

Agenda Item	6.7
Report No	PLS-010-21

## HIGHLAND COUNCIL

**Committee:** South Planning Applications Committee  
**Date:** 3 February 2021  
**Report Title:** 20/03895/FUL: Mr Campbell Sinclair  
St Clair's House, Croy, Inverness, IV2 5PW  
**Report By:** Area Planning Manager – South

### Purpose/Executive Summary

**Description:** Conversion of detached annexe to house  
**Ward:** 17 – Culloden and Ardersier  
**Development category:** Local  
**Reason referred to Committee:** applicant related to Member

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

### Recommendation

Members are asked to agree the recommendation to **Grant** planning permission as set out in section 11 of the report.

## **1. PROPOSED DEVELOPMENT**

- 1.1 This proposal is to convert the existing detached annexe to St Clair's House to a separate private house.
- 1.2 Access will be taken from the existing access to St Clair's House. Drainage is all in place when the garage was previously converted.
- 1.3 Pre-Application Consultation: None
- 1.4 Supporting Information: Planning Statement
- 1.5 Variations: amendment to the house plot boundary.

## **2. SITE DESCRIPTION**

- 2.1 This is an existing building that was originally built as a garage to the main house and was subsequently converted to an annexe in 2012. The building sits forward of St Clair's House (the parent house) in relation to the public road, but in line with the row of detached houses in large plots along the public road.
- 2.2 A line of mature trees marks the boundary of the site with the public road. A large pond is located at the north end of the site and an agricultural shed at the south end of the site.

## **3. PLANNING HISTORY**

- 3.1 29.11.2012 12/03674/FUL - Alteration and extension to existing garage Planning Permission Granted
- 3.2 18.08.2020 20/01689/S42 - S42 application - Removal of conditions 2 and 3 (12/03674/FUL) Withdrawn

## **4. PUBLIC PARTICIPATION**

- 4.1 Advertised: Unknown neighbour  
Date Advertised: 06.11.2020  
Representation deadline: 20.11.2020  
Timeous representations: 1 (from 1 household)  
Late representations: None
- 4.2 Material considerations raised are summarised as follows:
  - a) Existing service bay often used for parking
  - b) Insufficient parking and turning within the site
  - c) Drainage
  - d) Plot ratio

- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet [www.wam.highland.gov.uk/wam](http://www.wam.highland.gov.uk/wam).

## **5. CONSULTATIONS**

- 5.1 None

## **6. DEVELOPMENT PLAN POLICY**

The following policies are relevant to the assessment of the application

### **6.1 Highland Wide Local Development Plan 2012**

- 28 - Sustainable Design
- 29 - Design Quality & Place-making
- 31 - Developer Contributions
- 35 - Housing in the Countryside (Hinterland Areas)
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage

### **6.2 Inner Moray Firth Local Development Plan 2015**

No specific policies apply

### **6.3 Highland Council Supplementary Planning Policy Guidance**

- Access to Single Houses and Small Housing Developments (May 2011)
- Developer Contributions (March 2013)
- Housing in the Countryside and Siting and Design (March 2013)
- Trees, Woodlands and Development (Jan 2013)

## **7. OTHER MATERIAL POLICY CONSIDERATIONS**

### **7.1 Scottish Government Planning Policy and Guidance**

Not applicable

## **8. PLANNING APPRAISAL**

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

### **Determining Issues**

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

### **Planning Considerations**

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy

- b) siting and design
- c) access and parking
- d) drainage
- e) any other material considerations.

### **Development plan/other planning policy**

- 8.4 This site falls within the hinterland of Inverness as defined in the Highland-wide Local Development Plan. Planning policy for new houses in the hinterland is restrictive unless a proposal meets one of the exceptions to the policy. These exceptions are set out in Policy 35 Housing in the Countryside (Hinterland areas) and include:
- a house is essential for the management of the land,
  - for a retiring farmer on land they have farmed for at least the previous 10 years,
  - it is for affordable housing to meet a demonstrated local affordable housing need,
  - it is essential in association with an existing or new rural business,
  - involves the conversion or reuse of an existing traditional building on the site; or
  - meets the Council's criteria for expanding a housing group or development in garden ground.
- 8.5 In this case, the most appropriate exception to consider is a house within the garden ground of St Clair's House. This is a large plot that can easily accommodate two properties and still retain sufficient amenity space for each property commensurate with other properties in the area.
- 8.6 The principle of this development is therefore considered to be acceptable. Subject to the proposal being appropriately sited and designed where it would have no significant adverse impact on individual and community residential amenity and/or existing infrastructure as required by Policies 28 and 29 of the HwLDP then the proposal would comply with the Development Plan.

### **Siting and Design**

- 8.7 Accepting that the proposal meets one of the exceptions in Policy 35 Housing in the Countryside (Hinterland Areas), the relevant Housing in the Countryside and Siting and Design Supplementary Guidance has to be taken into account where it says that "Development proposals shall generally be acceptable where they:
- deliver an appropriate plot ratio for a countryside location;
  - relate to the pattern of existing development in the surrounding area; and
  - are in keeping with the scale and form of the existing house".
- 8.8 In this case, it is considered that the existing annexe together with the amended plot boundary deliver an appropriate plot ratio for the countryside location and is more in keeping with the plot ratios of the surrounding area. The annexe is in line with the other houses along this public road in terms of distance from the public road and although it is smaller than the parent house, it does fit with the design of it, having

a T-plan form. The parent house sits within a very large plot and it is considered that there is sufficient space to ensure all the necessary servicing of both plots can be easily accommodated.

- 8.9 Had a proposal for a separate house come forward before the garage was built, the siting would not be supported where the garage is located. The plot would be split more evenly, and the house sited further away from St Clair's. However, it is accepted that it is not possible to move the building from its current location and taking all the above into account, it is considered that there is sufficient evidence to weigh the balance to supporting the proposal.

### **Access and Parking**

- 8.10 There is sufficient space within the site for parking and turning of several cars at present. In order to separate the annexe from the parent house, it will be necessary to ensure that there is separate parking and turning with the red line plot boundary for the proposed house. This can be controlled by condition.
- 8.11 While it is accepted that there is a service layby and access that serves both the parent house and the current annexe, Transport Planning advise that in order to support a second, separate house, the layby should meet SDB2 design standards. This would accord with the Council's Access to Single Houses and Small Housing Developments Supplementary Guidance. Again, this can be conditioned.

### **Drainage**

- 8.12 In terms of drainage, this was dealt with as part of the 2012 application to convert and extend the garage to form a residential annexe. There are no changes required or intended to support the current proposal.

### **Other material considerations**

- 8.13 There are no other material considerations.

### **Non-material considerations**

- 8.14 There are no non-material planning considerations.

### **Matters to be secured by Section 75 Agreement**

- 8.15 None

### **Developer Contributions**

- 8.16 Policy 31 requires all developments to make fair and reasonable contributions towards improved public services as required. Contributions to Croy Primary (major extension/new school) and Culloden Academy (extension/new school) are required in this instance.
- 8.17 The applicant has indicated that they would like to enter into a Unilateral Obligation in relation to the required developer contribution. This will indicate that if the planning permission were to be implemented, then the applicant must pay the

developer contribution before the first rental or the sale of the property, whichever happens first. If planning permission lapses, then no contribution is paid.

