal WC layout, fireplaces, utilityroom and kitchen layout 18.05.20
 revisions
 B- Client Comments, location of intrnal door openings, type of
 external door openings to North West Elevation, removal of window 21.05.20
 C- Client Comments, Door Locations, Openings to Courtyard 13.06.20
 D- Door Location, Fire Place Added 30.06.20



SCALE BAR
 1:100 @A2



NOTE:

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Job Title:
**Boleskine House,
 Foyers**

Drawing Title:
**PROPOSED
 First Floor Plan**

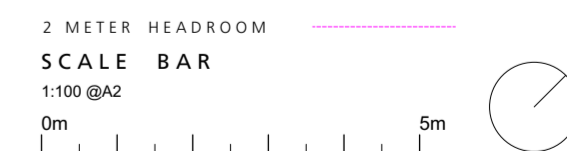
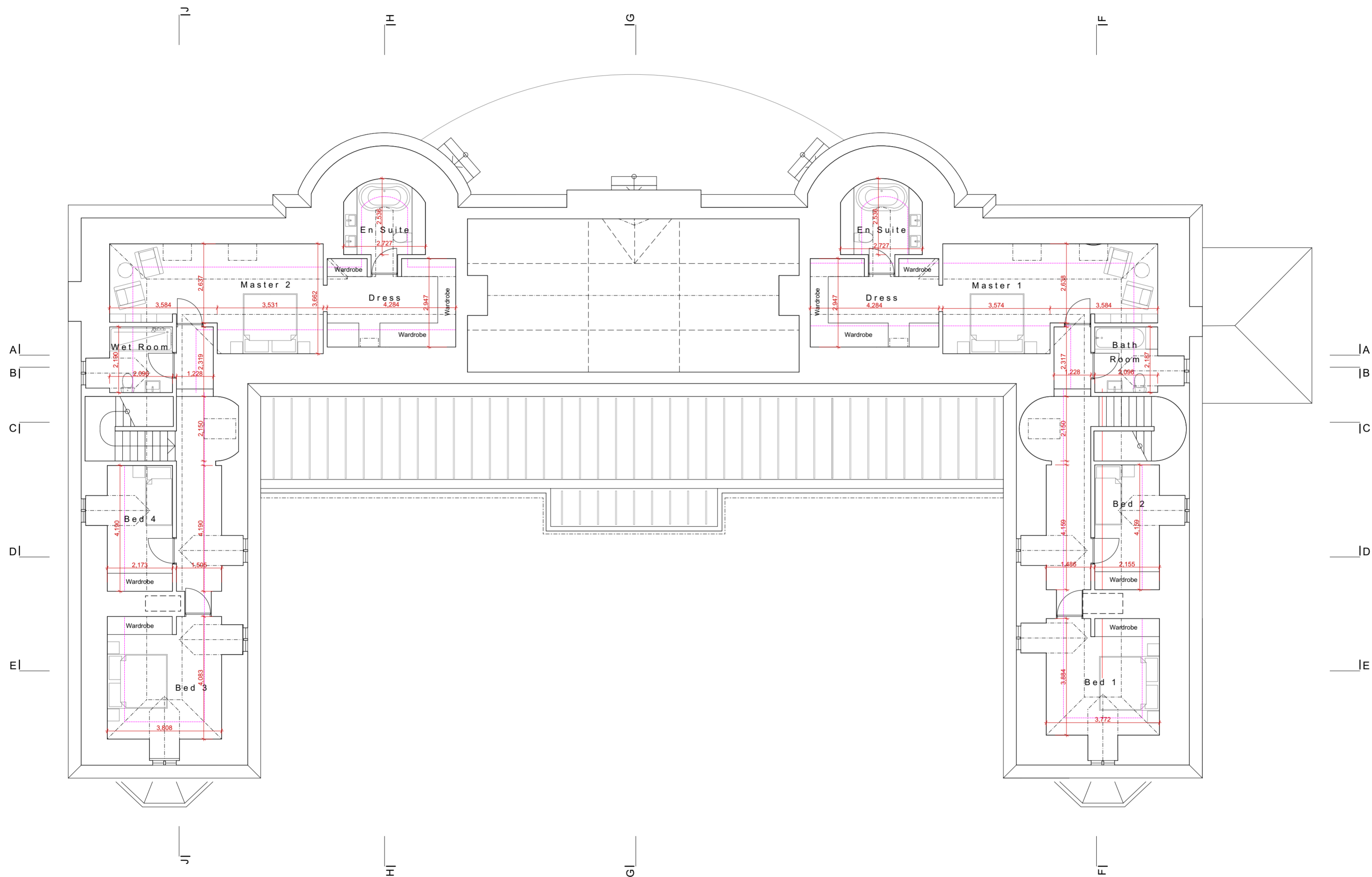
Drawing Status:
PLANNING

Drawing Number:
F1926 L(-) 003

Revision:
C

Scale: 1:100 @ A2 Date: Dec 19 Drawn by: MS Reviewed by: —

Revisions:
 A- South West Stair Landing Altered 18.05.20
 B- Bathrooms Changed to Wetroom 13.06.20
 C- Wetroom Changed to Bathroom 30.06.20



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Job Title:
**Boleskine House,
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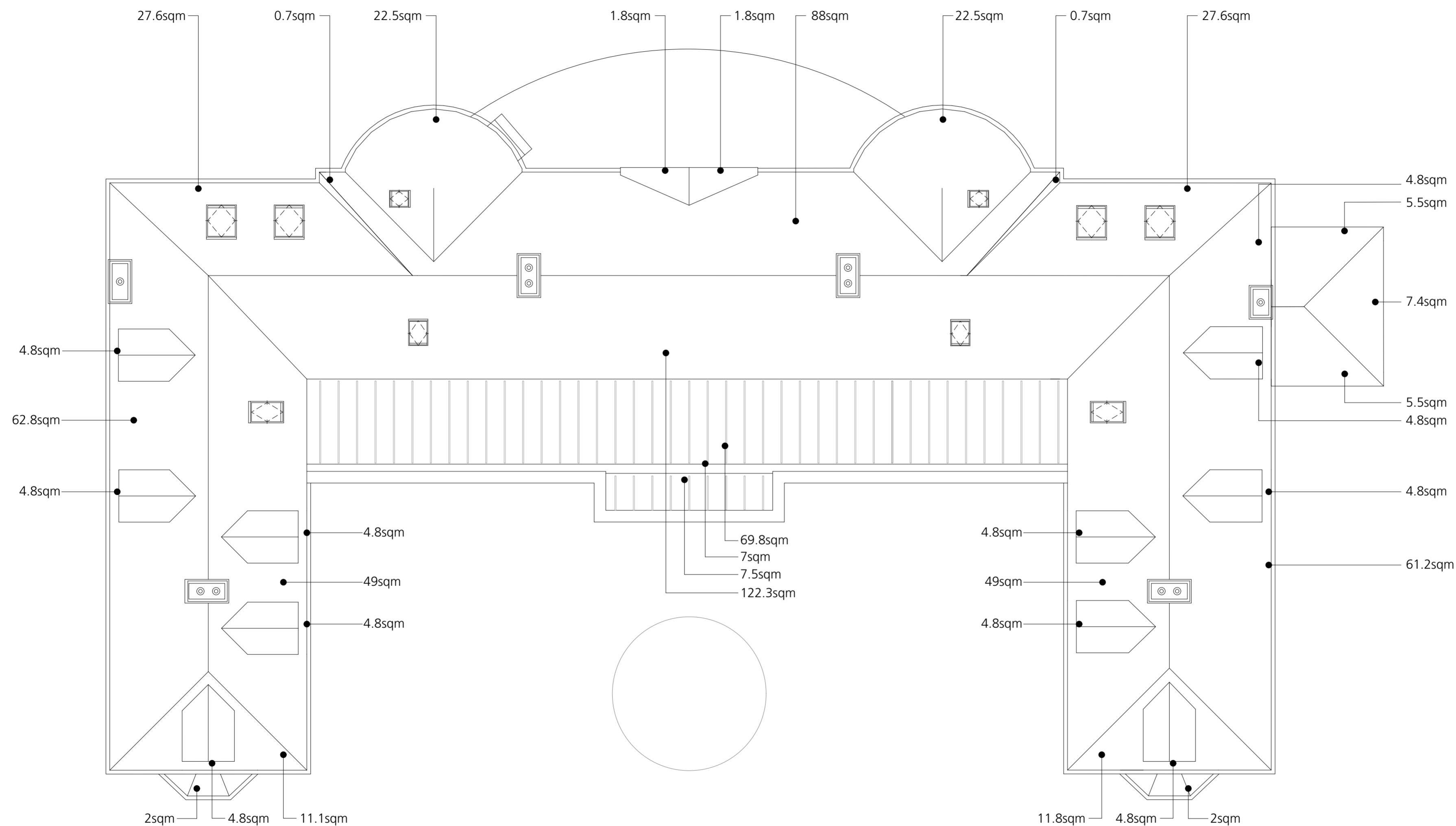
Drawing Title:
**PROPOSED
 Roof Plan**

Drawing Status:
PLANNING

Drawing Number:
F1926 L(-) 004

Scale: 1:100 @ A2 Date: Dec 19 Drawn by: MS Reviewed by: —

Revisions:



Roof Area Totals

Total Pitched Roof Area: 631.6 sqm
 Total Flat Roof Area: 88.3 sqm

SCALE BAR

1:100 @A2
 0m 5m



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Job Title:
**Boleskine House,
Foyers**

Drawing Title:
**PROPOSED
North Elevations**

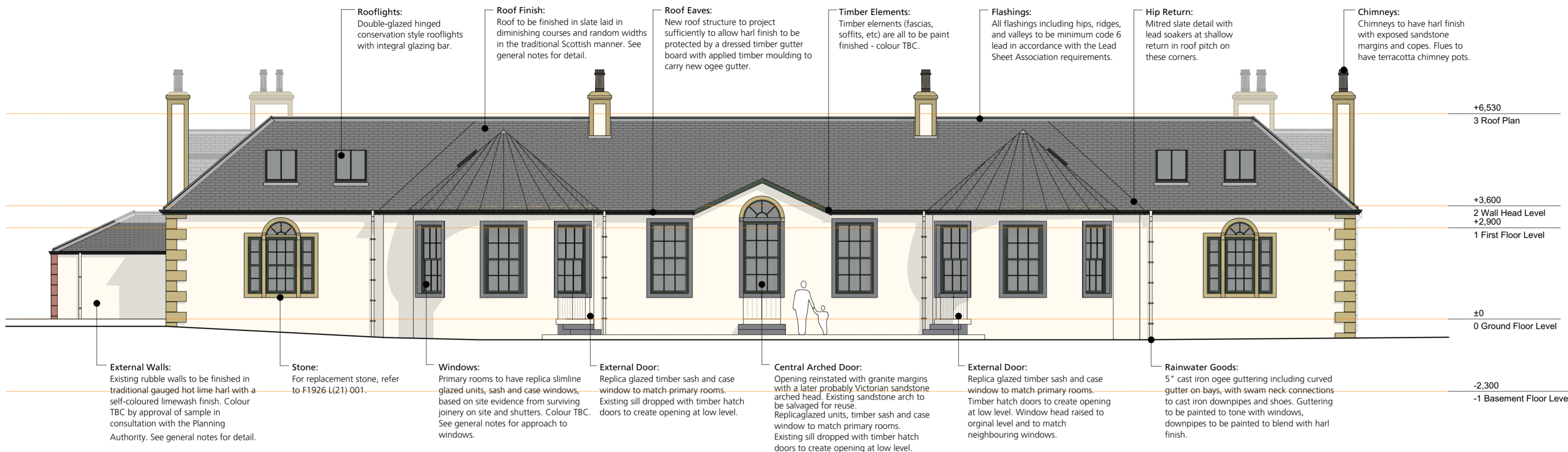
Drawing Status:
PLANNING

Drawing Number:
F1926 L(-) 011

Revision:
C

Scale: 1:100 @ A2 Date: Dec 19 Drawn by: MS Reviewed by: —

Revisions:
A- North West elevations altered to include doorsets. Elevation Utility Room Window Resized. 18.05.20
B- North West elevations altered to include split doorsets. 20.05.20
C- Notes updated, Double Glazing Added 30.06.20



N O R T H W E S T E L E V A T I O N

GENERAL NOTES

Masonry Wall Treatment:

Existing fire damaged masonry to be taken down where necessary and rebuilt using salvaged rubble. Where dressed stones have been damaged or lost, new matching stone is to be sourced. Where this is buff sandstone it is proposed to use Witton Fell sandstone from Cumbria, subject to a sample being agreed with the Planning Authority.

