

Agenda Item	7.5
Report No	PLN/066/21

HIGHLAND COUNCIL

Committee: North Planning Applications Committee

Date: 14 September 2021

Report Title: 21/01353/FUL : Pat Munro Homes

Land 75M West of Milnafua House, Old Milnafua Road, Alness

Report By: Area Planning Manager North

Purpose/Executive Summary

Description: Erection of 30 houses (Phases 3 & 4)

Ward: 06 - Cromarty Firth

Development category: Local Development

Reason referred to Committee: Meets 30 homes or more threshold

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

- 1.1 The application comprises 30 houses and associated access roads and infrastructure. The proposal comprises the final 3rd and 4th phase of the Whitehills housing development on the northern edge of Alness. Phases 1 and 2 are positioned to the north and west and are currently under construction nearing completion. The proposal and previous phases occupy part of a wider site originally granted planning permission in 1973 and are located on land allocated for housing in the IMFLDP – AL2 Whitehills.
- 1.2 The proposed 30 house development comprises a combination of 2 storey properties and bungalows, with a mix of detached and semi-detached 2-4 bed homes. A simple white and grey palette of finish materials is proposed including smooth white render and grey slate effect tiles. Grey render bands feature around the doors and windows, as well as traditional looking canopies above entrances. All the house types feature solar panels. The layout proposed involves a shared surface for pedestrian and vehicle traffic, as well as a central play area, landscaping and pedestrian paths.
- 1.4 Supporting Information: Drainage Impact Assessment, Transport Assessment, Geomorphological Appraisal and Flood Mitigation
- 1.5 Variations:
Plans amended 16.04.2021 to change house type on plot 14 from semi-detached units to detached unit (dropped overall housing number from 31 to 30).
Plans were varied 27.08.2021 in response to Transport Planning comments and parking/road/footpath dimensions and layouts amended, as well as adjustments to finished contour detailing and visibility splays.

SITE DESCRIPTION

2.

- 2.1 The proposed development lies on what previously would have been agricultural land and is positioned to the east and south of previous built and consented development at Whitehills, Alness. Birch Road is positioned to the south of the development and Obsdale Primary School approx. 150m to the south-west. Pat Munro Caplich quarry sits to the north of the site. Agricultural fields lie to the west.

3. PLANNING HISTORY

- | | | | |
|-----|------------------|---|--|
| 3.1 | 4 June 2019 | 18/01500/FUL – Erection of 19 houses (Phase 1) and installation | Application Permitted |
| 3.2 | 7 September 2020 | 20/00375/FUL – Erection of five houses (Phase 2) | Application Permitted (nearing completion) |

- 3.3 7 September 19/03188/FUL – Erection of 10 houses (Phase 2) Application Permitted (nearing completion)

4. PUBLIC PARTICIPATION

4.1 Advertised: Unknown Neighbour

Date Advertised: 16.04.2021

Representation deadline: 30.04.2021

Timeous representations: 0

Late representations: 0

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Transport Planning** – Holding objection subject to provision of further information including parking layout/dimensions, visibility splays, replacement culvert details, construction traffic management, refuse collection, finished levels and other transport related information.

Amended plans and further information in response was submitted by the developer 21.05.2021 and 27.08.2021. This information has been reviewed and any outstanding matters have been appropriately secured by condition.

5.2 **Flood Risk Management Team** – Object as parts of the site fall within the predicted 1 in 200 year plus climate change flood event predicted to occur from the backup of an existing culvert underneath Birch Road at the south-east corner of the site.

Flood Risk Assessment was provided by the developer 21.05.2021 identifying measures to mitigate this risk, primarily the replacement of the culvert underneath Birch Road to increase capacity. Following discussion, the proposed mitigation to reduce the flood risk is accepted.

5.3 **Development Plans** - Advice given regarding relevant developer contributions.

5.4 **Scottish Water** – Standard advice for developer – no capacity issues identified.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 **Highland Wide Local Development Plan 2012**

28 - Sustainable Design

29 - Design Quality & Place-making

31 - Developer Contributions

- 32 - Affordable Housing
- 34 - Settlement Development Areas
- 56 - Travel
- 64 - Flood Risk
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage
- 74 - Green Networks
- 75 - Open Space
- 77 - Public Access

6.2 Inner Moray Firth Local Development Plan July 2015

Part of Wider Site (AL2 Whitehills) - housing allocation

6.3 Highland Council Supplementary Planning Policy Guidance

- Developer Contributions (March 2018)
- Flood Risk and Drainage Impact Assessment (Jan 2013)
- Green Networks (Jan 2013)
- Managing Waste in New Developments (March 2013)
- Open Space in New Residential Developments (Jan 2013)
- Sustainable Design Guide (Jan 2013)

7. OTHER MATERIAL CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

- Scottish Planning Policy (as amended December 2020)
- National Planning Framework 3
- Designing Streets
- Creating Places

8. PLANNING APPRAISAL

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy
 - b) Layout and Design
 - c) Transportation, Access and flooding
 - d) Landscaping/open space

Development plan/other planning policy

- 8.4 The proposed development is considered to accord with the relevant Development Plan policy noted in section 6.1. The proposal comprises the third and fourth phase of development at Whitehills which sits within an area allocated for housing in the adopted Inner Moray Firth Local Development Plan (IMFLDP). The site is part of a larger area subject to a planning permission dating from 1973, which was partially implemented and remains extant. The principle of developing housing on the site is therefore considered to be well established through both planning history and the allocation within the LDP. As discussed in the paragraphs below the detailed design, layout and technical aspects of the proposal are considered acceptable.

Layout and Design

- 8.5 The layout and appearance of the development is a continuation of the design principles established by the previous phases, which are now built or nearing completion. A total of nine different house types are proposed across phases 3 and 4, including detached and semi-detached bungalows and 2 storey properties, with bedroom numbers ranging from 2-4. The differing house styles are united by a white and grey material palette. Some traditional detailing has been incorporated into the design in for example the traditionally proportioned windows and banding around windows. Overall, the appearance of the homes is a mix of contemporary and traditional design and presents a balance between creating an identity for the developing and avoiding overly homogenous design. The principles of Designing Streets have been incorporated into the development through the use of shared pedestrian and vehicle surfaces with different hard landscaping materials used allowing the principle of place over movement to be met. Houses are orientated facing the street and central play area, with the layout also linking to phases 1 and 2 to the west. A footpath link connecting directly to Birch Road from phase 3/4 is provided as well as connectivity to previously consented footpaths linking to the existing woodland path network.
- 8.6 The layout and design proposed in the application has continuity with previous phases, presents a range of house types and overall will result in a good quality environment.

Transportation, Drainage and Flooding

- 8.7 The development is served by a vehicular access to Birch Road, which has already been partially formed. Internal roads link to the previous phases to the west. Each home provides in curtilage parking with the road layout drawings demonstrating that visitor parking can be accommodated on-street without conflict with driveways and visibility splays. The access road is to be adopted and is currently subject to an RCC application which will secure the engineering detail of the road design and will ensure the road is provided to adoptable standards. Swept path analysis has been submitted which demonstrates that the development can be adequately served by a Highland Council refuse vehicle.

- 8.8 A Drainage Impact Assessment was submitted with the application and surface water drainage is proposed to be via a drainage network serving the wider area. This will provide treatment and attenuation via a detention basin to the south of the application site. This infrastructure was the subject of planning application 18/01500/FUL.
- 8.9 A largely man-made watercourse called the Achnagarron Burn originating in the Crosshills area to the north of Alness runs adjacent to the north and east boundary of the site before passing underneath Birch Road and then flowing south and discharging to the Cromarty Firth. Flood Risk Assessment for previous phases identified that during a 1 in 200 year plus climate change flood event scenario parts of the site are at risk of flooding caused by the backup from a culvert located under Birch Road. In accordance with national and local policy, a further Flood Risk Assessment was submitted by the applicant to assess the risk in detail. By way of mitigating this impact it is proposed to replace the Birch Road culvert to increase the capacity of the culvert and reduce flood risk upstream of Birch Road. Consultation has identified the preferred type of replacement culvert and exact details and shall be secured by condition. As further mitigation a finished floor level 30.80mAOD is recommended. While the Flood Risk Management Team adopt a principle of avoiding development in those areas at risk when factoring in climate change, in this instance the risk is caused by a man-made structure and the mitigation proposed to increase the capacity of the culvert is considered an acceptable solution, and one which will provide benefit to also reduce flood risk on Birch Road itself. In this instance the proposed approach is considered acceptable.
- 8.10 The proposal is not considered to present any significant access, parking, drainage or flooding related issues. Conditions attached to the consent shall secure timeous provision of parking and footpaths, as well as the final detailed approval of the replacement culvert.

Landscaping/open space

- 8.11 An equipped play park shall be provided within phase 3 of the proposal at a central position accessible to phases 1-4. The hard landscaping strategy follows the material palette already established by previous phases with the shared vehicular/pedestrian surface comprising short sections of asphalt road broken up by "arrival squares" containing a red chipping and strips of a light grey coloured block paving to demark the change from road to square. The front of properties are to be turfed, with strips of green space adjacent to the site edges and within the development itself to be seeded/turfed and planted with low level shrubs and garden tree varieties. Conditions are attached to secure the exact details of the planting, play provision and maintenance.
- 8.12 The development provides an acceptable landscaping strategy consistent with previous phases and shall provide an equipped play area in accordance with Open Space policy and guidance.

8.13 **Affordable Housing**

The development occupies part of a wider site granted planning permission in 1973 where only the first eleven houses were built (to the south-west of current application site) before the developer went into receivership and the development was abandoned. As the original development has been implemented it is considered to be lawfully extant. Accordingly no contributions can be sought in respect of affordable housing on the basis that there exists an extant permission without any affordable requirement.

Matters to be secured by Section 75 Agreement

8.14 In order to mitigate the impact of the development on infrastructure and services the following matters require to be secured prior to planning permission being issued:

- a) £2,041.00 per home towards extension of Obsdale Primary School
- b) £1,019.00 per home towards community facilities

These figures are correct as of Q2 2018 and will require index linking to current costs based upon the BCIS All-in Tender Price Index.

The applicant has four months from the date that the Council's solicitor writes to the Applicant/Applicant's solicitor indicating the terms of the legal agreement or other appropriate mechanism to secure mitigation for the impacts of the development agreed by the Planning Service, to deliver to the Council a signed legal agreement. Should an agreement or other appropriate mechanism to secure the mitigation agreed by the Planning Service not be delivered within four months, the application may be refused under delegated powers for the following reason:

The proposed application has failed to conclude a legal agreement required to secure reasonable and proportionate contributions to secure mitigation for the impacts of the proposed development. As such the application is contrary to the provisions of Policy 31 (Developer Contributions) of the Highland-wide Local Development Plan and Policy 2 (Delivering Development) of the Inner Moray Firth Local Development Plan.

