

Agenda Item	6.14
Report No	PLS-070-20

HIGHLAND COUNCIL

Committee: South Planning Applications Committee

Date: 08 December 2020

Report Title: 20/01728/FUL: Inverness Paving Ltd
Land at Treetop Stables, Faebuie, Culloden Moor, Inverness

Report By: Area Planning Manager – South

Purpose/Executive Summary

Description: Change of use from equestrian centre to holiday, leisure and hospitality facilities including 13 lodges, cafe/shop, reception, laundry and restaurant

Ward: 19 – Inverness South

Development category: Major

Reason referred to Committee: Major Development

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **Grant** planning permission, subject to Notification to Scottish Ministers, as set out in section 11 of the report.

1. PROPOSED DEVELOPMENT

- 1.1 Planning permission is sought for the redevelopment of an existing riding centre complex to create a tourism and leisure facility consisting of the change of use, alterations and substantial extension of an existing stable building to form a 100 cover restaurant, the siting of 13 accommodation lodges, and alterations to other existing buildings to provide ancillary facilities comprising a reception building, shop/café and laundry building. An existing steel portal frame building presently used for storage and operational purposes in connection with the applicant's paving business will be converted into a new stable to provide accommodation for up to 15 horses. This application is essentially a resubmission of a proposal submitted in March 2018 for the same development that was subsequently refused on 09 May 2019 under delegated powers. This application seeks to address the reasons for refusal of the earlier proposal which are discussed further in paragraph 8.37 below.
- 1.2 The lodges would be finished in timber cladding with the remaining buildings to be converted and altered on the site and finished with timber cladding and smooth white rendered panels. The proposed restaurant building would also feature extensive glazing.
- 1.3 The site enjoys a semi-rural location within a woodland setting approximately 1 km south-east of the settlement of Balloch on the north-eastern fringe of the city boundary and lies wholly within the Culloden Muir Conservation Area and the designated Inventory Battlefield.
- 1.4 Several of the existing buildings on the site would be removed to facilitate the development. The following buildings would be retained and converted -
- A partially erected stable building constructed of stone which would form the reception (Building B on site layout plan);
 - Single storey rectangular stable building with eight stalls which would form the shop/café, linen store and one-bed self catering unit (Building C on site layout plan);
 - Single storey timber reception building that would be converted to a laundry facility (Building D on site layout plan); and
- Single storey rectangular stable building with 11 stalls that would be substantially altered and extended to form a 100 covers restaurant (Building E on site layout plan).
- 1.5 Access to the site would be via the existing, but upgraded, junction with the C1028 Culloden Road linking Balloch with the B9006. The applicant intends to connect to the public sewer for waste water drainage and surface water drainage is proposed to be treated via a SUDS pond.
- 1.6 Pre Application Consultation: The applicant has carried out statutory pre-application consultation which included a community engagement event held on 26th August 2017.
- 1.7 Supporting Information: The following information has been submitted in support of the application:

- Supporting Policy Statement;
- Pre-application Consultation Report;
- Design Report;
- Transport Statement;
- Drainage Impact Assessment & SUDS Strategy;
- Arboricultural Impact Assessment, Method Statement and Woodland Management Plan;
- Landscape Visual Impact Assessment;
- Archaeological Survey Report;
- Ecological Survey Report; and
- Indicative Palette of Materials, Lighting, Play Area and Entrance Garden images.

1.8 Variations: None.

2. SITE DESCRIPTION

2.1 The site is a mix of existing rural brownfield land and woodland which lies to the immediate northwest of the brownfield land. The site is used predominantly as an equestrian centre with part of the site also in use for the operation of a civil engineering contractor's business.

2.2 The brownfield land takes the form of linear development and consists of a number of single storey buildings constructed of timber or stone and timber and all with slate roofs. The site access road runs parallel to, and in close proximity with, the southwest boundary of the site with a partially erected stable building constructed of stone to the northwest. A large timber stable building lies adjacent and just beyond this point; the internal road swings out slightly running further away from, but still parallel with, the southeast boundary. Two additional long and narrow stable buildings are located between the internal road and the boundary.

2.3 The larger part of the site is an area of Scots Pine woodland, located northwest of the main site buildings. A manège has been formed in the northeast area of the site. Approximately half way into the site a large hardstanding area has been formed encroaching into the woodland. Significant amounts of construction and demolition waste have been stockpiled around this hardstanding area and this has clearly impacted on many of the surrounding trees.

3. PLANNING HISTORY

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|-----|----------------|--|-----------------------------|
| 3.1 | 21 June 2004 | 04/00241/FULIN: Erection of stable block including upgrading and improvement of existing access with C7 Balloch - Culloden Moor Road | Planning permission granted |
| 3.2 | 24 August 2010 | 09/00579/PIPIN: Erection of house | Withdrawn |

3.3	06 Sept 2010	09/00385/FULIN: Form external riding area	Planning permission granted
3.4	02 Dec 2010	10/03808/FUL: Erection of house and garage	Planning permission granted
3.5	26 April 2011	10/04777/FUL: Erection of lighting poles, maximum 6 (with lights).	Planning permission granted
3.6	31 May 2011	11/00904/FUL: Change of use from livery to riding school	Planning permission granted
3.7	07 Dec 2011	11/03728/FUL: Erection of stable block	Planning permission granted
3.8	13 June 2012	12/00505/FUL: Change of house design (to include swimming pool)	Planning permission granted
3.9	22 October 2012	12/03464/FUL: Erection of horse exerciser & shower block	Planning permission granted
3.10	16 Nov 2012	12/03453/FUL: Erection of managers house	Planning permission refused
3.11	30 June 2014	14/01122/FUL: Erection of stables (Retrospective)	Withdrawn
3.12	19 May 2014	14/01123/FUL: Erection of hay shed	Planning permission granted
3.13	09 May 2019	18/01399/FUL: Change of use from equestrian centre to holiday, leisure and hospitality facilities including 13 lodges, cafe/shop, reception, laundry and restaurant	Planning permission refused

4. PUBLIC PARTICIPATION

- 4.1 Advertised: Unknown Neighbour & Schedule 3 development (22.05.2020)
Affecting Setting of Conservation Area (30.10.2020)

Representation deadline: 20 November 2020

Timeous representations: 362 representations, including 1 support petition

Late representations: None

4.2 Material considerations raised are summarised as follows:

- a) Development is contrary to Development Plan;
- b) Adverse impact on Inventory Battlefield;
- c) Adverse impact on designated Conservation Area;
- d) Potential adverse effect on archaeological remains;
- e) Adverse impact on biodiversity;
- f) Adverse impact on general character of the area;
- g) Adverse effect on road network;
- h) Further development on the site will exacerbate existing flooding problems on the B9006 and the existing drainage infrastructure in the area; and
- i) Adverse effect on existing trees and resultant tree loss.

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Croy & Culloden Moor Community Council:** Object. The proposed restaurant and children's play area exceeds what is necessary to serve 13 lodges. The development will undoubtedly increase traffic on the B9006 and the road through Balloch, with noise levels increasing significantly. The main crossroads at Culloden Moor are a great concern due to previous accidents. There is also an increased risk to pedestrians on the unlit section of road from the Feabuie junction to the B9006.

5.2 **Balloch Community Council:** Object. The area should not be developed as the site is within the designated Culloden Battlefield and Conservation Area with a presumption against development. The applicant has not demonstrated an overriding need for development, and the archaeological report is inadequate. 20 trees will be removed, in addition to those removed to create an industrial site with no remediation. The proposal represents an overdevelopment of the woodland where no clear and significant public benefit has been demonstrated. The increase in light pollution and noise will significantly change the nature of this rural setting. The ecological report is nearly four years old and therefore out of date. The increase in traffic will make it more dangerous for all road users.

5.3 **Historic Environment Team (Archaeology):** No objection subject to a condition requiring further archaeological investigation. The work associated with the submitted archaeological survey report was carried out in 2016 and should be reviewed, taking account more recent historical analysis that has been carried out. Additional information should be provided in advance of determination so that visual impact between the 'promoted battlefield' (the land including and around the NTS visitor centre) and the site, taking account of the mature plantation felling that will occur between the locations in the next few years can be clearly assessed.

5.4 **Historic Environment Team (Conservation):** No objection. The proposal does not raise significant issues in conservation terms, and it is unlikely to affect the character or appearance of the conservation area. Overall, the proposal meets the policies as set out in the Culloden Muir Conservation Appraisal and Management Plan. The application site is relatively secluded and self-contained and it is noted that a strip of woodland between the site and main area of the battlefield will be retained which will afford an additional level of screening.

The quality of design and materials is as expected of a conservation area; should any future application be submitted to reduce the quality of materials or design this is unlikely to be supported. There are slight concerns in relation to the potential for light pollution, especially given the extensive use of glazing in the lodge design. Measures to minimise/mitigate this should be detailed, i.e. recessed lighting, internal blinds, tinted glass in the top lights etc.

5.5 **Forestry Officer:** No objection subject to conditions. “The main concerns in my earlier response were technical aspects and most of these have been addressed. I still have serious reservations about the successful implementation of the proposals, but the applicant has now demonstrated that the site could be developed as proposed. It is absolutely essential that development is implemented with complete tree protection measures; good arboricultural supervision, robust tree planting and proactive woodland management.”

5.6 **Transport Planning Team:** No objection subject to the inclusion of recommended conditions set out in consultation response.

5.7 **Access Officer:** No objection. An informative is recommended advising that as the development is next to the Culloden Battlefield Trail, the route is to remain open and free from obstruction or encroachment before, during and on completion of the development to ensure public access rights are upheld.

5.8 **Landscape Officer:** No objection on the basis that the proposed conditions, which if adhered to, will reduce the risks and potential impact on the existing TPO.

5.9 **Flood Risk Management:** No objection subject to the inclusion of recommended conditions set out in consultation response.

5.10 **Environmental Health:** No objection on the grounds that the development is unlikely to breach legislation otherwise enforced by Environmental Health. The Planning Authority is however advised that there may be a possible adverse impact on the amenity of neighbouring residents or the surrounding area. It is therefore recommended that the conditions detailed in our consultation response are attached to any permission granted.

5.11 **Historic Environment Scotland:** No objection. The proposals do not raise historic environment issues of national significance.

5.12 **National Trust for Scotland:** Recommend refusal on grounds of impact on battlefield.

5.13 **SEPA:** No objection.

