

Agenda Item	6.1
Report No	PLS-064-21

## HIGHLAND COUNCIL

**Committee:** South Planning Applications Committee

**Date:** 21 September 2021

**Report Title:** 21/01895/MS: Robertson Homes Ltd  
Torvean, Land South of Golf View Terrace, Inverness

**Report By:** Area Planning Manager – South

### Purpose/Executive Summary

**Description:** Submission of Matters specified in Condition 1 (Development in Accordance with Masterplan), 2 (Phasing Strategy) , 3 (Design and Layout), 4 (Flood Risk), 5 (Drainage), 6 (Traffic Regulation Order), 7 (Protected Species), 8 (Surface Water Drainage), 9 (Connection to Public Water and Waste Water Network), 10 (Buffer to Watercourse), 11 (Landscaping), 12 (Maintenance), 13 (Archaeology), 14 (Car Parking), 15 (Cycle Parking), 17 (Great Glen Way), 18 (Construction Environment Management), 19 (Construction Traffic Management), 20 (Travel Plan), 21 (Street Lighting) & 22 (Occupation of Development) of Planning Permission in Principle 15/02422/PIP - Erection of 117 residential dwellings, landscaping and associated infrastructure.

**Ward:** 13 – Inverness West

**Development category:** Major

**Reason referred to Committee:** Major application (more than 30 residential units)

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

### Recommendation

Members are asked to agree the recommendation to **APPROVE** the application as set out in section 11 of the report

# 1. PROPOSED DEVELOPMENT

1.1 The application has been submitted to address a number of the matters specified in conditions of Planning Permission in Principle 15/02422/PIP to facilitate and deliver 117 residential dwellings. The applicant has submitted details seeking to satisfy:

- 1 (Development in Accordance with Masterplan);
- 2 (Phasing Strategy);
- 3 (Design and Layout);
- 4 (Flood Risk);
- 5 (Drainage);
- 6 (Traffic Regulation Order);
- 7 (Protected Species);
- 8 (Surface Water Drainage);
- 9 (Connection to Public Water and Waste Water Network);
- 10 (Buffer to Watercourse);
- 11 (Landscaping);
- 12 (Maintenance);
- 13 (Archaeology);
- 14 (Car Parking);
- 15 (Cycle Parking);
- 17 (Great Glen Way);
- 18 (Construction Environment Management);
- 19 (Construction Traffic Management);
- 20 (Travel Plan);
- 21 (Street Lighting);
- 22 (Occupation of Development).

1.2 Planning permission was granted in December 2016 (15/02422/PIP) for the first five phases of 160 house application. Prior to this planning permission was granted in November 2015 (15/02423/FUL) for the delivery of enabling works to facilitate the construction of both the 160 homes and the reconfigured golf course. This included a series of earthworks, re-profiling the site, creation of a new Sustainable Drainage System (SuDs) basin and replacement/upgrade of the culvert which carries the watercourse known as the Torvean Ditch.

1.3 The proposed development comprises of a mix of 2 – 6-bedroom units in a range of sizes. These units include, flatted, terraced, semi-detached and detached properties. The proposed house types are set out below:

No. of Units	Unit Type
12	2 Bedroom Flat
28	3 Bedroom Semi-Detached House
2	4 Bedroom Semi-Detached House
45	4 Bedroom Detached House
19	5 Bedroom Detached House

2	6 Bedroom Detached House
6	3 Bedroom End Terrace
3	3 Bedroom Mid Terrace
<b>Total - 117 Units</b>	

- 1.4 The applicant utilised the Council's Pre-Application Advice Service for Major Developments. The advice provided set out that while the development is supported in principle there were some concerns in relation to the design and layout of the development. If these issues were satisfactorily addressed, then the proposed development could be supported.
- 1.5 The application is supported by the following:
- Design and Access Statement;
  - Outdoor Access Plan; and
  - Surface Water Drainage Simulation Results.
- 1.6 Since validation of the application the following variations have been made:
- Modification to layout to take into account consultation comments from Transport Planning. This included changes to the internal road layout, disable parking bays, the inclusion of lockable cycle shelters. The applicant also made some modification to the layout and house types on plots 63, 63, 92, 93 and 95 to ensure visibility splays can be met.

## **2. SITE DESCRIPTION**

- 2.1 The site is located to the south of Kinmylies, Inverness and adjacent to the newly completed Kings Golf Club which wraps around the site to the east, west, and south. To the north of the site is Phase 1 and 1A of the new residential development under the planning in principle (15/02422/PIP). Further north is the existing housing at Golf View Terrace. Steel lattice towers and overhead lines run adjacent to the western boundary of the site. The site is near to the Great Glen Way (long distance route).
- 2.2 The site was formally agricultural land, which was cleared, and hard standing created in 2016 as part of the enabling works for the site. The site is not covered by any natural or cultural heritage designations. Tomnahurich Cemetery is located to the east of the proposed development and is listed in the National Inventory of Historic Gardens and Designated Landscapes. The Caledonian Canal, a Scheduled Monument, lies to the east.
- 2.3 There is a small culverted watercourse running through the northern part of the site and an interception/overflow ditch that directs water around the site. There are areas of the site that are identified as at medium risk of surface water flooding.
- 2.4 The site will be accessed via Golf View Road and the newly formed Balphrig Road given direct access to General Booth Road, the latter access is also served by shared foot and cycle path along its northern edge up to the application site.

### 3. PLANNING HISTORY

3.1		15/01283/PAN Residential Development of 160 new houses	Case Closed
3.2		15/01286/PAN Groundworks associated with new housing & golf course	Case Closed
3.3	23 December 2016	15/02422/PIP Erection of 160 houses	Planning Permission in Principle Granted
3.4	19 November 2015	15/02423/FUL Earthworks/Enabling Works including scrape/modelling of the site, removal of topsoil for use in forming adjacent new golf course, stockpiling, SUDS basin, culvert and access road formation	Planning Permission Granted
3.5	3 April 2019	18/04834/RCC Construction of a link road to provide access to a new residential development	Road Construction Consent Granted
3.6	3 April 2019	18/04918/MSC Erection of 35 houses and flats and associated site infrastructure (Phase 1)	Matters Specified in Conditions Approved
3.7	18 June 2019	18/05263/RCC Torvean Residential Development - Phase 1	Road Construction Consent Granted
3.8	18 March 2020	19/04960/MSC Erection of 8 houses (Phase 1A)	Matters Specified in Conditions Approved
3.9	7 February 2021	20/04674/S75M Modification of planning obligation associated with Planning Permission 15/02422/PIP	Grant Section 75 (Modify Obligations)
3.10		21/02183/RCC Proposed roads and footpaths serving Torvean Housing Development	Pending Consideration

### 4. PUBLIC PARTICIPATION

4.1 Advertised: Unknown Neighbour

Date Advertised: 14.05.2021

Representation deadline: 28.05.2021

Timeous representations: 1 Objection Comment

Late representations: 1 General Comment



- 4.2 Material considerations raised are summarised as follows:
- a) Impact on amenity (privacy);
  - b) Over development of the site;
  - c) Impact on structural integrity of neighbouring land;
  - d) Impact on existing fencing and landscaping.
- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet [www.wam.highland.gov.uk/wam](http://www.wam.highland.gov.uk/wam).

## 5. CONSULTATIONS

- 5.1 **Access Officer** does not object to the application. An outdoor access plan is requested to be submitted in relation to the satisfaction of condition 16 from the grant of planning permission in principle (15/02422/PIP). A detailed Outdoor Access Plan was submitted that will enhance connections to the existing core path, Great Glen Way, surrounding golf course and footpath network. It is proposed that the new footpaths will connect the existing path network to the north, east, south and west. However, as there are no details on scheduling, design and specification for the new path links and that the plan fails to detail where public access rights will or will not apply on completion, condition 16 does not form part of this application and will be dealt with at a later date through the discharge of planning conditions.
- 5.2 **Contaminated Land** do not object to the application. It confirmed that there are no concerns in relation to contaminated land.
- 5.3 **Flood Risk Management Team** do not object to the proposed development following the submission of further information to show simulations of the surface water drainage network. This confirmed this phase of development can be accommodated by the existing network. It is satisfied with the information submitted that conditions 4, 5, 8 and 10 can be approved.
- 5.4 **Transport Planning Team** do not object to the application following the submission of further information and clarification. In relation to condition 3d it requested that the priority arrangements at the junction (when driving between Road MC02 south and MC02A), with associated junction and forward visibility requirements are changed to show the give-way being across Road MC02 to the north of the junction. It is satisfied that condition 3d can be satisfied as a suitable arrangement can be agreed through the Road Construction Consent (RCC) without impacting on the proposed layout of the residential buildings. It notes the requirement for details of the relocation of bus stops on General Booth Road, details should be submitted.
- 5.5 **Scottish Environment Protection Agency (SEPA)** do not object to the proposed development. SEPA asked for a condition to be attached to a previous planning permission (ref. 15/02423/FUL) in relation to culverting of the watercourse of the Torvean ditch which was then permitted. It considers there is appropriate surface water drainage (detention basin) and it notes that a connection to public sewer has already been secured. As the ground works are complete and the location of the ditches surrounding the site have been identified, it is satisfied that the conditions can be considered satisfied. It does however note that all excavations and soil stockpiling must be kept away from existing ditches, and appropriate construction

surface water drainage systems are in place to ensure no sedimentation of watercourses occurs.

## **6. DEVELOPMENT PLAN POLICY**

The following policies are relevant to the assessment of the application

### **6.1 Highland Wide Local Development Plan 2012**

- 08 - Ness-side and Charleston
- 28 - Sustainable Design
- 29 - Design Quality and Place-making
- 31 - Developer Contributions
- 34 - Settlement Development Areas
- 35 - Housing in the Countryside (Hinterland Areas)
- 36 - Development in the Wider Countryside
- 42 - Previously Used Land
- 51 - Trees and Development
- 52 - Principle of Development in Woodland
- 56 - Travel
- 57 - Natural, Built and Cultural Heritage
- 58 - Protected Species
- 59 - Other important Species
- 60 - Other Importance Habitats
- 61 - Landscape
- 64 - Flood Risk
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage
- 75 - Open Space
- 76 - Playing Fields and Sports Pitches
- 77 - Public Access
- 78 - Long Distance Routes

### **6.2 Inner Moray Firth Local Development Plan 2015**

IN24 Torvean and Ness-side (Northern Part) - The site is allocated as part of a wider site for 535 residential units, business, retail, tourism and community uses and confirms the development should be delivered in accordance with the Torvean and Ness-side development brief (TNDB). As part of the housing mix, the proposed scheme includes a variety of property sizes, including a number of Cottage Flats. The affordable housing aspect is already being delivered on site directly by the Council and this scheme includes no further housing provision.

### **6.3 Inner Moray Firth Local Development Plan Review 2021**

The Inner Moray Firth Local Development Plan is currently under review. The Main Issues Report was published for consultation early 2021. It identifies this site as Inverness West where major development has been and will continue to be delivered in this area, focused on housing at Westercraigs, replacement sports and other

facilities at Torvean, and the West Link transport project. This part of the site is allocated under IN03 South of Golfview Road for housing.

#### **6.4 Highland Council Supplementary Planning Policy Guidance**

Access to Single Houses and Small Housing Developments (May 2011)  
Construction Environmental Management Process for Large Scale Projects (August 2010)  
Developer Contributions (March 2018)  
Flood Risk and Drainage Impact Assessment (Jan 2013)  
Green Networks (Jan 2013)  
Highland Historic Environment Strategy (Jan 2013)  
Highland's Statutorily Protected Species (March 2013)  
Managing Waste in New Developments (March 2013)  
Open Space in New Residential Developments (Jan 2013)  
Physical Constraints (March 2013)  
Public Art Strategy (March 2013)  
Roads and Transport Guidelines for New Developments (May 2013)  
Special Landscape Area Citations (June 2011)  
Standards for Archaeological Work (March 2012)  
Sustainable Design Guide (Jan 2013)  
Trees, Woodlands and Development (Jan 2013)  
Torvean and Ness-side Development Brief (August 2019) (TNDB)

### **7. OTHER MATERIAL POLICY CONSIDERATIONS**

#### **7.1 Scottish Government Planning Policy and Guidance**

Scottish Planning Policy (as amended December 2020)  
National Planning Framework 3 (Scottish Government 2014)  
Designing Streets (Scottish Government, 2010)  
Creating Places (Scottish Government 2013)  
PAN 61 – Sustainable Urban Drainage Systems  
PAN 65 – Planning and Open Space  
PAN 67 – Housing Quality  
PAN 2/2011 – Planning and Noise

### **8. PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

#### **Determining Issues**

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

## **Planning Considerations**

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy;
  - b) compliance with planning conditions related to design and layout, transportation and access, drainage and flood risk, landscaping, and servicing;
  - c) any other material considerations

### **Development plan/other planning policy**

- 8.4 The principle of residential development has been established on this site through the allocation in the Inner Moray Firth Local Development Plan (IMFLDP) and the subsequent grant of planning permission in principle (15/02422/PIP). The proposed scheme provides a mix of residential units including cottage flats, as set out within the IMFLDP. Development of the wider site has commenced through the delivery of 43 affordable homes. As a result, no additional affordable housing is required to be delivered through this phase of development.
- 8.5 The Highland-wide Development Plan (HwLDP) shows the site as part of a wider mixed-use development under Policy 8 Ness-side and Charleston. One of the key objectives of this policy was to develop a framework for land at Ness-side and Charleston. This led to the Torvean and Ness-side Development Brief being produced (adopted 2013). Torvean and Ness-side Development Brief provides detailed layout, density, access, phasing and developer contributions for this site.
- 8.6 The site lies firmly within the Settlement Development Area for Inverness as defined within the Inner Moray Firth Local Development Plan (2015). Policy 34 – Settlement Development Areas (SDA) of the HwLDP states that the Council will support proposals within SDAs if they meet the requirements of Policy 28 – Sustainable Design and all other relevant policies of the Development Plan. Proposals will also be judged in terms of their compatibility with surrounding land uses and impacts on any natural, built and cultural heritage features. The Torvean and Ness-side Development Brief and the subsequently approved Masterplan accompanying the 2015 permission in principle, included an indicative masterplan. Through this, and the earlier matters specified in conditions applications, this has been refined to resolve technical issues, whilst ensuring that the layout and design contributes to creating a pleasant place, with interesting streets. These details will be considered further through the remainder of this report to assess whether the development accords with the provisions of the Torvean and Ness-side Development Brief.