9. CONCLUSION

9.1 The design and layout of the proposed 3rd and 4th phase of housing development on this allocated site adheres to the principles of Designing Streets and through further information and discussion initial Transport Planning and flooding related objections have been resolved. Overall, the development presents no significant technical or amenity issues.

9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Av charging point for each home, active travel links, solar panels on each home
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued

Conclusion of Section 75 Y
Obligation

Subject to the above actions, it is recommended to

GRANT the application subject to the following conditions and reasons

1. No development or work shall commence until a detailed specification for all proposed external materials and finishes (including trade names and samples where necessary) has been submitted to, and approved in writing by, the Planning Authority. Thereafter, development and work shall progress in accordance with these approved details.

Reason: To ensure that the development is sensitive to, and compatible with, its context and local architectural styles.
2. The car parking, access arrangements and visibility splays for each house hereby approved and detailed within the approved plans shall be completed in full and made available for use prior to first occupation of each house. Thereafter, all car parking spaces, access and visibility splays shall be maintained in perpetuity.

Reason: To ensure that sufficient space is provided within the curtilage of each house for the parking of cars, so they do not have to park within the public road.
3. All surface water drainage provision within the application site shall be implemented in accordance with the approved plans and shall be completed prior to the first occupation of the first house in the development hereby approved.

Reason: To ensure that surface water drainage is provided timeously and complies with the principles of SUDS; in order to protect the water environment.

- 4 No development shall commence until a scheme for the replacement of the culvert beneath Birch Road at the south-east corner of the site is submitted to, and approved in writing by, the Planning Authority. The scheme shall include a layout plan and sections confirming the location, dimensions and any necessary detailing of the replacement culvert, as well as a timescale for its delivery. The replacement culvert shall be provided by the developer prior to 1st occupation of the development and/or in accordance with agreed delivery timescales and all other agreed details.

Reason: To mitigate against flood risk during the 1 in 200 year plus climate change flood event.

- 5 Within 1 month of first occupation of each home, the approved Systran travel information leaflet shall be sent to the occupier.

Reason: To promote active travel; in the interests of residential amenity.

- 6 Prior to the first occupation of the first house within the development hereby approved, both footways on the distributor road and footway/cycleway as shown on approved drawing 2924:301/02-N shall be completed in full to finished surface levels.

Reason: To ensure safer routes to school are in place and the development is supported by active travel links; in the interests of residential amenity and public safety.

- 7 No development shall commence until details of a scheme of hard and soft landscaping works have been submitted to, and approved in writing by, the Planning Authority. Details of the scheme shall include:

i. All earthworks and existing and finished ground levels in relation to an identified fixed datum point;

ii. A plan showing existing landscaping features and vegetation to be retained;

iii. The location and design, including materials, of any existing or proposed walls, fences and gates;

iv. All soft landscaping and planting works, including plans and schedules showing the location, species and size of each individual tree and/or shrub and planting densities; and

v. A programme for preparation, completion and subsequent on-going maintenance and protection of all landscaping works.

Landscaping works shall be carried out in accordance with the approved scheme. All planting, seeding or turfing as may be comprised in the approved details shall be carried out in the first planting and seeding seasons following the commencement of development, unless otherwise stated in the approved scheme.

Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

Reason: In order to ensure that a high standard of landscaping is achieved, appropriate to the location of the site.

8. No development shall commence until a scheme for the layout, design and construction, including timescale for delivery and completion, of the equipped play area has been submitted to, and approved in writing by, the Planning Authority. For the avoidance of doubt the scheme shall include detailed specifications for each piece of play equipment and furniture within the site and the play area shall be completed and available for use prior to occupation of plots 57 – 63. Thereafter, the play area shall be installed in line with these approved details.

Reason: To ensure the play area is provided timeously and to a high standard.

- 9 No development shall commence until a scheme for the maintenance, in perpetuity, of the play area, all on-site green spaces, landscaped and/or planted road verges, SUDS and/or features or parts of the development that are not the exclusive property of any identifiable individual home owner (such as communal amenity space, planting adjacent to roads and footpaths, and those elements of surface water drainage regimes not maintained either by the Council or Scottish Water), have been submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented in full and in accordance with the timescales contained therein.

Reason: To ensure that all communal spaces, facilities and landscaping areas are properly managed and maintained.

- 10 A 3m buffer shall be maintained in perpetuity on the south bank of Achnagarron Burn and a 6m buffer shall be maintained in perpetuity on the opposite bank, as shown on the approved plans.

Reason: To ensure that an appropriate buffer distance from the watercourse is maintained; in the interests of flood risk and water course management.

- 11 The development finished floor levels shall be a minimum of 30.80m AOD.

Reason: To mitigate against flood risk; in the interests of amenity and public safety.

- 12 The Construction Phase Traffic Management Plan hereby approved shall be implemented in full for the duration of works, unless otherwise agreed in writing with the Planning Authority as a non-material variation.

Reason: To ensure construction traffic is appropriately managed; in the interest of amenity and public safety.

- 13 No development shall commence until details of finished ground levels within the site (to ordnance datum), including sections where necessary, have been submitted to, and approved in writing by, the Planning Authority. Development shall thereafter be implemented in accordance with approved details.

Reason: To ensure no additional drainage is required and to ensure finished levels provide usable space and assimilate with the overall design and appearance of the development; in the interests of residential amenity, drainage and flood management.

- 14 No development shall commence until a scheme detailing the provision of electric vehicle charging points has been submitted to and approved in writing by the Planning Authority. The scheme shall include:

a) The provision of infrastructure, defined as the provision of cabling from the consumer unit within the property to an external point, to allow charging of electric vehicles within the curtilage of each house;

b) A timescale for implementation for infrastructure; and

c) Outline detail of a communication pack to be provided to each household on first occupation explaining how they can access electric vehicle charging infrastructure.

Thereafter, the scheme shall be implemented in line with the approved timescales.

Reason: To facilitate the move toward the reduction in reliance of petrol and diesel cars.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at:
<http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud & Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities: You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot:

<https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Designation: Area Planning Manager - North

Author: Rebecca Hindson

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

- Plan 1 - Location Plan 8314-PMH-PL-WHV3_4-0000 A
- Plan 2 - Phasing Plan 8314-PMH-PL-WHV3_4-0002 B
- Plan 3 - Site Plan (Wider Development) 8314-PMH-PL-WHV3_4-0003 B
- Plan 4 - Site Plan (Phase 3 and 4) 8314-PMH-PL-WHV3_4-0004 B
- Plan 5 – Site Plan (Footpath and Cycle Link Plan) 8314-PMH-PL-WHV3_4-0001 B
- Plan 6 - Landscaping Plan 8314-PMH-PL-WHV3_4-0005 B
- Plan 7 - Drainage Plan 8314-PMH-PL-WHV3_4-0006 A
- Plan 8 - Street scape visualisations 8314-PMH-PL-WHV3&4-DR-AT-0011
- Plan 9 - Elevation Plan 8314-PMH-PL-CHA-AS-DR-AT-1001
- Plan 10 - Elevation Plan - 8314-PMH-PL-CHA-OPP-DR-AT-3001
- Plan 11 - Elevation plan 8314-PMH-PL-CRO-AS-DR-AT-3001
- Plan 12 - Elevation Plan 8314-PMH-PL-CRO-OPP-DR-AT-3001
- Plan 13 - Elevation Plan 8314-PMH-PL-EAT-AS-DR-AT-3001
- Plan 14 - Elevation Plan 8314-PMH-PL-EAT-OPP-DR-AT-3001
- Plan 15 - Elevation Plan 8314-PMH-PL-GAR-AS-DR-AT-3001
- Plan 16 - Elevation Plan 8314-PMH-PL-GAR-DR-AT-3001
- Plan 17 - Elevation Plan 8314-PMH-PL-GAR-OPP-DR-AT-3001
- Plan 18 - Elevation Plan 8314-PMH-PL-ROS-AS-DR-AT-3001
- Plan 19 - Elevation Plan 8314-PMH-PL-ROS-OPP-DR-AT-3001
- Plan 20 - Elevation Plan 8314-PMH-PL-WYV-DR-AT-3001

Floor plans and other supporting plans and information can be viewed online by inserting the reference number 21/01353/FUL into the following link:

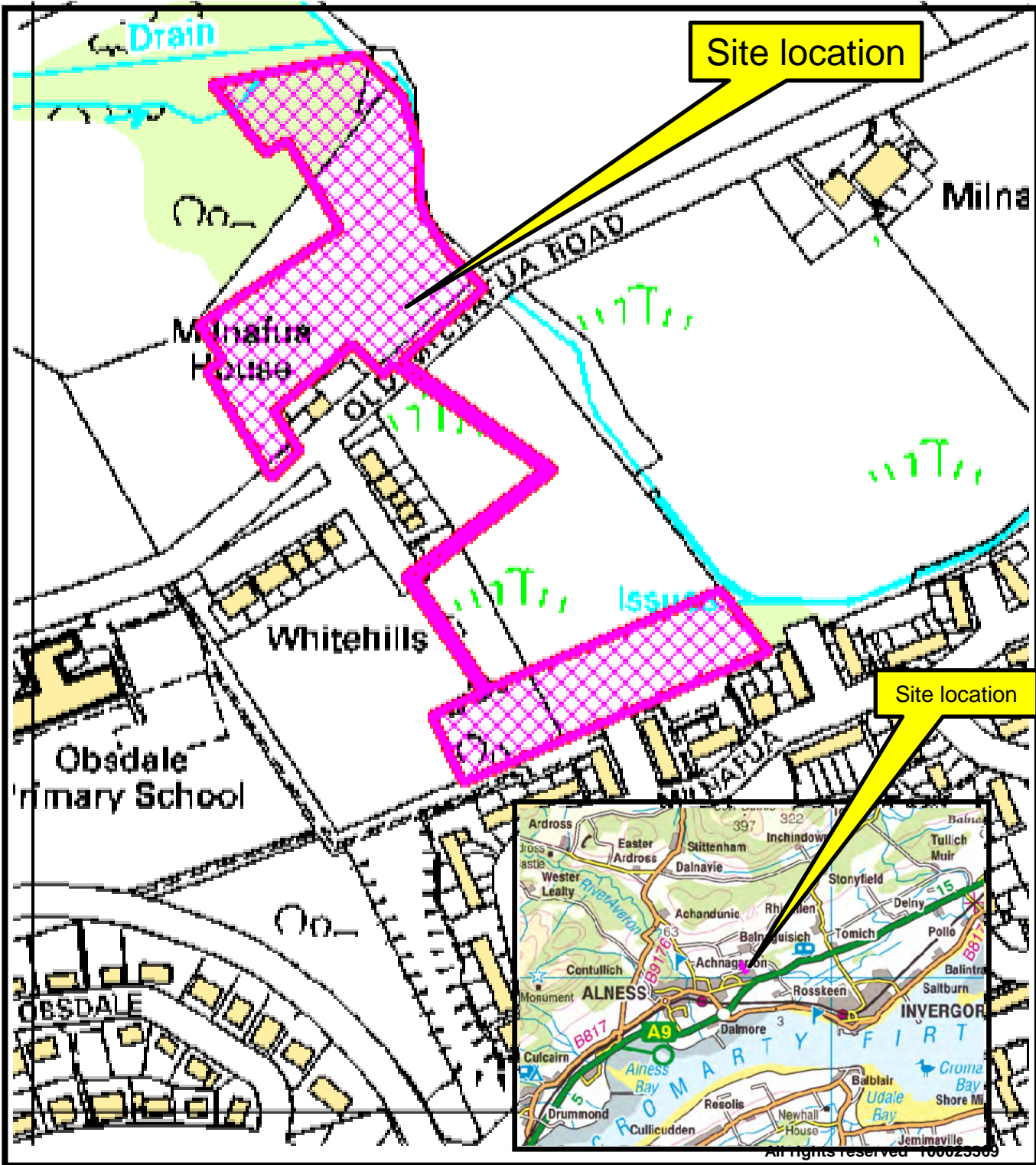
<https://wam.highland.gov.uk/wam/>

Appendix 2

	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
Type	Contribution	Rate (per house)	Rate (per flat)	Total Amount* ¹	Index Linked ¹	Base Date* ²	Payment Trigger* ³	Accounting Dates* ⁴	Clawback Period* ⁵
Schools²									
Primary – Build Costs	Extension Obsdale Primary	£2,041,00		£61,230,00	BCIS	Q2 2018	TOC/CC	Apr/Oct	20
Community Facilities	Averon Leisure Centre	£1,019,00		£30,570,00	BCIS	Q2 2018	TOC/CC	Apr/Oct	20

¹ If the contribution is to be used towards infrastructure projects involving building e.g. new school, new cycle route etc BCIS ALL IN TENDER will be the index, if it doesn't involve building then another appropriate index may need to be chosen with the agreement of Team Leader

² Indicate whether or not 1 bed houses/flats are exempt

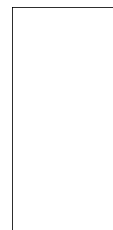


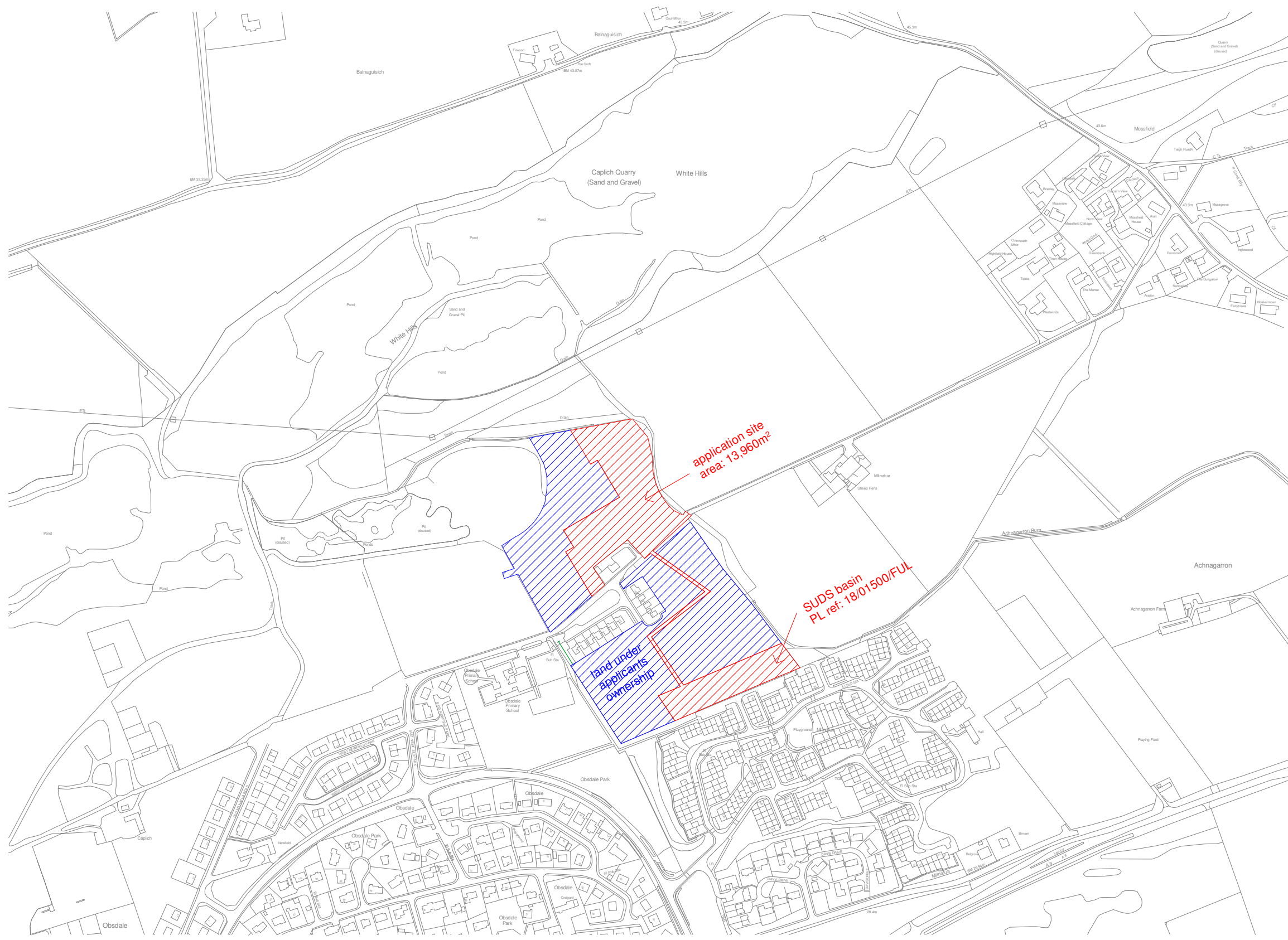
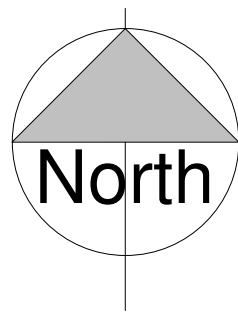
Development & Infrastructure Service

21/01353/FUL

Erection of 30 houses (Phases 3 & 4)
at Land 75M West Of Milnafua House
Old Milnafua Road, Alness

September 2021





PL Location Plan PH 3&4

1 : 5000

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Figured dimensions only are to be taken from this drawing. All dimensions are to be checked on site before any work is put in hand. IF IN DOUBT ASK.



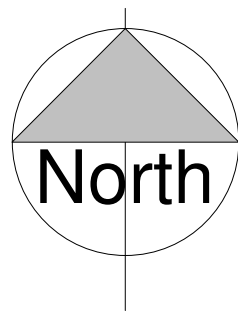
Statutory Applications

Phase 1	PL 18/01500/FUL	BW 18/1956/DOM1
Phase 2	PL 19/03188/FUL	BW 19/01453/DOM1/A
Phase 2a	PL 20/00375/FUL	BW 20/01302/DOM1
Phase 3&4	PL 21/01353/FUL	BW 21/00864/DOM1

A	Revised to suit PL obs	AM	27/08/21
Rev	Description	Dr'n	Chk'd Date



Project Whitehills View PH 3&4	Project Status Construction
Created • AM	Checked • HL Rev • A
Date • 15 Mar 2021	Scale • 1:5000
Drawing Location Plan	
Drawing No. 8314-PMH-PL-WHV3&4-0000-A	

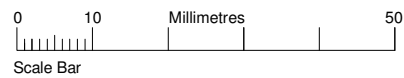


Wider Development Phasing Plan

1 : 1000

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Figured dimensions only are to be taken from this drawing.
All dimensions are to be checked on site before any work is put in hand. IF IN DOUBT ASK.



Statutory Applications

Phase 1	PL 18/01500/FUL		BW 18/1956/DOM1
Phase 2	PL 19/03188/FUL		BW 19/01453/DOM1/A
Phase 2a	PL 20/00375/FUL		BW 20/01302/DOM1
Phase 3&4	PL 21/01353/FUL		BW 21/00864/DOM1

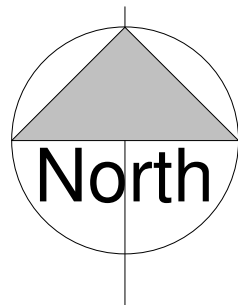
B	Revised to suit PL obs	AM	27/08/21
A	Plot and drainage revisions	AM	15/04/21

Rev	Description	Dr'n	Chk'd	Date
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



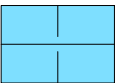


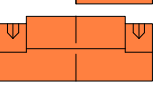
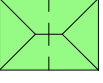



Averon House | Alness | Ross-Shire | IV17 0XU

Project Whitehills View PH 3&4	Project Status Construction
Created • AM Date • 15 Mar 2021	Checked • HL Scale • 1 : 1000
Drawing Wider Development Phasing Plan	
Drawing No. 8314-PMH-PL-WHV3&4-0002-B	




House Types - All Phases

-  Cromarty - 9 No.
(4 bed - 2 Storey house)
-  Rosehaugh Detached - 9 No.
(3 bed - 2 Storey house)
-  Rosehaugh Semi-Detached - 6 No.
(3 bed - 2 Storey house)
-  Eathie Detached - 7 No.
(2 bed - Bungalow)
-  Eathie Semi-Detached - 4 No.
(2 bed - Bungalow)
-  Chanonry - 4 No.
(3 bed - Bungalow)
-  Gairich Detached - 3 No.
(4 bed - 2 Storey house)
-  Gairich Semi-Detached - 4 No.
(4 bed - 2 Storey house)
-  Enhanced Wyvis Semi-Detached - 14 No.
(3 bed - 2 Storey house)
-  Averon Semi-Detached - 4 No.
(2 bed - 2 Storey house)