Please see separate method statement for careful removal of existing painted cement render from underlying stonework.

Existing walls to be raked out and repointed in a lime-based mortar and finished in a hot gauged lime harl. Surviving existing harl exists on the internal walls to provide evidence for this new harl. The harl finish will be feathered to the dressed margins of the window surrounds, corners and chimneys, and against the rusticated quoins.

Roof Structure:

New roof structure with dressed sprockets to project sufficiently to allow harl finish to pass behind and be protected by a dressed timber gutter board with applied timber moulding to carry the new OG profile 5" cast iron gutter. Continuous eaves ventilation behind this gutter board and through ventilated ridge detail. Slates to be applied to traditional timber sarking with breathable felt. Timber gutter board meets timber verge detail.

Roof finish:

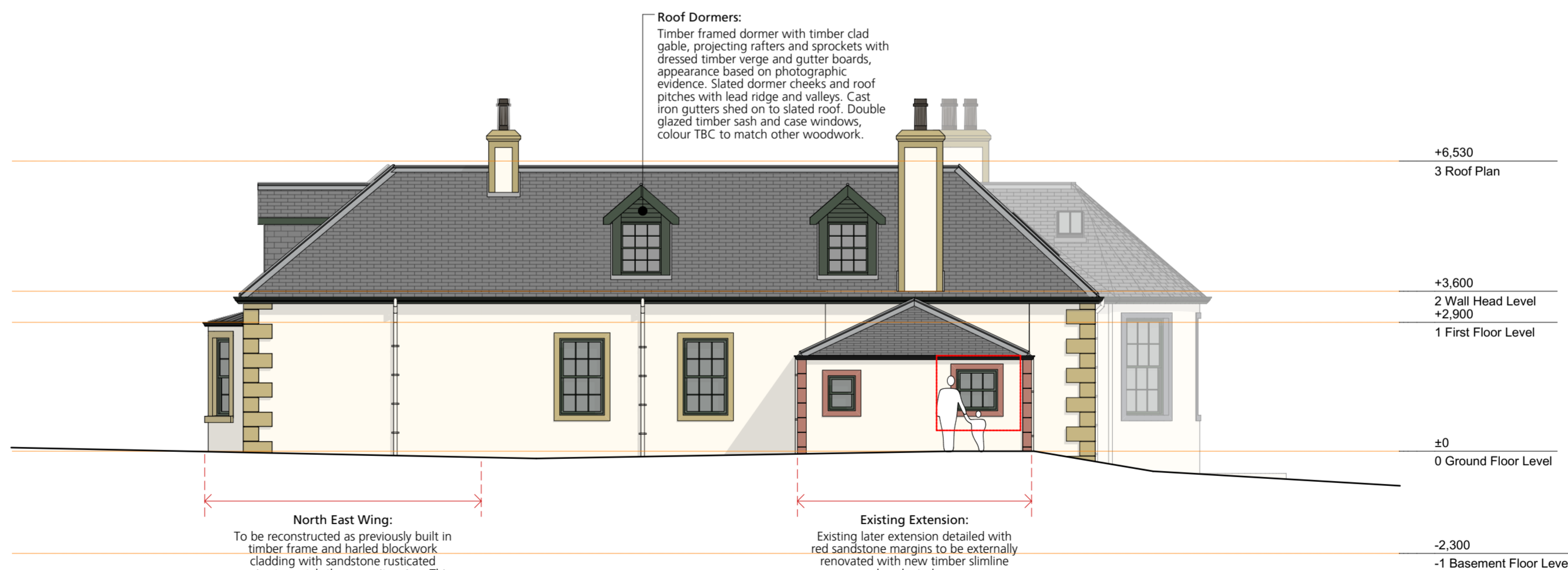
Existing suitable scots slate salvaged from site to be used with quantities made up with matching salvaged slate where possible. If sufficient second-hand matching slate cannot be sourced, then quantities will be made up with new Welsh slate such as SIGA 120. From SIGA Slate specifically marketed to suit the Scottish market in a variety of thicknesses, widths and lengths. Replacement slates to be approved by sample by the Planning Authority. As a general principle, where insufficient suitable second-hand slate is available, the elevation facing the loch will be prioritised and new slate used in the internal courtyard elevations.

Timber Finishes generally:

All external timberwork including gutter board, sprockets, windows and doors to receive a gloss finish in a dark colour, provisionally dark green, subject to agreement of sample.

Windows:

The approach to the windows varies with location. There is surviving evidence on site of the existing sash and case fenestration pattern and mouldings and potentially surviving window boxes that can be reused. Where sufficient parts of a window survive, the intention would be to repair it. In the central rooms and entrance corridor on the ground floor (the primary spaces), the intention is to use the surviving site evidence to replicate the original window frames as far as practicable including the mouldings and combine this with slimline glazed units and shutters where found originally. In the secondary ground floor rooms in the two wings of the house, where existing windows do not survive, the site evidence will be used to detail sash and case windows, combined with slimline energy efficient glazed units and hidden trickle ventilation. In the new upstairs dormers, double glazed sash and case windows will be installed.



N O R T H E A S T E L E V A T I O N

SCALE BAR

1:100 @A2
0m 5m

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Job Title:
**Boleskine House,
 Foyers**
 Drawing Title:
**PROPOSED
 South Elevations**

Drawing Status:
PLANNING

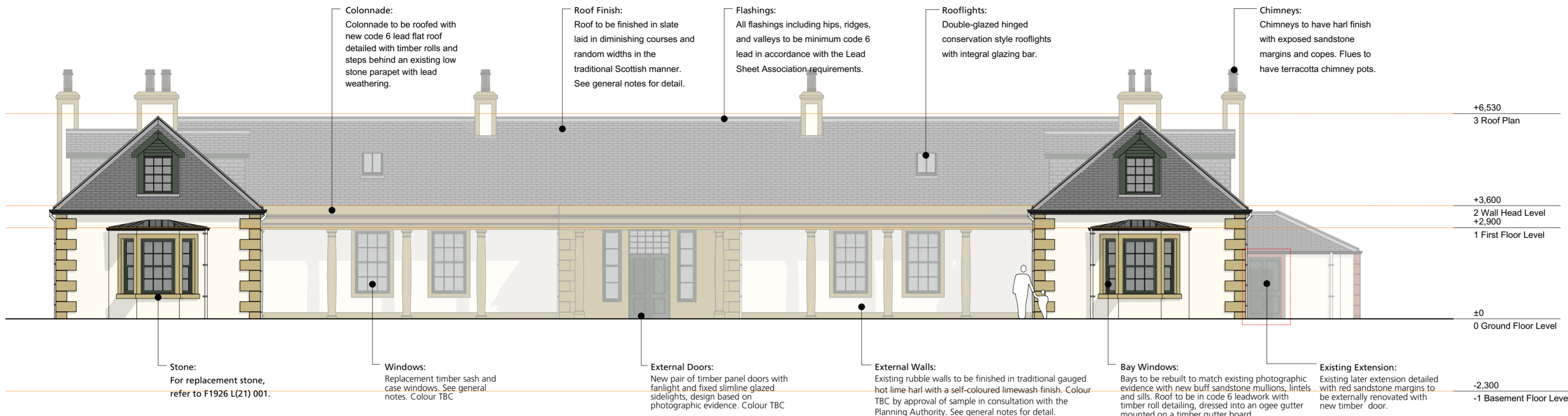
Drawing Number:
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Scale: 1:100 @ A2
 Date: Dec 19
 Drawn by: MS

Revision:
B

Reviewed by:
 —

Revisions:
 A- South West elevations altered to include extended window openings. South East Elevation Utility Room Door Added 18.05.20
 B- Notes updated, Double Glazing Added 30.06.20



SOUTH EAST ELEVATION

GENERAL NOTES

Masonry Wall Treatment:

Existing fire damaged masonry to be taken down where necessary and rebuilt using salvaged rubble. Where dressed stones have been damaged or lost, new matching stone is to be sourced. Where this is buff sandstone it is proposed to use Witton Fell sandstone from Cumbria, subject to a sample being agreed with the Planning Authority.

Please see separate method statement for careful removal of existing painted cement render from underlying stonework.

Existing walls to be raked out and repointed in a lime-based mortar and finished in a hot gauged lime harl. Surviving existing harl exists on the internal walls to provide evidence for this new harl. The harl finish will be feathered to the dressed margins of the window surrounds, corners and chimneys, and against the rusticated quoins.

Roof Structure:

New roof structure with dressed sprockets to project sufficiently to allow harl finish to pass behind and be protected by a dressed timber gutter board with applied timber moulding to carry the new OG profile 5" cast iron gutter. Continuous eaves ventilation behind this gutter board and through ventilated ridge detail. Slates to be applied to traditional timber sarking with breathable felt. Timber gutter board meets timber verge detail.

Roof finish:

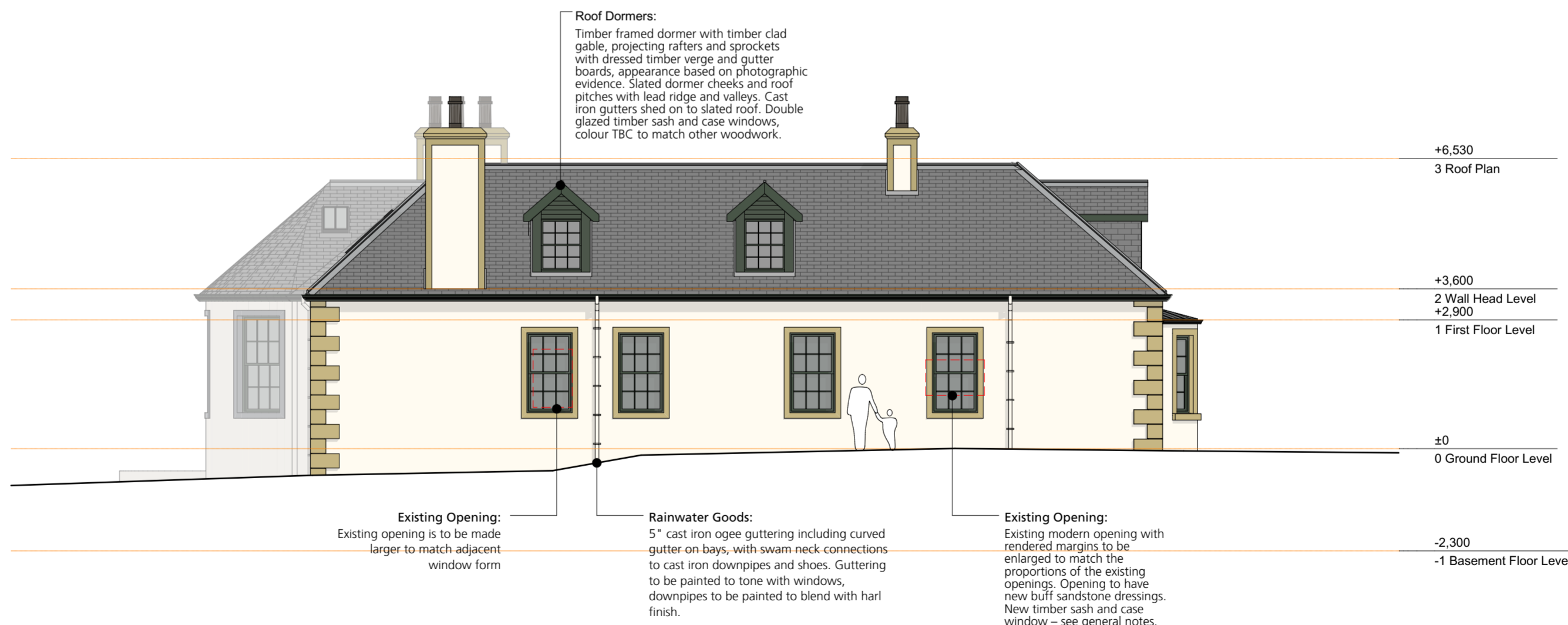
Existing suitable scots slate salvaged from site to be used with quantities made up with matching salvaged slate where possible. If sufficient second-hand matching slate cannot be sourced, then quantities will be made up with new Welsh slate such as SIGA 120. From SIGA Slate specifically marketed to suit the Scottish market in a variety of thicknesses, widths and lengths. Replacement slates to be approved by sample by the Planning Authority. As a general principle, where insufficient suitable second-hand slate is available, the elevation facing the loch will be prioritised and new slate used in the internal courtyard elevations.

Timber Finishes generally:

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Windows:

The approach to the windows varies with location. There is surviving evidence on site of the existing sash and case fenestration pattern and mouldings and potentially surviving window boxes that can be reused. Where sufficient parts of a window survive, the intention would be to repair it. In the central rooms and entrance corridor on the ground floor (the primary spaces), the intention is to use the surviving site evidence to replicate the original window frames as far as practicable including the mouldings and combine this with slimline glazed units and shutters where found originally. In the secondary ground floor rooms in the two wings of the house, where existing windows do not survive, the site evidence will be used to detail sash and case windows, combined with slimline energy efficient glazed units and hidden trickle ventilation. In the new upstairs dormers, double glazed sash and case windows will be installed.



SOUTH WEST ELEVATION

SCALE BAR

1:100 @A2
 0m 5m

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Job Title:
**Boleskine House,
Foyers**

Drawing Title:
**PROPOSED
Sections**

Drawing Status:
PLANNING

Drawing Number:
F1926 L(-) 021

Revision:
A

Scale: 1:100 @ A2 Date: Dec 19 Drawn by: MS Reviewed by: AP/SM

Revisions:
Rev A 2020.06.24 MS
01. Sections updated in line with Elevations
02. Status changed to Planning



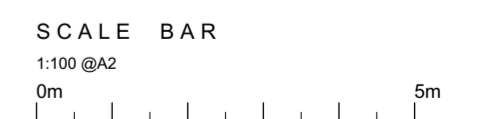
SECTION AA



SECTION BB



SECTION CC



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Job Title:
**Boleskine House,
Foyers**

Drawing Title:
**PROPOSED
Sections**

Drawing Status:
PLANNING

Drawing Number:
F1926 L(-) 022

Scale: 1:100 @ A2
Date: Dec 19

Drawn by:
MS

Revision:
A
Reviewed by:
AP/SM

Revisions:
Rev A 2020.06.24 MS
01. Sections updated in line with Elevations
02. Status changed to Planning



SECTION DD



SECTION EE



SECTION FF

SCALE BAR

1:100 @A2
0m 5m

NOTE:

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Job Title:
Boleskine House,
Foyers

Drawing Title:
PROPOSED
Sections

Drawing Status:
PLANNING

Drawing Number:
F1926 L(-) 023

Revision:
A

Scale: Date: Drawn by: Reviewed by:
1:100 @ A2 Dec 19 MS AP/SM

Revisions:
Rev A 2020.06.24 MS
01. Sections updated in line with Elevations
02. Status changed to Planning



SECTION GG



SECTION HH



SECTION JJ

SCALE BAR

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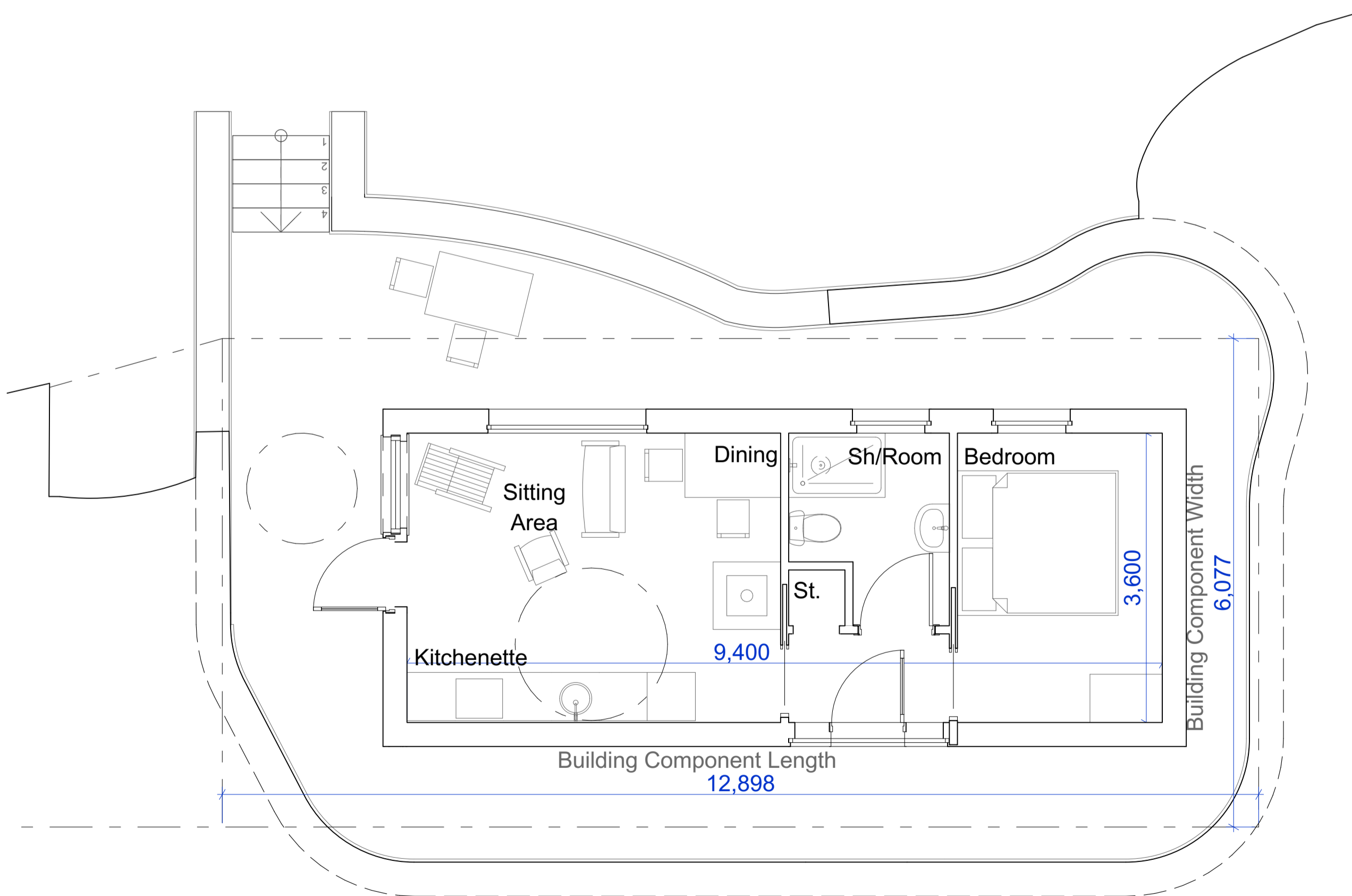
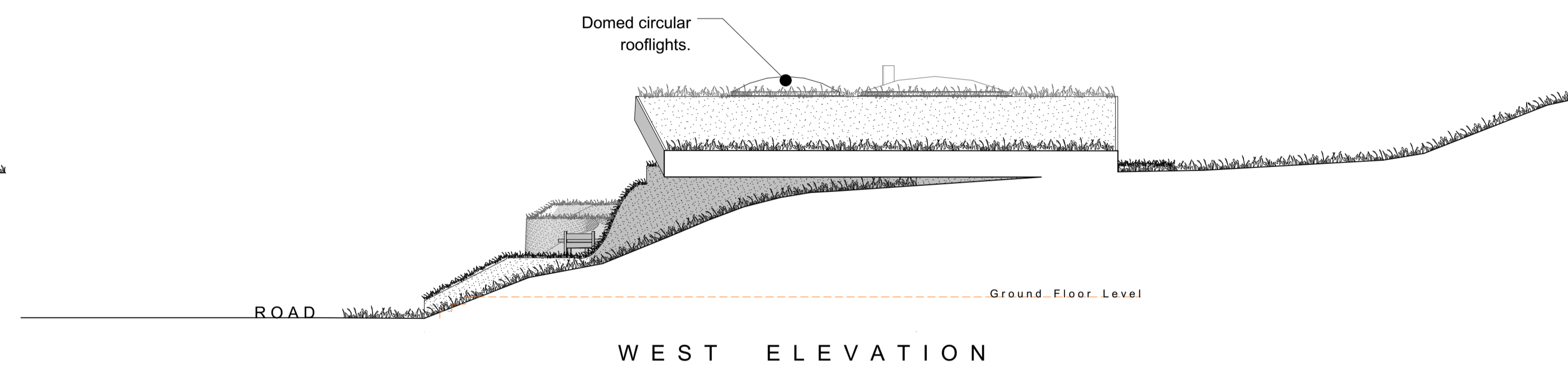
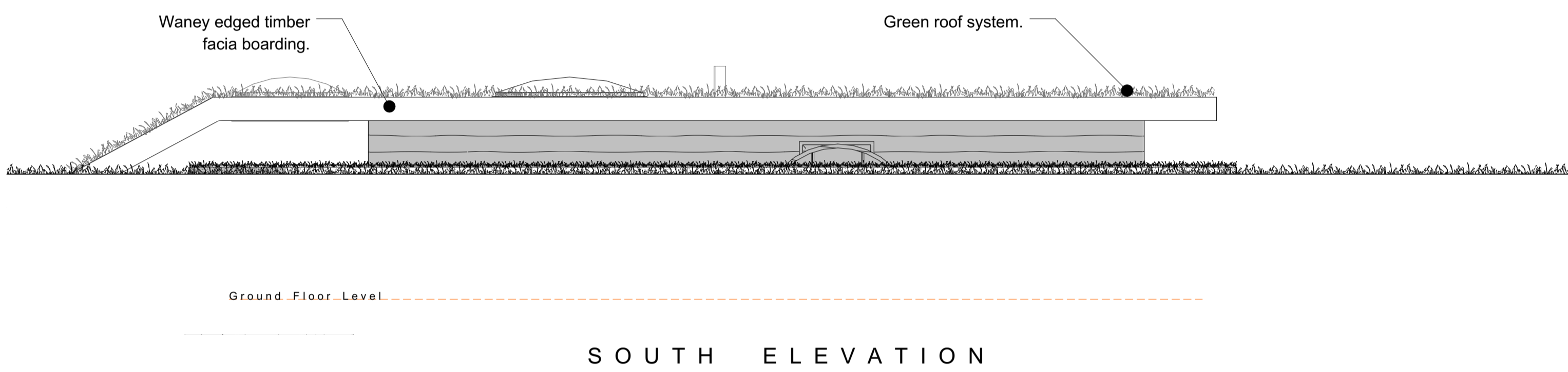
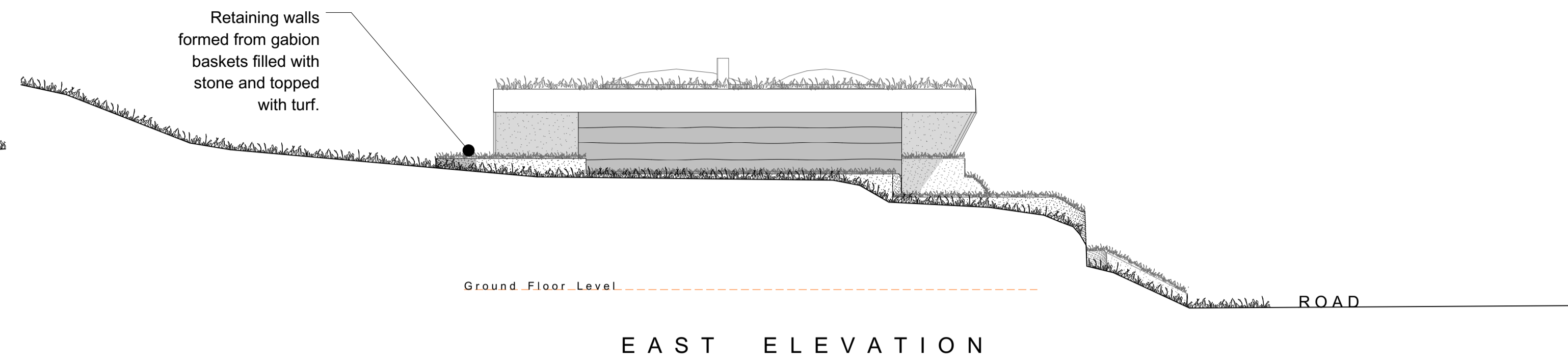
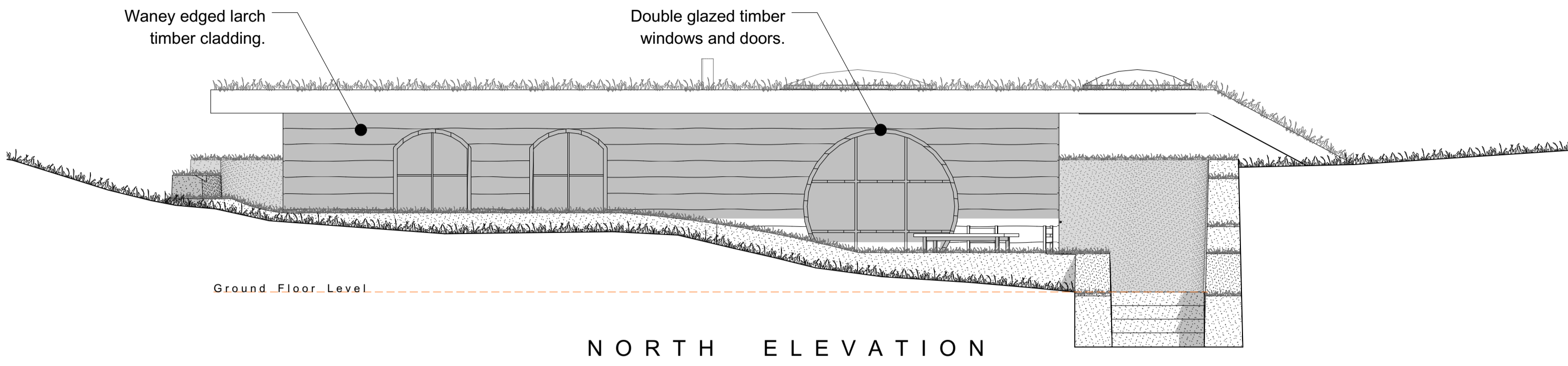
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1 Bedroom Cabin - North of Track