### **Design and Layout (Conditions 1: Development in Accordance with Masterplan, 2: Phasing Strategy, and 3: Design and Layout)**

- 8.7 The proposed development will be progressed in two phases, the first phase will be start from Balphrig Road to the south of the existing surface water drainage basin. The layout implements a road hierarchy with 2 primary sections of road, including a loop road that follows the phase 1 links. Secondary roads split off from the primary roads and are not adoptable. The road layout has been designed with traffic calming

measures to ensure the safety of pedestrians and active travel users. The third tier in the hierarchy is private parking within the curtilages of properties. Provision of a clear road hierarchy meets with the provisions of both Designing Streets and the Torvean and Ness-side Development Brief.

- 8.8 In terms of the layout of other infrastructure and houses within the development, there have been a number of minor departures from the previously agreed indicative masterplan. The principal changes to the layout involve the removal of a small island of houses to the north east of the site. This area will now deliver an additional area of greenspace to which will enhance the sense of place within the development. It also compensates for the reduction in the previously agreed central area of open space as a result of encroachment into the central open space as a result of the proposed layout. Adjacent to the open spaces the layout includes development with active frontages, which will provide a degree of natural surveillance to further help in the creation of a safe and pleasant place. The positioning of the proposed houses/flats has been revised to allow for the safe travel of pedestrians and vehicles and through collative working with the council.
- 8.10 Although there are areas of open space, no details of the landscaping, including provision of play areas, has been provided. This should be addressed by considering how the spaces identified for landscaping can be better utilised better given that the house types proposed are likely to attract families with children. It is considered this can be delivered within the areas of open space that have been identified for delivery and as such an appropriate condition will ensure the delivery of a play strategy.
- 8.11 The proposed development has prioritised the pedestrian and cyclist over vehicular movement by introducing dedicated footpaths, footways, areas of shared surface and by providing connections to existing core paths. The development shows a number of connections to the existing path network, including the Great Glen Way that passes the north of the site. There are a number of shared surfaces within the development which will ensure that focus us on reducing vehicle speeds, encouraging active travel links.
- 8.12 The applicant has demonstrated that the proposed development fits well with the principles set out in Designing Streets and that it accords with the principles of the Indicative Masterplan. Transport Planning has considered the transport and road related issues set out in Condition 3f in para 8.24 to 8.37 of this Report.
- 8.13 Sustainable design principles have been incorporated into the proposal where possible. The scheme works well with the topography and the housing is sited to maximise solar gain where possible. Despite the development including a number of three storey houses, none are along the northern boundary or higher than the other two storey houses. While the planning permission in principle states that there should only be single storey dwellings along the northern boundary, the buildings along the northern boundary have been proposed at two storeys. However, they have been kept at a lower level and pulled further south, to protect the amenity of the properties at Golf View Terrace where the nearest properties are approximately 25m distant. Furthermore, the existing houses are on higher ground and well screened by vegetation. Generally, the mix of building height is reflective of the wider settlement pattern of the area and protects the amenity of the existing houses to the north. The increase in demand for more space to accommodate working from home has

influenced parts of this development, resulting in the development incorporating a variety of house types and sizes.

- 8.14 The exterior wall finishes are a mix of render, natural brick, grey roof and dormer windows with blue feature brick walls. The building forms are typically rectangular with gabled walls, some have garden rooms. There are a number of houses at key gateway locations that provide dual frontages. This mixture of houses and materials helps to break-up the development and creates a strong sense of place. The site will be enclosed around the east, west and south with hedging to create a robust settlement edge.
- 8.15 The proposed development has designed the layout of the houses so that the principal elevations face the public realm and provide focus points at key gateways into the site.
- 8.16 It is considered that conditions 1, 2 and 3 (a, be, c, d, e and j) are suitably satisfied.

**Condition 4 (Flood Risk), 5 (Drainage), 8 (Surface Water Drainage), 9 (Connection to Public Water and Waste Water Network) and 10 (Buffer to Watercourse).**

- 8.17 There are areas of the site that are identified as medium risk of surface water flooding (pluvial) as identified by SEPA. The planning permission in principle (15/02422/PIP) was accompanied by a Flood Risk and Drainage Impact Assessment. This took into consideration the changes to the site as a result of the development and of the Inverness West Link. Initially SEPA requested a condition was attached to the planning permission in principle relating to the culverting of the watercourse of the Torvean ditch, which was resolved under planning permission 15/02423/FUL prior to any houses being built. SEPA did not object to the application and confirmed that it is content that the conditions have been satisfied.
- 8.18 The Council's Flood Risk Management Team requested further information during the processing of the application to demonstrate that the SuDS basin can accommodate a 1:200 year storm from the site to meet condition 4 related to the capacity of the previously installed surface water drainage system. This information was provided showing that the SuDS basin can accommodate this phase of the development and the condition is satisfied. It was also demonstrated that a 1 in 30 year plus climate change storm event can be managed without flooding from the network. Some flooding from the network does occur at higher (less frequent) return period storms and exceedance routing has been provided to demonstrate that this will be routed to a greenspace area adjacent to the SUDS basin.
- 8.19 There will be a 10m buffer maintained between Torvean ditch that runs parallel to the western boundary between the Kings Golf Club and the proposed development. SEPA has requested that all excavation and soil stockpiling is kept well away from the ditches, with appropriate SuDS to ensure that no sedimentation of watercourses occurs. Furthermore, an appropriate safety buffer is maintained between the overhead line that runs along the western boundary.
- 8.20 The Flood Team requested clarification on the vesting/maintenance arrangements for the surface water drainage network. The applicant confirmed that the cut-off drain

that runs through the site was utilised during construction works and will not be required post development. It has been confirmed that the drainage network for this phase will be maintained by the applicant but will be passed to Scottish Water for vesting. The proposed development will connect to Scottish Water's water and waste water network.

### **Condition 7 (Protected Species)**

- 8.21 It is the responsibility of all developers to safeguard protected and other important species from harm during any development activities. In this case protected species surveys have been carried out prior to the enabling works in line with planning permission 15/02423/FUL. Since the enabling works have already been carried out it is unlikely that protected species would be affected by the proposed development. Should the proposed development impact any protected species or other important species then the Construction Environment Management Document (CEMD) will address this and sets out appropriate mitigation.

### **Conditions 11 (Landscaping) and 12 (Maintenance)**

- 8.22 The existing landscape setting and the site constraints have formed the landscape design concept of the proposed development. The development will be surrounded by the golf course, separated with new hedging to the east, west and southern boundaries to create a strong settlement edge between the urban and more rural setting. The proposed hedging is an important feature of the proposed development, as it will safeguard the development from the golf course and the adjacent overhead line. Furthermore, the golf course was designed to ensure that the proposed development would be adequately set back from the centreline of play to avoid impacts.
- 8.23 Landscaped areas and green fringes will provide a buffer between public and private realm throughout the development and break up the built development. The streets and road edges within the development will be planted with a mix of trees, hedges and low level planting to enhance of the siting of the proposed development, helping to create a sense of place. The area to the north east of the development includes the SuDS basin, this has already been completed. These areas also provide footpath connection points to the surrounding footpath network and golf course.
- 8.24 The proposed landscaping scheme aims to facilitate an attractive and safe environment. This scheme will also help to blend the natural and constructed environment together, reducing the visual impacts of the proposed housing.

### **Condition 13 (Archaeology)**

- 8.25 The Council's Historic Environment Team did not object to the application, there are no sensitive issues and the condition was previously satisfied through planning application ref. 15/02423/FUL prior to the enabling works commencing.

**Conditions 3 (d, e, f, g, h, i, l, o and v), 6 (Traffic Regulation Order), 14 (Car Parking), 15 (Cycle Parking), 17 (Great Glen Way), 19 (Construction Traffic Management), 20 (Travel Plan), 21 (Street Lighting) and 22 (Inverness West Link) Condition 3d Designing Streets Layout**

- 8.26 Transport Planning did not object to the application but did note that there were some technical issues that needed to be resolved. This includes the different roads forming a hierarchy with vehicles giving way when exiting from Road MC02 north of the junction. Transport Planning confirmed that these issues can be accommodated through the Road Construction Certificate (RCC) without impacting on the proposed layout of residential buildings.
- 8.27 Details on textured paving needs and dropped kerbs for pedestrians will require to be resolved through the RCC process.
- 8.28 The Visibility Splay Drawing No's 1026 & 1027 (both Rev A) show there are some locations on bends where full 20mph design speed forward visibility splays cannot be achieved (25m as required by Designing Streets). However, those locations are also forming features to assist with managing vehicle speeds through the streets covered by this development. Given this and that Designing Streets accepts that some locations may have restricted forward visibility alongside other measures to control vehicles speeds, such arrangements can be accepted.
- 8.29 Amended plans were submitted showing the driveway access to Unit 95 moved from the main looping street to come off Road MC01 behind the proposed house. Doing so has forced the relocation of the proposed road narrowing in the vicinity on Road MC01. Transport Planning have concerns with its location being so close to the bend and the junctions with the main loop road into the site and MC01A. However, there does appear to be an opportunity to incorporate a similar feature between Ch65-70 on Road MC01 without impacting on adjacent private driveways, therefore such details can be agreed through the RCC process.
- 8.30 The applicant has agreed to relocate the existing bus stops on General Booth Road to within the development as per the requirements of Condition 3(i). In order to progress the application, it has been agreed that a condition will be applied to ensure that the new bus stops are provided prior to the first occupation of the development.
- 8.31 The proposed development will provide a new pedestrian and cycle route through to the existing facilities on General Booth Road. The proposed development is incorporating footways and paths through the site that will connect to facilities and the existing safer routes to school. However, as full details have not been included with the application, Condition 16 has not been suitably satisfied and therefore does not form part of this application. The applicant will be required to submit details, specification, and scheduling of the new path network prior to commencement of any development within this phase to discharge the condition that is attached to the planning permission in principle 15/02422/PIP.
- 8.32 Transport Planning highlighted technical issues in relation to parking and disabled parking. Amended plans were submitted showing parking arrangements that meet the appropriate standards. Therefore, this part of the condition can be considered satisfied.
- 8.33 The proposed housing has its own private garden space. As a result, there is no requirement for cycle parking for this element of the proposed development as they can be stored in these areas and it will be the responsibility of the homeowner to provide their own cycle storage. However, the blocks of cottage flats don't have their



own private garden spaces and therefore require cycle parking to be provided. Lockable cycle parking will be provided for the cottage flats to the rear of each block, as such this part of the condition is satisfied.

- 8.34 Residents will be responsible for the ongoing maintenance of any car and cycle parking facilities within the curtilage of their property; whilst in shared locations, they will be maintained by the factoring arrangement that'll be established for the wider site. It is considered that this part of the condition is satisfied and the details for those maintenance arrangements will be a conditioned requirement on any RCC Approval(s) issued covering the roads within this development.
- 8.35 Refuse bins for the cottage flats will be standard domestic bins and not the larger shared commercial bins. Transport Planning note that the bin laydown area for Units 79 & 80 are behind the roadside footway. This is slightly remote from those properties, who's residents are more likely to leave their bins adjacent to the laydown area for Units 77 & 78. It is recommended that the bin laydown area for Units 77 & 78 is increased to also accommodate bins from Units 79 & 80. This minor amendment will be secured through the RCC and therefore the condition can be considered satisfied.
- 8.36 Prior to occupation of the proposed development a Traffic Regulation Orders will be required to support any 20mph speed limit or zone proposed in support of this development. It has been confirmed that the Traffic Regulation Order will be introduced once the development has been completed.
- 8.37 All construction traffic will access the site through the new road connecting to General Booth Road, with construction access being restricted along Golf View Road. Given this, Transport Planning have no objection to the pre-commencement aspects of this Condition being deemed suitably resolved. However, the Applicant should put in place appropriate measures to manage the interactions of construction traffic with other road users, including residents of the new development, will need to be operated and reviewed regularly to ensure that they remain effective in safely managing those conflicts.
- 8.38 Although the details of the proposed street lighting have not been submitted, the applicant has confirmed that the designs are being done by Highland Council, plus they will be reviewed for the associated RCC with the street lighting installed prior to the first occupation of any units within this phase.
- 8.39 A condition was applied to the planning permission in principle to restrict development until completion of Stage 1 of the Inverness West Link to ensure that the road capacity of the local area was not adversely affected as a result of the development. Stage 1 of the West Link was opened in 2017 and Stage 2 was opened in 2021. As this is the case, there is no need to continue to apply this condition restricting occupation.