- 5.14 **Nature Scotland:** No comment; proposal does not meet the criteria for consultation.
- 5.15 **Scottish Water:** No objection. Local water works and waste water treatments works have capacity to serve the development.
- 5.16 **Scottish Government (notification):** If the Planning Authority is minded to grant planning permission for this development, Scottish Ministers must be notified and will have 28 days to consider whether to call the application in for determination.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

- 28 - Sustainable Design
- 29 - Design Quality & Place-making
- 31 - Developer Contributions
- 35 - Housing in the Countryside (Hinterland Areas)
- 42 - Previously Used Land
- 43 - Tourism
- 44 - Tourist Accommodation
- 51 - Trees and Development
- 52 - Principle of Development in Woodland
- 57 - Natural, Built & Cultural Heritage
- 58 - Protected Species
- 59 - Other important Species
- 60 - Other Importance Habitats
- 61 - Landscape
- 63 - Water Environment
- 64 - Flood Risk
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage
- 77 - Public Access
- 78 - Long Distance Routes

6.2 Inner Moray Firth Local Development Plan 2015

No specific policies apply.

6.5 Highland Council Supplementary Planning Policy Guidance

- Construction Environmental Management Process for Large Scale Projects (August 2010)
- Developer Contributions (March 2013)
- Flood Risk & Drainage Impact Assessment (Jan 2013)
- Highland's Statutorily Protected Species (March 2013)
- Public Art Strategy (March 2013)
- Standards for Archaeological Work (March 2012)
- Sustainable Design Guide (Jan 2013)
- Trees, Woodlands and Development (Jan 2013)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

Scottish Planning Policy, June 2014

7.2 Other Policy and Guidance

Historic Environment Policy for Scotland, May 2019

Historic Environment Scotland: Managing Change in the Historic Environment:
Historic Battlefields

Culloden Muir Conservation Area Character Appraisal and Management Plan

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 requires that the Planning Authority has to pay special attention to the desirability of preserving or enhancing the character or appearance of the Conservation Area.

Determining Issues

8.3 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

8.4 The key considerations in this case are:

- a) compliance with the development plan and other planning policy;
- b) the siting, layout and design of the development;
- c) impact on historic environment;
- d) impact on natural environment; and
- e) any other material considerations.

Development plan/other planning policy

8.5 The site lies within the hinterland surrounding Inverness and planning permission is sought for what is essentially a tourist accommodation facility with ancillary development comprising a restaurant and a shop/café.

8.6 The Highland-wide Local Development Plan is supportive of tourism development where the scale of the proposal is proportionate to the location, where it will increase the length of peoples' stay, increase visitor spending, promote a wider spread of visitors and where it will have a positive effect on natural, built and cultural heritage features. In addition, tourism development is supported where it is essential to the

operation of a new rural business, where it involves re-use of brownfield land and where it can demonstrate sensitive siting and high quality design in keeping with the character of the area and the historic and natural environment.

- 8.7 However, there are a number of other key policy considerations against which the development must be assessed, including the siting, layout and design of the proposal and the impact of development on natural and cultural heritage features. This includes the potential impacts on trees, landscape setting and other natural, built and cultural heritage assets. All development proposals need to be assessed against the importance and type of heritage features, form and scale of development and impact on the feature or setting.
- 8.8 Subject to the proposal having no significant detrimental impact on the aforementioned considerations the development would comply with the Development Plan.

Siting, layout, and design

- 8.9 The proposal consists of two main elements; (i) the conversion and alterations of the existing buildings to be retained as part of the development and (ii) the siting of 13 holiday lodge units. These are discussed in detail below.

1. Proposed buildings (excluding lodges)

- 8.10 With reference to the submitted site layout plan the site would comprise five buildings in addition to the 13 lodges. The buildings feature a palette of materials consisting of a mix of horizontal timber cladding, white rendered walls and slate roofs. Building B would become a single storey reception office. Building C would be converted to form a single storey café/shop, store and self-catering holiday unit. Building D would be retained as a single storey laundry and Building E would be substantially altered and extended to form a two storey restaurant with an extensively glazed dormer and raised terrace. Building F, in use for industrial purposes, would be changed to create stables.
- 8.11 All of the buildings would be finished to a high quality both in terms of design and use of materials, giving a contemporary look to the buildings. The buildings are considered to be appropriate in terms of scale to the proposed use. Any concerns arising from amenity would be in relation for the potential for noise from the external eating/drinking areas as well as light pollution arising from the use of the restaurant building.

2. Proposed buildings - Holiday lodge units

- 8.12 The 13 lodge units feature three design styles. Unit A1 is a one bedroom lodge consisting of two compartments that sit at a juxtaposition together with mono-pitched roofs and an external decking area with hot tub. Two of these units would be provided. Unit A2 is a two bedroom lodge in a similar design style to unit A1. Eight of these would be provided. Unit A3 is a three bedroom lodge on a largely rectangular footprint with a covered gable decking structure. Three of these would be provided. Units A1 and A2 are self-styled 'Treetop' units that are elevated from the ground on timber posts varying in height between 1.5 metres and 2 metres. The

units all feature a mono-pitched turf roof and would be clad in untreated larch and shingles.

- 8.13 The lodges would be situated within the woodland area. The footprint of the units range in size from approximately 90 sqm to 148 sqm and in height from approximately 4.6 metres (A1 & A2 units) and 5 metres (A3 unit). Factoring in the elevated positions of the A1 and A2 units, the overall height when measured from ground level would range from approximately 6.1 metres to 6.6 metres. As with the other buildings proposed, the design and use of materials is of a high standard. The main concerns with the siting of the lodges would be the potential for light pollution and noise and the impact of the development on the existing woodland.

Impact on historic environment

- 8.14 Scottish Planning Policy (SPP) asserts that the historic environment is a key cultural and economic asset and that the planning system should promote the care and protection of historic assets and their contribution to sense of place. It should also seek to enable positive change in the historic environment, informed by a clear understanding of the importance of those assets. Change in the historic environment should be sensitively managed to minimise or avoid adverse impacts.

1. Impact on historic environment - Culloden Battlefield

- 8.15 The site is located within Culloden Battlefield which was added to Historic Environment Scotland's (HES) Inventory of Historic Battlefields on 21 March 2011. The Inventory is a list of nationally important battlefields in Scotland. SPP requires planning authorities to "*protect, conserve and, where appropriate, enhance the key landscape characteristics and special qualities of sites in the Inventory of Historic Battlefields.*"
- 8.16 HES has updated its policy statement on decision-making that affects the historic environment through the recent publication of the Historic Environment Policy for Scotland (HEPS). It is non-statutory but nevertheless is a material consideration in the determination of this planning application and sits alongside the Scottish Government's SPP document.
- 8.17 There are six specific policies in HEPS. Of particular relevance to the determination of this application is the need to ensure that decisions affecting the historic environment should be informed by an inclusive understanding of its breadth and the cultural significance of the heritage asset; decisions should ensure the asset's understanding and enjoyment as well as securing its benefits for present and future generations.; the need to effectively manage change in the historic environment; and decisions affecting the historic environment should contribute to the sustainable development of communities and places.
- 8.18 HEPS is supported by specific guidance notes including 'Managing Change in the Historic Environment: Historic Battlefields'. This guidance note states that planning authorities have an important role in protecting historic battlefields and that local development plans should set out policies and criteria applying to the protection, conservation and management of Inventory battlefields.

- 8.19 In assessing proposals, the guidance note advocates the importance of identifying less tangible values, such as the contribution that a battlefield can make to a sense of place, or cultural identity, noting that these issues can be appreciated at local, national and even international level. Where development can be supported, it should be located and designed to conserve and enhance the key landscape characteristics of the battlefield.
- 8.20 The guidance note advises that development on a battlefield can impact on the physical remains of the battle or its landscape and that the development management process should identify and assess these impacts, mitigating them where possible. Crucially, the guidance note states that the inclusion of a battlefield in the Inventory is not intended to simply be a barrier to development. It is intended to add protection to an area where particular consideration must be given to the impacts arising from development on a site and that this should focus on the special qualities and landscape characteristics of the battlefield. In determining proposals, planning authorities will have to carefully consider whether the development would significantly detract from the importance of the site.

- 8.21 Following consultation, HES advise that:

“The application is for part change of use and consent for a mixed leisure, holiday accommodation and new restaurant development with continuation of an existing equestrian facility. The site is within Culloden Forest on the eastern side of the Inventory Battlefield of Culloden.

The Battle of Culloden is significant as the last pitched battle fought on the British mainland and was the last battle of the Jacobite Rising that commenced in 1745 and was led by Charles Edward Stuart (Bonnie Prince Charlie).

The battle was a bloody defeat for the Jacobites and is one of the most important battles in the history of the British Isles. Its aftermath transformed the Highlands, bringing to an end a traditional way of life and contributing to subsequent clearances. The battle holds a prominent place within Scottish culture, frequently commemorated in art, music, literature and film. The battlefield includes one of the most visited tourist sites in the Highlands, and holds a particular emotional connection for many within Scotland and with Scottish connections.

The proposed development site is on the east side of Culloden Moor. The east of the moor was in the path of the Government army as they advanced from Nairn and to the rear of their lines, much of the area is likely to have been marshland at the time of the battle. The topography of this part of the battlefield is largely flat, and this contributes to an understanding of the wider landscape context of the engagement and the nature of the ground the Government advanced over. The application has been accompanied by a report detailing the results of an archaeological walkover survey and metal-detecting. This did not recover any artefacts likely to be related to the battle which confirms that the area was not central to the events of the battle itself and primarily provides landscape context around the battlefield.

The proposed development area is now heavily wooded and separated from the core of the battlefield by intervening forestry. The result of the woodland and forestry is that the proposed development area is not widely visible from elsewhere in the battlefield, for example, from the core of the battlefield - the location of hand-to-hand

fighting, the Clan Cemetery, the Field of The English or the National Trust for Scotland visitor centre and car park.

Around the proposed development site it remains possible to appreciate the flat topography over which the Government troops may have advanced and which forms part of the landscape context around the battlefield.

The proposed development would convert an existing equestrian centre within a wooded setting to lodges and supporting infrastructure situated within a similar wooded setting. It would not therefore change the character of this part of the battlefield or alter this area's contribution to the wider battlefield landscape. It would not detract from an ability to understand the generally flat topography of this part of the battlefield. Nor would the proposed development be widely visible, so it is not likely to adversely affect the setting of particularly sensitive parts of the battlefield such as the Clan Cemetery or the core of the battlefield."

- 8.22 On the basis of the above assessment, HES is of the view that the proposals do not raise historic environment issues of national significance and therefore do not object. It also advises that it's decision not to object should not be taken as their support for the development.