TOTAL: 64



 buffer north & south of Achnagarron Burn

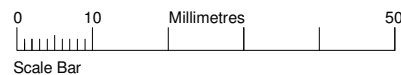
 service zone

Wider Development Site Plan

1 : 1000

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Statutory Applications

Phase 1	PL 18/01500/FUL		BW 18/1956/DOM1
Phase 2	PL 19/03188/FUL		BW 19/01453/DOM1/A
Phase 2a	PL 20/00375/FUL		BW 20/01302/DOM1
Phase 3&4	PL 21/01353/FUL		BW 21/00864/DOM1

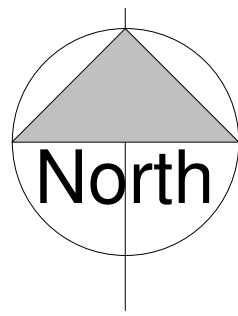
B	Revised to suit PL obs	AM	27/08/21
A	Plot and drainage revisions	AM	15/04/21

Rev Description Dr'n Chk'd Date



Averon House | Alness | Ross-Shire | IV17 OXU

Project Whitehills View PH 3&4	Project Status Construction
Created • AM Date • 15 Mar 2021	Checked • HL Scale • 1 : 1000
Drawing Wider Development Site Plan	
Drawing No. 8314-PMH-PL-WHV3&4-0003-B	



PHASE 3 - House Types

- Cromarty (4 bed - 2 Storey house) - 2 No.
- Rosehaugh Detached (3 bed - 2 Storey house) - 2 No.
- Eathie Detached (2 bed - Bungalow) - 1 No.
- Eathie Semi-Detached (2 bed - Semi-detached Bungalow) - 2 No.
- Gairich Detached (4 bed - 2 Storey house) - 2 No.
- Chanonry (3 bed - Bungalow) - 1 No.
- Enhanced Wyvis Semi-Detached (3 bed - 2 Storey house) - 6 No.

SUB-TOTAL: 16

buffer north & south of Achnagarron Burn

service zone

PHASE 4 - House Types

- Cromarty (4 bed - 2 Storey house) - 2 No.
- Rosehaugh Semi-Detached (3 bed - 2 Storey house) - 4 No.
- Eathie Detached (2 bed - Bungalow) - 1 No.
- Eathie Semi-Detached (2 bed - Bungalow) - 2 No.
- Gairich Detached (4 bed - 2 Storey house) - 1 No.
- Gairich Semi-Detached (4 bed - 2 Storey house) - 2 No.
- Enhanced Wyvis Semi-Detached (3 bed - 2 Storey house) - 2 No.

SUB-TOTAL: 14

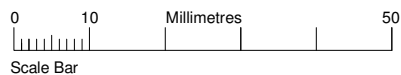


Development Plan PH 3&4

1 : 1000

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Statutory Applications

Phase 1	PL 18/01500/FUL	BW 18/1956/DOM1
Phase 2	PL 19/03188/FUL	BW 19/01453/DOM1/A
Phase 2a	PL 20/00375/FUL	BW 20/01302/DOM1
Phase 3&4	PL 21/01353/FUL	BW 21/00864/DOM1

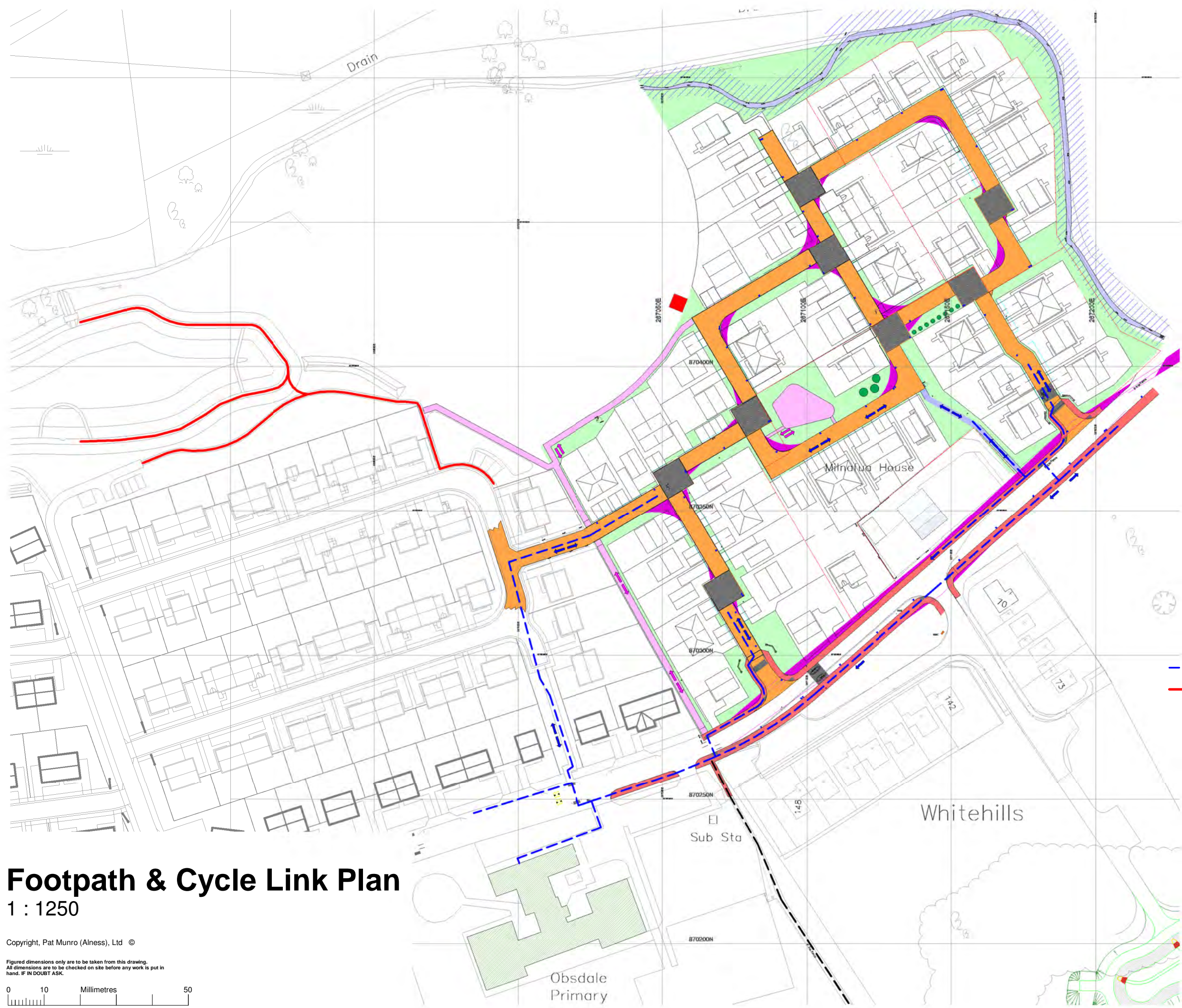
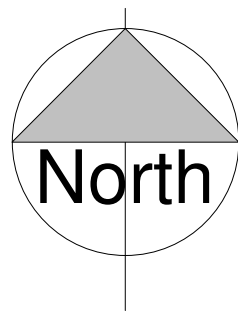
B	Revised to suit PL obs	AM	27/08/21
A	Plot and drainage revisions	AM	15/04/21

Rev Description Dr'n Chk'd Date



Averon House | Alness | Ross-Shire | IV17 0XU

Project Whitehills View PH 3&4	Project Status Construction
Created • AM Date • 15 Mar 2021	Checked • HL Scale • 1 : 1000
Drawing Development Plan PH 3&4	
Drawing No. 8314-PMH-PL-WHV3&4-0004-B	



Hatch Legend

- Communal Green Space
- Shared Surface for Pedestrian and Vehicle Traffic
- Primary Footpath / cycle Link
2m wide
- Secondary Footpath Link
2m wide
- Proposed Public Pavement Route
(Please refer to Engineers drawings for full details)
- Safe Route to School
- Footpath Link to Existing Woodland Recreation Space

Footpath & Cycle Link Plan

1 : 1250

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


B	Revised to suit PL obs	AM	27/08/21
A	Plot and drainage revisions	AM	15/04/21
Rev	Description	Dr'n	Chk'd Date

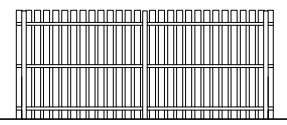


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




Project Whitehills View PH 3&4		Project Status Construction	
Created • AM	Checked • HL	Rev • B	
Date • 15 Mar 2021	Scale • 1:1250		
Drawing Wider Footpath & Cycle Link Plan			
Drawing No. 8314-PMH-PL-WHV3&4-0001-B			

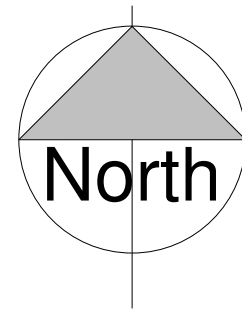
Soft Landscaping Legend

-  Communal Green Space / verge (Turfing and / or seeding depending on extent of area.)
Plant Species within:- TBC
-  Turfing to front of individual Properties (Private front garden area)
-  Rotavated topsoil to rear of properties. Includes area for gravel perimeter around properties. Areas shown in this colour to be bounded by 1.8m timber fencing. See below representation.



Hard Landscaping Legend

-  Arrival Squares - Asphalt surface course with coated red colour chippings. Please refer to Structural Engineers drawings for full details.
-  Block Paving Strip - Block paving ' Tegula' by Marshalls or equivalent - Colour:- GREY. Please refer to Structural Engineers drawings for full details. At development entrance / exit points only.
-  Road Network - Asphalt surface course with coated grey colour chippings. Please refer to Structural Engineers drawings for full details.
-  Driveways - Porous asphalt surface course. Please refer to Structural Engineers drawings for full details.
-  Visibility Splays, to be maintained clear at all times by Residents as stated on Title Deed information



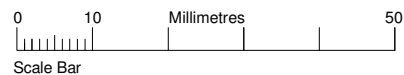
The maintenance of the proposed soft landscape tree and shrub planting will be undertaken by a Factor on behalf of Pat Munro (Alness) Ltd, following the completion of the proposed housing and soft landscape works. The works will be undertaken for the communal areas surrounding the new housing unit at the Whitehills site in Alness. the maintenance regime will be undertaken for the first five years after planting.