## 9. CONCLUSION

9.1 Although the annexe is not in an ideal physical position in relation to the existing house to be a separate property from it, it is accepted that in all other respects, it does meet the terms of the policies. The only residents likely to be affected by the position of the resultant house are the current owners of the existing house (St Clair's House) and any prospective purchaser, both of whom will be fully aware of the situation. On balance, therefore, it is considered that this application can be supported.

9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## 10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

## 11. RECOMMENDATION

<b>Action required before decision issued</b>	Y
Notification to Scottish Ministers	N
Conclusion of Unilateral Obligation	Y
Revocation of previous permission	N

**Subject to the above**, it is recommended that planning permission be **GRANTED**, subject to the following:

### Conditions and Reasons

1. The house shall not be occupied by a separate household to St Clair's House until the site access has been upgraded in accordance with The Highland Council's Access to Single Houses and Small Housing Developments guidelines with the junction formed to comply drawing ref. SDB2.

**Reason:** To ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity.

2. The house shall not be occupied by a separate household to St Clair's House until parking (excluding garages) and turning for a minimum of 2 cars has been provided within its curtilage in accordance with The Highland Council's Access to Single Houses and Small Developments and shall thereafter be maintained for this use in perpetuity.

**Reason:** To ensure that sufficient space is provided within the application site for the parking (and, where necessary, turning) of cars, so they do not have to park within or reverse onto the public road.

3. The house shall not be occupied by a separate household to St Clair's House until details of a kerbside bin storage area capable of accommodating bins for both properties located outwith any visibility splays have been submitted to, and received the approval in writing of, the Planning Authority. The storage area shall be constructed in accordance with the details approved by the Planning Authority prior to the first occupation of the development by a separate household and thereafter maintained in perpetuity.

**Reason:** To ensure that suitable provision is made for the storage of communal waste and recycling bins.

## **REASON FOR DECISION**

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## **TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION**

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

## **FOOTNOTE TO APPLICANT**

### **Initiation and Completion Notices**

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

### **Accordance with Approved Plans & Conditions**

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

### **Flood Risk**

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

### **Scottish Water**

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

### **Septic Tanks & Soakaways**

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

### **Local Roads Authority Consent**

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce



additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

[http://www.highland.gov.uk/info/20005/roads\\_and\\_pavements/101/permits\\_for\\_working\\_on\\_public\\_roads/2](http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2)

### **Mud & Debris on Road**

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

### **Construction Hours and Noise-Generating Activities**

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact [env.health@highland.gov.uk](mailto:env.health@highland.gov.uk) for more information.

### **Protected Species – Halting of Work**

You are advised that work on site must stop immediately, and Scottish Natural Heritage must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information

regarding protected species and developer responsibilities is available from SNH:  
[www.snh.gov.uk/protecting-scotlands-nature/protected-species](http://www.snh.gov.uk/protecting-scotlands-nature/protected-species)

Designation: Area Planning Manager – South  
Author: Elaine Watt  
Background Papers: Documents referred to in report and in case file.  
Relevant Plans: Plan 1 - 2020\_0020-10 Location Plan  
Plan 2 - 2020\_0020-11 Rev A Site Layout Plan  
Plan 3 - 2012-11-02 Rev A General Plan  
Plan 4 - 2012-11-03 Rev A Elevation Plan

## Appendix 2

Type	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
	Contribution	Rate (per house)	Rate (per flat)	Total Amount* <sup>1</sup>	Index Linked <sup>1</sup>	Base Date* <sup>2</sup>	Payment Trigger* <sup>3</sup>	Accounting Dates* <sup>4</sup>	Clawback Period* <sup>5</sup>
<b>Schools<sup>2</sup></b>									
Croy Primary	Major extension/new school	£1614.00	£0.00	£1614.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	20
Culloden Academy	Extension/new school	£782.00	£0.00	£782.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	20

\*<sup>1</sup> Adjust total to take account of flat exemptions

\*<sup>2</sup> Base Date – Set out in Supplementary Guidance on Developer Contributions

\*<sup>3</sup> TOC/CC – The earlier of the issue of either a temporary occupation certificate or a completion certificate – or specify alternative time if appropriate

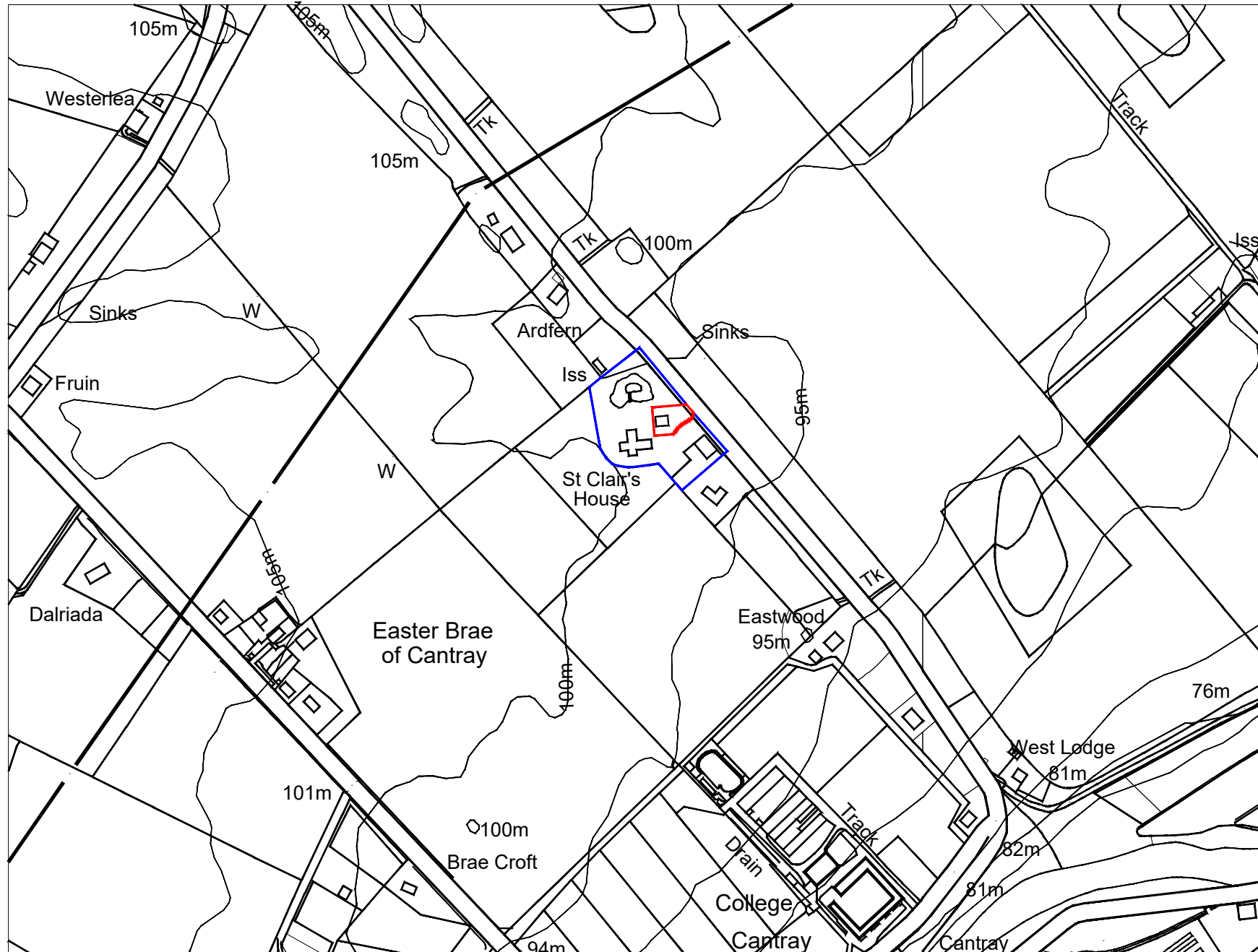
\*<sup>4</sup> Accounting dates - 1 April & 1 October each year of development (if the contribution is to be paid on a basis other than related to units completed in the preceding 6 months (e.g. lump sum on a specific date) then indicate this instead of the Apr/Oct payment dates)