2. Impact on historic environment – Conservation Area

- 8.23 The site is located within the Culloden Muir Conservation Area which was originally designated in 1968 before being significantly expanded in 2015. The site lies within the originally designated area. SPP requires development within conservation areas to preserve or enhance the character and appearance of the conservation area and this is a duty enshrined in primary legislation.
- 8.24 The expansion of the conservation area was brought about in recognition that the Inventory battlefield area extended beyond the original conservation area and because it also presented an opportunity to afford protection to land further to the southeast across the Nairn valley to include the historically important Neolithic and Bronze Age relict landscape represented by the Balnuarin Clava Cairns and other Clava group Scheduled burial monuments and standing stones located north and south of the River Nairn.
- 8.25 In support of the expansion of the original conservation area the Council commissioned a Conservation Area Character Appraisal and Management Plan (CAMP). This was produced in November 2015 and has subsequently been adopted as supplementary planning guidance.
- 8.26 The CAMP identifies opportunities for preservation and enhancement as well as defining planning policies in relation to the management, preservation and enhancement of the conservation area. The policies require to be read in conjunction with the Culloden Muir Visual Setting Assessment, produced in October 2014. Policy 1 of the MP states a presumption against all development within the Inventory battlefield unless it accords with the development plan and any relevant guidance and would result in development commensurate with the principal battlefield designation. The policy lists examples of scenarios that may be considered appropriate development including development that is sited within an existing established group and does not increase the established group boundary. Policy 4

of the CAMP requires all new development proposals to be accompanied by detailed landscape visualisations which clearly show the impact of the proposals on any known or recorded historic environment assets.

- 8.27 The CAMP also includes a number of supporting maps and diagrams, including a 'Traffic Lights Map' dated 29 October 2014. This map colour codes the entire revised conservation area and highlights the core visual setting (red); ancillary visual setting (amber); and potential sites for infill development (green). The application site is located within an ancillary visual setting area, adjoining the core visual setting area to the immediate southwest.
- 8.28 The Council's Conservation Officer has advised that the proposals meet the policies set out in the CAMP. Given the secluded nature of the site and the screening afforded by the existing woodland it is unlikely that the proposal would result in an adverse impact on the existing character of the conservation area. In keeping with the sensitivities of the site the quality of design and materials is high. The Conservation Officer has however raised slight concerns regarding the potential for light pollution, especially given the extensive use of glazing in the lodge design. Measures to minimise/mitigate this should be detailed in the application.

3. Impact on historic environment – Archaeology

- 8.29 Due to the historic significance of the wider area there is the prospect that the site could have archaeological remains. SPP advises planning authorities that archaeological sites are an important, finite and non-renewable resource and should protect and preserve them in situ wherever possible. Where in situ preservation is not possible, planning authorities should, through the use of conditions or a legal obligation, ensure that developers undertake appropriate excavation, recording, analysis, publication and archiving before and/or during development.
- 8.30 As mentioned in paragraph 5.3 above, the Council's Archaeologist has noted that the applicant has already carried out mitigation work consisting of a walkover survey and metal-detecting survey within the wooded area that forms part of the undeveloped part of the site. However, this dates from 2016 and was carried out in connection with the earlier planning application and should be updated. Since that time, additional historical analysis has been carried out, by Christopher Duffy and the Council of Historians for example, and all such new research should be used to update and enhance the historical background within the report. This will allow an evaluation of the importance and potential of the historic environment in the application site to be made. In addition, any archaeological work carried out since 2016 must also be reviewed. It is also noted that a Lidar survey has been carried out on behalf of the National Trust for Scotland that likely included this parcel of land. However, that study is not in the public realm and unless it is made available specifically for these purposes, it cannot be used to inform an updated evaluation.
- 8.31 The requirement for a re-survey and further evaluation can be secured by planning condition, in the event that members are minded to grant planning permission for the development.
- 8.32 The Council's Archaeologist has also advised that it is unclear whether there will be a direct line of site from the 'promoted battlefield' (i.e. the land including and

surrounding the National Trust for Scotland's visitor centre) once the mature plantation between the B9006 and Culloden Road is harvested in the next few years. The applicant has submitted a Landscape Visual Impact Assessment and the Council's Landscape Officer has advised that as presented, the degree of visibility of the development would not create adverse impacts on the visual resource or landscape character. Two of these elements do however come with a degree of uncertainty arising from any additional felling being required, or if the woodland perimeter planting failed to thrive. The potential impact of development on the existing woodland is discussed in the following section.

Impact on natural environment features

1. Woodland

- 8.33 A substantial part of the application site (2ha) is woodland; primarily of Scots Pine apart from a narrow broadleaf edge to the north-west side; scattered mixed broadleaves through the wood and the area in the east of the woodland that has been cleared and stables and a carpark (formerly a manège) constructed. The trees are protected by a Tree Preservation Order imposed in 2006. SPP states that works to trees within a conservation area require prior notice to the planning authority and that TPO's can increase the protection given to such trees.
- 8.34 Policy 51 of the HwLDP require developments to promote the significant protection of existing woodlands and notes that the developable area will be influenced by tree impact, separation distances and where appropriate a woodland management plan to secure management of the existing resource. Policy 52 imposes a requirement to demonstrate the need to develop a wooded site and, in line with the Scottish Government's Control of Woodland Removal Policy, proposals will only be supported where they offer clear and significant public benefit.
- 8.35 Since submission of this planning application, and following consultation with the Council's Forestry Officer and their subsequent objection, an updated Arboricultural Impact Assessment, Method Statement, and Woodland Management Plan has been provided.
- 8.36 Following assessment of the revised supporting information, the Forestry Officer has confirmed that whilst still having serious reservations about the successful implementation of the proposal, the applicant has now demonstrated that the site could be developed as proposed. However, it has been emphasised that it is absolutely essential that development is implemented with complete tree protection measures; good arboricultural supervision, robust tree planting and proactive woodland management and therefore the withdrawal of the objection is subject to the imposition of the conditions set out in the revised consultation response.

2. Protected species

- 8.37 It is likely that the site and surrounding areas of woodland provide habitat for protected species such as red squirrels. The applicant has provided an ecological survey report in support of the application; however this dates from 2016 and a further survey and consideration of mitigation measures would be required before development could commence. This could be secured by condition.

Other material considerations

1. Refusal of planning permission 18/01399/FUL

8.38 As mentioned in paragraph 1.1 above, this application is essentially a resubmission of a previous proposal refused under delegated powers on 09 May 2019. The reasons for refusal were as follows:

1. The proposed development is contrary to Policy 51 (Trees and Development) of the Highland-wide Local Development Plan 2012 as it does not promote the significant protection of the existing woodland and would not give adequate separation distances between established trees and new development. Furthermore the proposals do not include a woodland management plan to secure management of the woodland resource.
2. The proposed development is contrary to Policy 52 (Principle of Development in Woodland) of the Highland-wide Local Development Plan 2012 as it has not been demonstrated that there is a need to develop the wooded site; that the site has capacity to accommodate the development and does not offer a clear and significant public benefit.
3. The proposed development is contrary to Policy 57 (Natural, Built and Cultural Heritage) of the Highland-wide Local Development Plan 2012 and the Culloden Muir Conservation Area: Character Appraisal and Management Plan Supplementary Guidance, as it has not been adequately demonstrated that the proposal would not compromise the natural environment, amenity or heritage resource of the Tree Preservation Order area or the Culloden Muir Conservation Area.
4. The proposed development is contrary to Policies 1, 2 and 4 of the Culloden Muir Conservation Area: Character Appraisal and Management Plan Supplementary Guidance in that it has not been adequately demonstrated that the proposal accords with the development plan and would result in development outwith an existing established group of buildings; or that the proposal will preserve or enhance the character and appearance of the Culloden Muir Conservation Area; and has not been supported by detailed landscape visualisations that clearly show the visual impact of development on the historic environment asset within which the site is located.

8.39 Through this application, the applicant has sought to address the above reasons for refusal by providing additional supporting information.

2. Existing land use

8.40 In assessing the suitability of a proposal, the existing use and lawful state of the land subject of the application is a material consideration. The supporting design report prepared by the agent states in paragraph 1.3 that *“The site has been developed and used for horse riding, training and stabling with stables and onsite facilities rented/leased by private owners; together with a plant storage building and yard for our client’s civil engineering contracting business.”* In paragraph 6.2 Building E is described as a storage/operational facility for the applicants paving business which

would be repurposed to provide stabling for 15 horses. The Council has no record of any planning permission having been granted for this latter element, namely the use of a previously granted hay storage shed for industrial use or the related contractor's yard associated with the applicants paving business.

- 8.41 A site inspection as part of the assessment of the previous planning application confirmed the formation of an extended yard area and noted the deposit of construction and demolition materials that have encroached by several metres into the protected woodland area. It therefore appears that four of the proposed accommodation units will be located on an area of clearing within the existing woodland where works to create that clearing appear to have been unlawful, resulting in the subsequent removal and damage to a number of protected trees

3. Flooding, drainage and roads infrastructure

- 8.42 Several third parties have cited concerns in relation to the possibility of the site exacerbating existing flooding and drainage problems and the intensification of use of the adjacent public road and the related inadequacy of existing access arrangements.
- 8.43 As part of the assessment of this application, consultations carried out included SEPA and the Council's Flood Risk Management team and Transport Planning Team. These parties have not objected to the application and where necessary have recommended the imposition of appropriate conditions.

Non-material considerations

- 8.44 There are no non-material considerations relevant to the determination of this application.

Matters to be secured by Section 75 Agreement

- 8.45 None.

9. CONCLUSION

- 9.1 Planning permission is sought for a major development consisting of 13 holiday lodges that would be located within an area of woodland, along with a 100 cover restaurant with a café/shop and other ancillary buildings located on rural brownfield land at the site.
- 9.2 The development is located within the Inventory Battlefield of Culloden and the Culloden Muir Conservation Area and the woodland within which the holiday lodges are proposed to be located is protected by a Tree Preservation Order.
- 9.3 In determining this application the three most critical issues have been (i) whether the development would adversely impact on the character of the Inventory battlefield; (ii) whether the development would preserve or enhance the character of the conservation area; and (iii) whether the proposals would adversely affect the integrity of the woodland within which the lodges would be located.

- 9.4 Following the consultation process, Historic Environment Scotland concluded that as the development area is heavily wooded and separated from the core battlefield area by intervening forestry, it would not be widely visible from the battlefield or detract from the character of this part of the battlefield. As a consequence it does not object to the application. However, it points out that this should not be taken as support for the proposals.
- 9.5 The Council's Conservation Officer advised that the proposal raised no issues in relation to the conservation area. Given the secluded nature of the site and the screening afforded by existing woodland, it was unlikely that development would result in an adverse impact on the character of the conservation area.
- 9.6 The Council's Forestry Officer, whilst still having serious reservations with the development, has accepted that what is proposed could be successfully delivered. However, this is likely to only be achieved through strict due diligence from the developer to ensure that what is provided will enrich the woodland area.
- 9.7 On the evidence of the above, it is accepted that the applicant has adequately addressed the earlier reasons for refusal of planning application 18/01399/FUL. Since the date of that refusal, no new material planning considerations have arisen that would now need to be taken into account in the determination of this application.
- 9.8 It is acknowledged that previous breaches of planning control have occurred within the application site boundary. Whilst this is not condoned in any way by the Council, the granting of planning permission would provide an opportunity to address these matters through the redevelopment of the site. The recommended conditions set out in section 11 of this report should help ensure that the Council can adequately control delivery of the development to a high standard.
- 9.9 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued	Y
Notification to Scottish Ministers	Y
Conclusion of Section 75 Obligation	N
Revocation of previous permission	N

Subject to the above, it is recommended that planning permission be **GRANTED** subject to the following conditions and reasons:

Conditions and Reasons

1. No other development or work shall commence until the following off-site infrastructure improvements have been carried out and completed, details of which shall be submitted to, and approved in writing by, the Planning Authority in consultation with the Roads Authority:
 - (a) a scheme for the widening of the narrow section of the C1028 Culloden Road to the north of the site access;
 - (b) a scheme to enhance the traffic signs and road markings on the B9006 western approach to the junction with the C1028 Culloden Road junction; and
 - (c) a scheme for the provision of two new bus stop hardstanding areas, to be provided either side of the C1028 in the vicinity of the main site access, with each providing a new bus stop flag and pole.