#### **Other material considerations**

- 8.40 There is an existing Section 75 Agreement that covers the site. This was modified this year to give the developer clarification in relation to the Developer Contribution requirement. The modified Section 75 Agreement is in line with the provisions of the

Torvean and Ness-Side Development Brief and secures contributions toward primary and secondary education provision, strategic transport provision, and strategic sports facility provision.

- 8.41 Third party concerns were received in relation to the amenity of the proposed development on the existing housing. It is considered that the proposed development does not raise any significant issue in this regard as it will be located on lower ground with good separation distance being achieved. Furthermore, there is existing screening afforded from bushes and trees. It is also proposed that a 1.8m timber fence will be installed between the existing properties and the proposed development at plots 55 – 64, this will join the 1.5m fencing of the adjacent phase 1 development. The proposed development proposed site levels are slightly lower, therefore the fencing should appear to be at the same height.
- 8.42 Concerns were raised in relation to the overdevelopment of the site particularly adjacent to the existing houses. The proposed development is set out in a rational manner in terms of scale and spacing of each unit. The number of units has been assessed previously through the previous permissions. It is not considered that the proposal constitutes over development of the site.
- 8.43 A concern was raised in relation to the structural integrity of neighbouring land. The land drops down from the existing development at Golf View Terrace however, it is not anticipated that there will be any issues due to the adjacent phase 1 development having a similar arrangement which has been managed through the construction period. Should there be any issues with the ground, this will be addressed at the building warrant stage to ensure the integrity of the adjacent land is protected.

## **9. CONCLUSION**

- 9.1 The development is considered to be acceptable in terms of the provisions of the development plan, with particular reference to the pattern of development, conformity with existing and approved adjacent land uses.
- 9.2 Subject to conditions addressing technical matters, it is considered that the proposal is acceptable in terms of other material considerations.
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## **10. IMPLICATIONS**

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

## 11. RECOMMENDATION

### Action required before decision issued            N

**Subject to the above actions**, it is recommended to **APPROVE** the application subject to the following conditions and reasons:

1. Within 6 months of the date of this approval of matters specified in conditions, a scheme detailing the arrangements for the provision of bus stops and re-routing of existing bus routes through the development shall be submitted to and approved in writing by the Planning Authority. For the avoidance of doubt the bus stops shall comprise appropriate road markings, bus shelters and provision of real time information services to a specification to be agreed with the Council. Thereafter the scheme shall be implemented prior to first occupation of the development.

**Reason:** To ensure that adequate and accessible bus services continue to operate in the area following any decision to reroute the bus service through the site.

2. Within 6 months of the date of this approval of matters specified in conditions, a scheme detailing layout, design and construction of a play area (including specifications, protection measures, boundary treatments and timescales for implementation) shall be submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented prior to first occupation of any residential development located on plots 63-70 as identified on approved plan TOR/ARC/004 Revision D submitted to the Planning Authority on 02 September 2021.

**Reason:** In order to comply with the requirements of the Council's Open Space in New Residential Development supplementary planning guidance (adopted 20th May 2009) and to ensure that sufficient play equipment exists within the application site to serve future residents' needs.

### REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

### TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION

The development to which this application relates must commence no later than TWO YEARS from the date on this decision notice.

## **INFORMATIVES**

### **Initiation and Completion Notices**

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

### **Flood Risk**

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

### **Scottish Water**

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

### **Septic Tanks and Soakaways**

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

### **Local Roads Authority Consent**

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

[http://www.highland.gov.uk/info/20005/roads\\_and\\_pavements/101/permits\\_for\\_working\\_on\\_public\\_roads/2](http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2)

### **Mud and Debris on Road**

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

### **Construction Hours and Noise-Generating Activities**

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact [env.health@highland.gov.uk](mailto:env.health@highland.gov.uk) for more information.

### **Protected Species – Halting of Work**

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot:

<https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature: David Mudie  
Designation: Area Planning Manager - South  
Author: Claire Farmer – Planner Strategic Planning Team  
Background Papers: Documents referred to in report and in case file.  
Relevant Plans: Plan 1 - TOR-LP-01 Location Plan  
Plan 2 - TOR-ARC-004 REV D Site Layout Plan  
Plan 3 - 18-AL-B-11 (ET) Floor Plan - Alexander  
Plan 4 - 18-AL-B-11 (MT) Floor Plan - Alexander  
Plan 5 - 18-AL-B-12 (ET) Elevation Plan - Alexander  
Plan 6 - 18-AL-B-12 (MT) Elevation Plan - Alexander  
Plan 7 - 18-BE-SD-11 Floor Plan - Behrens  
Plan 8 - 18-BE-SD-12 Elevation Plan - Behrens  
Plan 9 - 18-BR-B-11 Floor Plan - Brasini  
Plan 10 - 18-BR-B-12 Elevation Plan - Brasini  
Plan 11 - 18-CL-GR-11 Floor Plan - Clemente  
Plan 12 - 18-CL-GR-12 Elevation Plan - Clemente  
Plan 13 - 18-CN-B-11 Floor Plan – Cornell  
Plan 14 - 18-CN-B-12 Elevation Plan - Cornell  
Plan 15 - 18-CO-B-11 Floor Plan - Cortona  
Plan 16 - 18-CO-GR-12 Elevation Plan - Cortona  
Plan 17 - 18-EL-B-11 Floor Plan - Elliot  
Plan 18 - 18-EL-B-12 Elevation Plan – Elliot  
Plan 19 - 18-EL-B-11 Floor Plan - Elliot GR  
Plan 20 - 18-EL-GR-12 Elevation Plan - Elliot GR  
Plan 21 - 18-EV-B-11 Floor Plan - Everett  
Plan 22 - 18-EV-B-12 Elevation Plan - Everett  
Plan 23 - 18-EV-G-11 Floor Plan - Everett Grand  
Plan 24 - 18-EV-G-12 Elevation Plan - Everett Grand  
Plan 25 - 18-EV-GR-11 Floor Plan - Everett GR  
Plan 26 - 18-EV-GR-12 Elevation Plan - Everett GR  
Plan 27 - 18-GU-B-11 Floor Plan - Guimard  
Plan 28 - 18-GU-B-12 Elevation Plan - Guimard

Plan 29 - 18-HU-B-11 Floor Plan – Hutton  
Plan 30 - 18-HU-B-12 Elevation Plan – Hutton  
Plan 31 - 18-HU-GR-11 Floor Plan - Hutton GR  
Plan 32 - 18-HU-GR-12 Elevation Plan – Hutton GR  
Plan 33 - 18-LA-B-11 Floor Plan - Lawrie  
Plan 34 - 18-LA-B-12 Elevation Plan – Lawrie  
Plan 35 - 18-LA-G-11 Floor Plan – Lawrie Grand  
Plan 36 - 18-LA-G-12 Elevation Plan – Lawrie Grand  
Plan 37 - 18-LA-GR-11 Floor Plan – Lawrie GR  
Plan 38 - 18-LA-GR-12 Elevation Plan – Lawrie GR  
Plan 39 - 18-LE-G-11 Floor Plan Leonardo Grand  
Plan 40 - 18-LE-G-12 Elevation Plan Leonardo Grand  
Plan 41 - 18-LE-GR-11 Floor Plan - Leonardo GR  
Plan 42 - 18-LE-GR-12 Elevation Plan - Leonardo GR  
Plan 43 - 18-MA-B-11 Floor Plan - Mackintosh  
Plan 44 - 18-MA-B-12 Elevation Plan - Mackintosh  
Plan 45 - 18-MA-GR-11 Floor Plan - Mackintosh GR  
Plan 46 - 18-MA-GR-12 Elevation Plan – Mackintosh GR  
Plan 47 - 18-MI-GR-11 Floor Plan - Mitchell GR  
Plan 48 - 18-MI-GR-12 Elevation Plan - Mitchell GR  
Plan 49 - T3-T4-01 Floor Plan - Cottage Flats  
Plan 50 - T3-T4-02 Elevation Plan - Cottage Flats  
Plan 51 - INV0524-107-2000 Proposed Drainage Layout  
Plan 52 - INV0524-107-2001 Proposed Drainage Layout  
Plan 53 - INV0524-111-1003 Proposed Drainage Construction  
Plan 54 - 134067-1007 Rev E General Plan - Site Levels  
Plan 55 - 134067-1008 Rev F General Plan - Site Levels  
Plan 56 - 95.63.01 REV A Landscaping Plan  
Plan 57 - 95.63.02 REV A Landscaping Plan  
Plan 58 - 95.63.03 REV A Landscaping Plan  
Plan 59 - 95.63.04 REV A Landscaping Plan  
Plan 60 - 95.63.05 REV A Landscaping Plan  
Plan 61 - TOR-CS-01 REV A General Plan - Proposed Cycle Shelter  
Plan 62 - 134067-2002 REV B General Plan - Flood Routing  
Plan 63 - 134067-2003 REV C General Plan - Flood Routing

Plan 64 - 134067-2020 General Plan Golf Course Ditch Buffer  
Plan 65 - 134067-026 REV A Visibility Splay Plan  
Plan 66 - 134067-1027 REV A Visibility Splay Plan  
Plan 67 - 134067 - 1004 REV F General Plan - Adoption Areas  
Plan 68 - 134067-1003 REV F General Plan - Adoption Areas  
Plan 69 - 134067-1001 REV G Road Layout Plan  
Plan 70 - 134067-1002 REV G Road Layout Plan  
Plan 71 - 134067-2000 REV G Drainage Layout Plan  
Plan 72 - 134067-2001 REV G Drainage Layout Plan  
Plan 73 - TOR-ARC-006 REV D General Plan - Fencing Layout  
Plan 74 - TOR-ROB-001 REV A Site Layout Plan - Phasing Plan  
Plan 75 - SL-21-010 General Plan - Street Lightning  
Plan 76 - INV0573\_102\_001 REV 05 Proposed Site Levels  
Plan 77 - 134067-2007 REV C General Plan - Drainage Long  
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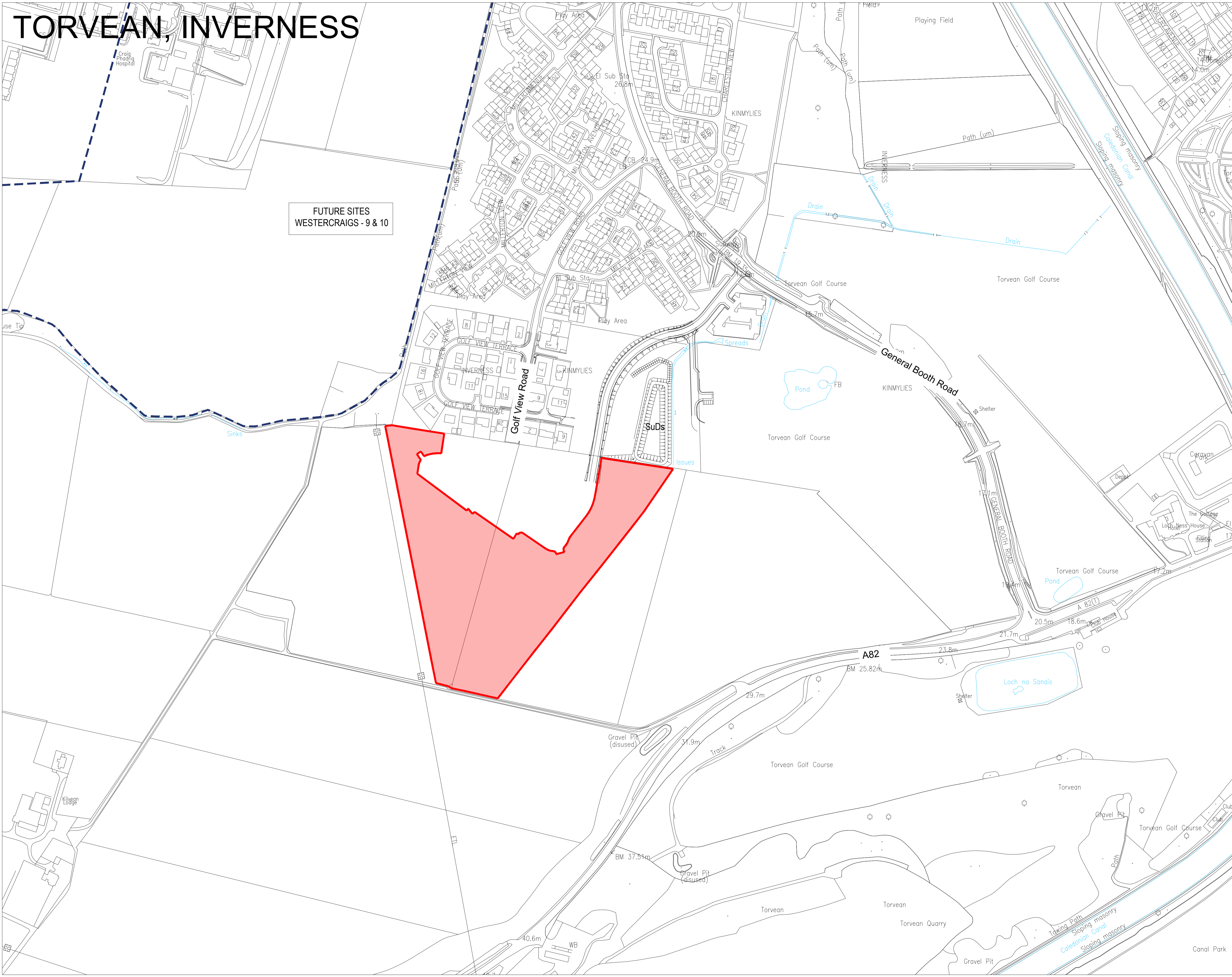