GROUND FLOOR PLAN

ROOF PLAN

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T: 01309 673 221
E: architects@ldn.co.uk

Job Title:
Boleskine House, Cabins

Drawing Title:
PROPOSED
1 Bedroom Cabin - North of Track

Drawing Status:
PLANNING

Drawing Number:
F1926 L(2-) 001

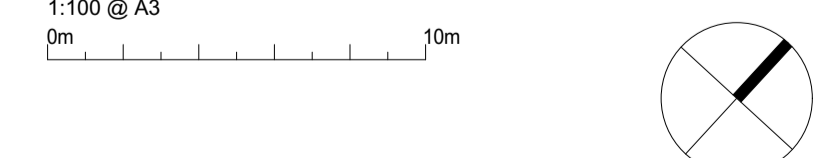
Revision:
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Date: 02/07/2020

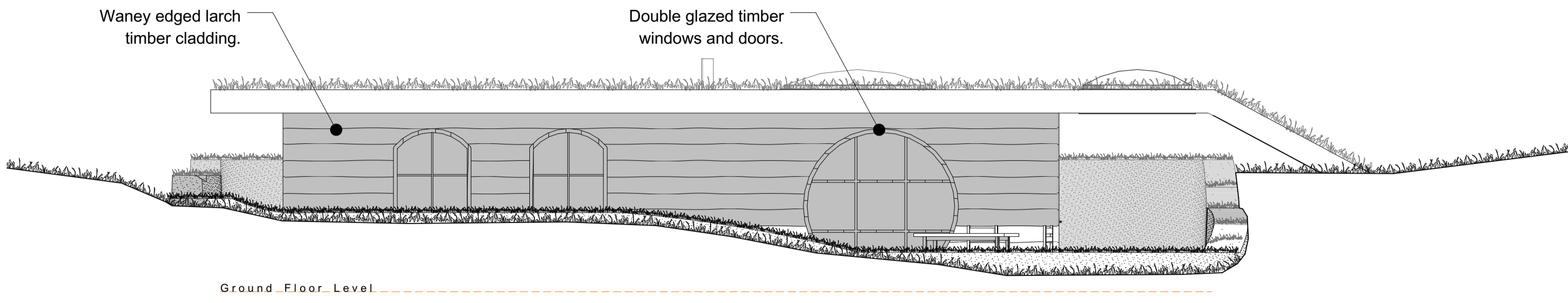
Drawn by: AP

Reviewed by: SM

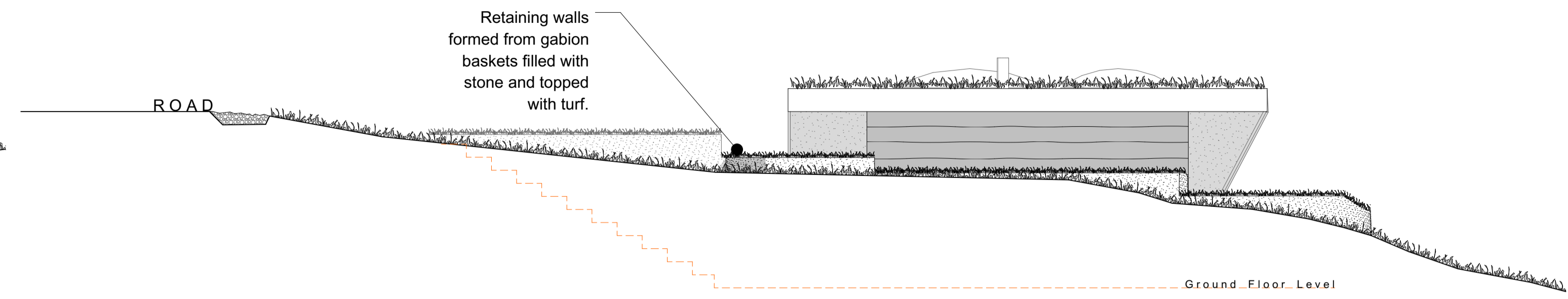


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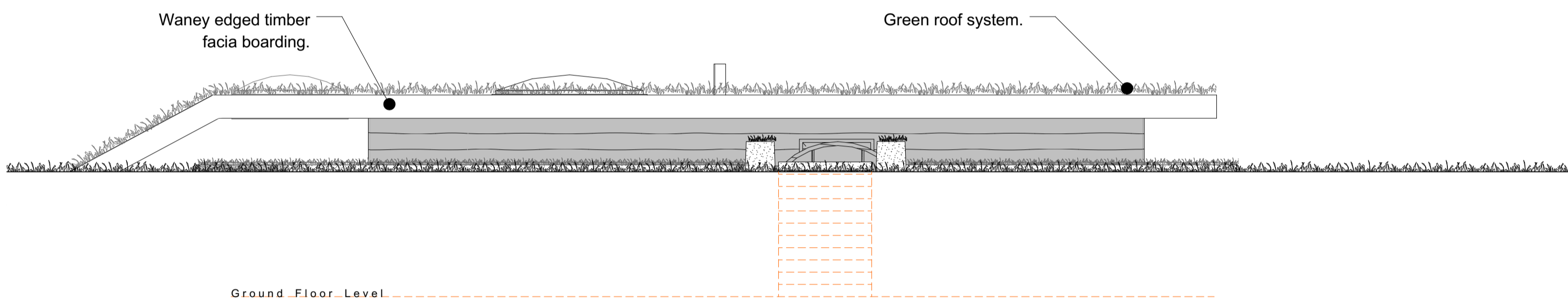
1 Bedroom Cabin - South of Track