\*<sup>5</sup> Clawback – 15 years for Major development; 20 years for Local development

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<sup>1</sup> If the contribution is to be used towards infrastructure projects involving building e.g. new school, new cycle route etc BCIS ALL IN TENDER will be the index, if it doesn't involve building then another appropriate index may need to be chosen with the agreement of Team Leader

<sup>2</sup> Indicate whether or not 1 bed houses/flats are exempt

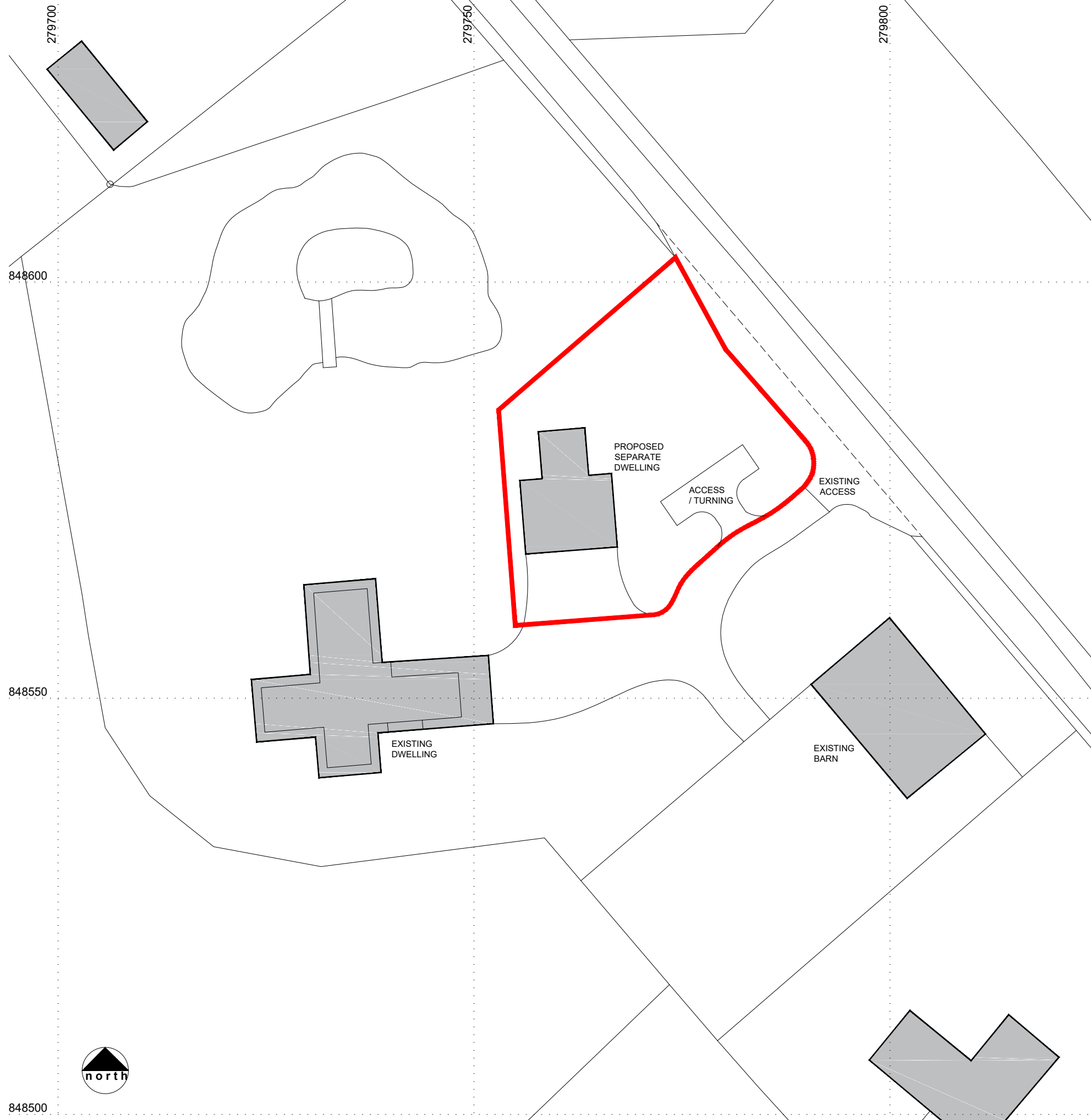


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red line indicates extent of application site  
 blue line indicates extent of land under ownership of the applicant

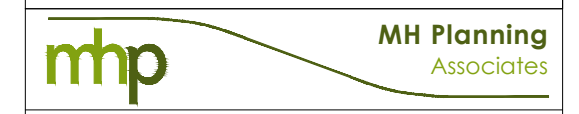
Date	Description	Rev	By
Revision Description			
		<b>MH Planning Associates</b>	
63 West Princes Street Helensburgh G84 8BN  01436 674 777 07816 907 203  www.mhplanning.co.uk			
THIS DRAWING IS COPYRIGHT DO NOT SCALE FROM DRAWING			
Client: <b>Mr Campbell Sinclair</b>			
Project: <b>Use of Existing Detached Annex as Separate Dwelling, at: St Clair's House, Croy, Inverness, IV2 5PW</b>			
Drawing Title: <b>Location Plan</b>			
Drawing Number: <b>2020_0020-10</b>			
Revision: - Date: <b>October 2020</b> Scale: <b>1:5000 @ A3</b> Drawn By: <b>KM</b>			
Issue Status: <b>Planning</b>			



Nov '20 Red Line and access amended A KM

Date	Description	Rev	By
Revision Description			

Revision Description



63 West Princes Street  
 Helensburgh  
 G84 8BN  
 01436 674 777  
 07816 907 203  
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Client:  
 Mr Campbell Sinclair

Project:  
 Use of Existing Detached Annex as Separate Dwelling,  
 at: St Clair's House, Croy, Inverness, IV2 5PW