# TORVEAN, INVERNESS

FUTURE SITES  
WESTERCRAIGS - 9 & 10



Key:  
— Site boundary  
- - - Westercraigs Ownership Boundary



No.	Revision	Date	By

**ROBERTSON**  
HOMES

Robertson House, Castle Business Park, Stirling FK9 4TZ  
Tel: 01786 431600 Fax: 01786 431650  
Email: info@robertson.co.uk  
www.robertsonhomes.co.uk

Project Title:  
**TORVEAN  
INVERNESS**

Drawing Title:  
**LOCATION PLAN**

Scale: <b>1:1250@A1</b>	Date: <b>OCT 19</b>
Drawn: <b>LB</b>	Checked: <b>LB</b>

Drawing No. <b>TOR_LP_01</b>	Rev.
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# TORVEAN, INVERNESS



- DENOTES HANDINGS
- SITE BOUNDARY
- - - AFFORDABLE AREA
- ★ BIN LAYDOWN AREAS
- PROPOSED WOODLAND
- EXISTING WOODLAND
- PRIVATE GRASS
- PUBLIC OPEN SPACE
- HEDGE
- PRIMARY STREET (TAR FINISH)
- ROAD NOVEL (BRANDLE PAVINGS)
- NOSE (CHARCOAL PAVINGS)

D	PARKING COURT AT S542 UPDATED	03/09/21	ME
C	DISABLED PARKING BAYS AMENDED	03/09/21	ME
B	LAYOUT UPDATED FOR ADDITIONAL ROADS COMMENTS	20/08/21	ME
A	LAYOUT UPDATED FOR ROADS AND ENGINEERS COMMENTS	21/06/21	ME

No.	Revision	Date	By
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Robertson Homes, Castle Business Park, Strling FK9 4TZ  
 Tel: 01786 431660 Fax: 01786 431650  
 Email: info@robertson.co.uk  
 www.robertsonhomes.co.uk

Project Title:  
**TORVEAN  
 INVERNESS**

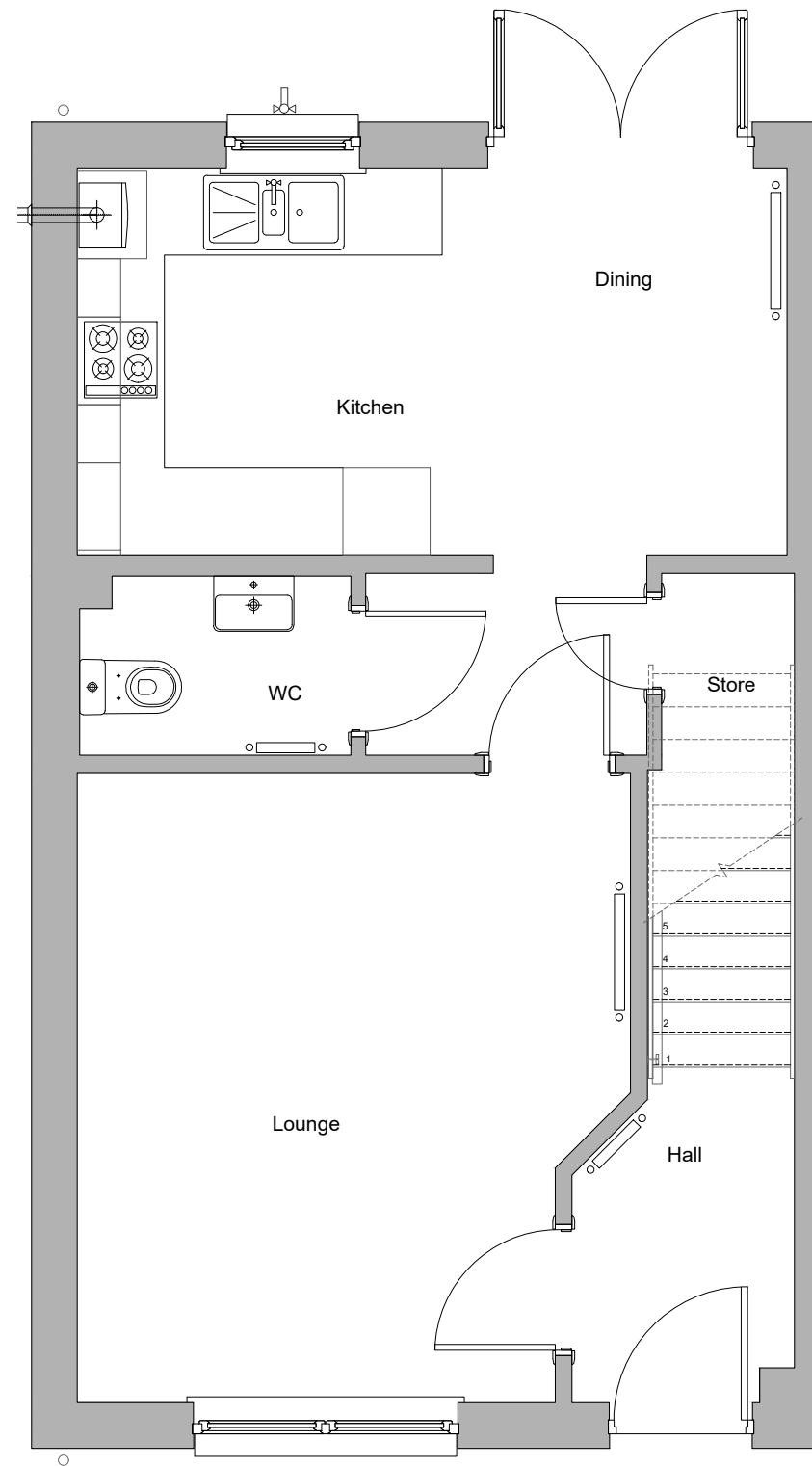
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Drawn: <b>ME</b>	Checked: <b>AS</b>

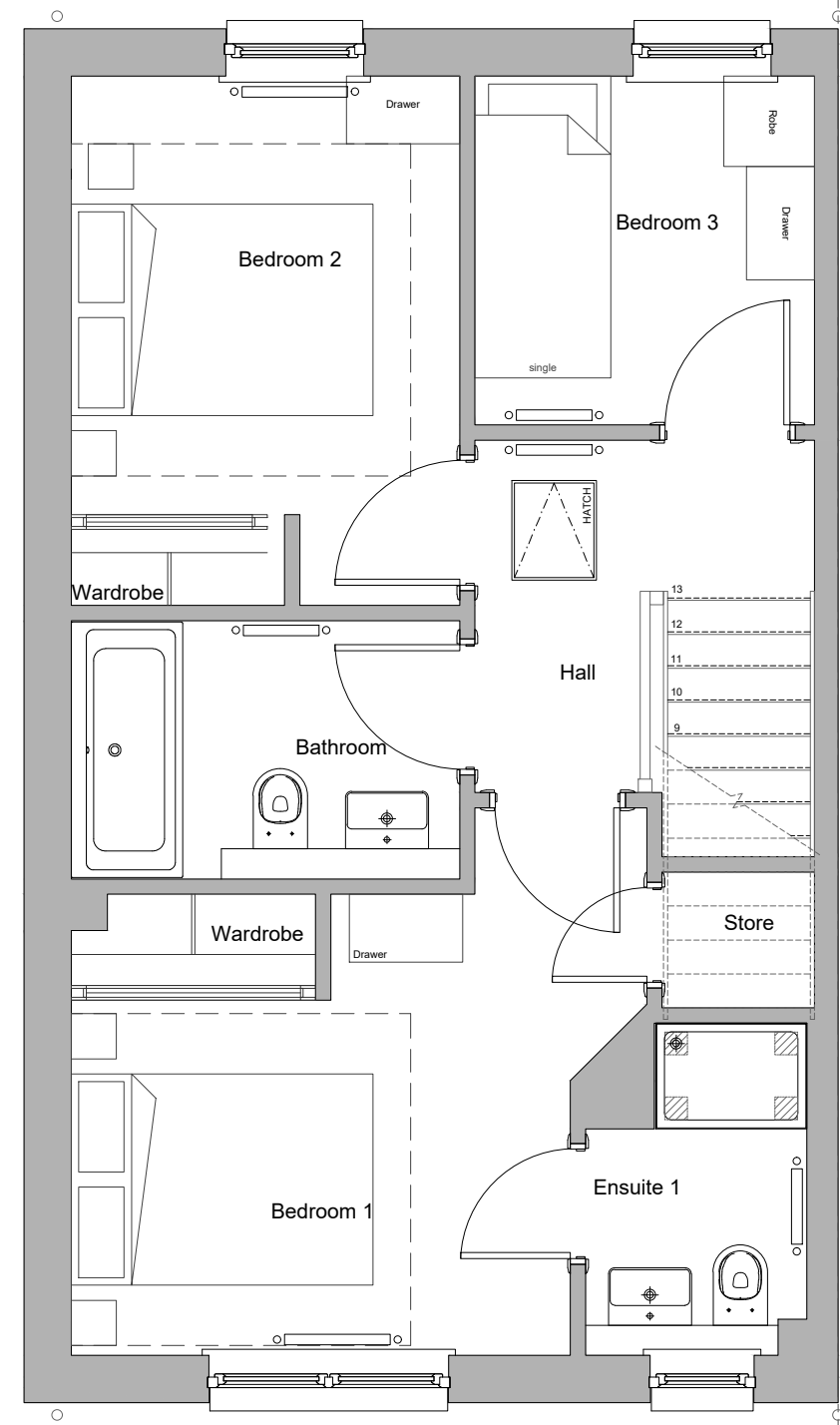
Drawing No. <b>TOR/ARC/004</b>	Rev: <b>D</b>
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29.7m





Ground Floor



First Floor

**GENERAL NOTES:**

All works to be constructed accordance with the Building (Scotland) Act 2003 and subsequent amendments.

All works to be carried out in accordance with the Construction, Design and Management Regulations 2015.

All drainage to be installed and tested to the satisfaction of the Local Authority.

All electrical work to comply with the latest edition of the IEE Regulations and BS 7671 current edition.

Gross area of the dwelling is calculated to finished face of external walls including the stair to both ground and first floor plans, but excluding any other voids/mezzanines (where present).

Drawings to be read in conjunction with all relevant contract drawings, specification and details.

All foundation and below ground drainage shown are indicative of standard ground conditions. Refer to site investigation report and structural/civil engineers information for individual plot design and specification.

No.	Revision	Date	By



Robertson House, Castle Business Park, Stirling FK9 4TZ  
 Tel: 01786 431600 Fax: 01786 431650  
 Email: info@robertson.co.uk  
 www.robertsonhomes.co.uk

Drawing Title:

**Planning Floor Plans**  
 All Divisions

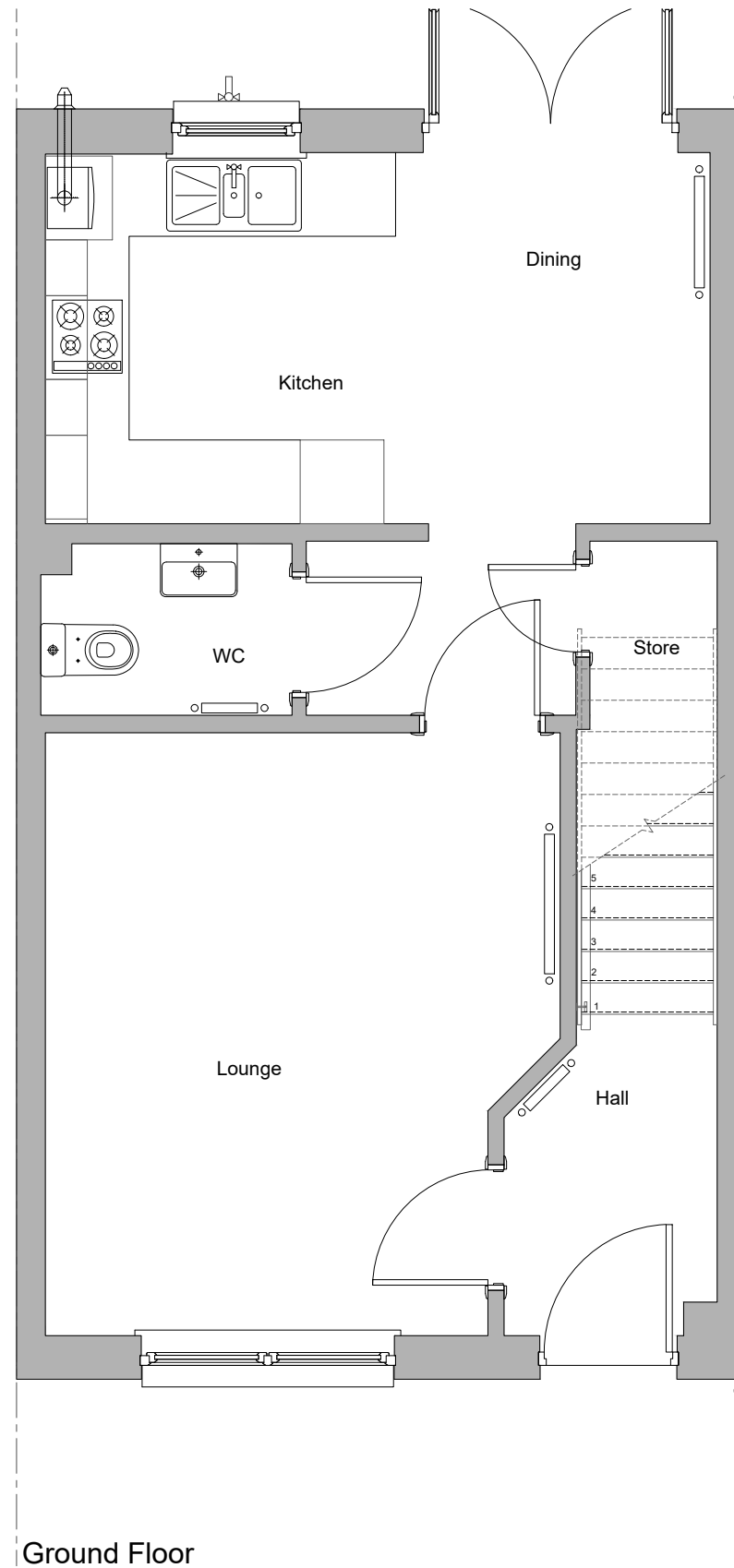
Scale: 1:50	Date: Sept 18	Drawn: GBR
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House Name:

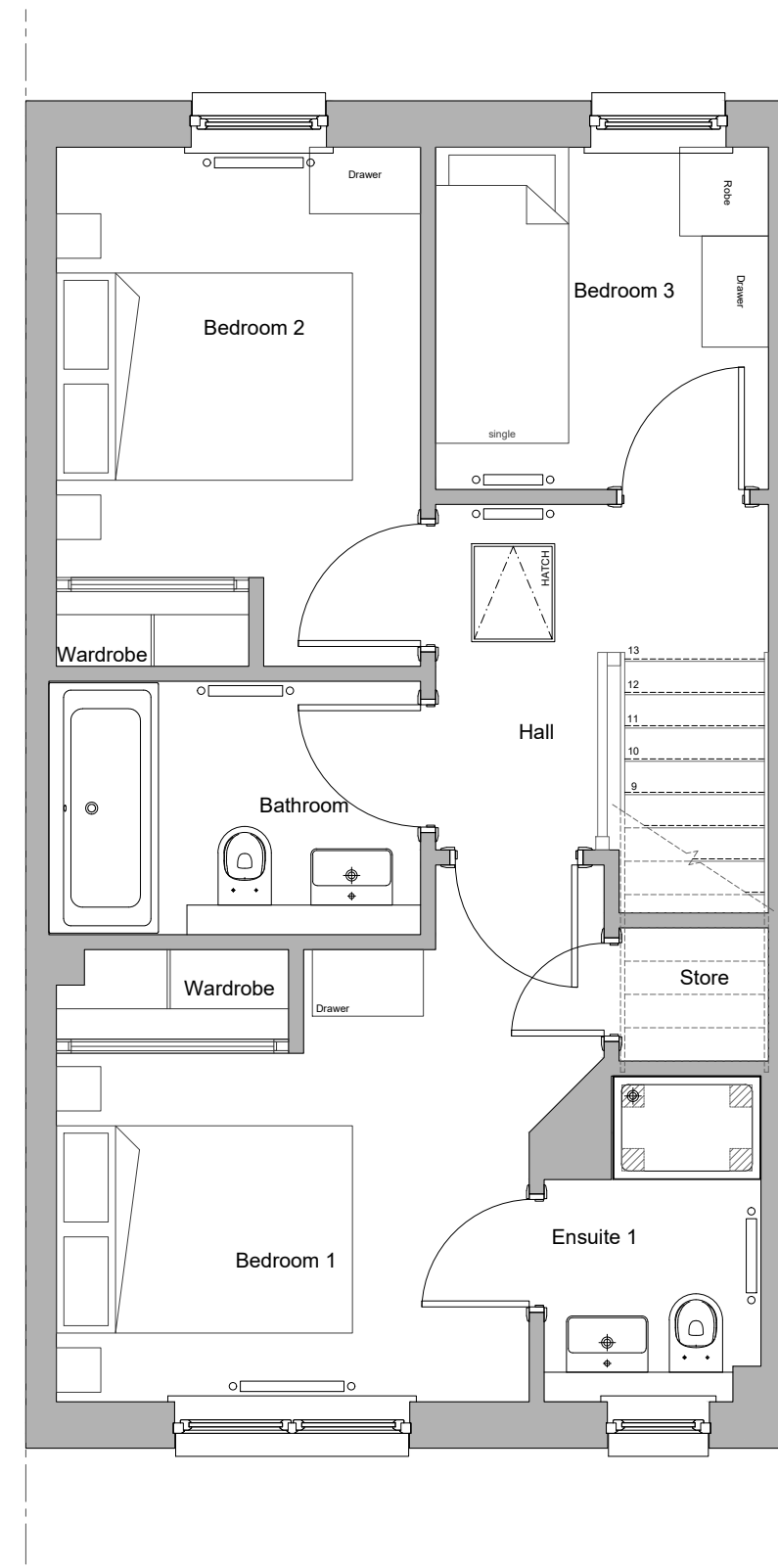
**ALEXANDER 18 (ET)**

**ARTISTRY RANGE 18**

Drawing No: <b>18-AL-B-11 (ET)</b>	Rev:
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Ground Floor



First Floor

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 Tel: 01786 431600 Fax: 01786 431650  
 Email: info@robertson.co.uk  
 www.robertsonhomes.co.uk

Drawing Title:  
**Planning Floor Plans**  
 All Divisions

Scale: 1:50      Date: Sept 18      Drawn: GBR

House Name:  
**ALEXANDER 18 (MT)**

**ARTISTRY RANGE**

Drawing No:  
**18-AL-B-11 (MT)**

Rev:  
 -

**GENERAL NOTES:**

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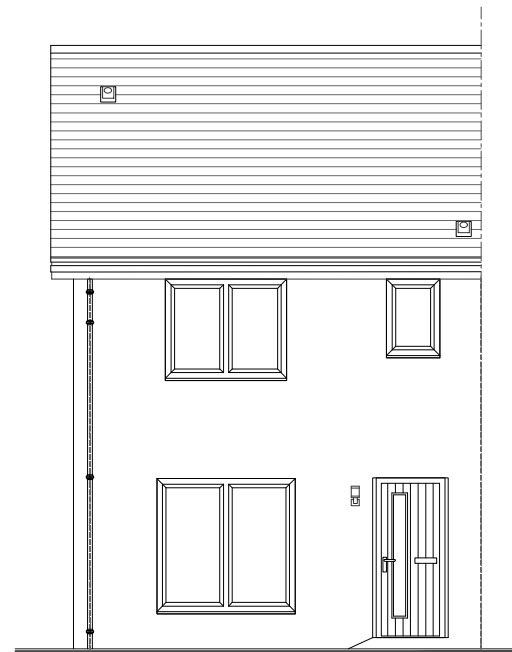
All drainage to be installed and tested to the satisfaction of the Local Authority.

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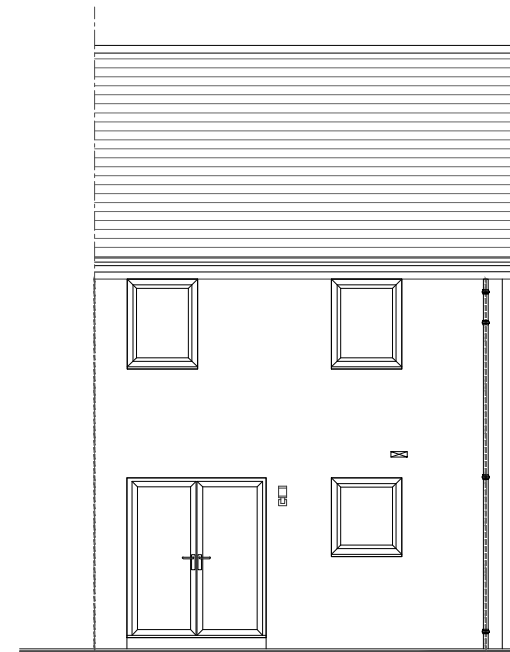
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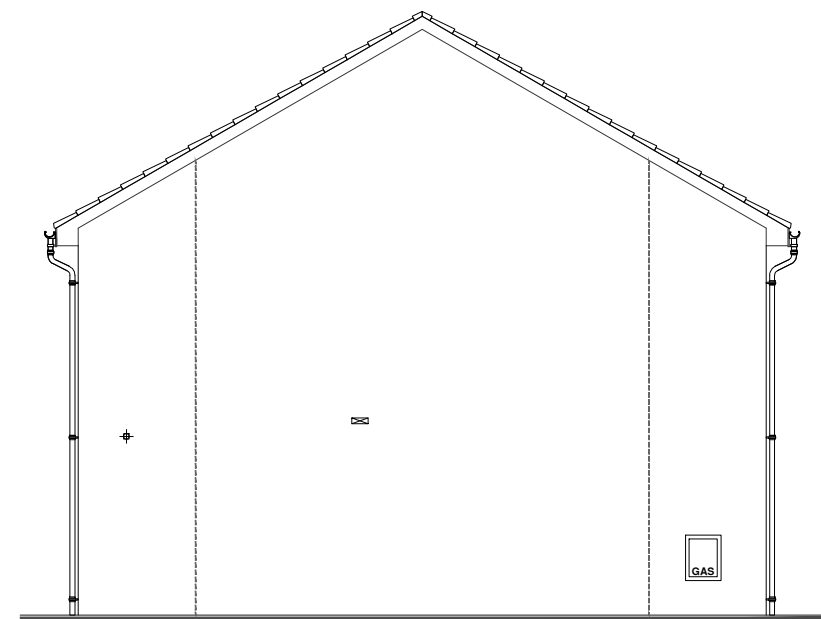
All foundation and below ground drainage shown are indicative of standard ground conditions. Refer to site investigation report and structural/civil engineers information for individual plot design and specification.



Front Elevation



Rear Elevation



Side Elevation

No.	Revision	Date	By
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Robertson House, Castle Business Park, Stirling FK9 4TZ

Tel: 01786 431600 Fax: 01786 431650

Email: info@robertson.co.uk

www.robertsonhomes.co.uk

Drawing Title:

**Planning Elevations**  
All Divisions

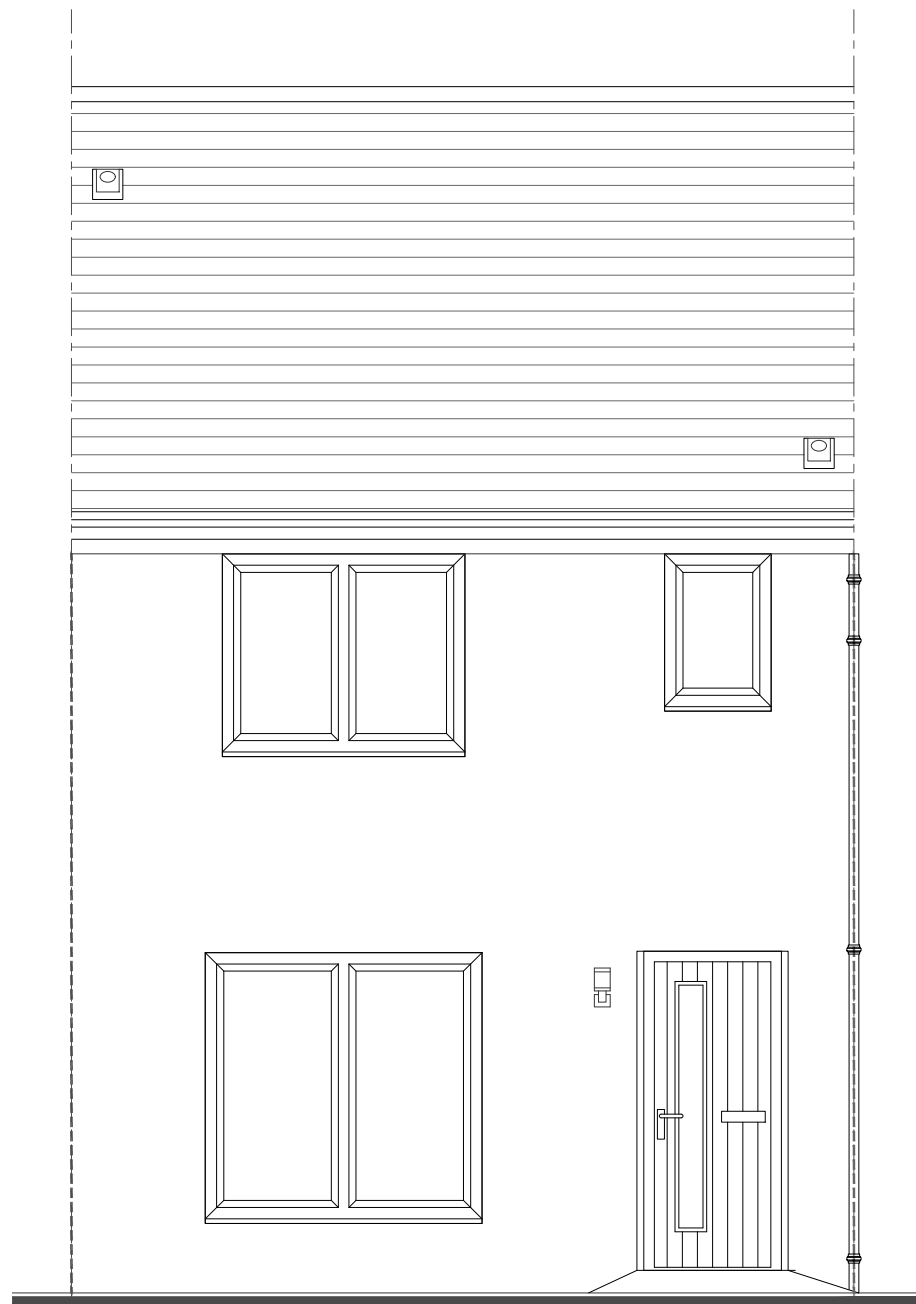
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House Name:

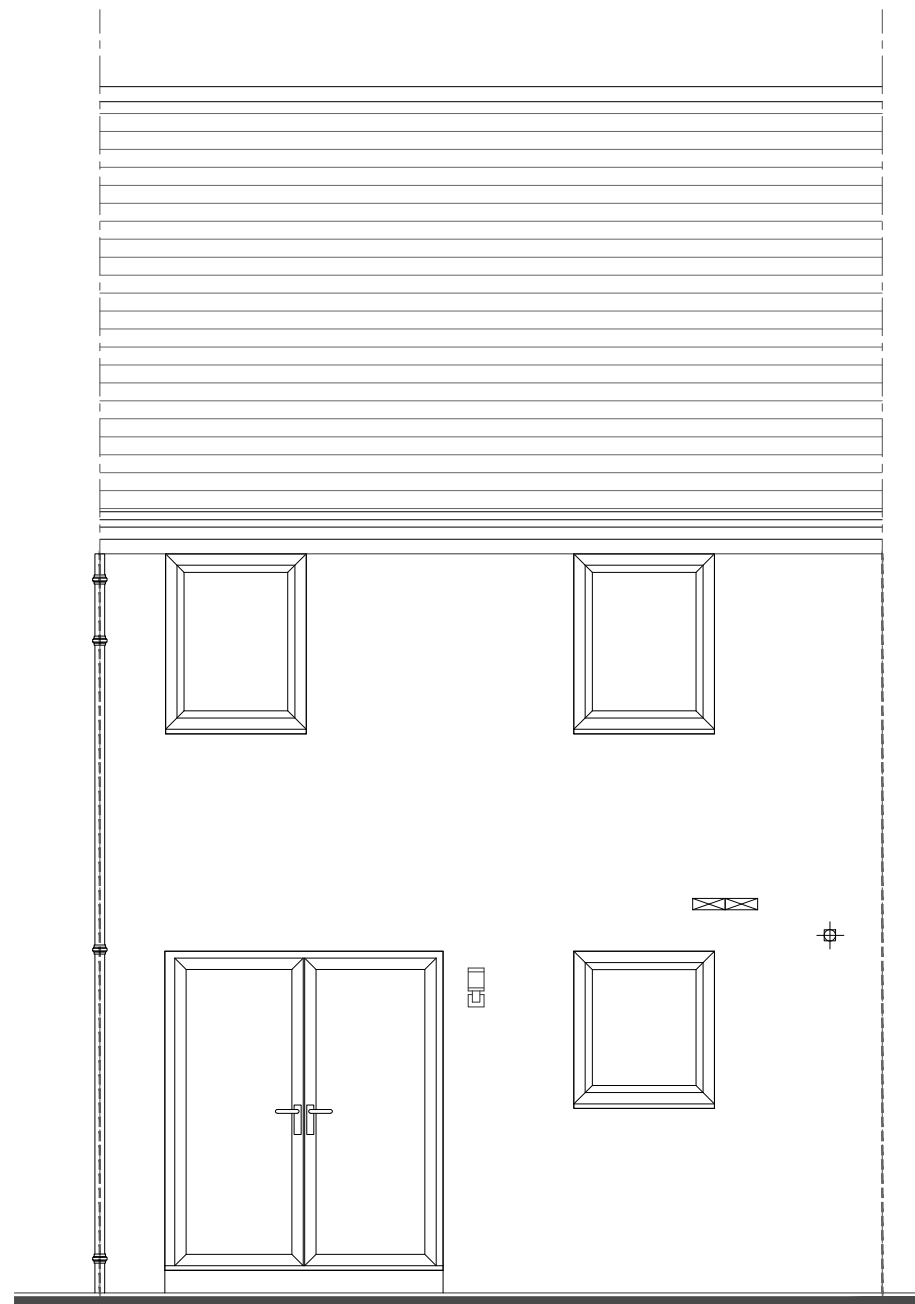
**ALEXANDER 18 (ET)**

**ARTISTRY RANGE 18**

Drawing No: <b>18-AL-B-12 (ET)</b>	Rev:
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Front Elevation



Rear Elevation

**GENERAL NOTES:**

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No.	Revision	Date	By



Robertson House, Castle Business Park, Stirling FK9 4TZ  
 Tel: 01786 431600 Fax: 01786 431650  
 Email: info@robertson.co.uk

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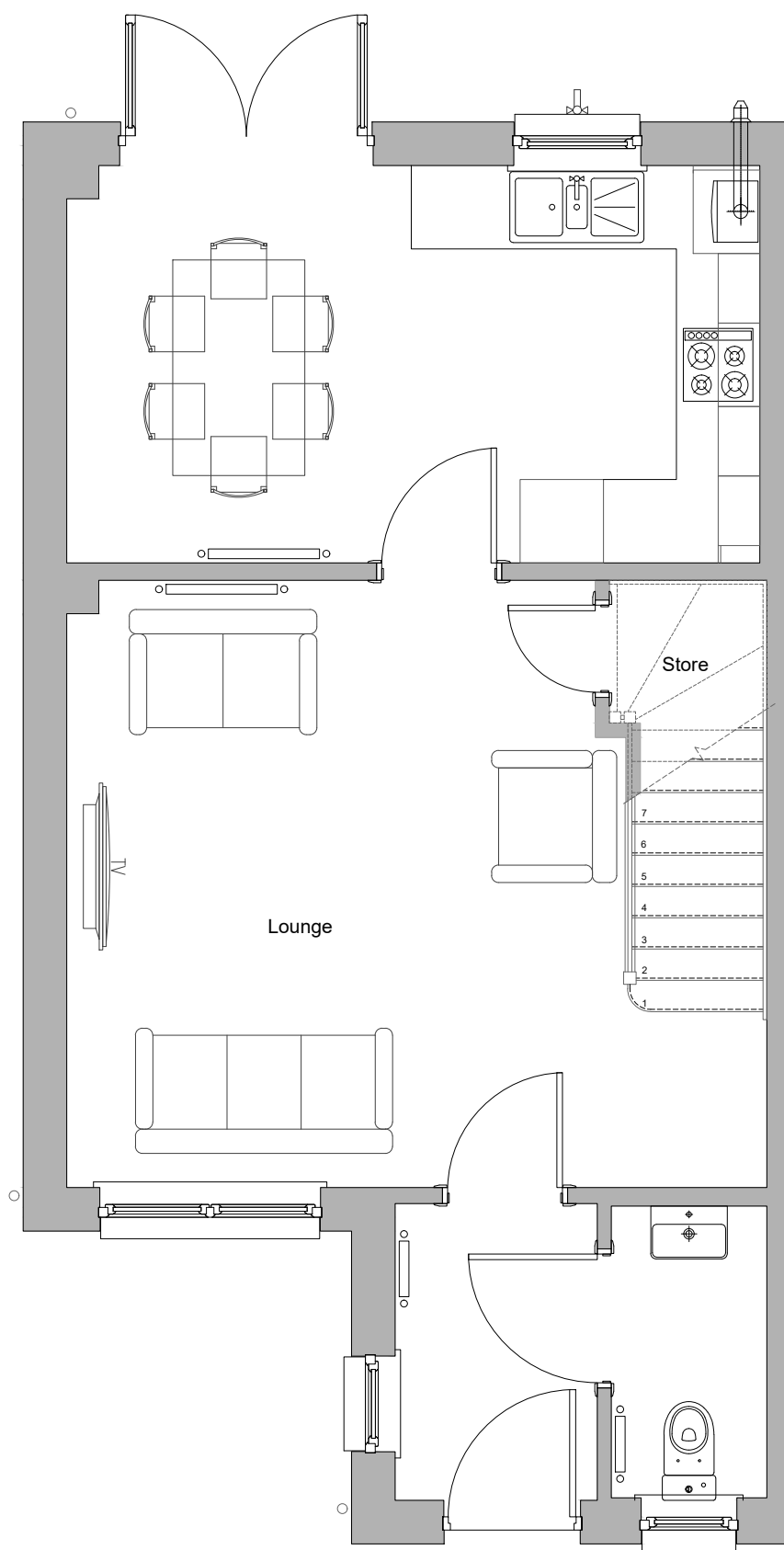
Drawing Title:  
**Planning Elevations**  
 All Divisions

Scale: 1:50	Date: Sept 18	Drawn: GBR
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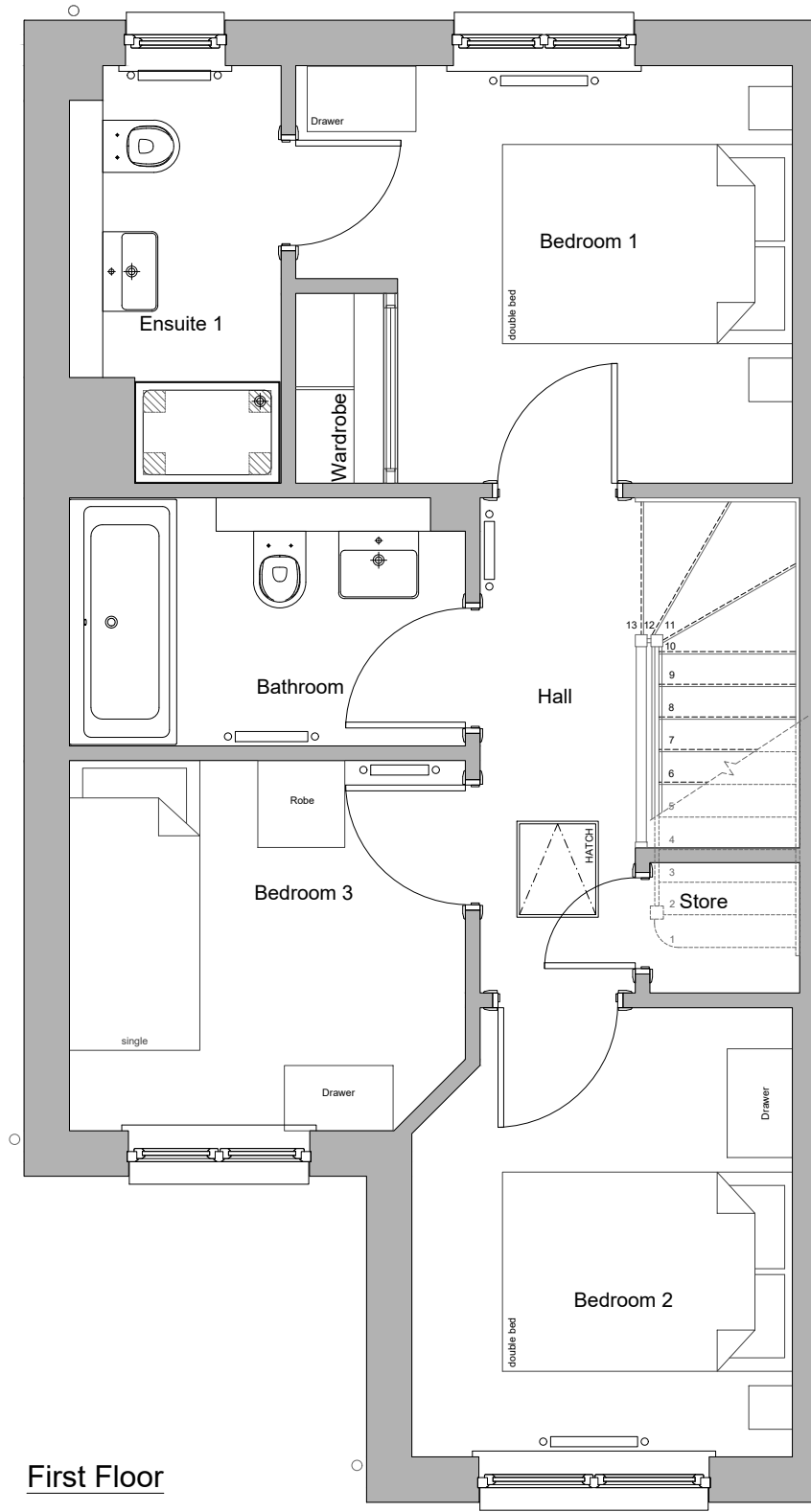
House Name:  
**ALEXANDER 18 (MT)**