Maintenance Aims

The proposed soft landscape areas surrounding the residential development, comprise areas of low growing shrub planting with fastigate and small sized garden style tree species. Communal open spaces will be maintained as close mown grass within the housing site with shrub beds maintained weed free. Tree bases in close mown grass areas to be maintained as cleared earth circle grass / weed free to allow for grass cuttin and tree protection. The maintenance regime will aim to establish the trees and shrubs and protect the plants from animal browsing and replace any dead or poorly formed plants from competition from grass / weed species and climatic issues.

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Landscaping Plan

1 : 1000

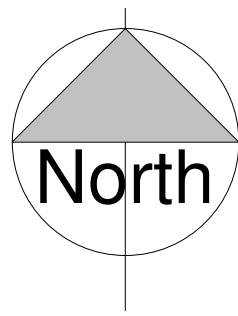
B	Revised to suit PL obs	AM	27/08/21
A	Plot and drainage revisions	AM	15/04/21

Rev Description Dr'n Chk'd Date



Averon House | Alness | Ross-Shire | IV17 OXU

Project Whitehills View PH 3&4	Project Status Construction
Created • AM Date • 15 Mar 2021	Checked • HL Scale • As indicated
Drawing Landscaping Plan PH 3&4	
Drawing No. 8314-PMH-PL-WHV3&4-0005-B	



Drainage Site Plan PH3&4

1 : 1000

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A	Revised to suit PL obs	AM	27/08/21
Rev	Description	Dr'n	Chk'd Date



Averon House | Alness | Ross-Shire | IV17 OXU

Project Whitehills View PH 3&4	Project Status Construction
Created • AM	Checked • HL Rev • A
Date • 15 Apr 2021	Scale • 1:1000
Drawing Site Drainage Plan PH 3&4	
Drawing No. 8314-PMH-PL-WHV3&4-0006-A	



Street View No. 1



Street View No. 2



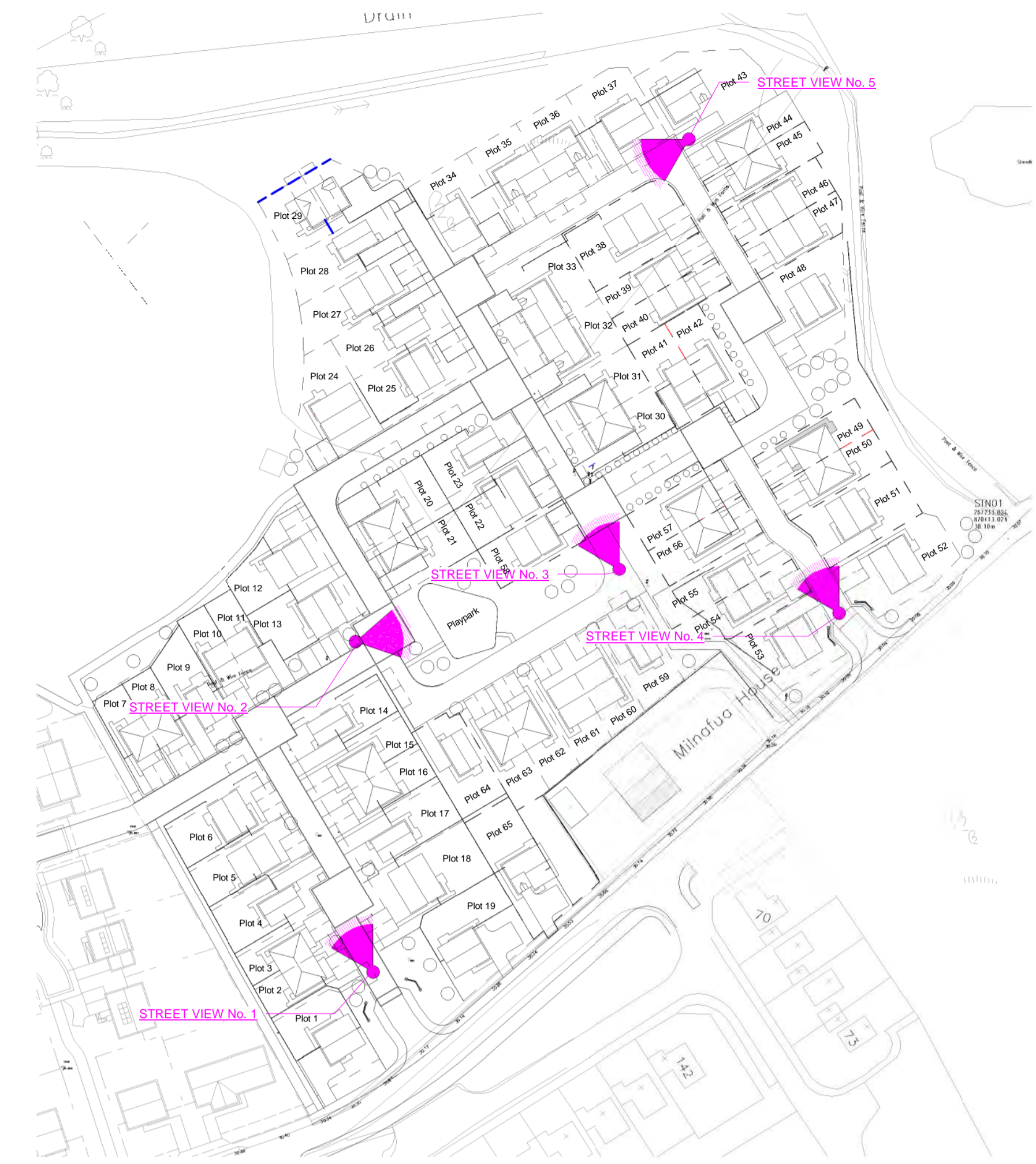
Street View No. 3



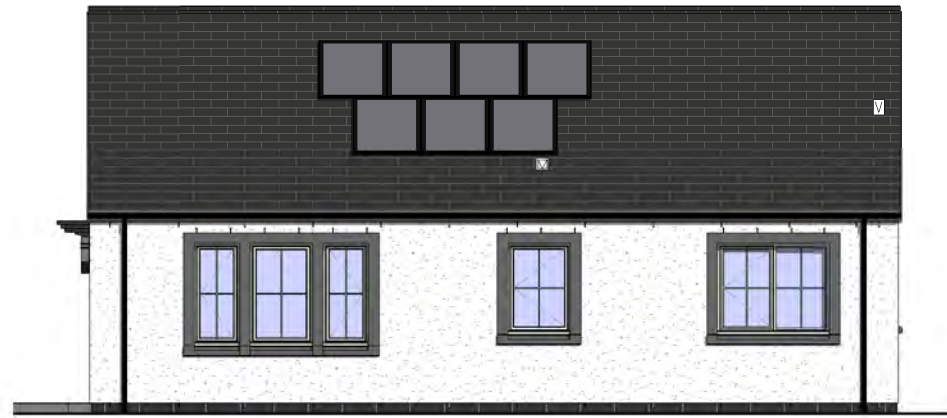
Street View No. 5



Street View No. 4



Street View Locations
1 : 1000



Principal Elevation to Street
1 : 100



Side Elevation
1 : 100

Finishes

Roof | grey modern tiles
 Fascia & soffits | grey
 Walls | white scratched render
 Walls & windows | grey banding
 Window | white uPVC
 Doors | various colours principal composite / white other composite / white double uPVC

Notes

PV panel array indicatively shown on both elevations



Rear Elevation
1 : 100



Side Elevation
1 : 100

Rev	Description	Dr'n	Chk'd	Date
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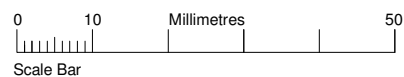
Averon House | Alness | Ross-Shire | IV17 0XU

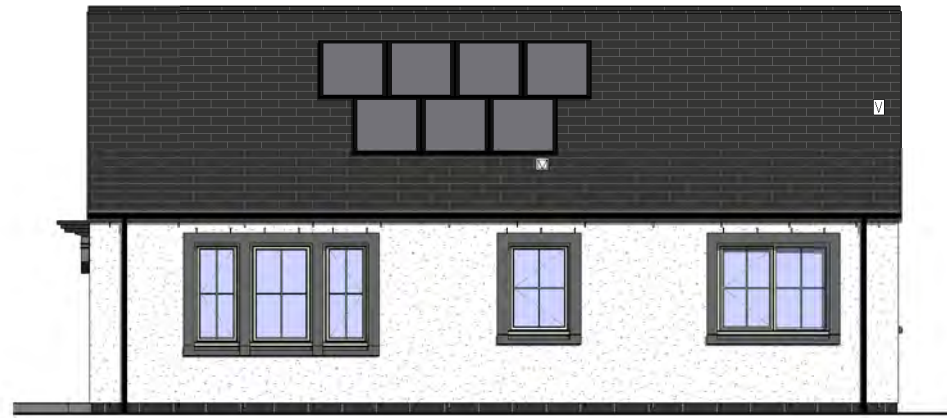
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Created • AM	Checked • HL
Date • 15/03/2021	Scale • 1 : 100

Drawing Elevations
Drawing No. 8314-PMH-PL-CHA-AS-DR-AT-3001

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Principal Elevation to Street
1 : 100



Side Elevation
1 : 100

Finishes

Roof | grey modern tiles
 Fascia & soffits | grey
 Walls | white scratched render
 Walls & windows | grey banding
 Window | white uPVC
 Doors | various colours principal composite / white other composite / white double uPVC

Notes

PV panel array indicatively shown on both elevations



Rear Elevation
1 : 100



Side Elevation
1 : 100

Rev	Description	Dr'n	Chk'd	Date
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Averon House | Alness | Ross-Shire | IV17 0XU

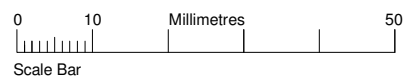
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Created • AM	Checked • HL Rev •
Date • 15/03/2021	Scale • 1 : 100