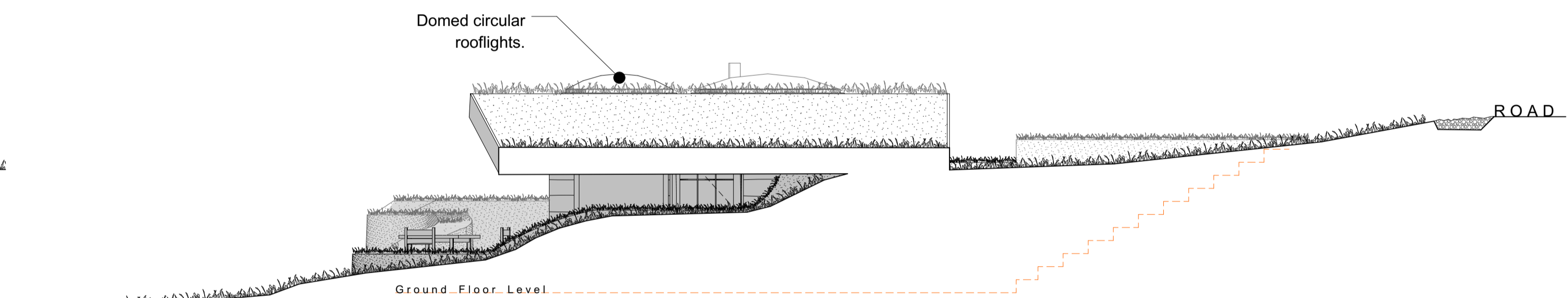
NORTH ELEVATION



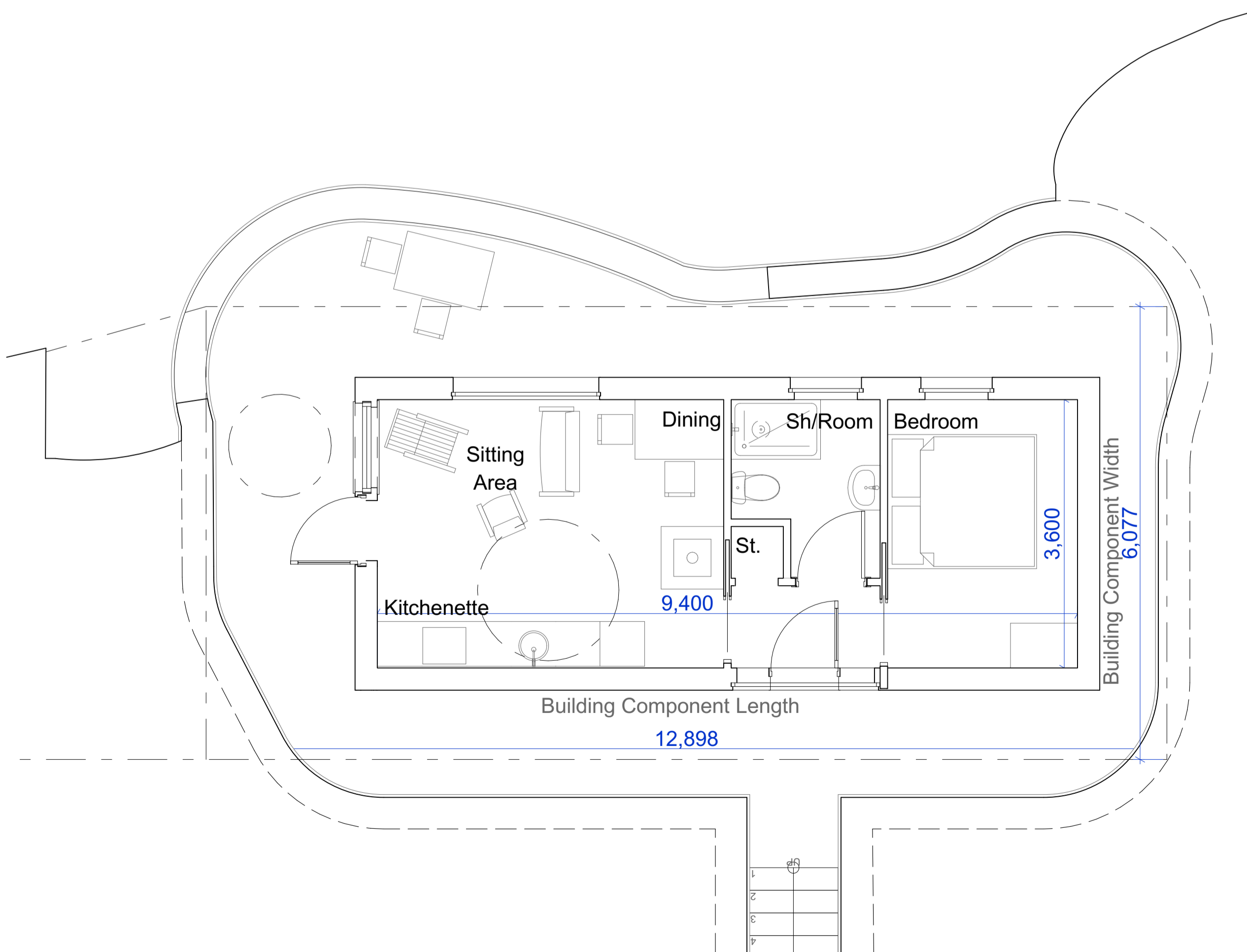
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



GROUND FLOOR PLAN



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Job Title:
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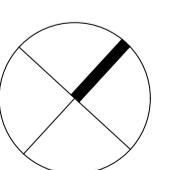
Drawing Title:
PROPOSED
1 Bedroom Cabin - South of Track

Drawing Status:
PLANNING

Drawing Number:
F1926 L(2-) 002

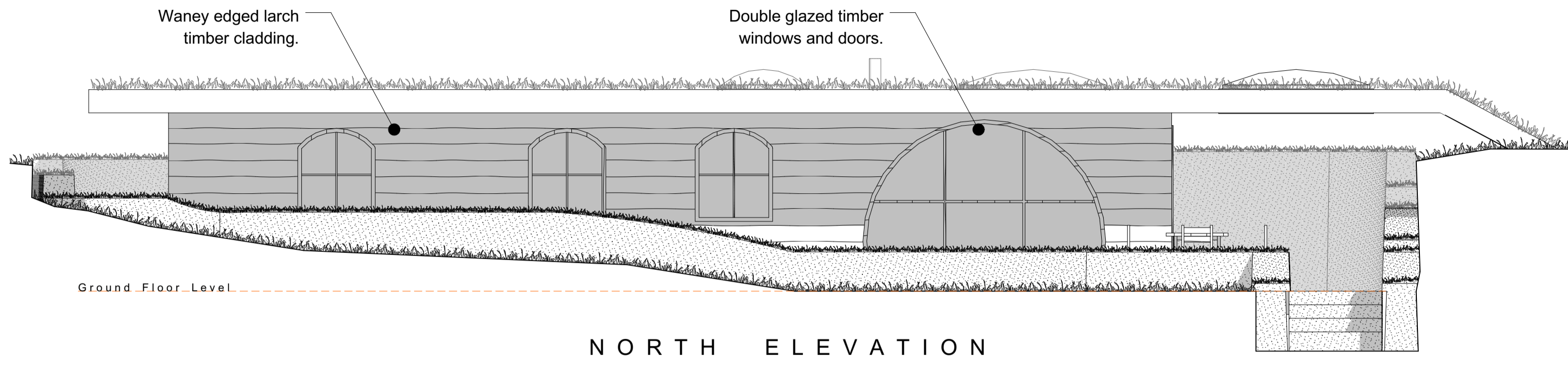
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Scale:	Date:	Drawn by:	Reviewed by:
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1:100 @ A3			

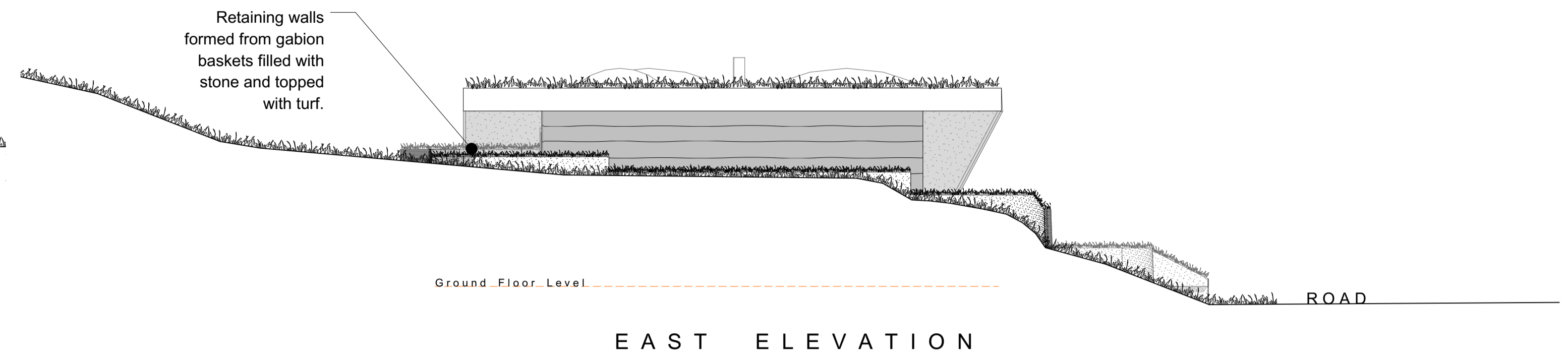


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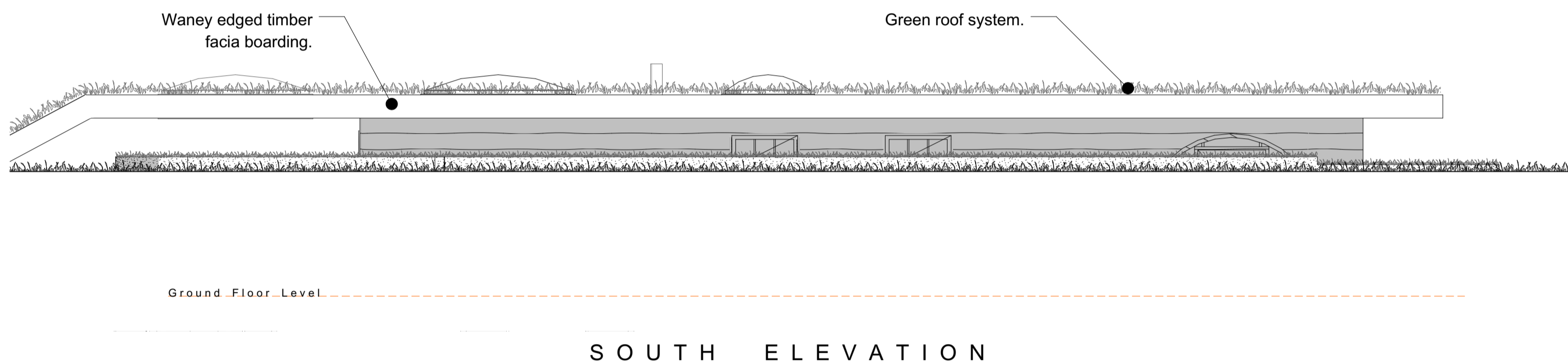
2 Bedroom Cabin - North of Track