Drawing Title:  
 Site Plan

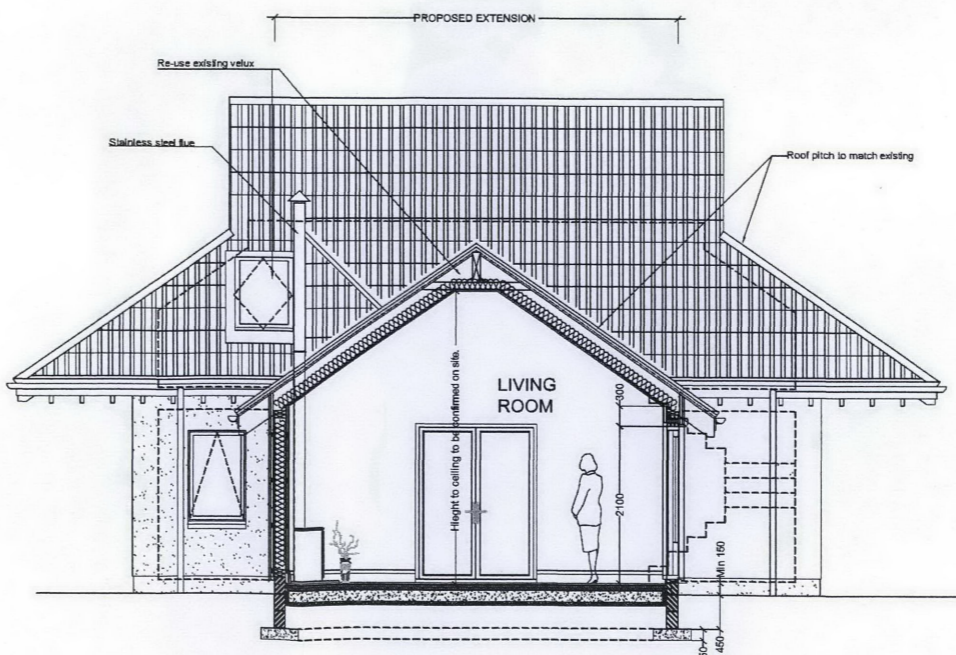
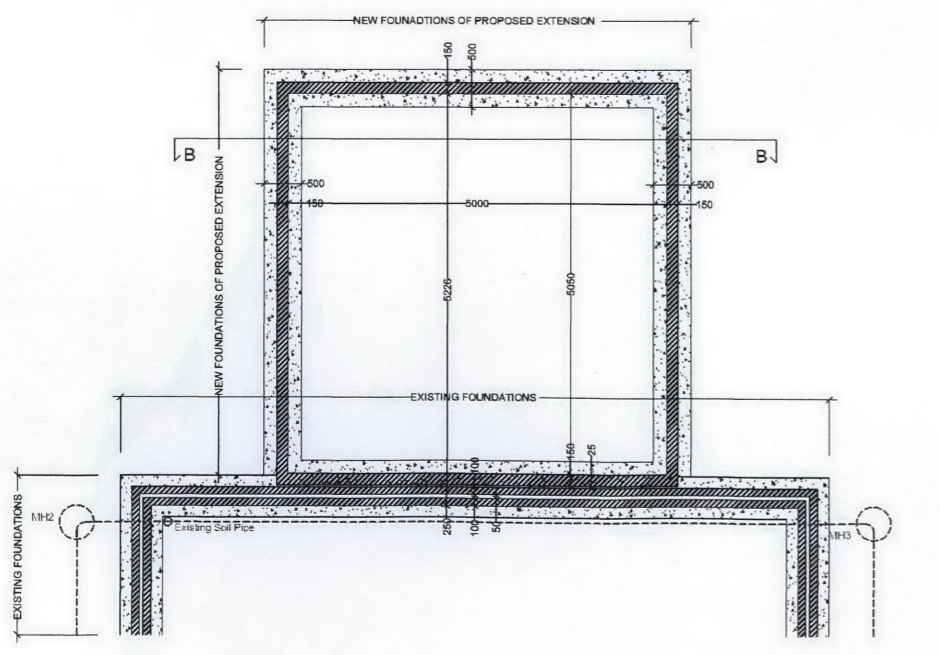
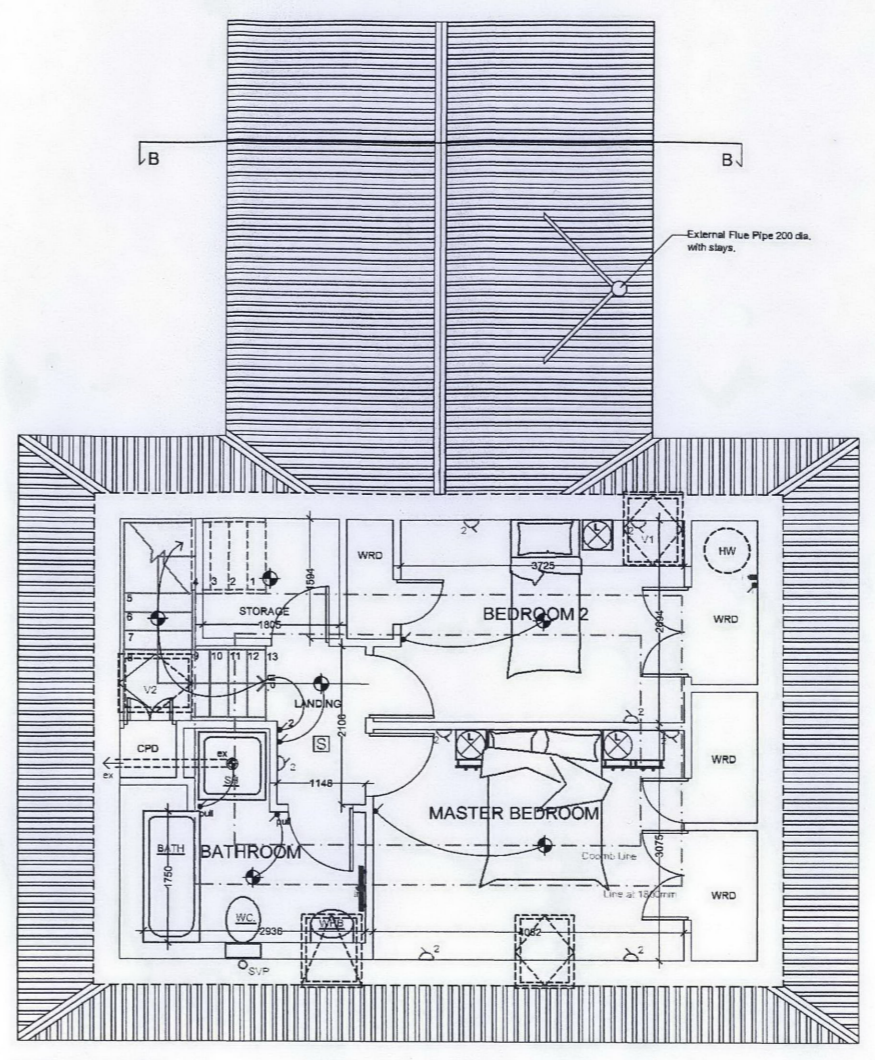
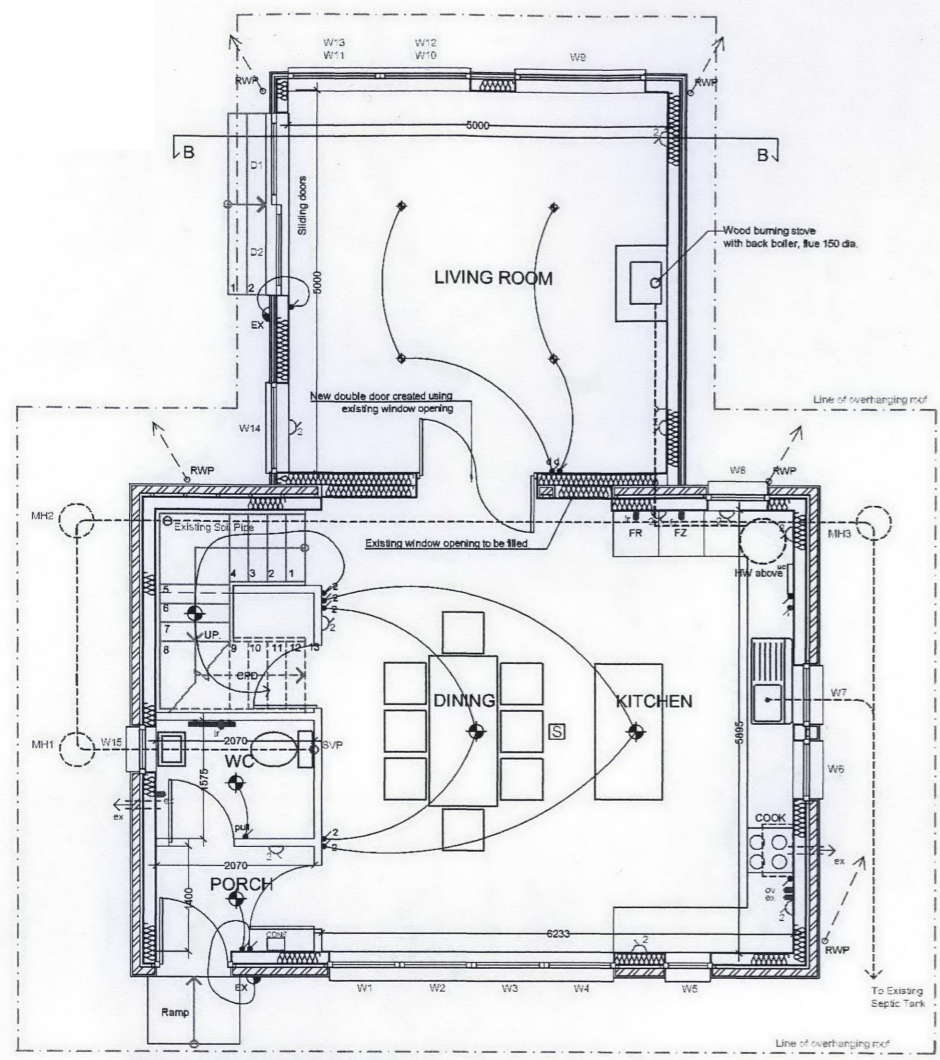
Drawing Number:  
**2020\_0020-11**