Drawing
Elevations

Drawing No.
8314-PMH-PL-CHA-AS-DR-AT-3001

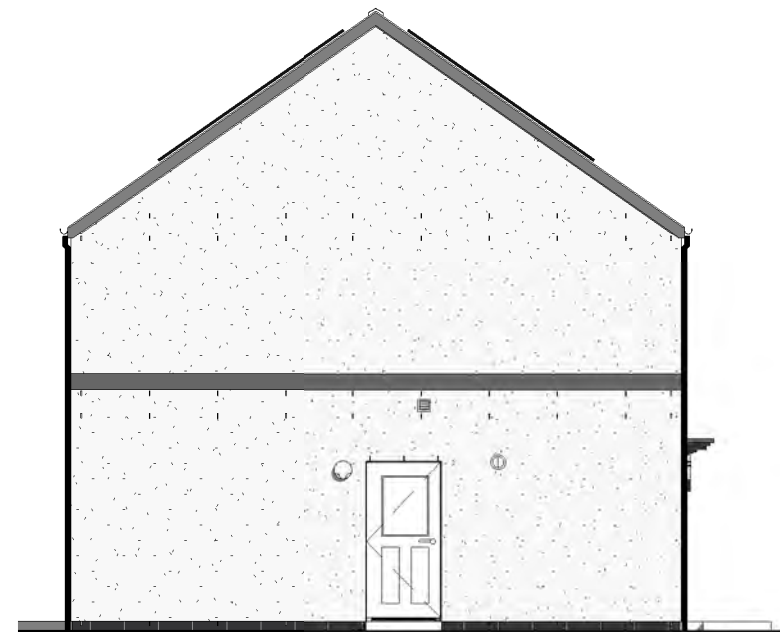
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Principal Elevation to Street
1 : 100



Side Elevation
1 : 100

Finishes

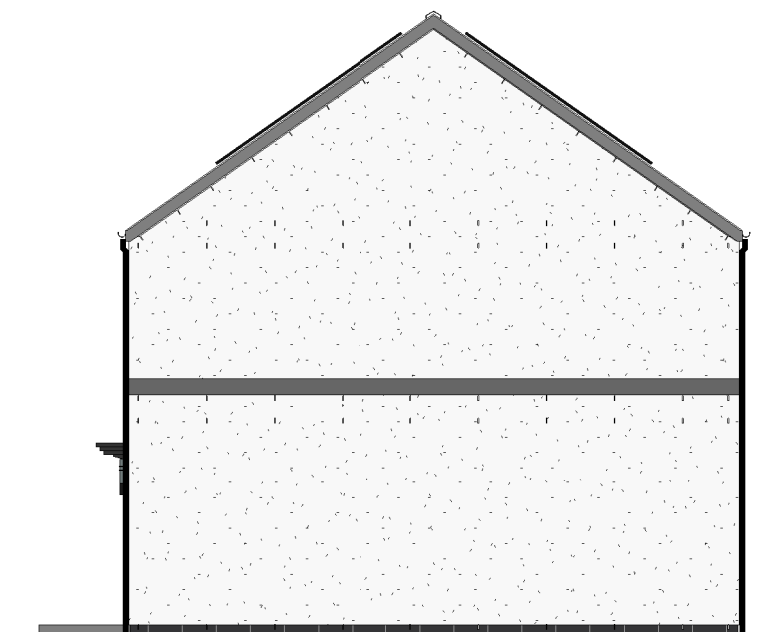
Roof | grey modern tiles
 Fascia & soffits | grey
 Walls | white scratched render
 Walls & windows | grey banding
 Window | white uPVC
 Doors | various colours principal composite / white other composite / white double uPVC

Notes

PV panel array indicatively shown on both elevations



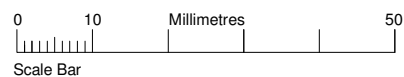
Rear Elevation
1 : 100



Side Elevation
1 : 100

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Rev	Description	Dr'n	Chk'd	Date
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Averon House | Alness | Ross-Shire | IV17 0XU

Project Whitehills View PH 3&4	Project Status Planning
Created • AM	Checked • HL
Date • 15/03/2021	Scale • 1 : 100

Drawing Elevations
Drawing No. 8314-PMH-PL-CRO-AS-DR-AT-3001



Principal Elevation to Street
1 : 100



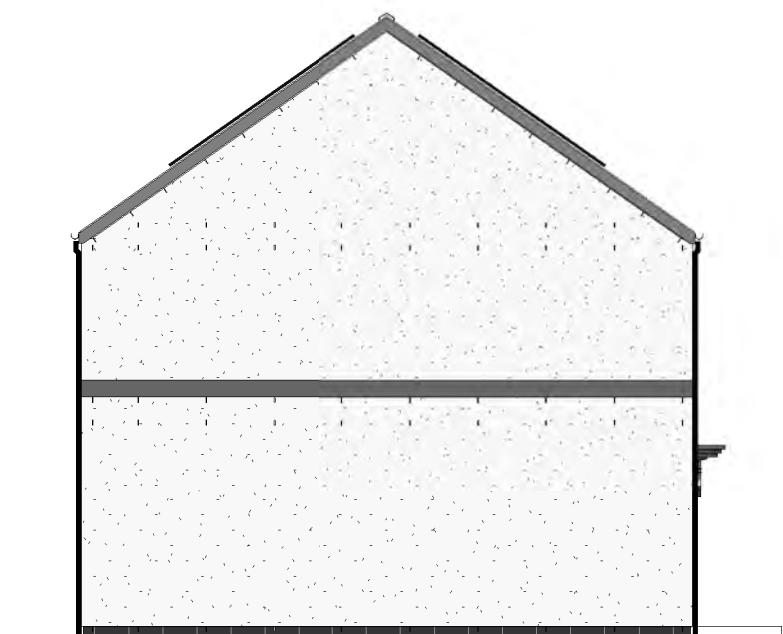
Side Elevation
1 : 100

Finishes
 Roof | grey modern tiles
 Fascia & soffits | grey
 Walls | white scratched render
 Walls & windows | grey banding
 Window | white uPVC
 Doors | various colours principal composite / white other composite / white double uPVC

Notes
 PV panel array indicatively shown on both elevations



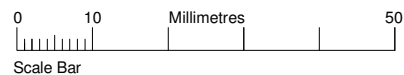
Rear Elevation
1 : 100



Side Elevation
1 : 100

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Rev	Description	Dr'n	Chk'd	Date
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Averon House | Alness | Ross-Shire | IV17 0XU

Project Whitehills View PH 3&4	Project Status Planning
Created • AM	Checked • HL Rev •
Date • 15/03/2021	Scale • 1 : 100
Drawing Elevations	
Drawing No. 8314-PMH-PL-CRO-OPP-DR-AT-3001	



Principal Elevation to Street

1 : 100



Side Elevation

1 : 100

Finishes

Roof | grey modern tiles
 Fascia & soffits | grey
 Walls | white scratched render
 Walls & windows | grey banding
 Window | white uPVC
 Doors | various colours principal composite / white other composite / white double uPVC

Notes

PV panel array indicatively shown on both elevations



Rear Elevation

1 : 100



Side Elevation

1 : 100

Rev	Description	Dr'n	Chk'd	Date
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Averon House | Alness | Ross-Shire | IV17 0XU

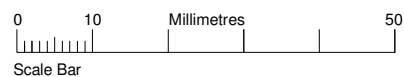
Project Whitehills View PH 3&4	Project Status Planning
Created • AM	Checked • HL Rev •
Date • 15/03/2021	Scale • 1 : 100

Drawing
Elevations

Drawing No.
8314-PMH-PL-EAT-AS-DR-AT-3001

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Principal Elevation to Street
1 : 100



Side Elevation
1 : 100

Finishes
 Roof | grey modern tiles
 Fascia & soffits | grey
 Walls | white scratched render
 Walls & windows | grey banding
 Window | white uPVC
 Doors | various colours principal composite / white other composite / white double uPVC

Notes
 PV panel array indicatively shown on both elevations



Rear Elevation
1 : 100



Side Elevation
1 : 100

Rev	Description	Dr'n	Chk'd	Date



Averon House | Alness | Ross-Shire | IV17 0XU

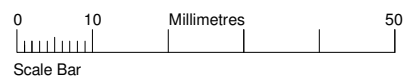
Project Whitehills View PH 3&4	Project Status Planning
Created • AM	Checked • HL
Date • 15/03/2021	Scale • 1 : 100

Drawing
Elevations

Drawing No.
8314-PMH-PL-EAT-OPP-DR-AT-3001

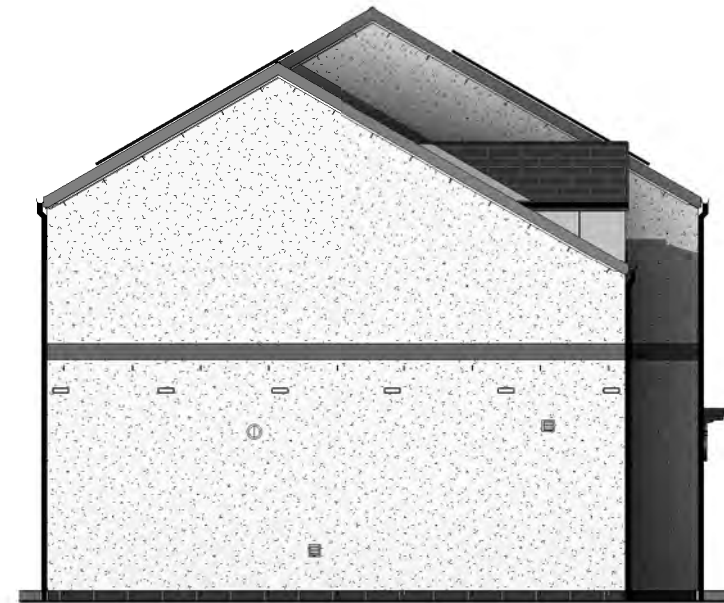
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Principal Elevation to Street
1 : 100



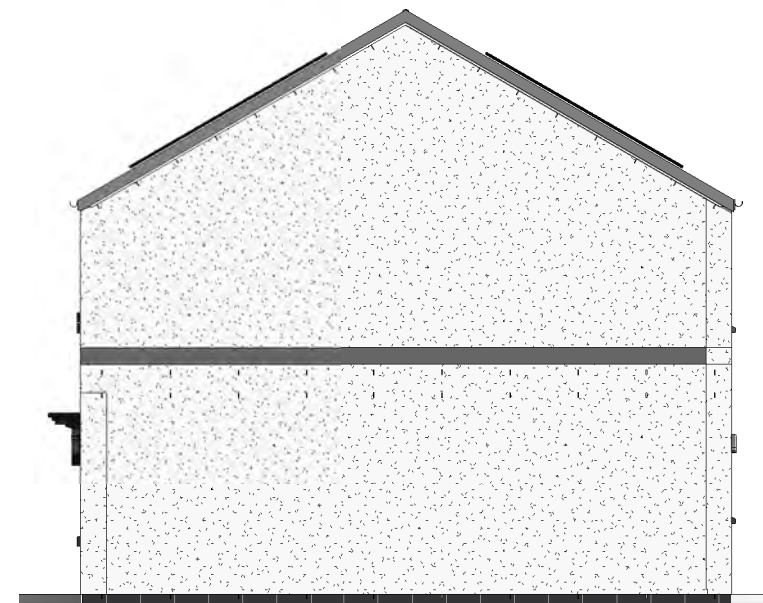
Side Elevation
1 : 100

Finishes
 Roof | grey modern tiles
 Fascia & soffits | grey
 Walls | white scratched render
 Walls & windows | grey banding
 Window | white uPVC
 Doors | various colours principal composite / white other composite / white double uPVC