Reason: To ensure the satisfactory and timeous completion of the off-site improvement works in the interests of road safety, prior to development or work commencing on the site.

2. No development or work (including site clearance) shall commence until a programme of work for the survey, evaluation, preservation and recording of any archaeological and historic features affected by the proposed development/work, including a timetable for investigation, has been submitted to, and approved in writing by, the Planning Authority. The approved programme shall be implemented in accordance with the agreed timetable for investigation.

Reason: In order to protect the archaeological and historic interest of the site.

3. No development shall commence until a protected species and habitat pre-commencement survey has been undertaken and a report of survey has been submitted to, and approved in writing by, the Planning Authority. The survey shall cover both the application site and an area of 100 metres in all directions from the boundary of application site and the report of survey shall include mitigation measures where any impact, or potential impact, on protected species or their habitat has been identified. Development and work shall

progress in accordance with any mitigation measures contained within the approved report of survey and the timescales contain therein.

Reason: To ensure that the site and its environs are surveyed and the development does not have an adverse impact on protected species or habitat.

4. Prior to any site excavation or groundworks, all retained trees are to be protected against construction damage using protective barriers and ground protection located as per the Tree Protection Plan and Arboricultural Method Statement (in accordance with BS5837:2012 Trees in Relation to Design, Demolition & Construction). Protection measures are to remain in place throughout the construction period and must not be moved or removed without the prior written approval of the Planning Authority.

Reason: To ensure the protection of retained trees throughout the construction period.

5. No development shall commence until a detailed Landscape Planting Plan and maintenance programme has been submitted to and approved by the Planning Authority. The Landscape Planting Plan shall be based on the Landscape Master Plan and the Landscape Re-planting Strategy and shall be implemented in full during the first planting season following commencement of development or as otherwise agreed in writing by the Planning Authority.

Reason: In the interests of amenity.

6. No development shall commence until a detailed scheme of off-site Compensatory Planting (including future maintenance) has been submitted and approved in writing by the Planning Authority. All planting shall be implemented in full during the first planting season following commencement of development or as otherwise agreed in writing by the Planning Authority. The planting shall be maintained thereafter in accordance with the approved scheme, until established to the full satisfaction of the Planning Authority.

Reason: To protect Scotland's woodland resource, in accordance with the Scottish Government's policy on the Control of Woodland Removal.

7. A suitably qualified arboricultural consultant must be employed by the applicant to produce an updated Arboricultural Method Statement (AMS) which details how the trees on site are to be protected and also to ensure that the Approved Tree Protection Plans are implemented to the agreed standard and to include confirmation of screw pile methodology and detailed inspection chambers and foul water pump chambers locations. Stages requiring supervision are set out in the AMS (section 2.6) and certificates of compliance for each stage are to be submitted for the written approval of the Planning Authority.

Reason: To ensure the protection of retained trees throughout the construction period.

8. A suitably qualified landscape consultant must be employed at the applicant's expense to ensure that the Landscape Planting Plan is implemented to the agreed standard. Stages requiring supervision are to be agreed with the Planning Authority and certificates of compliance for each stage are to be submitted for approval prior to any development or work commencing at the site.

Reason: In the interests of amenity.

9. No development shall commence until, has been submitted to, and approved in writing by, the Planning Authority in consultation with the Roads Authority. Thereafter, the approved scheme shall be completed in full prior to any development within the planning permission site boundary.

Reason: To ensure that the bus stop hardstanding areas are completed timeously in the interests of improving connectivity to the site.

10. No development shall commence until full details of cycle parking within the site has been submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved cycle parking shall be completed and available for use prior to first occupation of any of the development.

Reason: To ensure that adequate provision is made within the site for cycle parking, to encourage active travel.

11. The finished floor levels of all lodges shall be set a minimum of 600mm above existing surrounding ground levels

Reason: To ensure that the development of the lodges addresses the residual risk associated with overland flows.

12. A minimum buffer strip of 3m should be left free from new development (including lodges, fences, decking) from the top of both banks of any ditches and there should be no ground raising within this strip.

Reason: In the interests of environmental protection.

13. No development shall commence until the applicant has provided full details of the proposed drainage pond along with an updated Drainage Impact Assessment (DIA), both of which shall be submitted to, and approved in writing by, the Planning Authority. The pond must be designed to store site runoff up to and including the 1 in 200 year plus climate change event.

The updated DIA shall clarify the intent with the pond. The micro-drainage calculations should be updated to use an appropriate rainfall estimation method as the Council no longer accepts the FSR method as it has been superseded by improved methodology. SEPA's guidance, Climate Change Allowances for Flood Risk Assessment in Land Use Planning suggests that

the allowance for rainfall estimation should now be 35%. The updated DIA must reflect this.

Following approval, development and work shall progress in accordance with the approved details.

Reason: To ensure that the proposed drainage infrastructure meets relevant environmental requirements.

14. No development or work shall commence until full details of all external materials and finishes for the buildings and lodges has been submitted to, and approved in writing by, the Planning Authority. Thereafter, development and work shall progress in accordance with the approved details.

Reason: To enable consideration of these matters, in the interests of amenity.

15. No lodges shall be erected until full details of measures to reduce the potential for light pollution emitting from the lodges has been submitted to, and approved in writing by, the Planning Authority. Such measures may include, but are not limited to, recessed lighting, internal blinds, and the use of tinted glass. Similarly, full details of all other external lighting to be provided within the development shall include measures to minimise light pollution. Following approval, the measures shall be implemented in full prior to first occupation of any of the lodges.

Reason: In order to minimise the potential for light pollution arising from the development.

16. No development or work shall commence until full details of all external features including lighting, hard landscaping (including surface materials), any means of enclosure, decking structures, boardwalks, and play area equipment, have been submitted to, and approved in writing by, the Planning Authority. Thereafter, development and work shall progress in accordance with the approved details.

Reason: To enable consideration of these matters, in the interests of amenity.

17. Prior to the development commencing, the applicant shall submit, for the written approval of the Planning Authority, details of an odour mitigation system designed to protect neighbouring properties from catering odour arising from this development. The system must be designed and installed by a competent person with specialist knowledge of ventilation and filtration systems.

The following information is required:

- (a) A description of the catering operation including adequate site and layout plans/drawings;
- (b) Details of the proposed filtration/ventilation plant and equipment with a reasoning for the choice; and
- (c) Proposed maintenance arrangements

Following approval, the system shall be installed and operated in accordance with the approved details.

Reason: To ensure that satisfactory measures are implemented to control cooking odour emissions, in the interests of amenity.

18. All plant, machinery and equipment associated with ventilation, air-conditioning, heating and refrigeration services or similar and including fans, ducting and external openings shall be so installed, maintained and operated such that any associated operating noise does not exceed NR 20 when measured or calculated within any noise-sensitive property with windows open for ventilation purposes.

Reason: In the interests of protecting the amenity of neighbours and site occupiers.

19. The lodges shall be used for holiday letting purposes only and shall not be used as a principal private residence or be occupied by any family, group or individual for more than three months (cumulative) in any one calendar year.

Reason: To ensure that the development does not become used for permanent residential occupation in the interest of the area's visual amenity, in recognition of the lack of private amenity space and in accordance with the use applied for.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

FOOTNOTE TO APPLICANT

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Accordance with Approved Plans & Conditions

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

Culloden Battlefield Trail

As the development is next to the Culloden Battlefield Trail, the route is to remain open and free from obstruction or encroachment before, during and on completion of the development to ensure public access rights are upheld.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Environmental Health

The development must comply with the Food Safety (Scotland) Regulations 2006 and the Health and Safety at Work etc. Act 1976. The applicant is advised to submit detailed kitchen layout plans to the Environmental Health Service. For advice on the above regulations please contact Environmental Health Service on telephone 01349 886603 or email: envhealth@highland.gov.uk

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks & Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud & Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974

Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

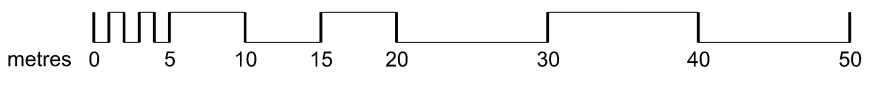
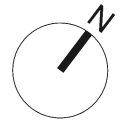
You are advised that work on site must stop immediately, and Scottish Natural Heritage must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from SNH: www.snh.gov.uk/protecting-scotlands-nature/protected-species

Designation: Area Planning Manager – South
Author: John Kelly
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 - Site Layout Plan (03 Rev D)
Plan 2 - General Plan Accommodation Units Type 1A (04 Rev B)
Plan 3 - General Plan Accommodation Units Type 2A (09 Rev A)
Plan 4 - General Plan Accommodation Units Type 3A (05 Rev A)
Plan 5 - General Plan Reception Building B (06)
Plan 6 - General Plan Buildings C & D (07)
Plan 7 - Proposed Floor/Elevation Plan Building E (08)
Plan 8 - Landscape Masterplan (157_MP_01 Rev C)

Notes:
This drawing is to be read in conjunction with landscape drawings and hard landscaping references.

Site services (power, water supply and surface/foul drainage) to be provided, routed and specified per Engineer's drawings and specification.
Access from public road remodelled/reconfigured to provide compliant visibility plays and footpath linkage. Refer to Engineer's drawings for details.

Refer to Landscape Architect's drawings for landscaping information.



Rev.	Description	Date

Treetops Riding Centre
Development

Masterplan

Scale: 1:500 @ A1 Project Director: Drawn: AB GF
Date: 18.11.19 Project Leader: Checked: AB

Project Number: Drawing: Revision:
1.6980 03 D

Notes:
Units generally constructed in timber frame and external timber cladding; mix of horizontal or vertical pattern dark stained or charred timber cladding and part stained oak shingles.