Revision: A  
 Date: October 2020  
 Scale: 1:500 @ A3  
 Drawn By: KM

Issue Status:  
**Planning**

- NOTES**
- This drawing is copyright.
  - All dimensions are in millimeters and must be checked by the contractor.
  - Drawings must not be scaled.
  - The contractor is responsible for checking all dimensions and setting out.
  - Any discrepancies must be reported to the Architect and written instructions received before the work proceeds.
  - The contractor is responsible for checking for any overhead or underground services and for informing public utilities where any of these are affected.
  - All workmanship and materials must comply with the current British Standards Specification and Codes of Practice.
  - Building Standards Scotland Regulations, Institute of Electrical Engineers' Regulations and current Regulations and Practice of all Public Utilities i.e. Electricity, Gas, Telephone, Water and Sewerage.
  - All Health and Safety at work Regulations must be satisfied e.g. with regard to scaffolding.
  - All stagings to include for making good to match the existing in quality and materials.
  - All new wallplates, structural and carcassing timbers, sling battens etc. are to be pressure treated in protin or other approved chemical.
  - All proprietary artifacts and materials are to be fitted strictly in accordance with the manufacturers' written instructions.
  - Solid timber drawings are to be fitted for all electrical, heating and plumbing fixtures, fitted kitchens etc.
  - Where materials, fittings or fittings are supplied by, or on behalf of the client, it is the contractor's duty to receive these on site, check for damage, and thereafter accept full responsibility for them. Any damaged or unusable items for whatsoever reason must be reported to the Architect and written instructions received before work proceeds.
  - The notes below are not exclusive and must be read in conjunction with all other notes on all drawings and documents relating to the contract.

- METHOD OF CONSTRUCTION**
- Roof Concrete profile ties to match existing on 50 x 25 treated batten on 38 x 10 treated counter battens on Procor roofshield or equal breather membrane on 150 x 25 treated softwood sarking fixed with 60mm galvanised nails to 250 x 50 o/s treated rafters and ties at 400 cs. Rafters to be sited on either side of wide Velux windows and doubled on either side of narrow Velux windows. Each couple is to have at least 5 no. 100 long thick galvanised nails in all joints. Sizes and detailed design of the rafters, ties and gable projecting beams and their support are to be confirmed by the structural engineer, as is all wind bracing and tying down straps etc. Gables to be tied at ground floor ceiling levels as required by the Structural Engineer. Fixing Redland ridge tiles. Traditional grey coloured cement verges over Supatex or equal underlark. All roof tiles to be laid strictly in accordance with the manufacturers instructions including nailing and clipping of all eaves, verges and ridges to suit the exposure of the site.
  - Part 19 redwood with 10 exterior grade plywood or slatted soffits to detail over lyscreen as required. Bargeboards to be 50 clear spruce above the insulation.
  - Roof and ceiling insulation minimum 200 glass wool. Where insulation is under sarking boards there must be a 19 clear airspace above the insulation.
  - Ceilings 18mm redwood T&G timber boards, over polyethylene vapour barrier, or 12.5 TE foil backed plaster board.
  - External walls Ex 100 x 25 treated Scottish larch vertical cladding boards to detail on 50 x 25 horizontal straps at 600 cs on 25 x 10 counter battens on breather paper on 9.5 sheathing grade plywood on 150 x 38 w/t treated studs at 400 cs. 150 polyurethane insulation. All nails in external and internal roof, wall and floor construction to be hot dip galvanised, not aluminium.
  - Partitions 12.5 l.e. plasterboard on 100 x 50 treated studs at 400 cs. All partitions and external timber frame to be doweled with 100 x 50 at mid height. Insulate 100 glass wool around all door frames etc.
  - Doors To be standard or purpose made to Client choice. Allow provisional sum.
  - Partitions All plan redwood. Only full linings to be fitted. Joiner to fit solid drawings for all other trades. No plasterboard fixings to be used.
  - Staircases To be solid redwood with closed treads. Riser 196mm. Going 250mm. Handrail to be redwood.
  - Windows To be purpose made clear treated hardwood full reversible windows to section approved. Clear double glazed units throughout, all low emissivity, soft coating, argon filled, 15 cavity. Kite marked safety glass to be fitted in all windows and doors below 800mm. Permanent vents to be fitted to all windows and doors to be <math>C\_{w}</math> 1.8. Fit safety hooks to any external window over 4.0 metres above the ground, and which cannot be cleaned from the inside.
  - Sliding doors and external doors. Treated hardwood double glazed to clients choice.
  - Ironmongery Polished brass to Client's choice. Allow provisional sum.
  - Fire protection Linked smoke detectors to be fitted in positions shown.
  - Ground Floor 20 timber floor boards or V313 chipboard on 75 x 50 timber straps at 400 cs, 75 rigid polyurethane insulation between straps on 150 wood float finish 1/24 concrete reinforced with a A142 mesh, on 20000 polythene damp proof membrane on and binding wall rolled hard fill. See junction between floor and external wall.
  - Upper Floors Client's floor finish choice on 22 V313 water resistant chipboard with glued joints and all edges supported at openings and perimeter, on existing timber joists. Floor joists to be at 300 cs under any quarry tiled areas. Insulation to be 200 glass wool retained by breather paper. If built into blockwork, all joist ends are to be thoroughly wrapped in bituminous dip.
  - Underlaiding 150 or 225 one and two lead dense concrete blockwork. Two-coat smooth cement finish externally. Minimum height of dip from finished ground to be 150. Galvanised steel holding down straps to be fitted if required by the structural engineer.
  - Foundations Concrete mix 1/24 ratio foundations 500 wide, or per drawing with a minimum thickness of 150, and with a minimum cover to top of founds of 450. All excavated to hard ground, all vegetable soil removed. All steps in the foundations are to be as dimensioned, and per Building Regulations. Foundations over any soft spots are to be reinforced with A142 mesh. All as confirmed by the structural engineer.
  - General All structural and framing timber to be pressure preservative treated.
  - Wiring All electrical works to be to BS 7671:2001, and current IEE Regs, and Scottish and Southern Regs and practices. All new fittings to be MK. Exact position of all points to be confirmed by Client at time of electrical roughing. All wiring to be concealed. Consumer unit to be MK Sherry, Wylex NN or Hager with rod and mcb's. Telephone, TV, satellite, and computer cabling to be per drawing. Cooker hood and extract fans to be fitted in all kitchens, bathrooms, showers, utility room etc. Kitchen/utility 3litre/sec. Bathroom/shower 15litre/sec. All electrical appliances to have isolation switches above worktop level.
  - Plumbing All pipework to be copper and concealed. Plastic ware to be Rymatex or Terrain or equal. Hot water cylinder to be pressure tested. Meet or Duo 250 lines fitted strictly in accordance with the manufacturers instructions. All pipework in plumbing and heating systems to be thoroughly insulated in thick wall Jetlag or equal, with well taped joints, and is to be easily accessible in its entirety, including the hot water cylinder through the outside walls, with internal drain valves.
  - Sanitary ware To be chosen by Client. Allow provisional sum.
  - Water heating 1 no. 3 litre indirect hot water cylinder, separately programmed. The heating and hot water system is to be inspected, tested and commissioned and written information provided to the occupier on operation and maintenance.
  - Drainage To BS. Access points are to be provided at all waste ends, and where they go through floors. All in 110 pipes and to be thoroughly haunched all round with 150 weak concrete where they go under concrete floors or under foundations, steps etc. Terrain inspection chambers to be installed where shown. All gutters and down pipes to be to BS EN 12056-3:2000. External drainage system to be to BS EN 12056-1:2000, BS EN 752-3:1997 (Amendment 2), BS EN 752-4:1998 and BS EN 1610:1998.
  - Glazing Insulation to be constructed into existing 12 person septic tank.
  - Paintwork All plasterboard to be primed, and then finished with two coats matt emulsion. All colours to be chosen by Client. Any internal timber lining boards to be treated with three coats Firecoat WD or equal, to provide class 1 surface spread of flame rating. A certificate of application is to be provided by the painting contractor and the supplier of the materials. All paintwork to be applied strictly according to the manufacturers instructions.
  - Kitchen To Client's choice. Allow provisional sum.
  - Wheelchair access By 1/12 ramp to Living Room door, Door thresholds to comply with reg 2.7 diagram A. All external doors to have clear opening of at least 800mm. All internal doors to have a clear opening of 775mm.