Notes
 PV panel array indicatively shown on both elevations



Rear Elevation
1 : 100



Side Elevation
1 : 100

Rev	Description	Dr'n	Chk'd	Date
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Averon House | Alness | Ross-Shire | IV17 0XU

Project Whitehills View PH 3&4	Project Status Planning
Created • AM	Checked • HL Rev •
Date • 15/03/2021	Scale • 1 : 100

Drawing
Elevations

Drawing No.
8314-PMH-PL-GAR-AS-DR-AT-3001

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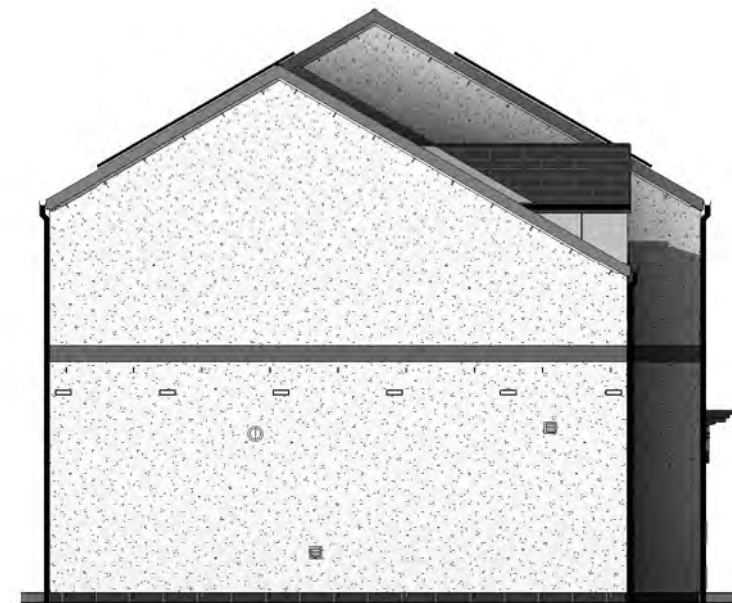
Figured dimensions only are to be taken from this drawing.
 All dimensions are to be checked on site before any work is put in hand. IF IN DOUBT ASK.





Principal Elevation to Street

1 : 100



Side Elevation

1 : 100

Finishes

- Roof | grey modern tiles
- Fascia & soffits | grey
- Walls | white scratched render
- Walls & windows | grey banding
- Window | white uPVC
- Doors | various colours principal composite / white other composite / white double uPVC

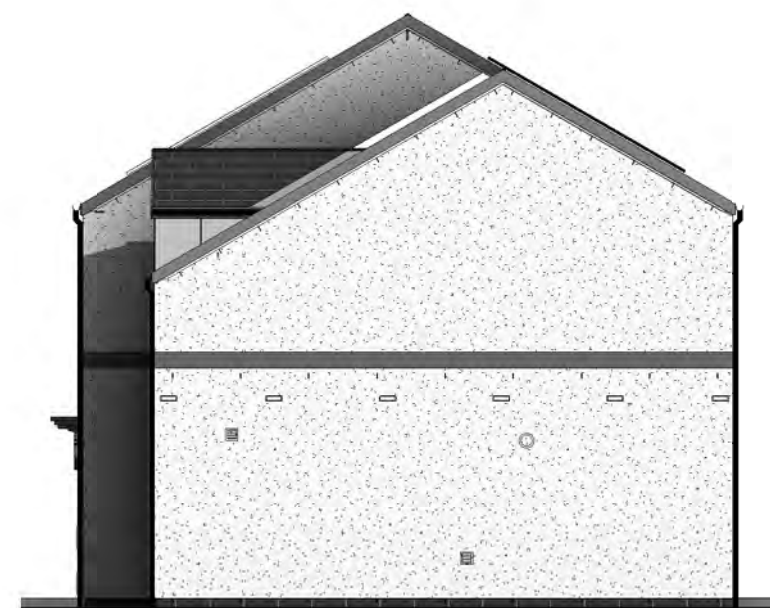
Notes

PV panel array indicatively shown on both elevations



Rear Elevation

1 : 100



Side Elevation

1 : 100

Rev	Description	Dr'n	Chk'd	Date

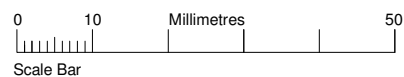


Averon House | Alness | Ross-Shire | IV17 0XU

Project Whitehills View PH 3&4	Project Status Planning
Created • AM	Checked • HL Rev •
Date • 15/03/2021	Scale • 1 : 100
Drawing Elevations	
Drawing No. 8314-PMH-PL-GAR-DR-AT-3001	

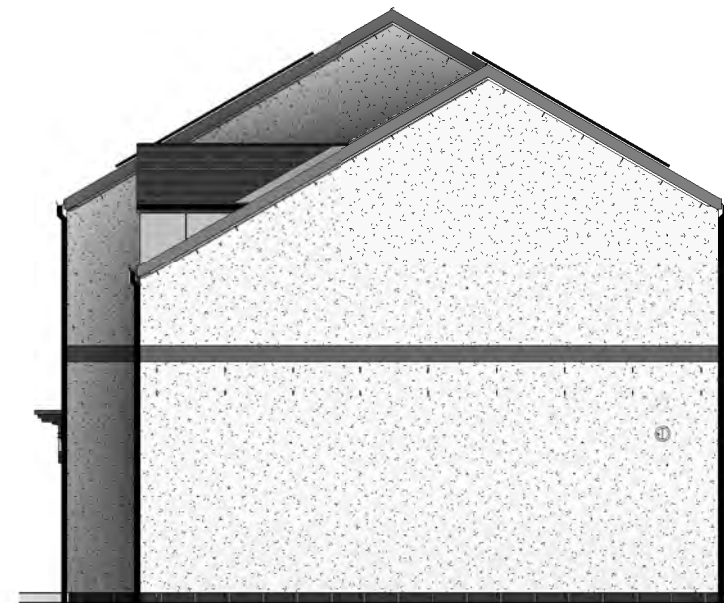
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All dimensions are to be checked on site before any work is put in hand. IF IN DOUBT ASK.





Principal Elevation to Street
1 : 100



Side Elevation
1 : 100

Finishes

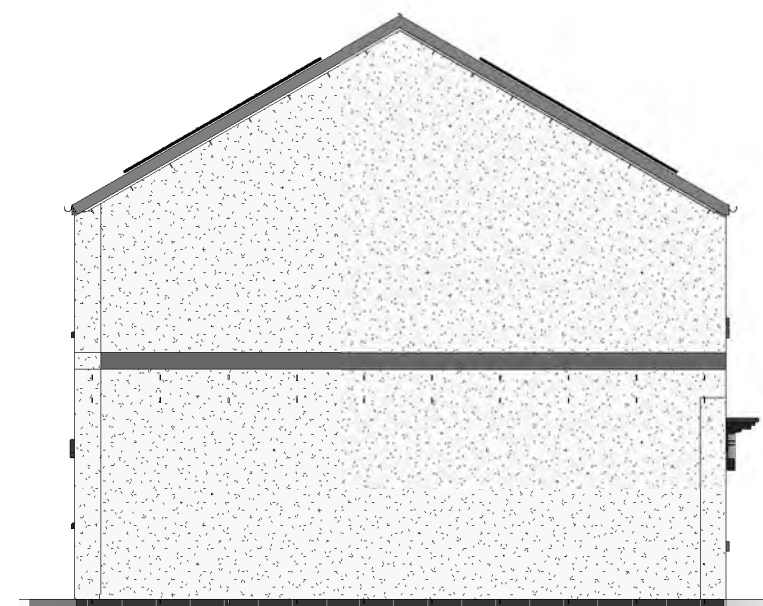
Roof | grey modern tiles
 Fascia & soffits | grey
 Walls | white scratched render
 Walls & windows | grey banding
 Window | white uPVC
 Doors | various colours principal composite / white other composite / white double uPVC

Notes

PV panel array indicatively shown on both elevations



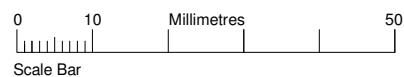
Rear Elevation
1 : 100



Side Elevation
1 : 100

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Rev	Description	Dr'n	Chk'd	Date
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Averon House | Alness | Ross-Shire | IV17 0XU

Project Whitehills View PH 3&4	Project Status Planning
Created • AM	Checked • HL Rev •
Date • 15/03/2021	Scale • 1 : 100
Drawing Elevations	
Drawing No. 8314-PMH-PL-GAR-OPP-DR-AT-3001	



Principal Elevation to Street
1 : 100



Side Elevation
1 : 100

Finishes
 Roof | grey modern tiles
 Fascia & soffits | grey
 Walls | white scratched render
 Walls & windows | grey banding
 Window | white uPVC
 Doors | various colours principal composite / white other composite / white double uPVC

Notes
 PV panel array indicatively shown on both elevations



Rear Elevation
1 : 100



Side Elevation
1 : 100

Rev	Description	Drn	Chk'd	Date



Averon House | Alness | Ross-Shire | IV17 0XU

Project Whitehills View PH 3&4	Project Status Planning
Created • AM	Checked • HL Rev •
Date • 15/03/2021	Scale • 1:100