**ARTISTRY RANGE 18**

Drawing No: 18-AL-B-12 (MT)	Rev: -
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Ground Floor



First Floor



**GENERAL NOTES:**

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No.	Revision	Date	By



Robertson House, Castle Business Park, Stirling FK9 4TZ

Tel: 01786 431600 Fax: 01786 431650

Email: info@robertson.co.uk

www.robertsonhomes.co.uk

Drawing Title:

**Planning Floor Plans**  
All Divisions

Scale:  
1:50

Date:  
Apr 19

Drawn:  
GBR

House Name:

**BEHRENS 18 Semi-Det.**

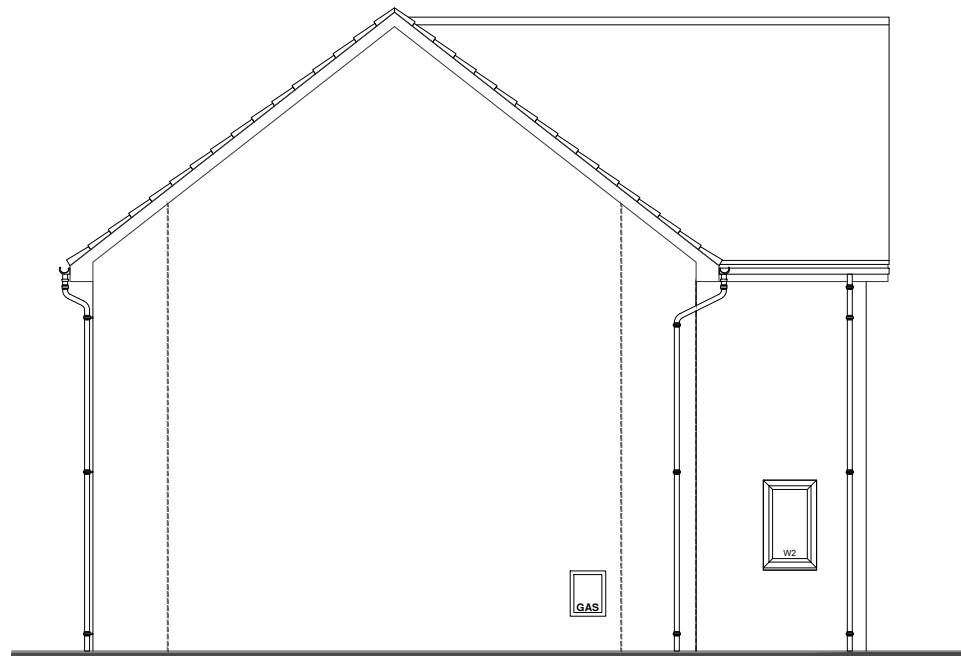
**ARTISTRY RANGE 18**

Drawing No:

**18-BE-SD-11**

Rev:

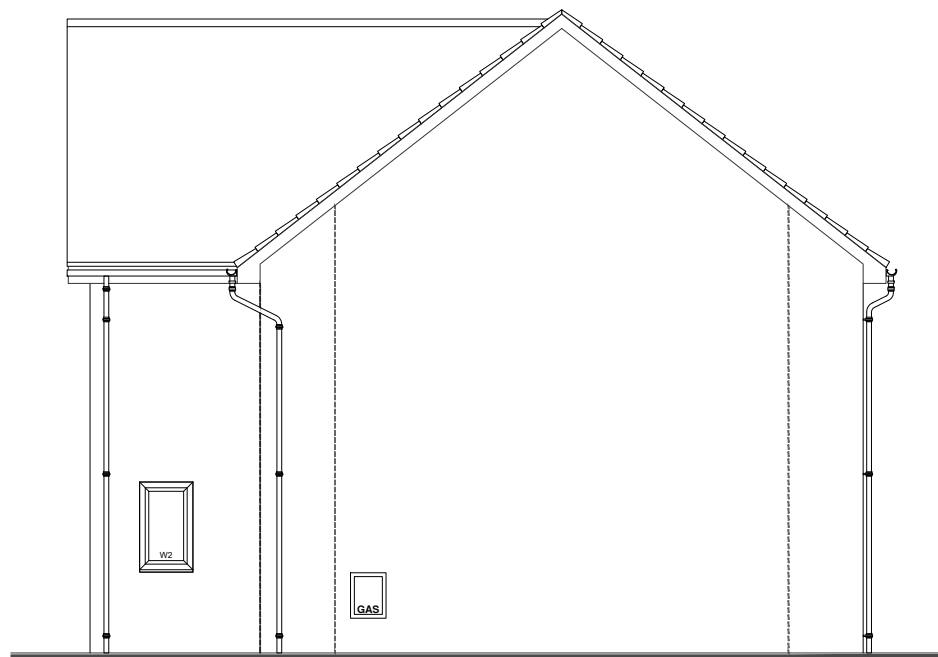
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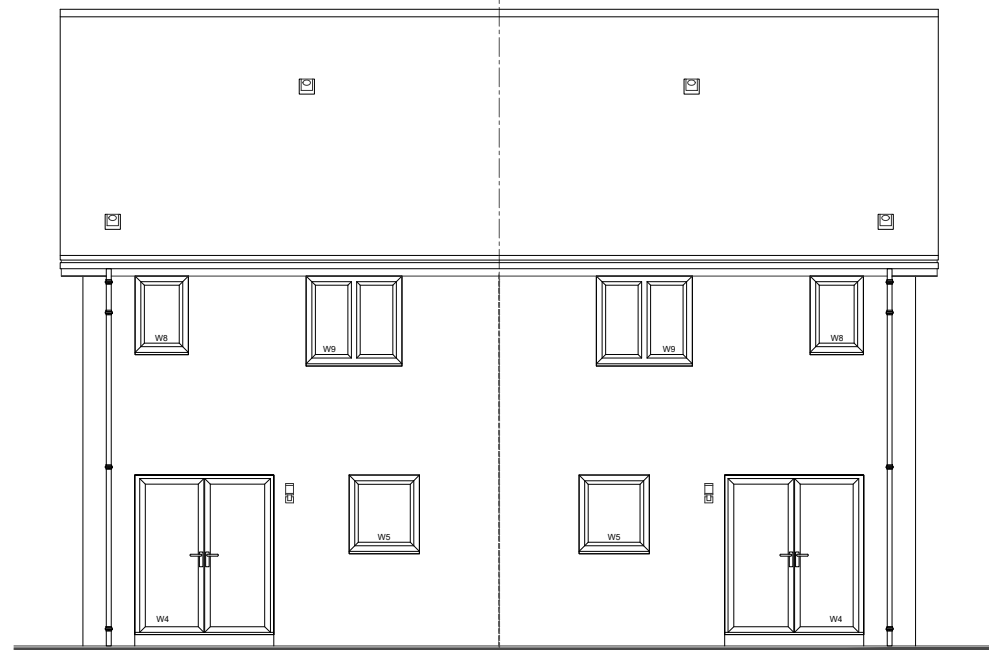
Side Elevation



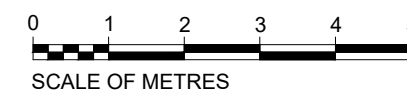
Front Elevation



Side Elevation



Rear Elevation



**GENERAL NOTES:**

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No.	Revision	Date	By



Robertson House, Castle Business Park, Stirling FK9 4TZ

Tel: 01786 431600 Fax: 01786 431650

Email: info@robertson.co.uk

www.robertsonhomes.co.uk

Drawing Title:

**Planning Elevations**  
All Divisions

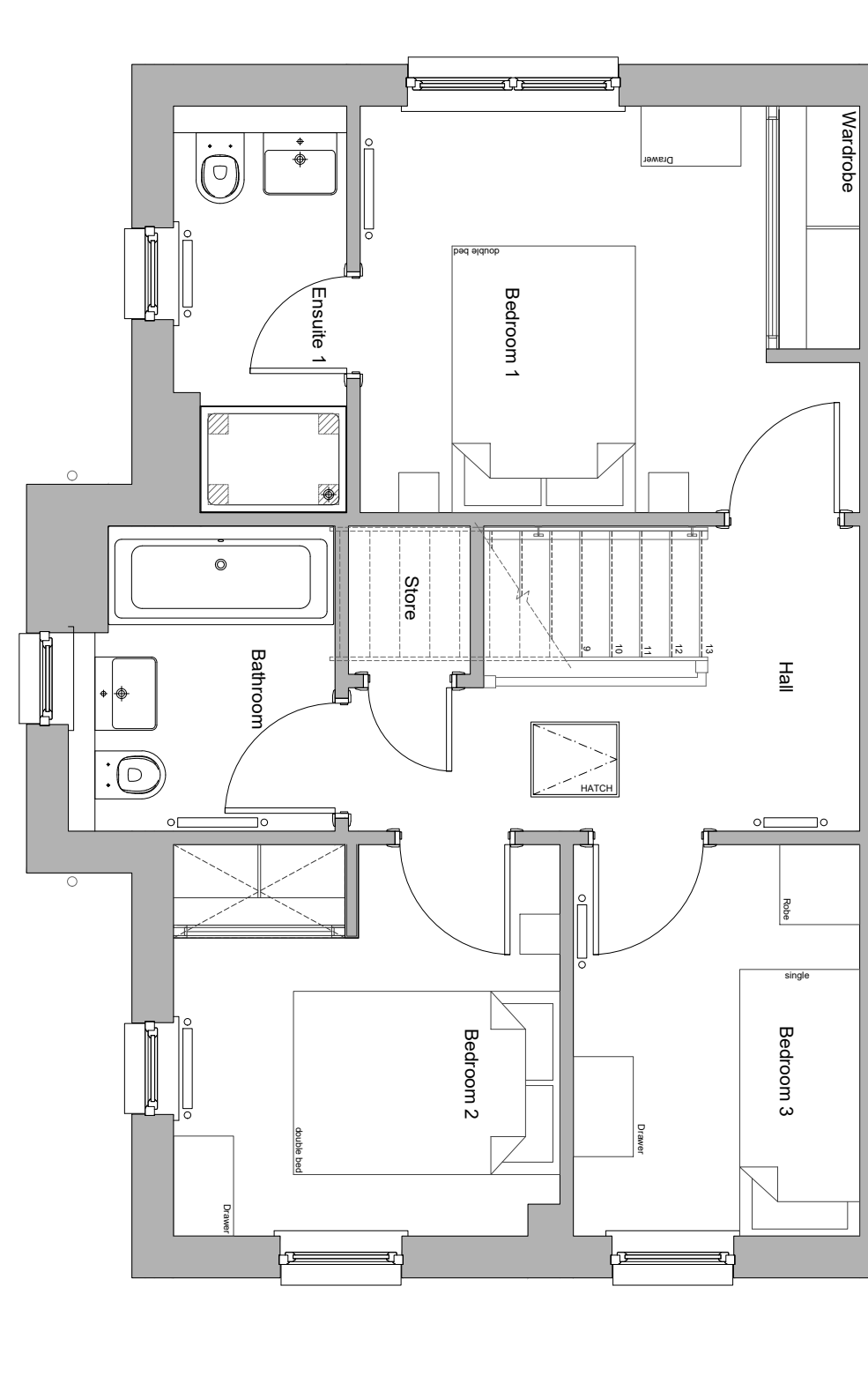
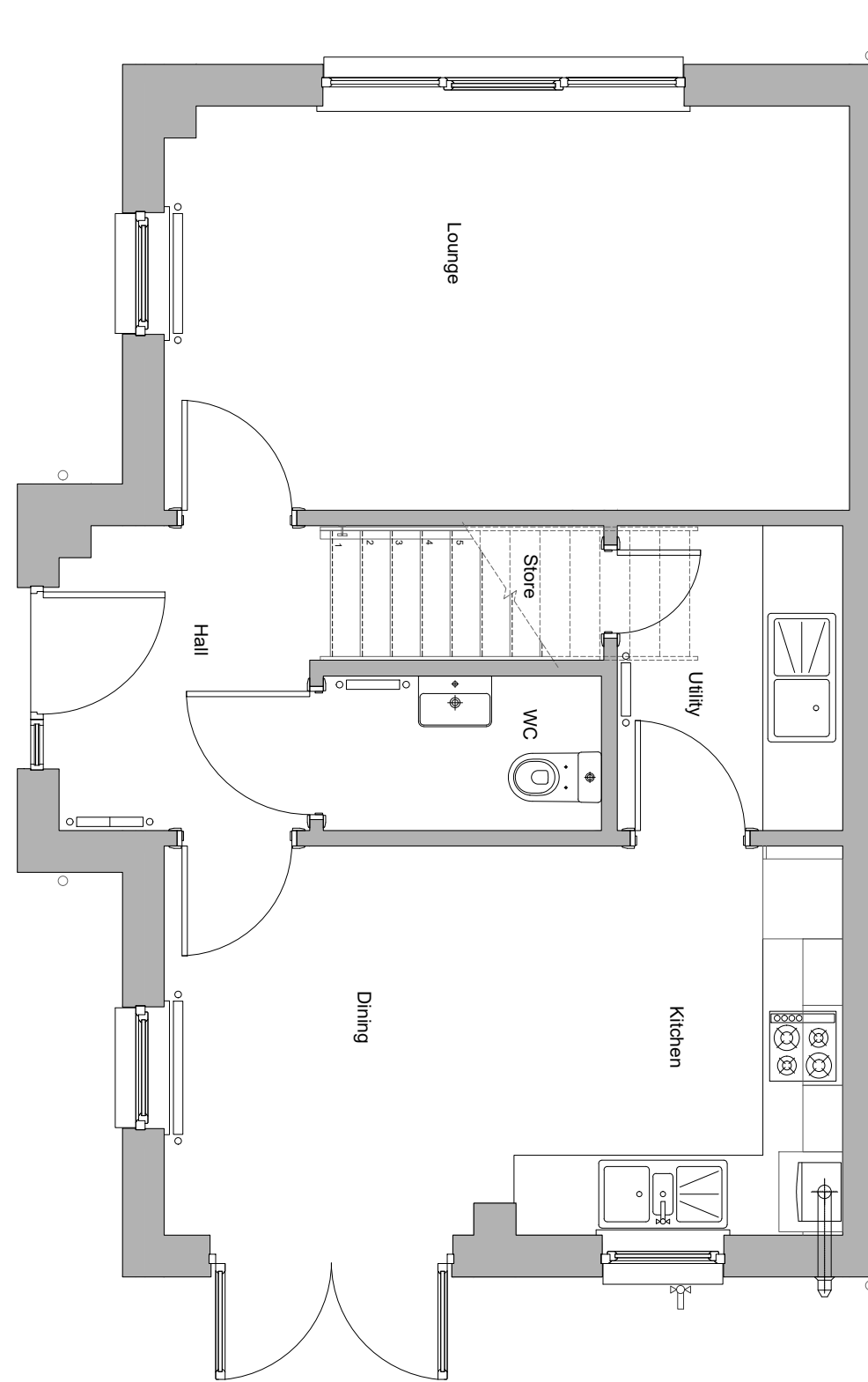
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House Name:  
**BEHRENS 18 Semi-Det.**