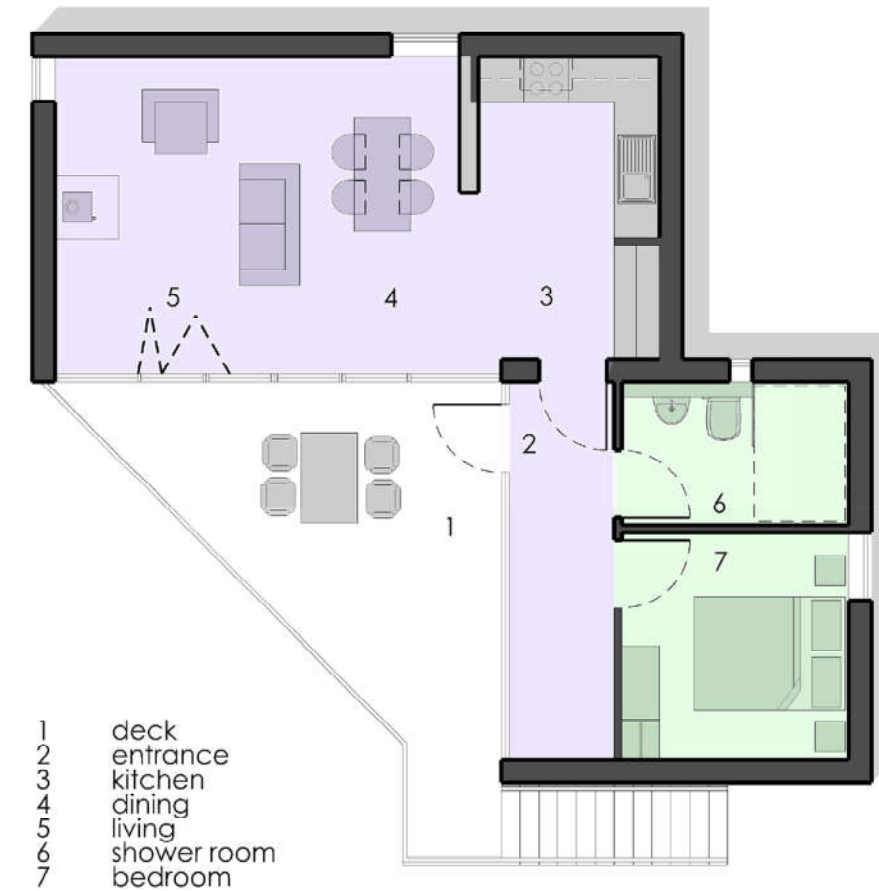
Roofs part finished dark grey profiled sheeting and part turf roof system.

Elevated units supported on 25mm diameter pressure treated telegraph poles, set in concrete footings.

Access stairs propriety galvanised aluminium including galvanised steel balustrading.

External decking finished with stained timber deck, non-slip and finned timber balustrading.

Windows and glazed screens slim pattern powder coated aluminium units, dark grey.



- 1 deck
- 2 entrance
- 3 kitchen
- 4 dining
- 5 living
- 6 shower room
- 7 bedroom

1 Site Location - 1 Bed Unit, Type A1

2 Floor Plan - One Bed Unit, Type A1
Scale 1:100 @ A1
Floor area 57sqm



3 North Elevation - One Bed Unit, Type A1
Scale 1:100@ A1



4 South Elevation - One Bed Unit, Type A1
Scale 1:100@ A1



5 East Elevation - One Bed Unit, Type A1
Scale 1:100@ A1



6 West Elevation - One Bed Unit, Type A1
Scale 1:100@ A1

PLANNING

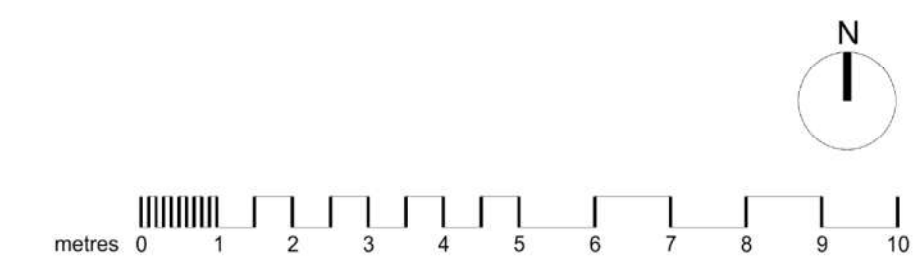
Revision	Description	Date
B	Amended lodge locations	12.02.20
A	Amended page layout	05.04.18

Redevelopment to provide
Holiday Lodges &
Associated Facilities at
Treetops Riding Centre,
Culloden

PROPOSED:
Accommodation Units
Type A1

Scale:	Date:	Lead:	Drawn:	Checked:
1:100 @ A1	12.02.20	AB	AM	

Project Number:	Drawing:	Revision:
1.6980	04	B



Notes:
Units generally constructed in timber frame and external timber cladding; mix of horizontal or vertical pattern dark stained or charred timber cladding and part stained oak shingles.

Roofs part finished dark grey profiled sheeting and part turf roof system.

Elevated units supported on 25mm diameter pressure treated telegraph poles, set in concrete footings.

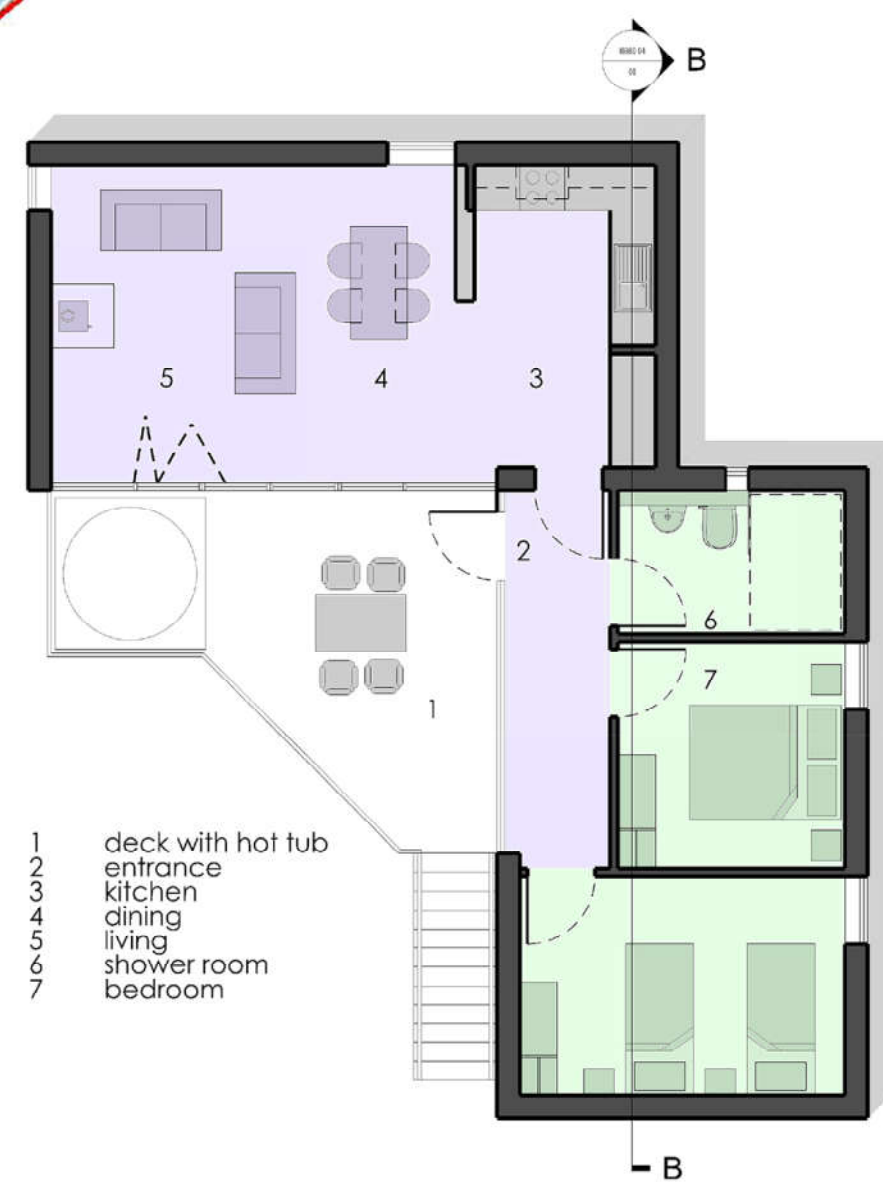
Access stairs propriety galvanised aluminium including galvanised steel balustrading.

External decking finished with stained timber deck, non-slip and finned timber balustrading.

Windows and glazed screens slim pattern powder coated aluminium units, dark grey.



1 Site Location - 2 Bed Unit, Type A2



2 Floor Plan - Two Bed Unit, Type A2
Scale 1:100 @ A1
Floor area 69sqm



3 North Elevation - Two Bed Unit, Type A2
Scale 1:100@ A1



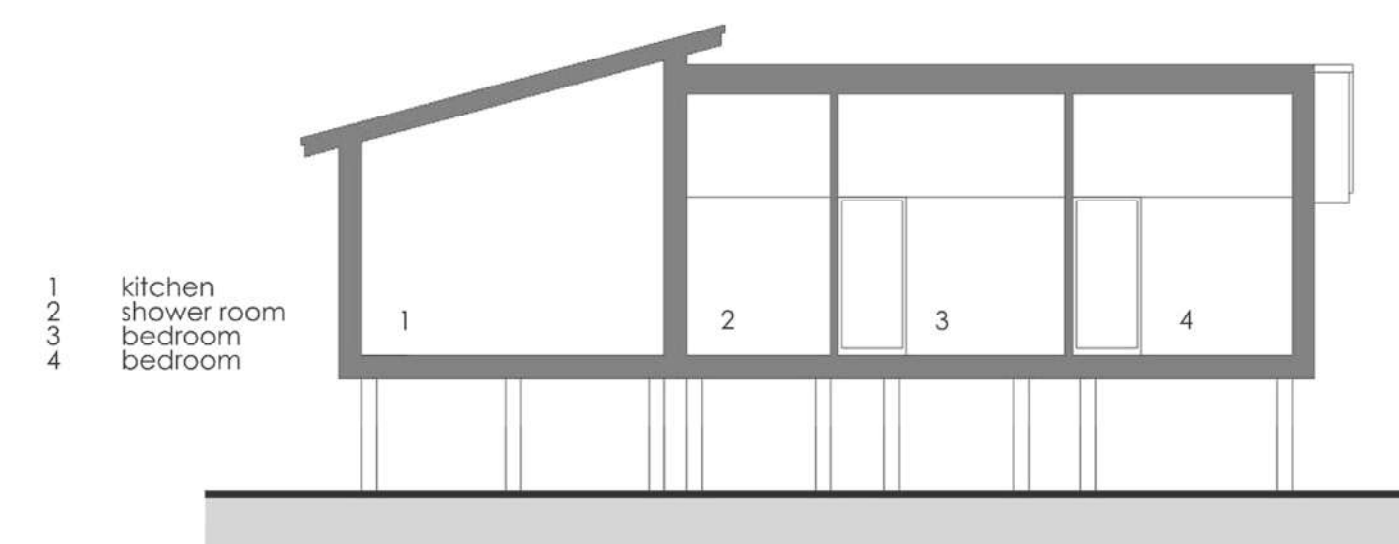
4 South Elevation - Two Bed Unit, Type A2
Scale 1:100@ A1