- ELECTRICAL LEGEND:**
- SOCKET
  - DOUBLE SOCKET
  - CYBN FUSE SPUR
  - FRIDGE FUSE SPUR
  - FREEZER FUSE SPUR
  - TOWEL RAIL FUSE SPUR
  - EXTRACTOR FUSE SPUR
  - TELEVISION POINT
  - CONSUMER UNIT
  - GAS METER
  - SMOKE DETECTOR
  - IMMERSION HEATER SWITCH
  - IMMERSION HEATER FUSE SPUR
- LIGHTING LEGEND:**
- LOW VOLTAGE DOWNLIGHTER
  - PENDANT LIGHT
  - LAMP
  - EXTRACTOR FAN (SEE NOTE)
  - WALL LIGHT
  - WALL LIGHT TO EXTERNAL AREAS
  - EXTERNAL DIRECTIONAL WALL LIGHT
  - TREAD LIGHT
  - FLUORESCENT TUBE LIGHT
  - UNDER CUPBOARD HALOGEN LIGHT
  - LIGHT SWITCH
  - 2 WAY LIGHT SWITCH
  - LIGHT SWITCH WITH DIMMER
  - PULL CHORD SWITCH

- NOTES:**
- All Works to be carried out with a Part P Competent person.
  - Drawing a schematic and must be read in conjunction with all other relevant construction drawings.
  - Plaster to be stainless steel with white plastic within kitchen only. White plastic elsewhere.
  - Standard access height in accordance with the building regulations. Exact positions to be confirmed on site with electrician.
  - Down lights all to be low voltage fittings.
  - P.I.R. sensors to operate lights to be mains rated, operated with an on/off and active control.
  - Extractors in bathrooms to be 15 min to min overrun.

Revision	Date	Description
A	18.09.2012	Amendments to stair, w/c, living room doors, windows.