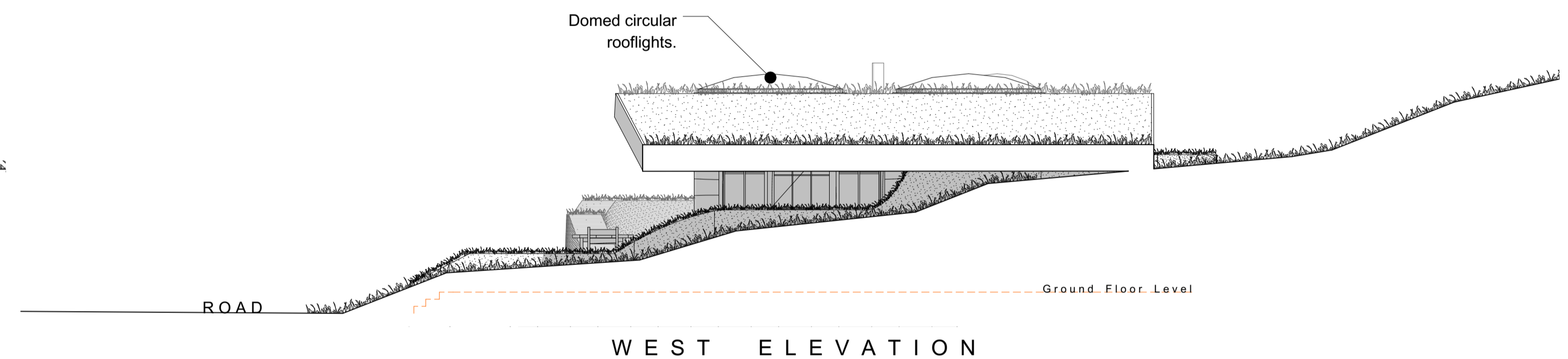
NORTH ELEVATION



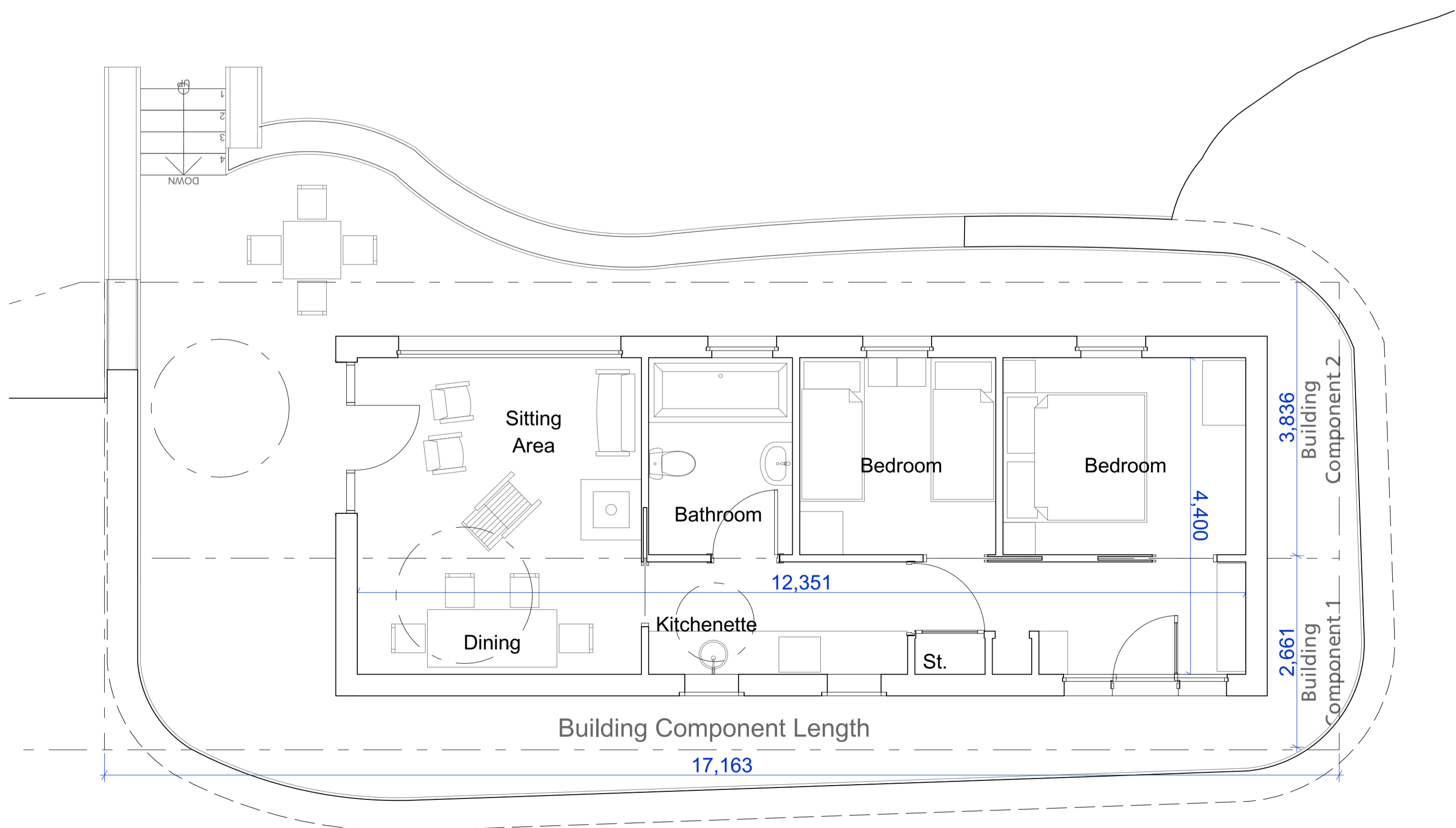
EAST ELEVATION



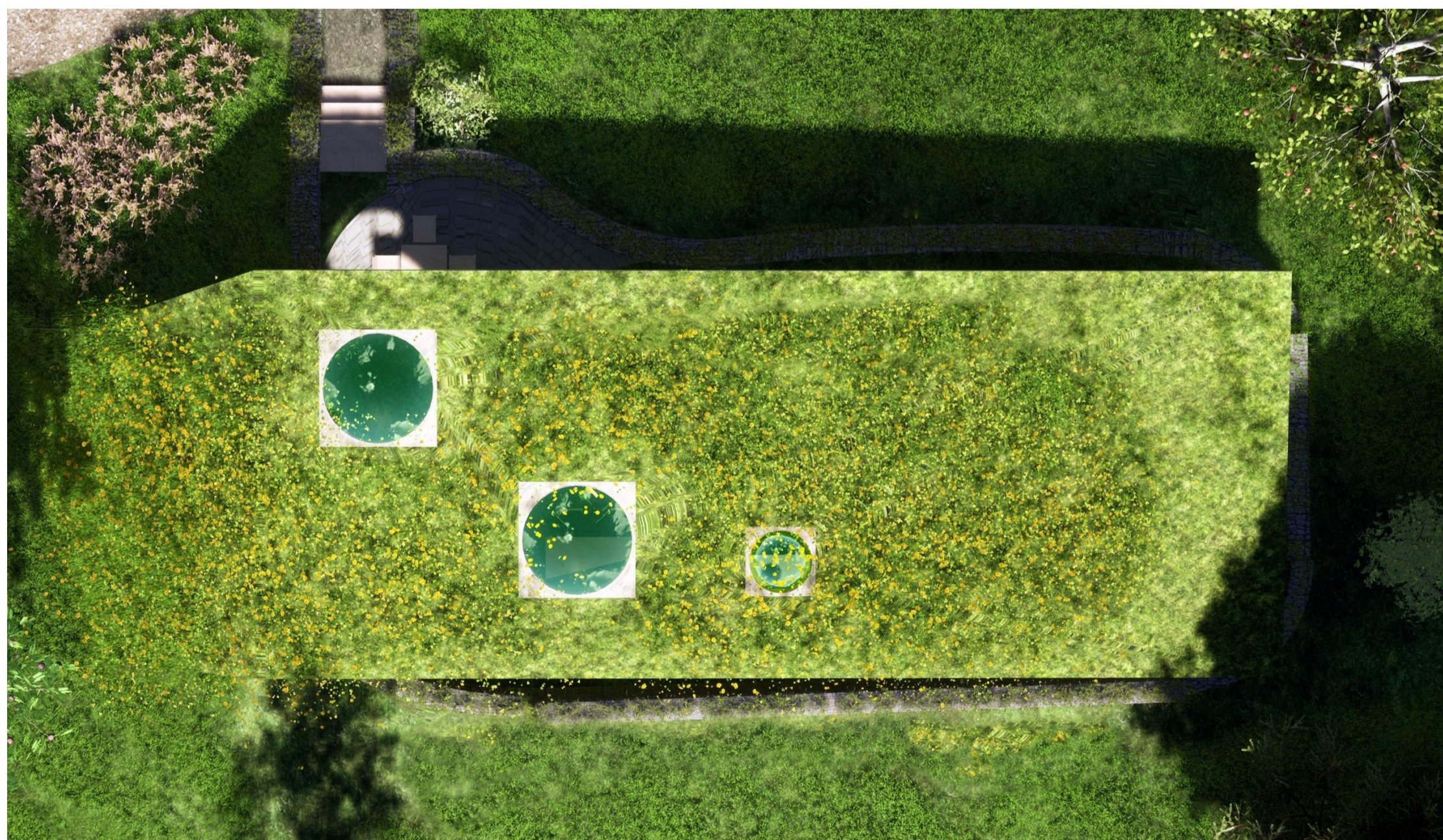
SOUTH ELEVATION



WEST ELEVATION



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Job Title:
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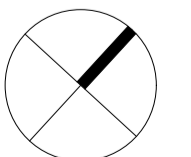
Drawing Title:
PROPOSED
2 Bedroom Cabin - North of Track

Drawing Status:
PLANNING

Drawing Number:
F1926 L(2-) 003

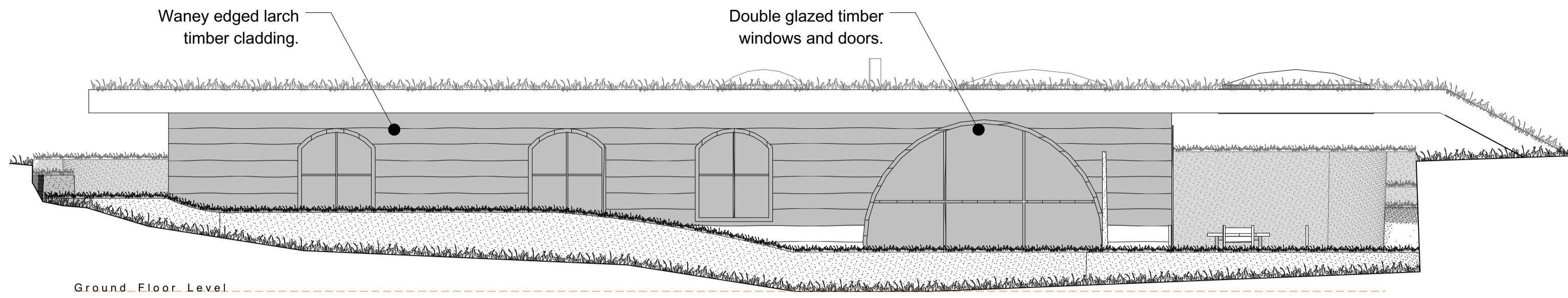
Revision:
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Scale: 1:50 @ A1 | Date: 02/07/2020 | Drawn by: AP | Reviewed by: SM
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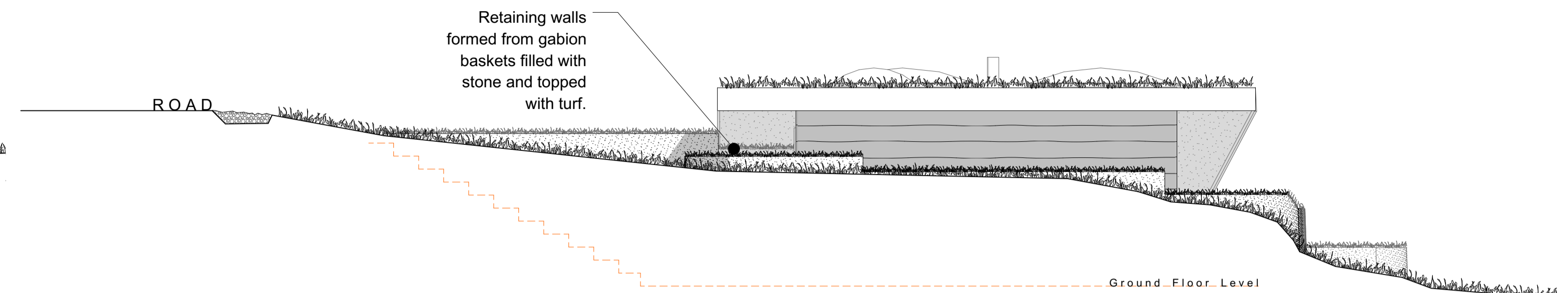