5 East Elevation - Two Bed Unit, Type A2
Scale 1:100@ A1



6 West Elevation - Two Bed Unit, Type A2
Scale 1:100@ A1



7 Section BB - 2 Bed Unit, Type A2
Scale 1:100@ A1

PLANNING

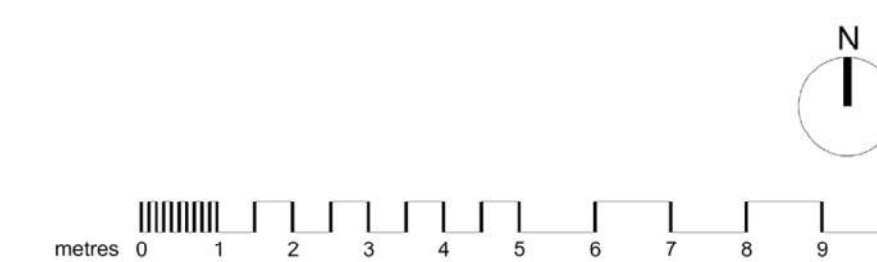
Revision	Description	Date
A	Amended lodge locations	12.02.20

Redevelopment to provide
Holiday Lodges &
Associated Facilities at
Treetops Riding Centre,
Culloden

PROPOSED:
Accommodation Units
Type A2

Scale:	Date:	Lead:	Drawn:	Checked:
1:100 @ A1	12.02.20	AB	AM	

Project Number:	Drawing:	Revision:
1.6980	09	A



Notes:
Units generally constructed in timber frame and external timber cladding; mix of horizontal or vertical pattern dark stained or charred timber cladding and part stained oak shingles.

Roofs part finished dark grey profiled sheeting and part turf roof system.

Elevated units supported on 25mm diameter pressure treated telegraph poles, set in concrete footings.

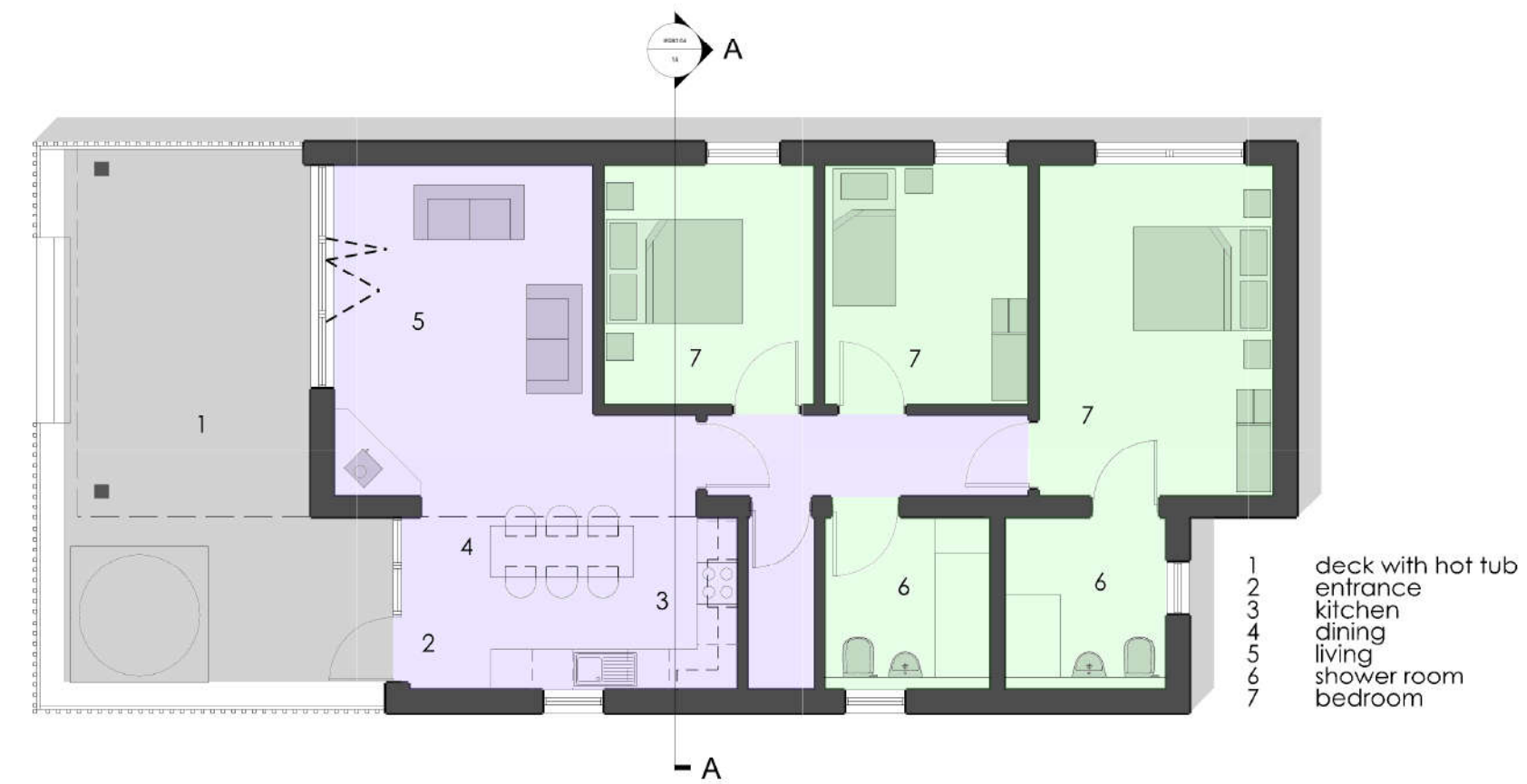
Access stairs propriety galvanised aluminium including galvanised steel balustrading.

External decking finished with stained timber deck, non-slip and finned timber balustrading.

Windows and glazed screens slim pattern powder coated aluminium units, dark grey.



1 Site Location - 3 Bed Unit, Type A3



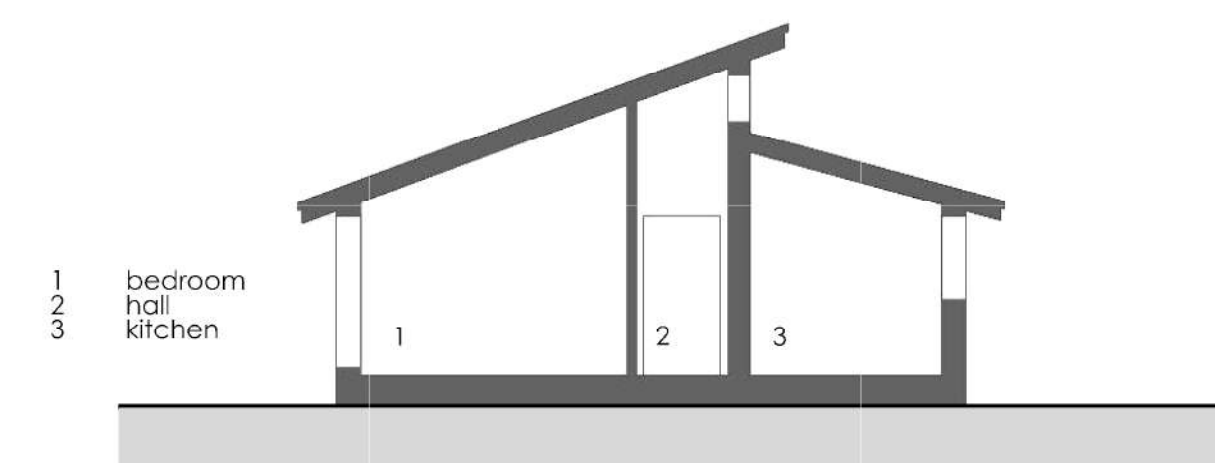
2 Floor Plan - 3 Bed Unit, Type A3
Scale 1:100 @ A1



3 North Elevation - 3 Bed Unit, Type A3
Scale 1:100@ A1



4 West Elevation - 3 Bed Unit, Type A3
Scale 1:100@ A1



5 Cross Section AA - 3 Bed Unit, Type A3
Scale 1:100 @ A1



6 South Elevation - 3 Bed Unit, Type A3
Scale 1:100@ A1



7 East Elevation - 3 Bed Unit, Type A3
Scale 1:100@ A1

PLANNING

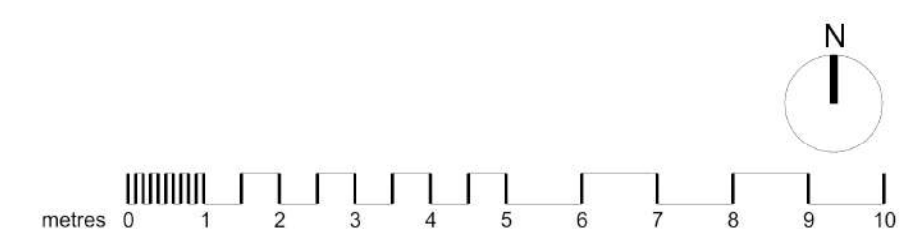
Revision	Description	Date
A	Amended Lodge Locations	12.02.20

Redevelopment to provide Holiday Lodges & Associated Facilities at Treetops Riding Centre, Culloden

PROPOSED:
Accommodation Units
Type A3

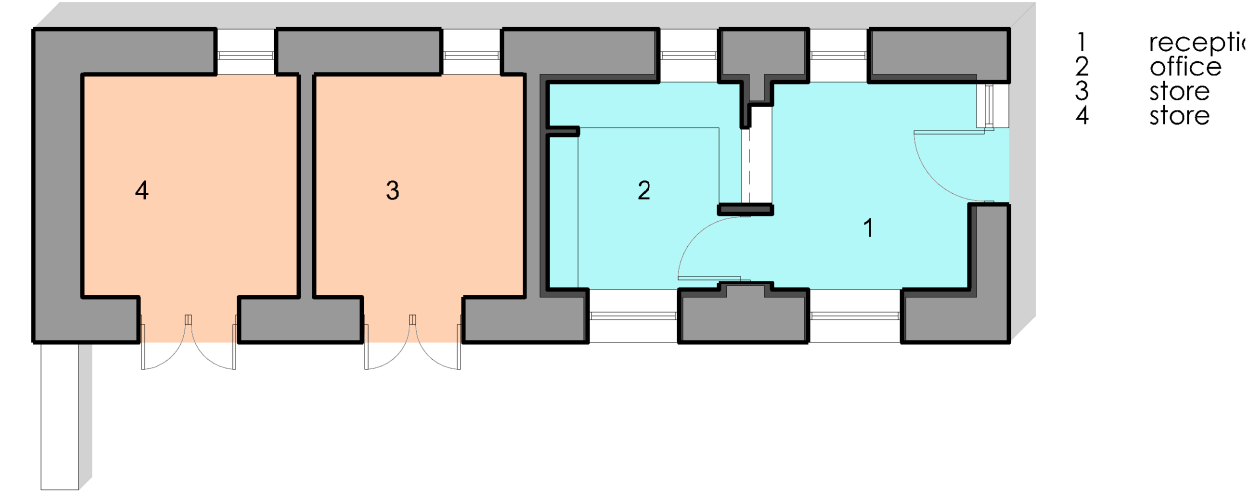
Scale:	Date:	Lead:	Drawn:	Checked:
1:100 @ A1		AB	AM	

Project Number:	Drawing:	Revision:
1.6980	05	A





1 Site Location - Reception, Building B



2 Floor Plans- Reception, Building B
Scale 1:100 @ A1
Floor area 32sqm



3 South Elevation
Scale 1:100@ A1



4 North Elevation
Scale 1:100@ A1



5 East Elevation
Scale 1:100 @ A1



6 West Elevation
Scale 1:100@ A1

Notes:
Existing timber/masonry stabling retained but converted/repurposed to form new facilities.