**CONVERT EXISTING GARAGE INTO STUDIO/STAFF ACCOMMODATION AT SAINT CLAIRE'S, HOLME ROSE ROAD, CROY**

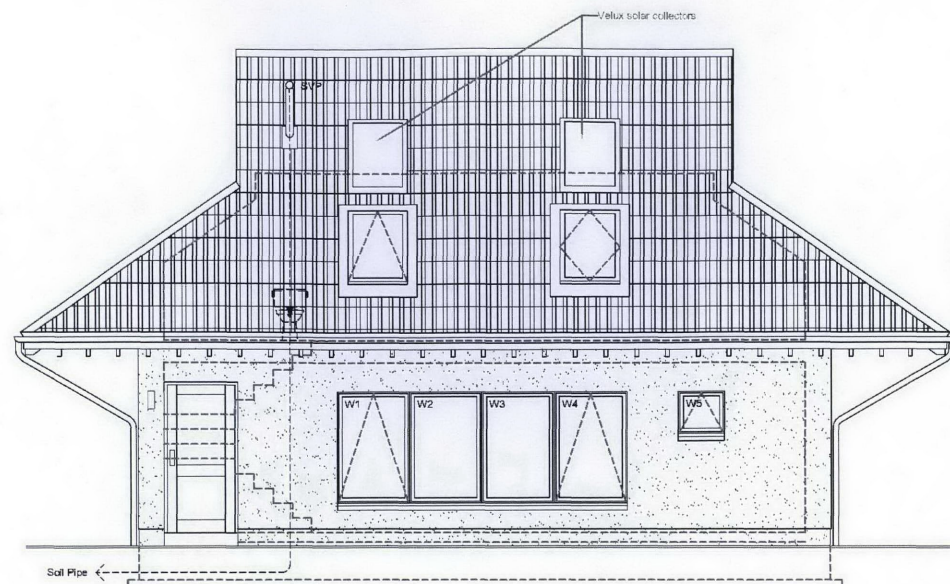
**FOR MR CAMPBELL SINCLAIR**

**PLANS & CROSS SECTION B-B**

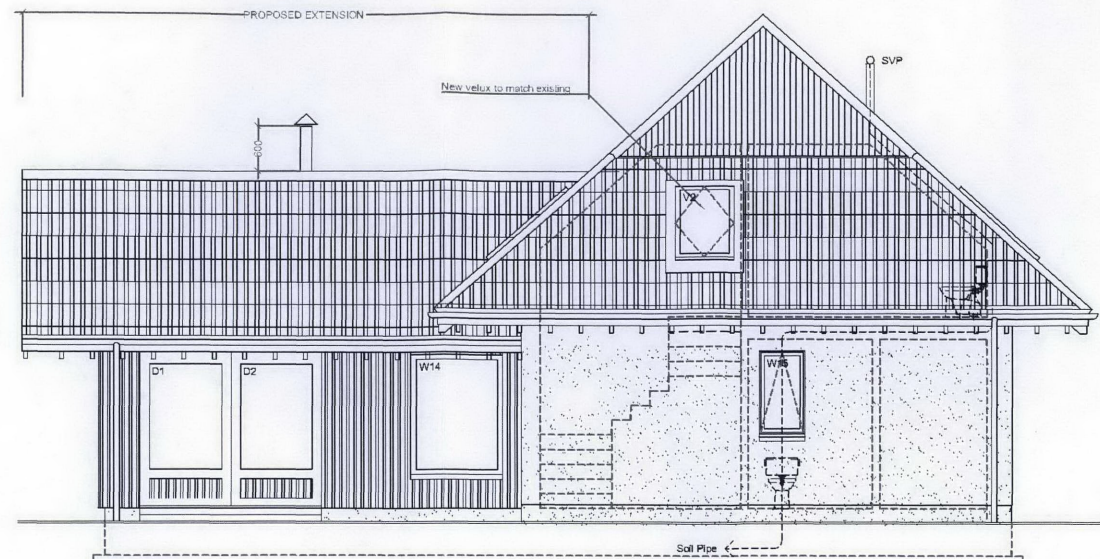
**FREDERICK GEDDES CHARTERED ARCHITECT**  
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scale 1 / 100 @ A3 date 18/09/2012 drwg no 2012/11/02A

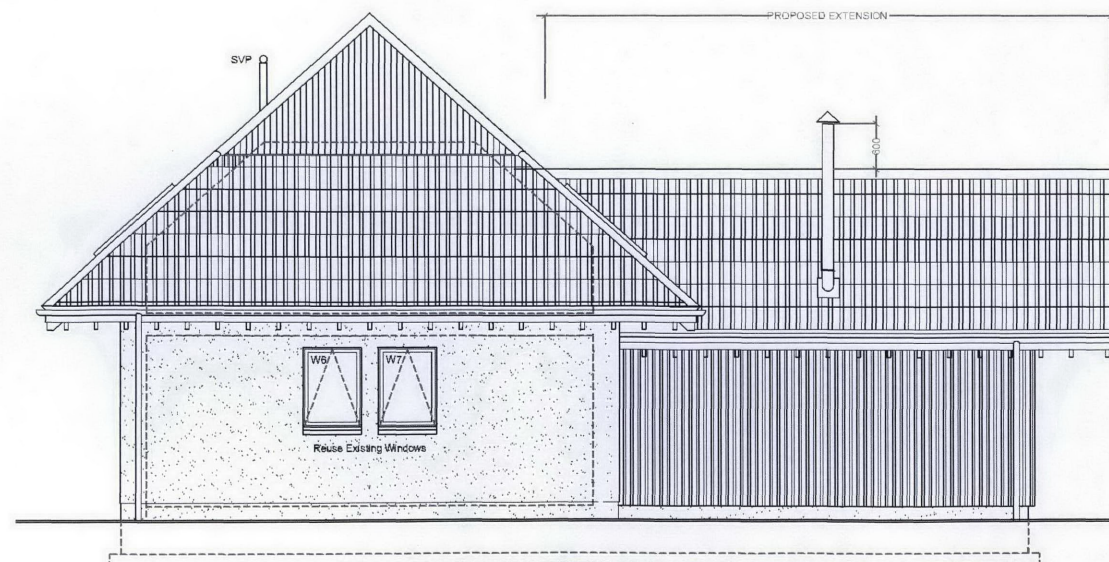




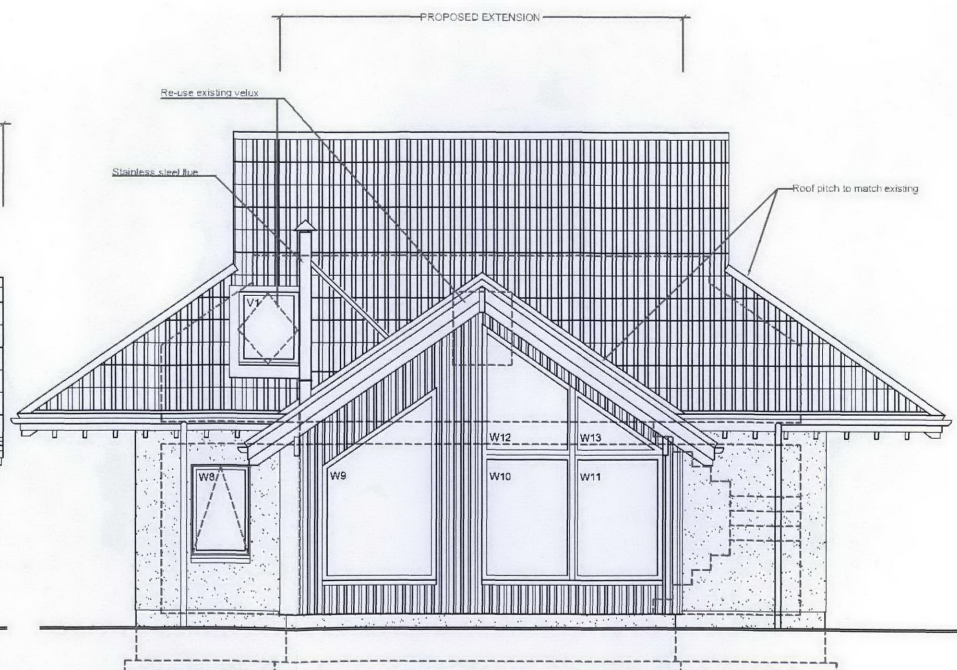
**SOUTH ELEVATION**



**WEST ELEVATION**



**EAST ELEVATION**



**NORTH ELEVATION**

- NOTES**
- This drawing is copyright.
  - All dimensions are in millimeters and must be checked by the contractor.
  - Drawings must not be scaled.
  - The contractor is responsible for checking all dimensions and setting out.
  - Any discrepancies must be reported to the Architect and written instructions received before the work proceeds.
  - The contractor is responsible for checking for any overhead or underground services and for informing public utilities where any of these are affected.
  - All workmanship and materials must comply with the current British Standards Specification and Codes of Practice.
  - Building Standards Scotland Regulations, Institute of Electrical Engineers' Regulations and current Regulations and Practice of all Public Utilities i.e. Electricity, Gas, Telephone, Water and Sewerage.
  - All Health and Safety at work Regulations must be satisfied e.g. with regard to scaffolding.
  - All stagings to include for making good to match the existing in quality and materials.
  - All new wallplates, structural and carcassing timbers, riling battens etc. are to be pressure treated in prolin or other approved chemical.
  - All proprietary artifacts and materials are to be fitted strictly in accordance with the manufacturers' written instructions.
  - Solid timber dwangs are to be fitted for all electrical, heating and plumbing fittings, fitted kitchens etc.
  - Where materials, fittings or fittings are supplied by, or on behalf of the client, it is the contractor's duty to receive these on site, check for damage, and thereafter accept full responsibility for them. Any damaged or unsuitable items for whatsoever reason must be reported to the Architect and written instructions received before work proceeds.
  - The notes below are not exclusive and must be read in conjunction with all other notes on all drawings and documents relating to the contract.