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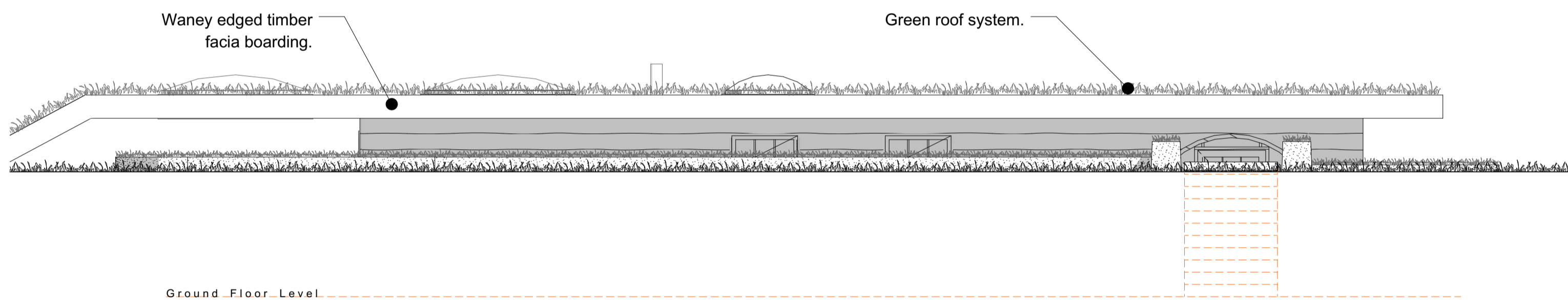
2 Bedroom Cabin - South of Track



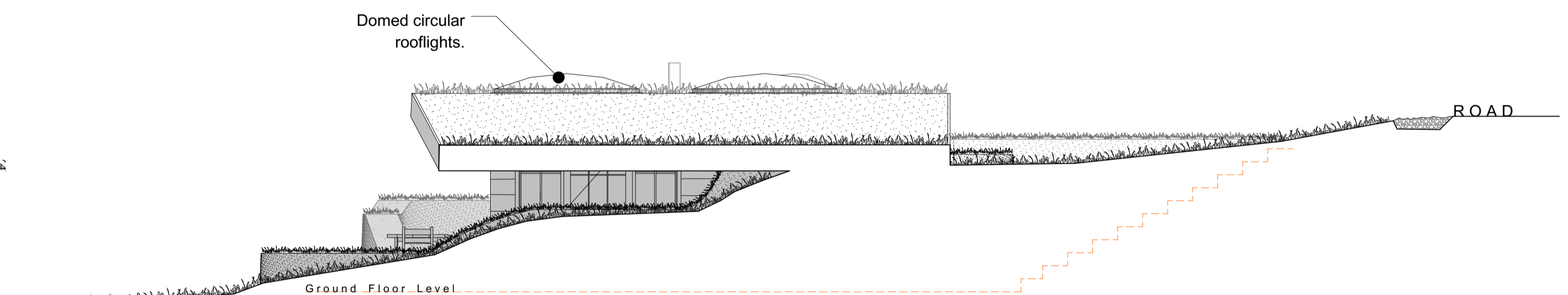
NORTH ELEVATION



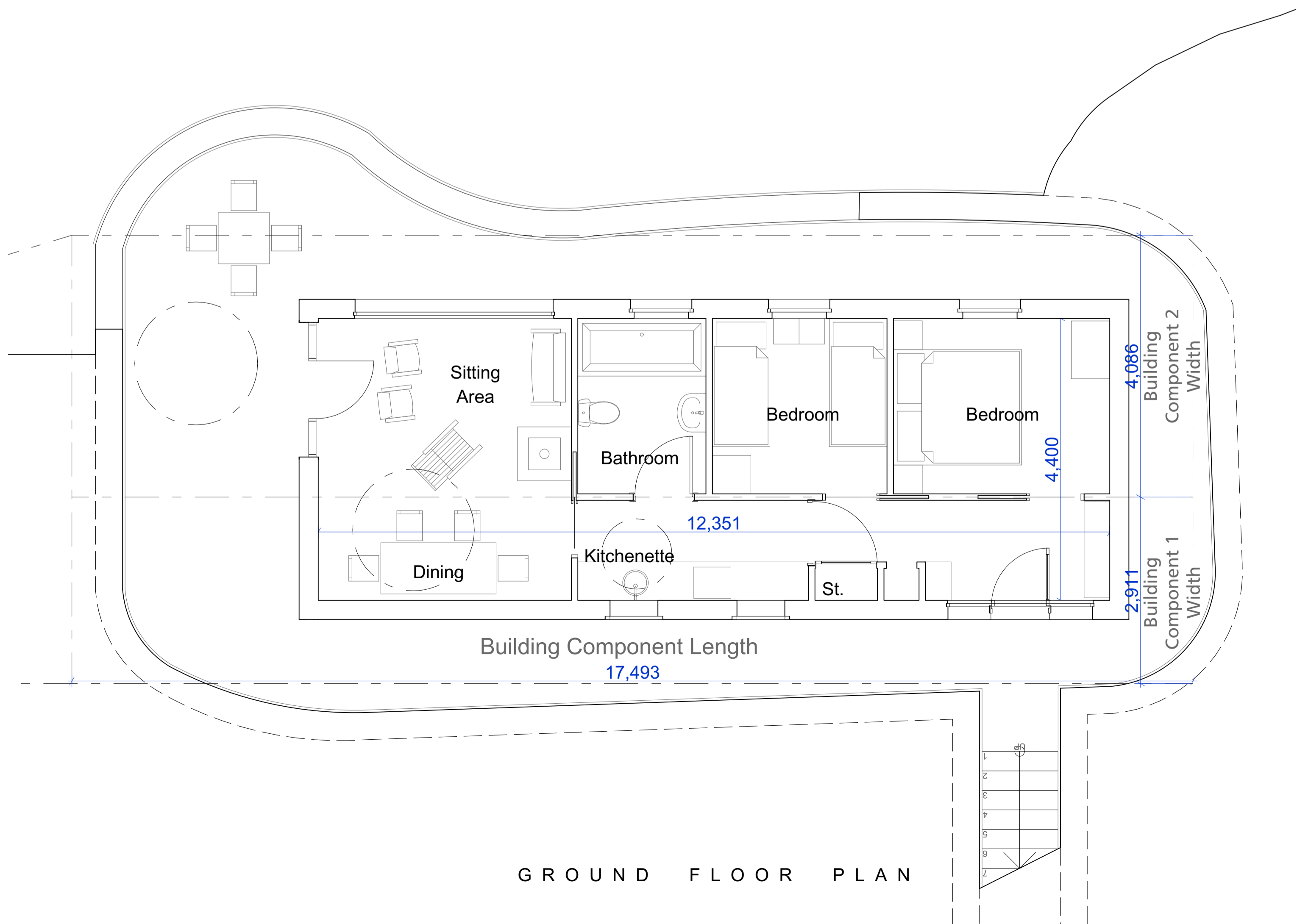
EAST ELEVATION



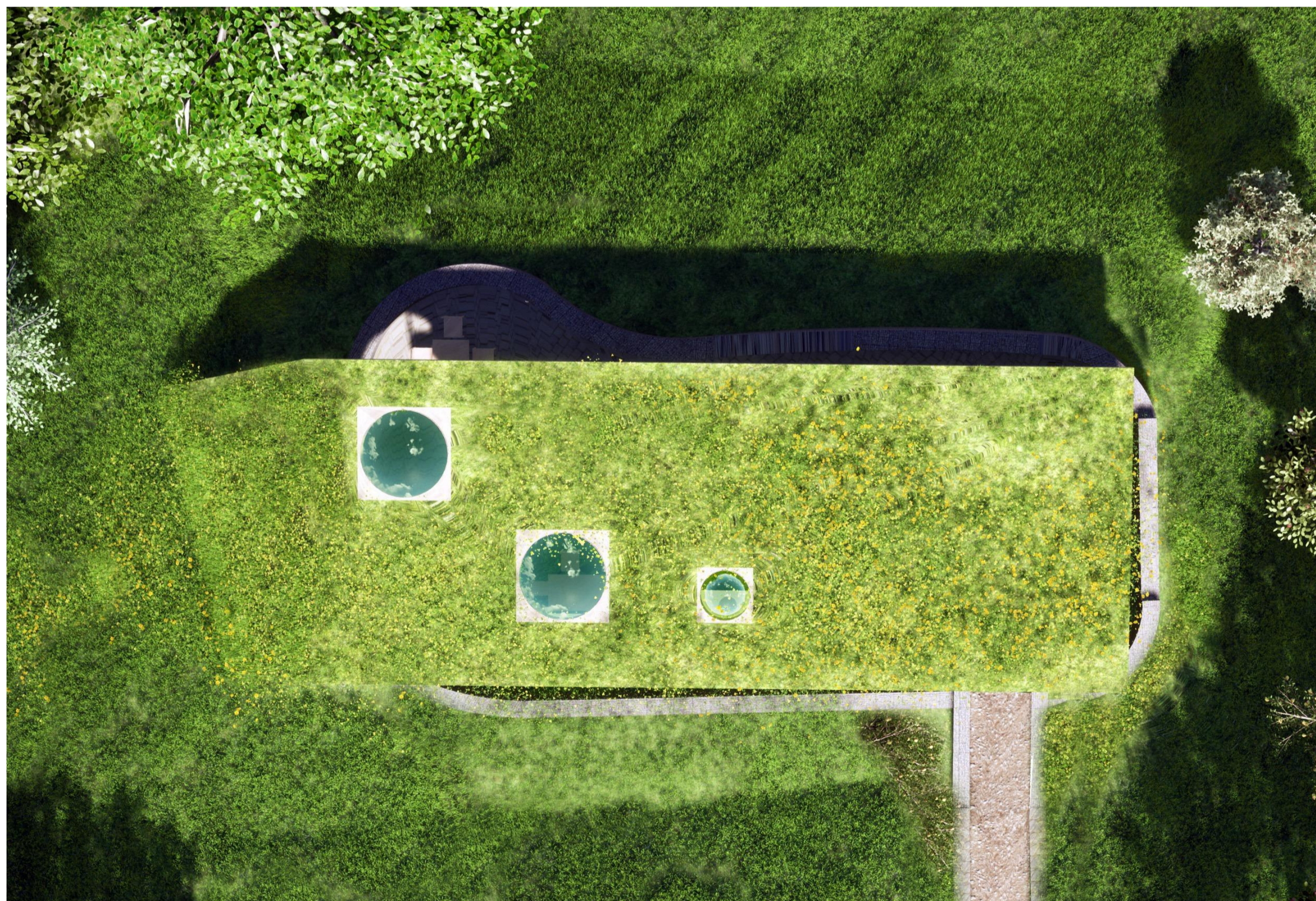
SOUTH ELEVATION



WEST ELEVATION



GROUND FLOOR PLAN



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Job Title:
Boleskine House, Cabins