Drawing Elevations
Drawing No. 8314-PMH-PL-ROS-DR-AT-3001

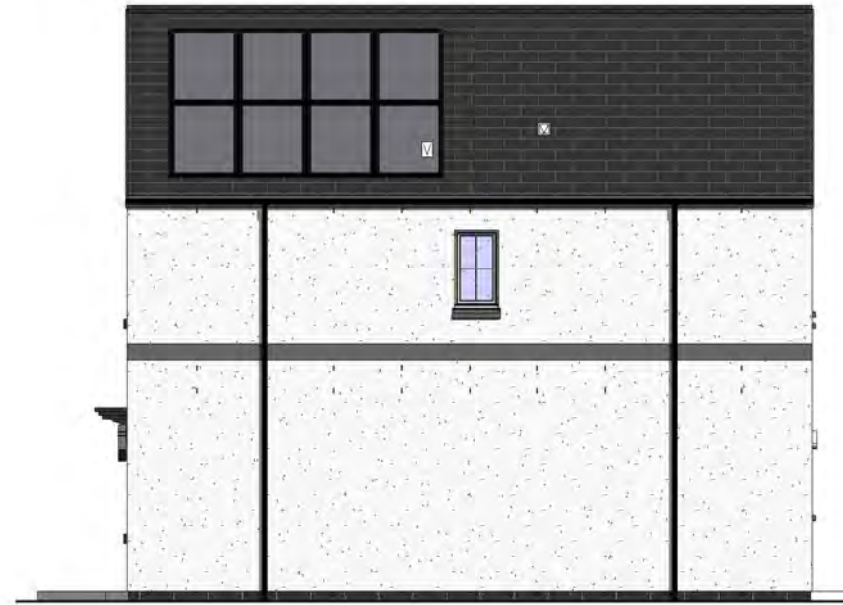
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Principal Elevation to Street
1 : 100



Side Elevation
1 : 100

Finishes
 Roof | grey modern tiles
 Fascia & soffits | grey
 Walls | white scratched render
 Walls & windows | grey banding
 Window | white uPVC
 Doors | various colours principal composite / white other composite / white double uPVC

Notes
 PV panel array indicatively shown on both elevations



Rear Elevation
1 : 100



Side Elevation
1 : 100

Rev	Description	Dr'n	Chk'd	Date
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Averon House | Alness | Ross-Shire | IV17 0XU

Project Whitehills View PH 3&4	Project Status Planning
Created • AM	Checked • HL Rev •
Date • 15/03/2021	Scale • 1 : 100

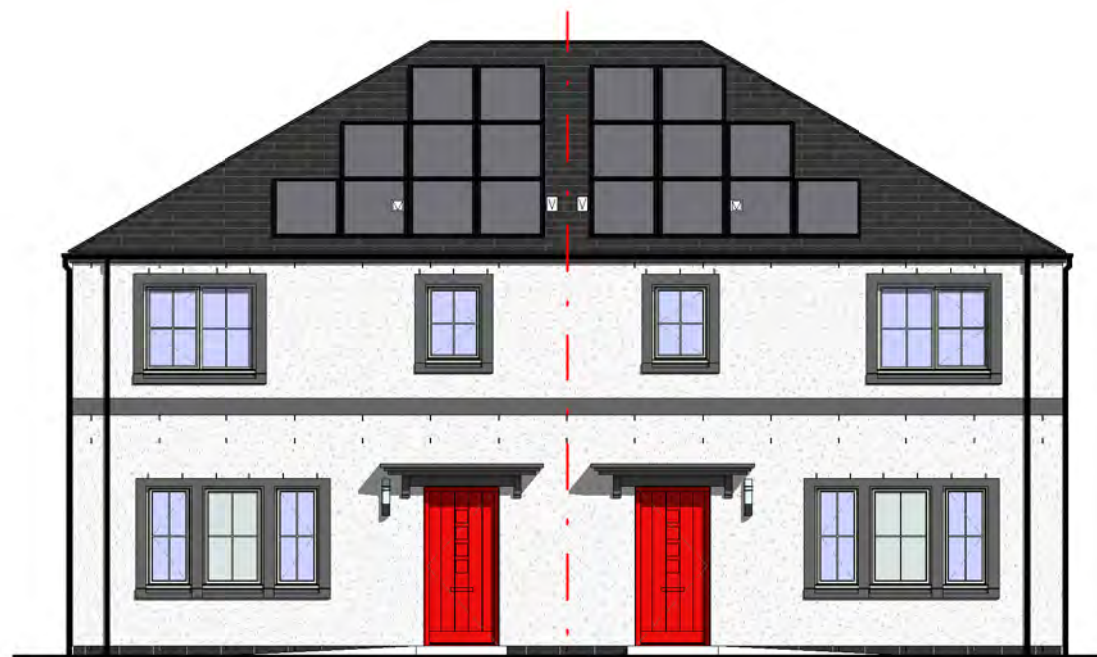
Drawing
Elevations

Drawing No.
8314-PMH-PL-ROS-OPP-DR-AT-3001

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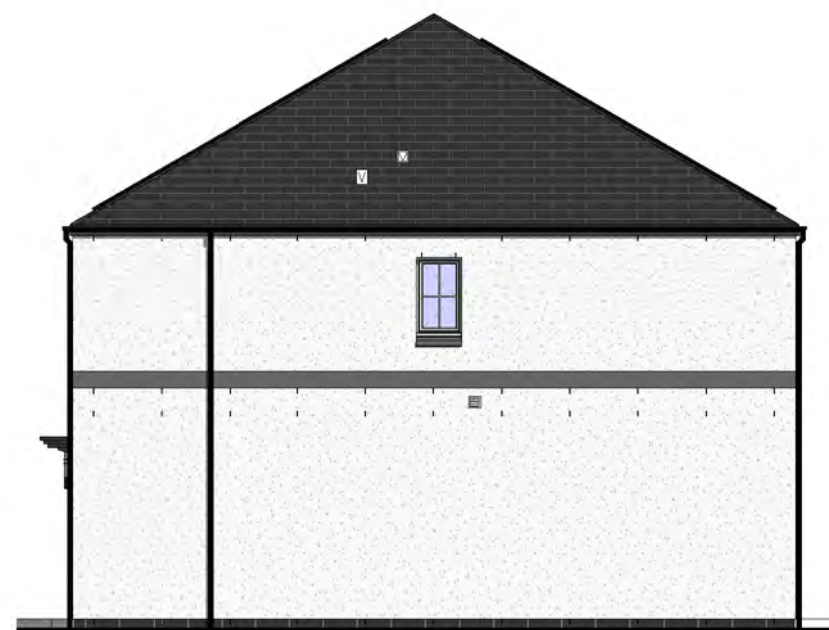
Figured dimensions only are to be taken from this drawing.
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Principal Elevation to Street

1 : 100



Side Elevation

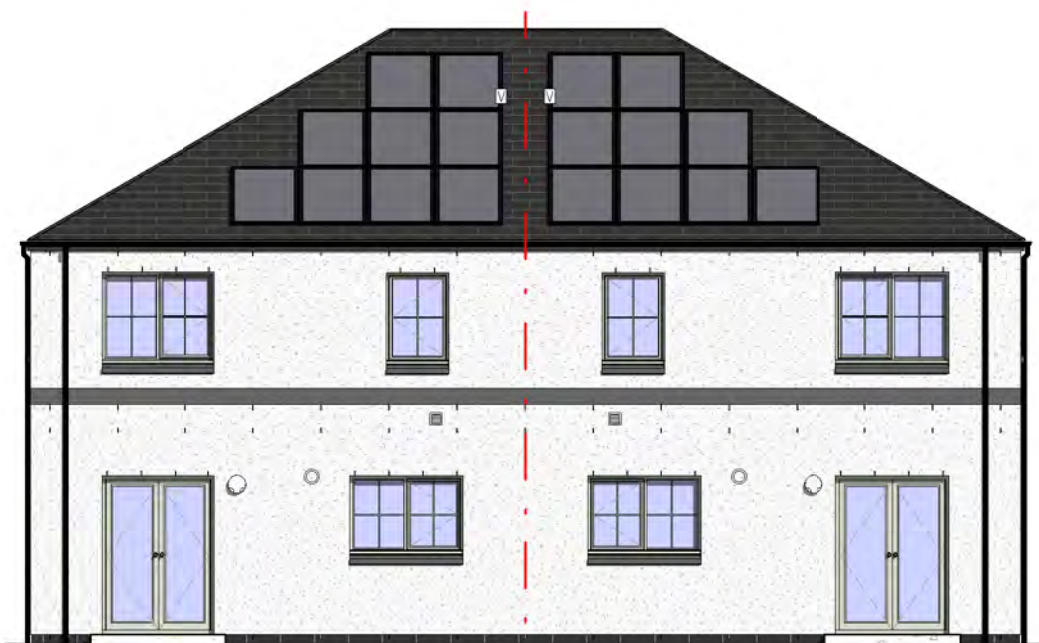
1 : 100

Finishes

Roof | grey modern tiles
 Fascia & soffits | grey
 Walls | white scratched render
 Walls & windows | grey banding
 Window | white uPVC
 Doors | various colours
 principal composite / white
 other composite / white double
 uPVC

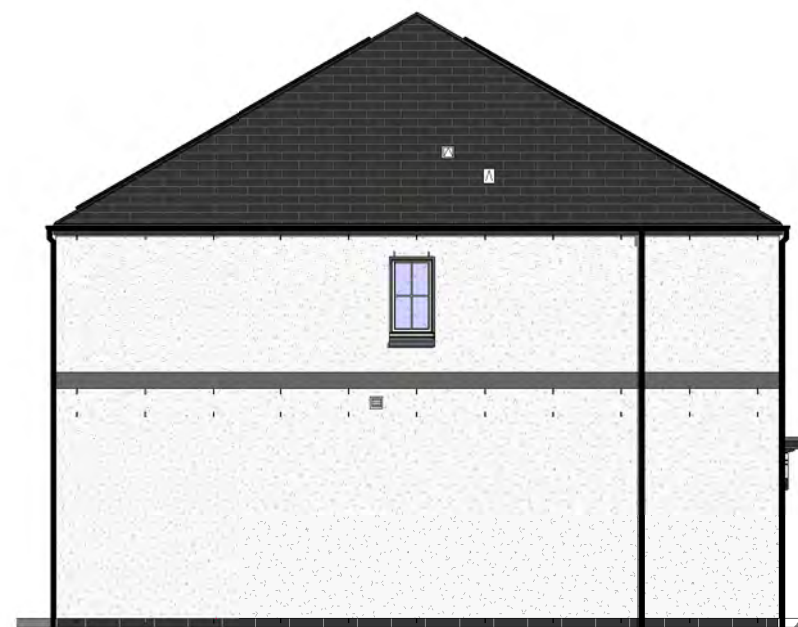
Notes

PV panel array indicatively
 shown on both elevations



Rear Elevation

1 : 100



Side Elevation

1 : 100

Rev	Description	Dr'n	Chk'd	Date
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Averon House | Alness | Ross-Shire | IV17 0XU

Project Whitehills View PH 3&4	Project Status Planning
Created • AM	Checked • HL
Date • 15/03/2021	Scale • 1 : 100

Drawing Elevations
Drawing No. 8314-PMH-PL-WYV-DR-AT-3001

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