**METHOD OF CONSTRUCTION**

- Roof Concrete profile tiles to match existing on 50 x 25 treated battens on 38 x 10 treated counter battens on Proctor roofshield or equal breather membrane on 150 x 25 treated softwood sarking fixed with 63mm galvanised nails to 250 x 50 o/s treated rafters and ties at 400 cs. Rafters to be tiptoed on either side of wide Velux windows and couled on either side of narrow Velux windows. Each couple is to have at least 5 no. 100 long thick galvanised nails in all joints. Sizes and gabled design of the rafters, ties and gable projecting beams and their support are to be confirmed by the structural engineer, as is all wind bracing and tying down straps etc. Gables to be tied at ground floor ceiling levels as required by the Structural Engineer. Fit matching Redland ridge tiles. Traditional grey coloured cement verges over Supalux or equal undercloak. All roof ties to be laid strictly in accordance with the manufacturers instructions including nailing and clipping of all eaves, verges and ridges to suit the exposure of the site.
- Fascia 19 redwood with 10 external grade plywood or slatted soffits to detail over flyscreen as required. Bargeboards 19 redwood to detail.
- Roof and ceiling insulation minimum 200 glass wool. Where insulation is under sarking boards there must be a 50 clear airspace above the insulation.
- Ceilings 16mm redwood T&G timber boards, over polyethylene vapour barrier, or 12.5 TE foil backed plaster board.
- External walls Ex 100 x 25 treated Scottish larch vertical cladding boards to detail on 50 x 25 horizontal straps at 800 cs on 25 x 10 counter battens on breather paper on 9.5 sheathing grade plywood on 150 x 38 ww treated studs at 400 cs. 150 polyurethane insulation. All nails in external and internal roof, wall and floor construction to be hot dip galvanised, not sheradised.
- Partitions 12.5 t.e. plasterboard on 100 x 50 treated studs at 400 cs. All partitions and external timber frame to be changed with 100 x 50 at mid height. Insulate 100 glass wool around all bathrooms etc.
- Doors To be standard or purpose made to Client choice. Allow provisional sum.
- Finishing Only full facings to be fixed. Joiner to fit solid dwangs for all other trades. No plasterboard fixings to be used.
- Staircase To be solid redwood with closed treads. Riser 195mm. Going 250mm. Handrail to be redwood.
- Windows To be purpose made clear treated hardwood full reversible windows to section approved. Clear double glazed units throughout, all low emissivity, soft coating, argon filled, 16 cavity. Kite marked safety glass to be fitted in all windows and doors below 800mm. Permanent vents to be fitted to all windows. U value for windows and doors to be <1.8. Fit safety hooks to any external window over 4.0 metres above the ground, and which cannot be cleaned from the inside.
- Siting doors and external doors Treated hardwood double glazed to client's choice.
- Ironmongery Polished brass to Client's choice. Allow provisional sum.
- Fire protection Linked smoke detectors to be fitted in positions shown.
- Ground Floor 20 timber floor boards or V313 chipboard on 75 x 50 timber straps at 400 cs. 75 rigid polyurethane insulation between straps on 150 wood float finish 1/24 concrete reinforced with a A142 mesh, on 2000g polythene damp proof membrane on sand blinding well rolled hard fill. See junction between floor and external wall.
- Upper Floors Client's floor finish choice on 22 V313 water resistant chipboard with glued joints and all edges supported at openings and perimeter, on existing timber joists. Floor joists to be at 300 cs under any quarry tiled areas. Insulation to be 200 glass wool retained by breather paper. If built into blockwork, all joist ends are to be thoroughly wrapped in bituminous dpc.
- Underbuilding 100, 150 or 225 one and two leaf dense concrete blockwork. Two-coat smooth cement finish externally. Minimum height of dpc from finished ground to be 150. Galvanised steel holding down straps to be fitted if required by the structural engineer.
- Foundations Concrete mix 1/2/4 s/s/s foundations 500 wide, or per drawing, with a minimum thickness of 150, and with a minimum cover to top of founds of 450. All excavated to hard ground, all vegetable soil removed. All steps in the foundations are to be as dimensioned, and per Building Regulations. Foundations over any soft spots are to be reinforced with A142 mesh. All as confirmed by the structural engineer.
- General All structural and framing timber to be pressure preservative treated.
- Wiring All electrical works to be to BS 7671:2001, and current IEE Regs, and Scottish and Southern Regs and practices. All new fittings to be MK. Exact position of all points to be confirmed by Client at time of electrical roughing. All wiring to be concealed. Consumer unit to be MK Sentry, Wylex NN or Hager with rod and mcbz, telephone, TV, satellite, and computer cabling to be per drawing. Cooker hood and extract fans to be fitted in all kitchen, bathrooms, showers, utility room etc. Kitchen/utility 30litre/sec. Bathroom/shower 15litre/sec. All electrical appliances to have isolating switches above worktop level.
- Plumbing All pipework to be copper and concealed. Plastic ware to be Rymway or Terrain or equal. Hot water cylinder to be pressurised Megaflo or Oso 250 litres fitted strictly in accordance with the manufacturers instructions. All pipework in plumbing and heating systems to be thoroughly insulated in thickwall Jetlag or equal, with well taped joints, and is to be easily drainable in its entirety, including the fw cylinder through the outside walls, with internal drain valves.
- Sanitary ware To be chosen by Client. Allow provisional sum.
- Water heating 1 no. 3 kw Immersor and 250 litre indirect hot water cylinder, separately programmed. The heating and hot water system is to be inspected, tested and commissioned and written information provided to the occupier on operation and maintenance.
- Drainage To BS. Access points are to be provided at all waste ends, and where they go through floors. All in 110 pipes and to be thoroughly haunched all round with 150 weak concrete where they go under concrete floors under foundations etc. Terrain inspection chambers to be installed where shown. All gutters and down pipes to be to BS EN 12056-3:2000. External drainage system to be to BS EN 12056-1: 2000, BS EN 752-3: 1997 (Amendment 2), BS EN 752-4: 1998 and BS EN 1810: 1998.
- Sewage treatment to be connected into existing 12 person septic tank.
- Painterwork All plasterboard to be primed, and then finished with two coats matt emulsion. All colours to be chosen by Client. Any internal timber lining boards to be treated with three coats Firecoat WD or equal, to provide class 1 surface spread of flame rating. A certificate of application is to be provided by the painting contractor and the supplier of the materials. All painterwork to be applied strictly according to the manufacturers instructions.
- Kitchen To Client's choice. Allow provisional sum.
- Wheelchair access By 1/12 ramp to Living Room door. Door thresholds to comply with reg 2.7 diagram A. All external doors to have clear opening of at least 800mm. All internal doors to have a clear opening of 775mm.

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**CONVERT EXISTING GARAGE INTO STUDIO/STAFF ACCOMMODATION AT SAINT CLAIRE'S, HOLME ROSE ROAD, CROY**

**FOR MR CAMPBELL SINCLAIR**

**ELEVATIONS**

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scale 1/100 @ A3 date 18/09/2012 drwg no 2012/11/03A