External finishes:
Existing roof replaced with dark grey profiled steel cladding system.

External walls to south, west and east elevations part re-rendered in smooth polymer system, white, part over clad dark stained or charred timber cladding, horizontal pattern as shown.

External glazing slim line aluminium powder coated units, dark grey.

External finish palette of materials utilised across all new/repurposed buildings on site.

PLANNING

Revision	Description	Date

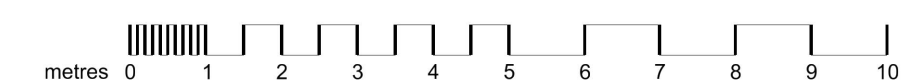
Redevelopment to provide
Holiday Lodges &
Associated Facilities at
Treetops Riding Centre,
Culloden

PROPOSED:
Reception, Building B

Scale:	Date:	Lead:	Drawn:	Checked:
1:100 @ A1	07.11.17	AB	AM	

Project Number:	Drawing:	Revision:
1.6980	06	

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Notes:
Existing timber/masonry stabling retained but converted/repurposed to form new facilities.

External finishes:
Existing roof replaced with dark grey profiled steel cladding system.

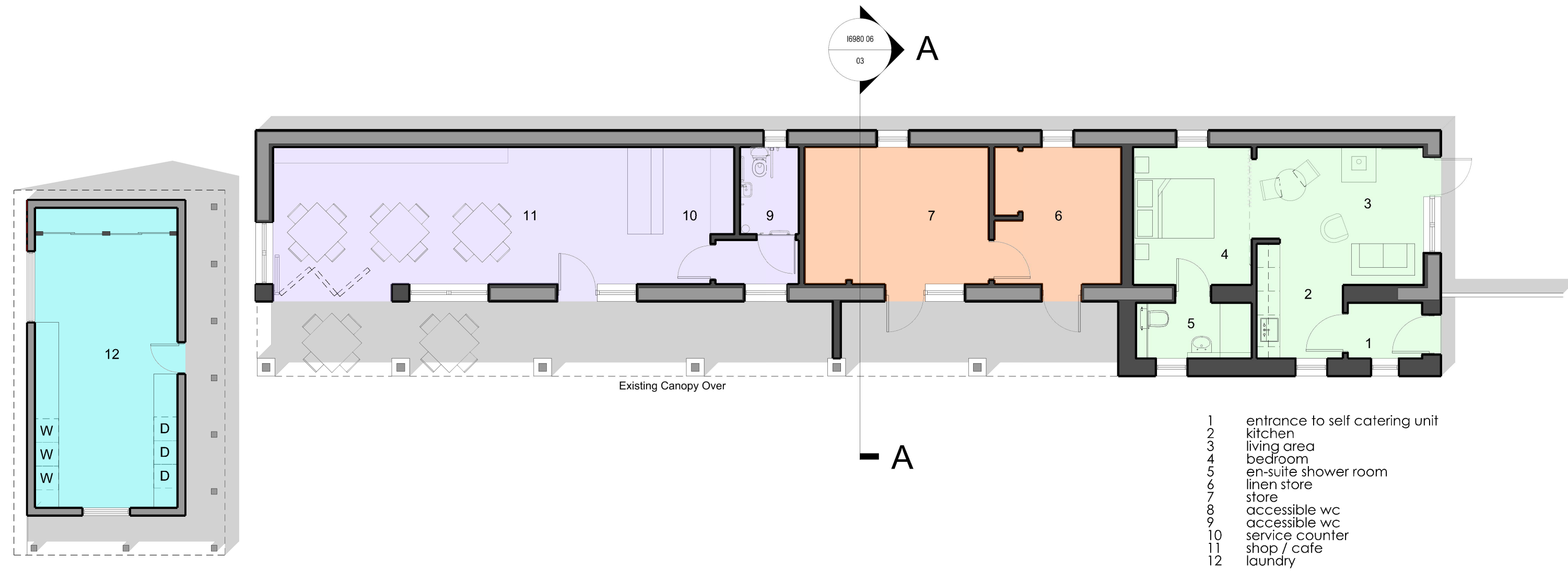
External walls to south, west and east elevations part re-rendered in smooth polymer system, white, part over clad dark stained or charred timber cladding, horizontal pattern as shown.

External glazing slim line aluminium powder coated units, dark grey.

External finish palette of materials utilised across all new/repurposed buildings on site.



1 Site Location - Laundry, Cafe, Shop, Self Catering Unit



2 Floor Plan- Laundry, Cafe, Shop, Self Catering Unit, Buildings C / D
Scale 1:100 @ A1
Floor area 137sqm

- 1 entrance to self catering unit
- 2 kitchen
- 3 living area
- 4 bedroom
- 5 ensuite shower room
- 6 linen store
- 7 store
- 8 accessible wc
- 9 accessible wc
- 10 service counter
- 11 shop / cafe
- 12 laundry



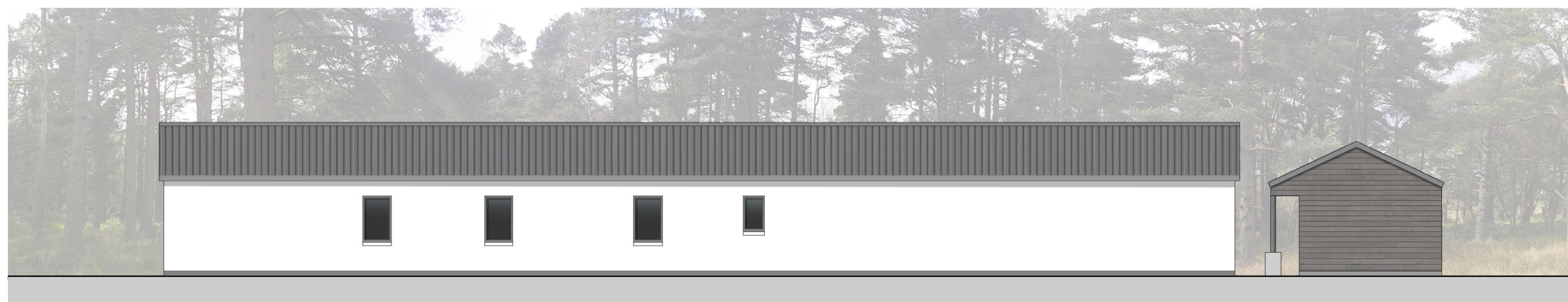
3 Cross Section AA
Scale 1:100 @ A1



4 North Elevations
Scale 1:100 @ A1



5 West Elevation
Scale 1:100 @ A1



6 South Elevations
Scale 1:100 @ A1



7 East Elevation
Scale 1:100 @ A1

PLANNING

Revision	Description	Date

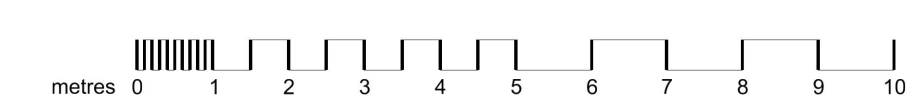
Redevelopment to provide
Holiday Lodges &
Associated Facilities at
Treetops Riding Centre,
Culloden

PROPOSED:
Laundry / Cafe / Shop / Self
Catering Unit
Buildings C, D

Scale:	Date:	Lead:	Drawn:	Checked:
1:100 @ A1	07.11.17	AB	AM	

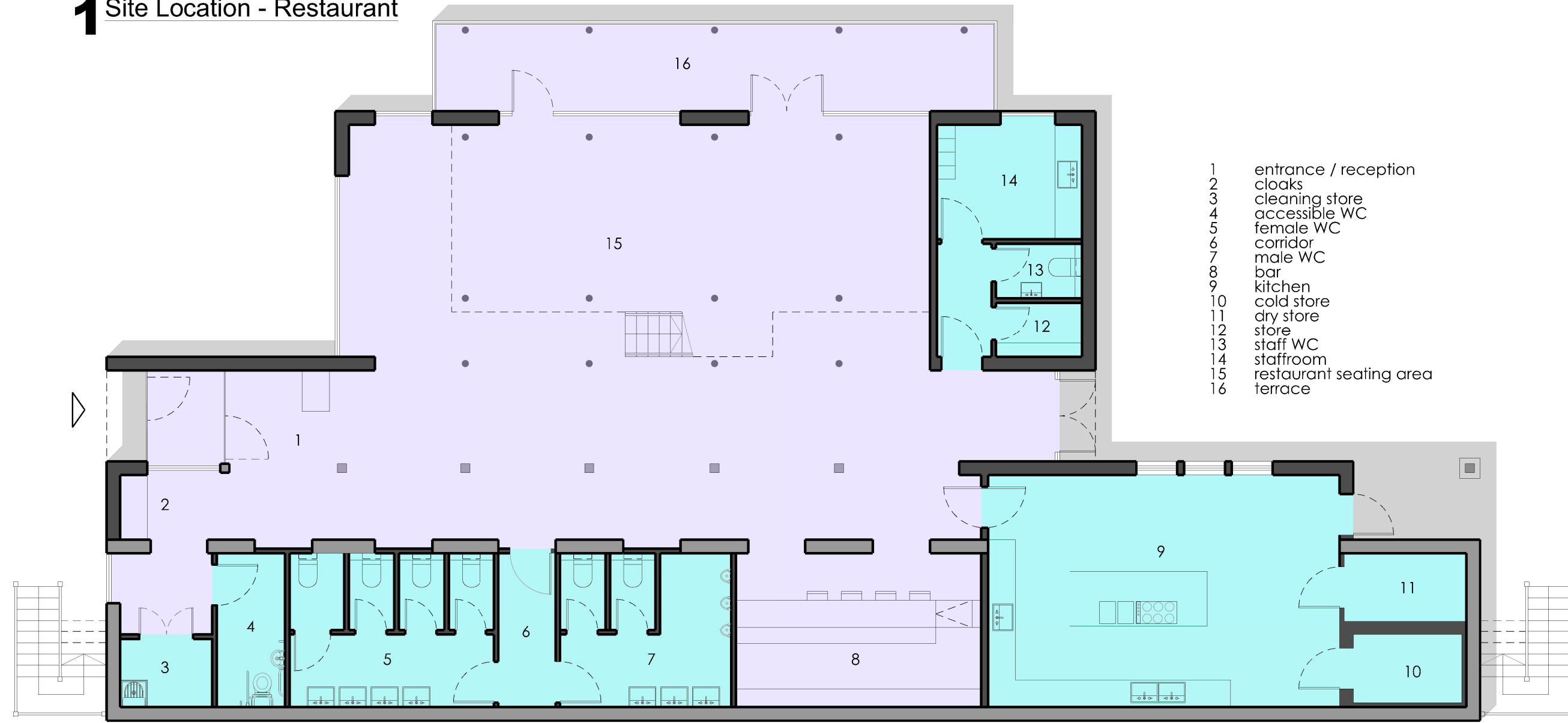
Project Number:	Drawing:	Revision:
I.6980	07	