Drawing Title:
PROPOSED
2 Bedroom Cabin - South of Track

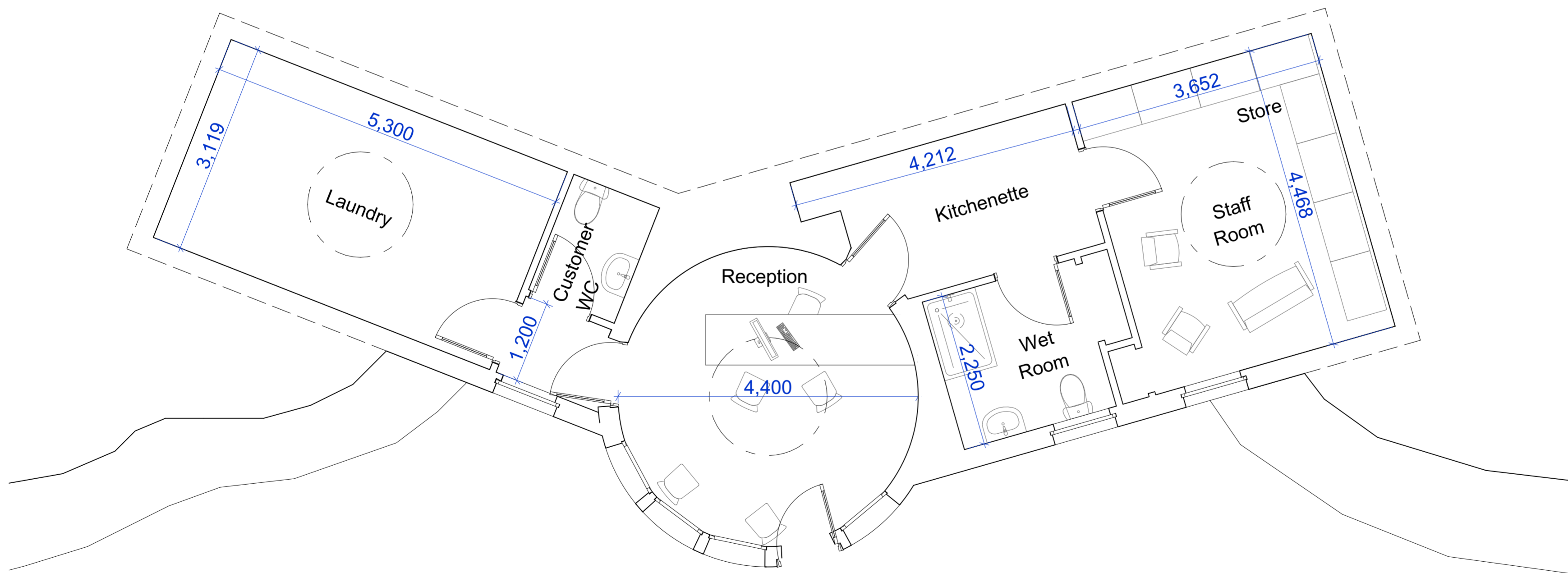
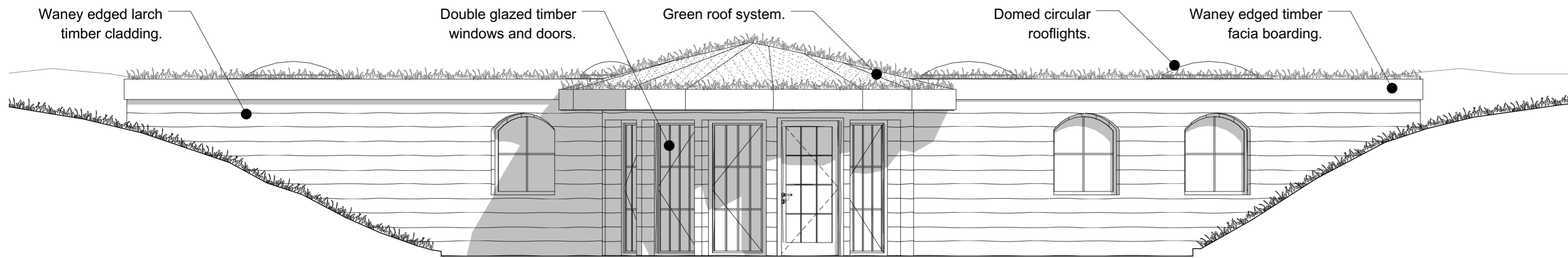
Drawing Status:
PLANNING

Drawing Number:
F1926 L(2-) 004

Revision:
 -

Scale: 1:50 @ A1
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 Date: 02/07/2020
 Drawn by: AP
 Reviewed by: SM

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Job Title:
Boleskine House, Cabins

Drawing Title:
**PROPOSED
 Gatehouse Plan**

Drawing Status:
PLANNING

Drawing Number:
F1926 L(2-) 005

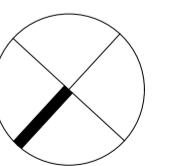
Revision:
 -

Scale:
 1:50 @ A2

Date:
 01/07/2020

Drawn by:
 AP

Reviewed by:
 SM



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Job Title:
Boleskine House, Cabins

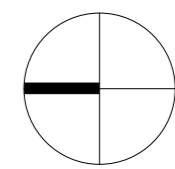
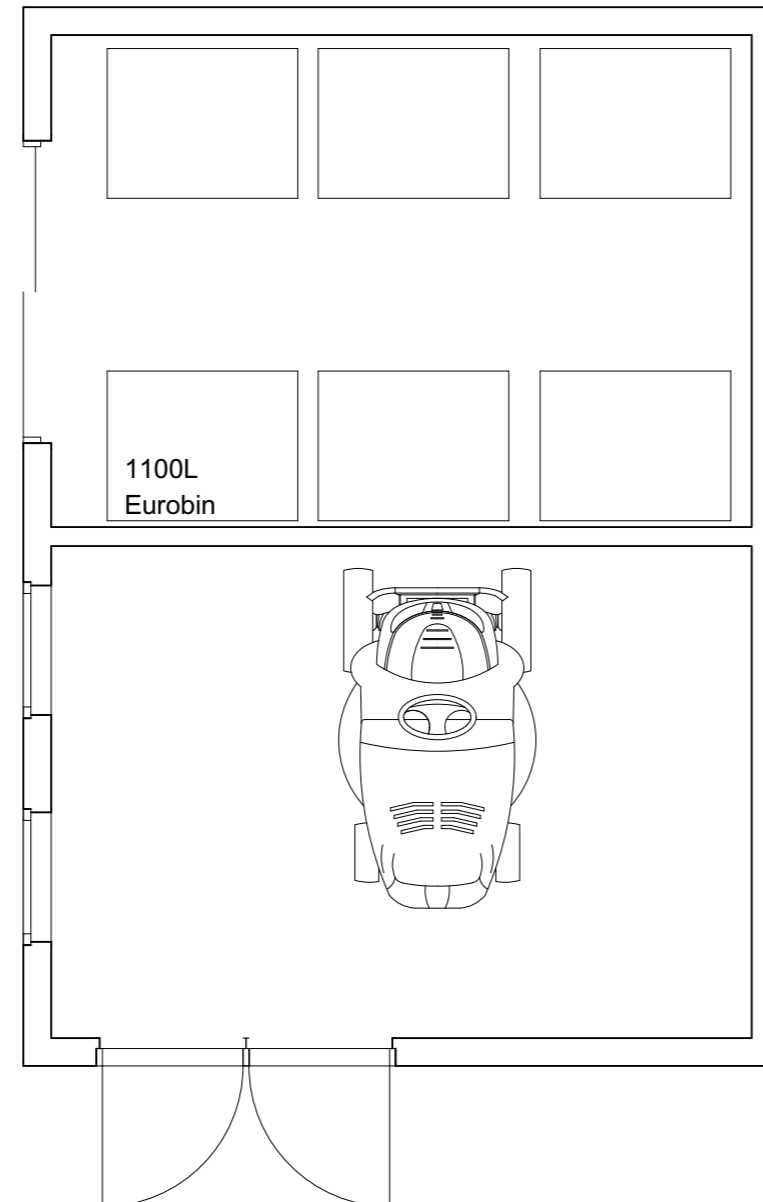
Drawing Title:
**PROPOSED
Service & Refuse Store**

Drawing Status:
PLANNING

Drawing Number: **F1926 L(2-) 006** Revision: **-**

Scale: **1:50 @ A3** Date: **01/07/2020** Drawn by: **AP** Reviewed by: **SM**

Revisions:



NOTE: _____

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Job Title:

Boleskine House, Cabins

Drawing Title:

Site Plan Proposed

Drawing Status:

COMMENT

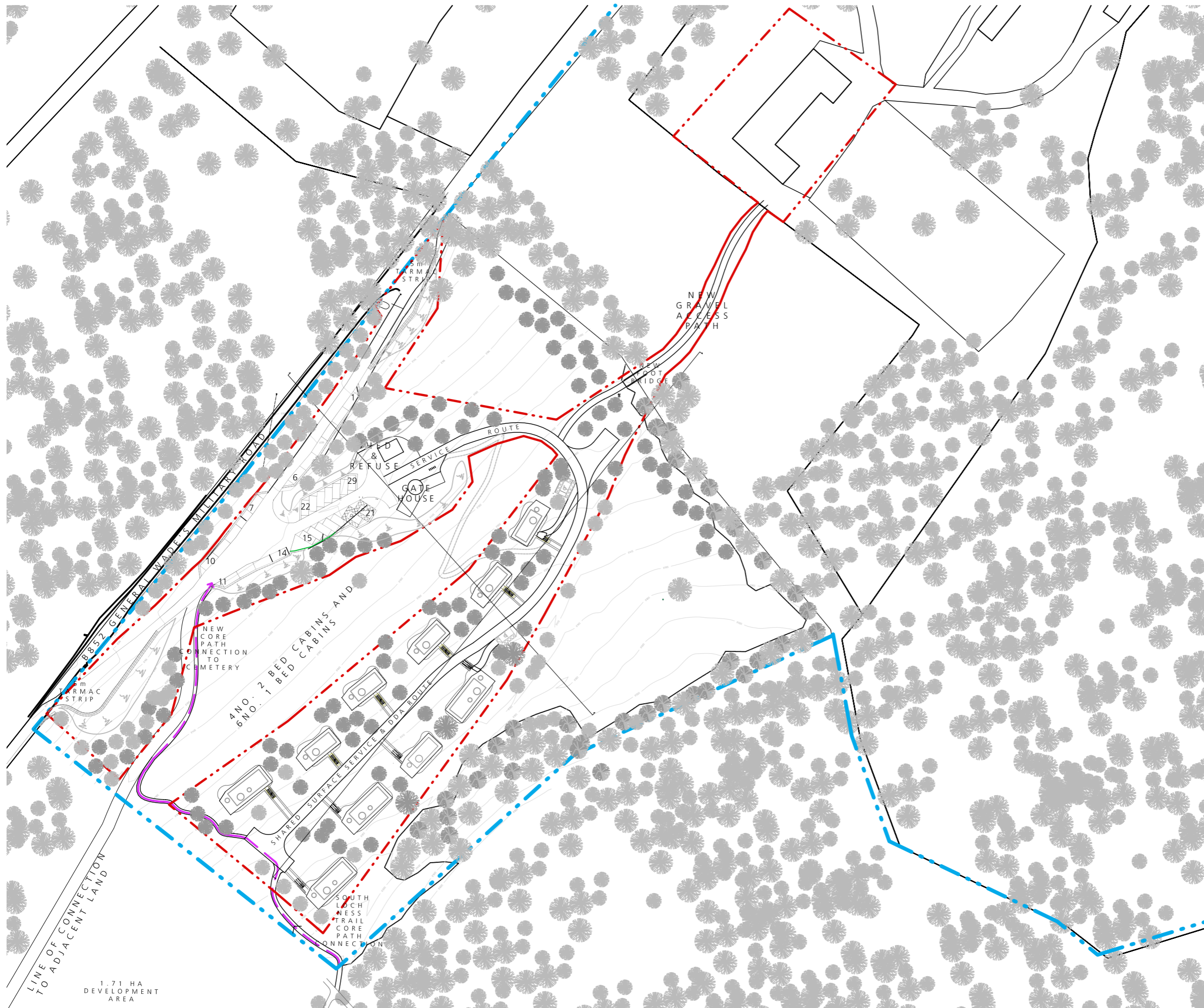
Drawing Number:

F1926L(--)-001

Scale:	Date:	Drawn:	Reviewed:
1:1250	April 20	AP	SM

Revisions:

A- Topographic Survey and Cabin Layouts	05/06/20
B- Trees Added, Layout Revised	12/06/20
C- Revised Road Entrance	22/09/20



1.71 HA
DEVELOPMENT
AREA

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