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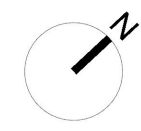




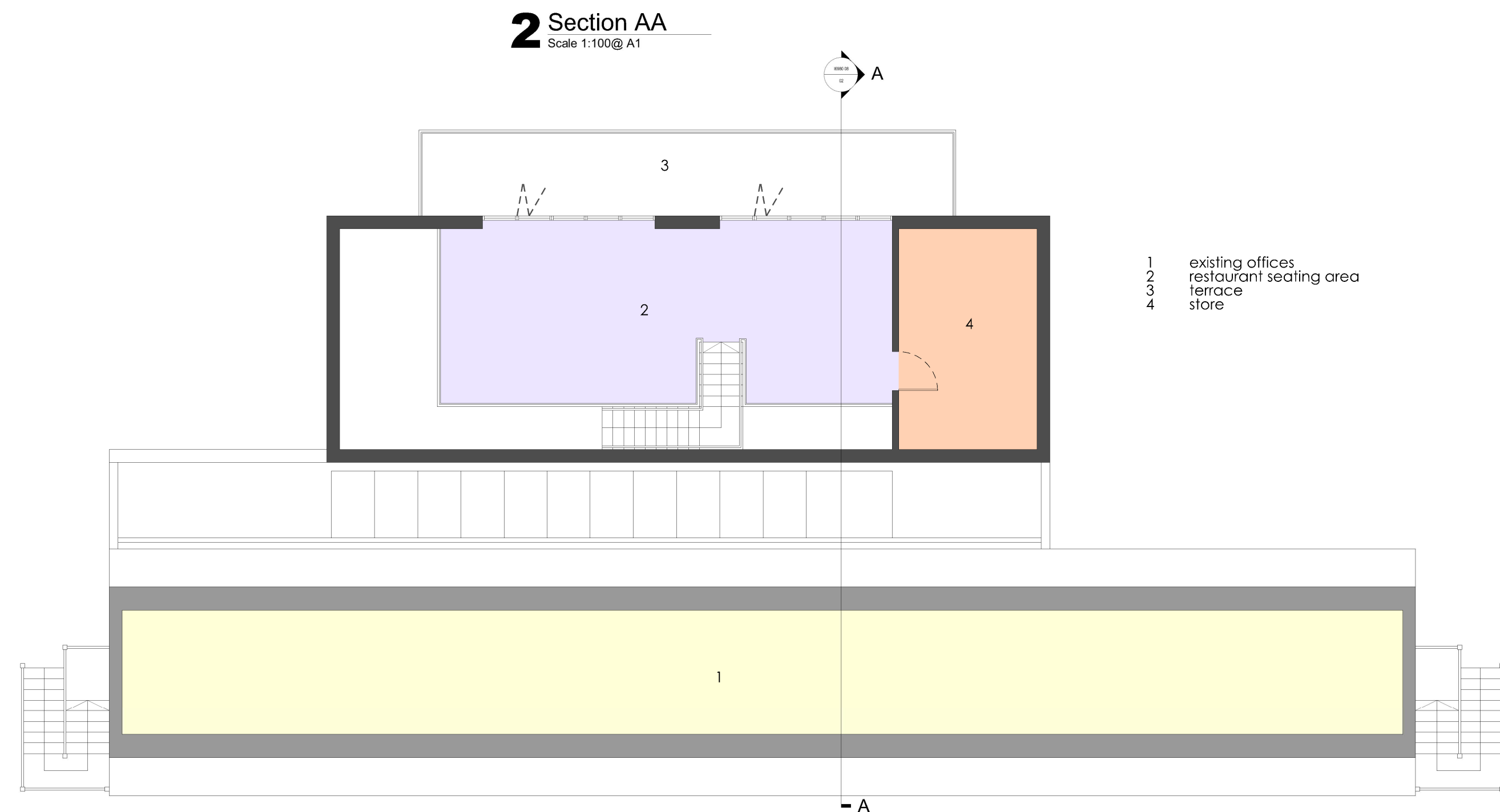
1 Site Location - Restaurant



3 Ground Floor Plan
Scale 1:100 @ A1
Floor area 302sqm



- 1 entrance / reception
- 2 clocks
- 3 cleaning store
- 4 accessible WC
- 5 female WC
- 6 corridor
- 7 male WC
- 8 bar
- 9 kitchen
- 10 cold store
- 11 dry store
- 12 store
- 13 staff WC
- 14 staffroom
- 15 restaurant seating area
- 16 terrace



2 Section AA
Scale 1:100 @ A1

4 First Floor Plan
Scale 1:100 @ A1
Floor area 144sqm

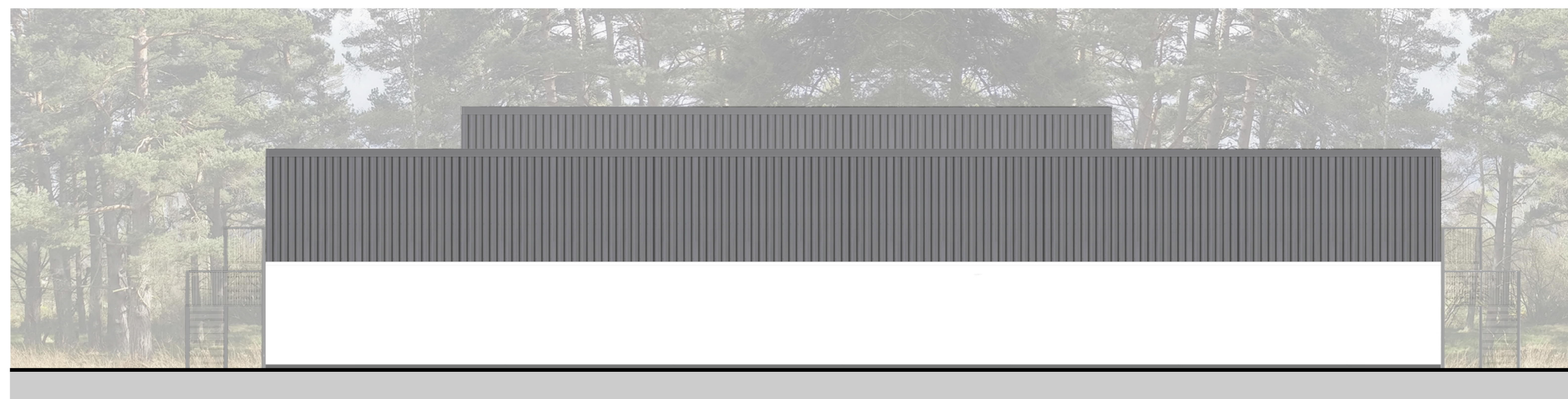
- 1 existing offices
- 2 restaurant seating area
- 3 terrace
- 4 store



5 North Elevation
Scale 1:100 @ A1



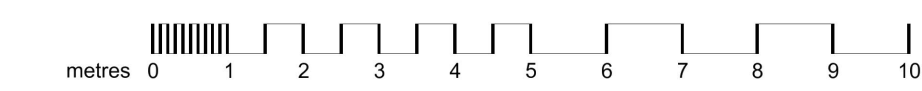
6 West Elevation
Scale 1:100 @ A1



7 South Elevation
Scale 1:100 @ A1



8 East Elevation
Scale 1:100 @ A1



Notes:
Existing masonry and timber stable to be re-purposed, re-clad and extended to form new restaurant as indicated.

External finishes:
Existing roof replaced with dark grey profiled steel cladding system.

External walls part re-rendered in smooth polymer system, white, part over clad dark stained or charred timber cladding, horizontal pattern as shown.

Balcony formed plover coated steel frame and frameless glass balustrading.

External glazing slim line aluminium powder coated units, dark grey.

Existing access stairs to upper floor storage / general purpose accommodation to be stained to match new external wall cladding.

PLANNING

Revision	Description	Date

Redevelopment to provide Holiday Lodges & Associated Facilities at Treetops Riding Centre, Culloden

PROPOSED:
Restaurant Plans Elevations and Section Building E

Scale:	Date:	Lead:	Drawn:	Checked:
1:100 @ A1	07.11.17	AB	AM	

Project Number:	Drawing:	Revision:
1.6980	08	

NOTE : reinforcement of proposed planting along perimeter of site to be agreed on site with arboriculturalist & landscape architect.

KEY LANDSCAPE ELEMENTS

- Surfaces**
 - tar spray and chip
 - blinded Type 1
 - conservation slabs
 - deck
- Vegetation**
 - existing trees to be retained
 - proposed trees
 - proposed woodland planting (whips)
 - existing understorey to be retained
 - grass verge
 - hedging
 - shrubs/groundcover
 - site boundary
 - accessible parking space



C	layout amendment	01.05.20	CF
B	layout amendment	03.02.20	CF
A	boundary amendment	12.04.18	MG
REV	ISSUE NOTE	DATE	INTS

CLIENT:
Inverness Paving

JOB TITLE:
Treetops Culloden

STAGE:
Planning

DRAWING TITLE:
Landscape Masterplan

SCALE:	1:500 @ A1	DRAWN:	MG
DRG NO:	157_MP_D1	CHECKED:	LSS
REV:	c	DATE:	10.11.17