**ARTISTRY RANGE 18**

Drawing No: <b>18-BE-SD-12</b>	Rev: -
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**GENERAL NOTES:**

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 Tel: 01786 431600 Fax: 01786 431650  
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Drawing Title:  
**Planning Floor Plans**  
 All Divisions

Scale: 1:100	Date: Aug 18	Drawn: GBR
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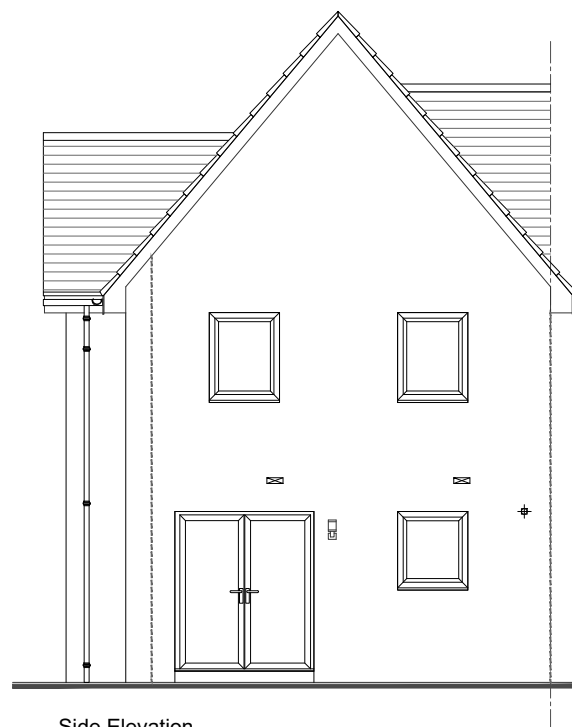
House Name:  
**BRASINI BASE 18**

**ARTISTRY RANGE 18**

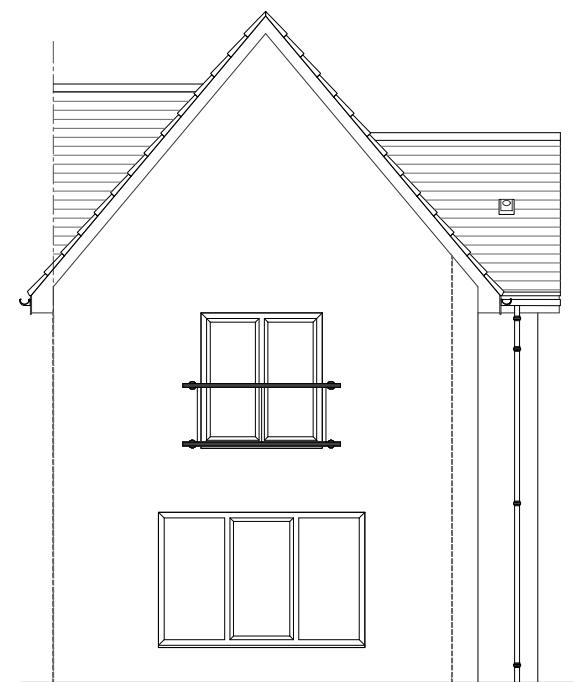
Drawing No: 18-BR-B-11	Rev: -
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Front Elevation



Side Elevation



Side Elevation

**GENERAL NOTES:**

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No.	Revision	Date	By



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 Email: info@robertson.co.uk

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Drawing Title:

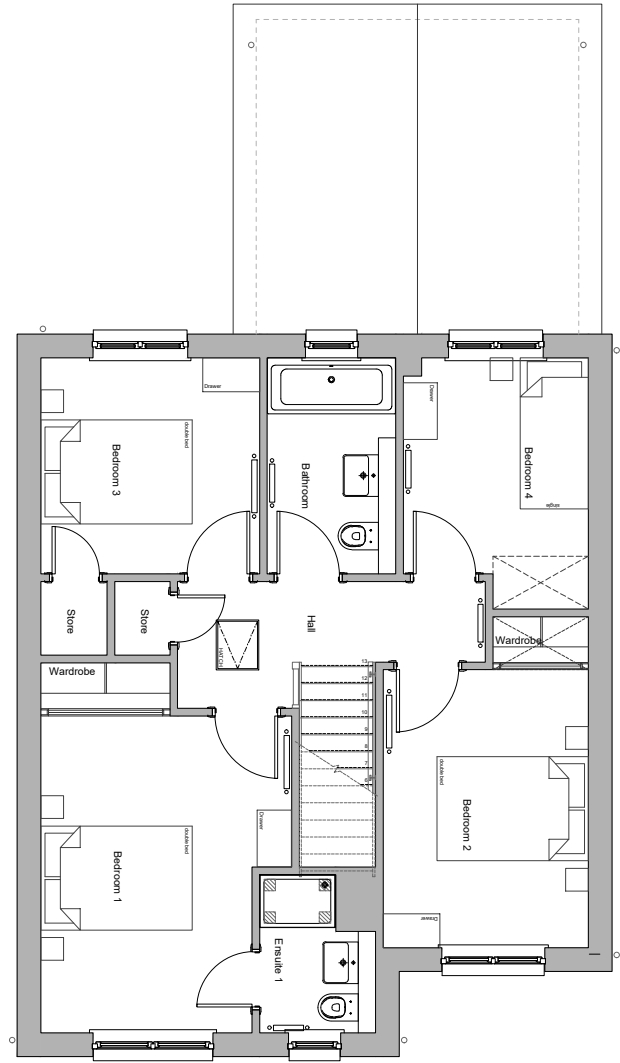
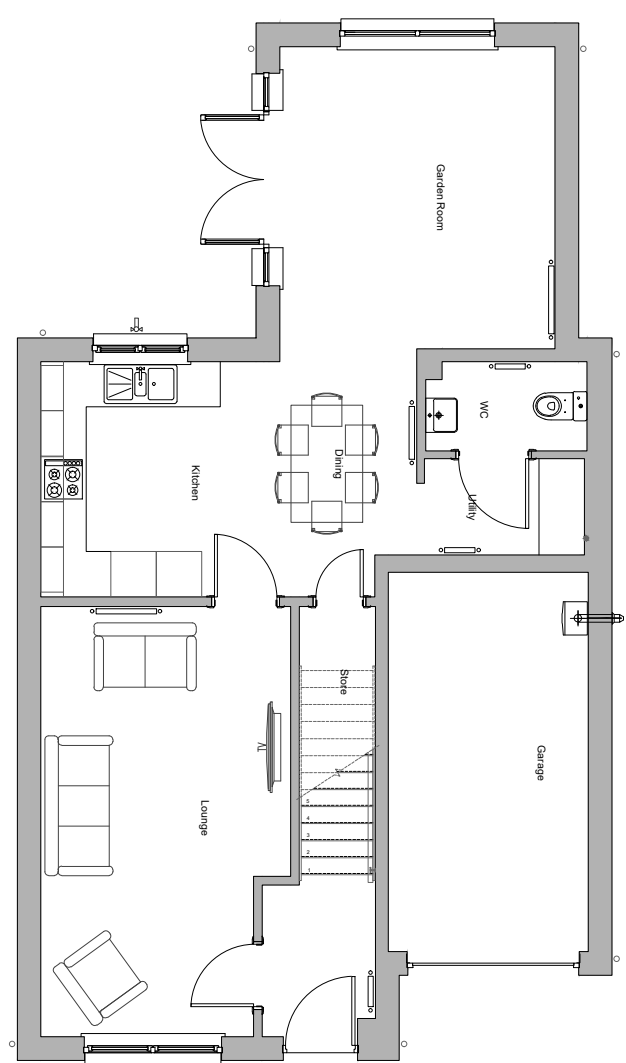
**Planning Elevations**  
 All Divisions

Scale: 1:100	Date: Aug 18	Drawn: GBR
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House Name:  
**BRASINI BASE 18**

**ARTISTRY RANGE**

Drawing No: 18-BR-B-12	Rev: -
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Drawing Title:

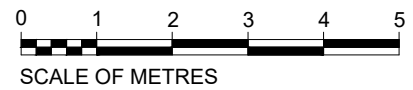
**Planning Floor Plans**  
 All Divisions

Scale: <b>1:100</b>	Date: <b>Apr 19</b>	Drawn: <b>GBR</b>
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House Name:  
**CLEMENTE GARDEN ROOM 18**

**ARTISTRY RANGE 18**

Drawing No: <b>18-CL-GR-11</b>	Rev: <b>-</b>
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**GENERAL NOTES:**

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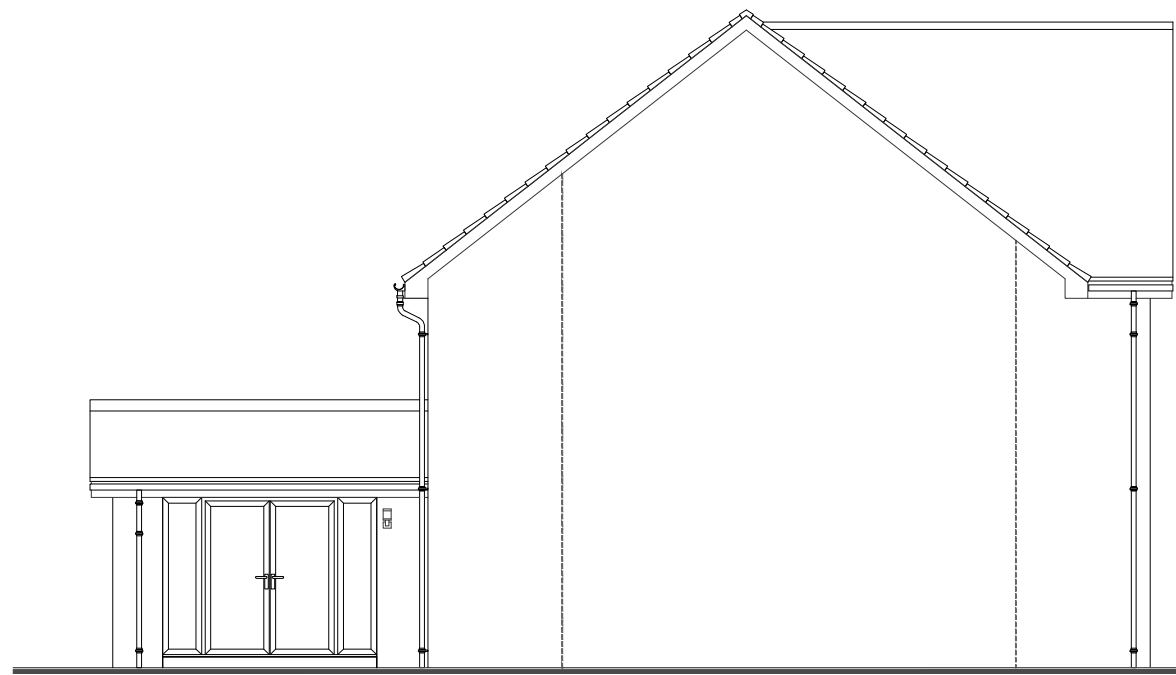
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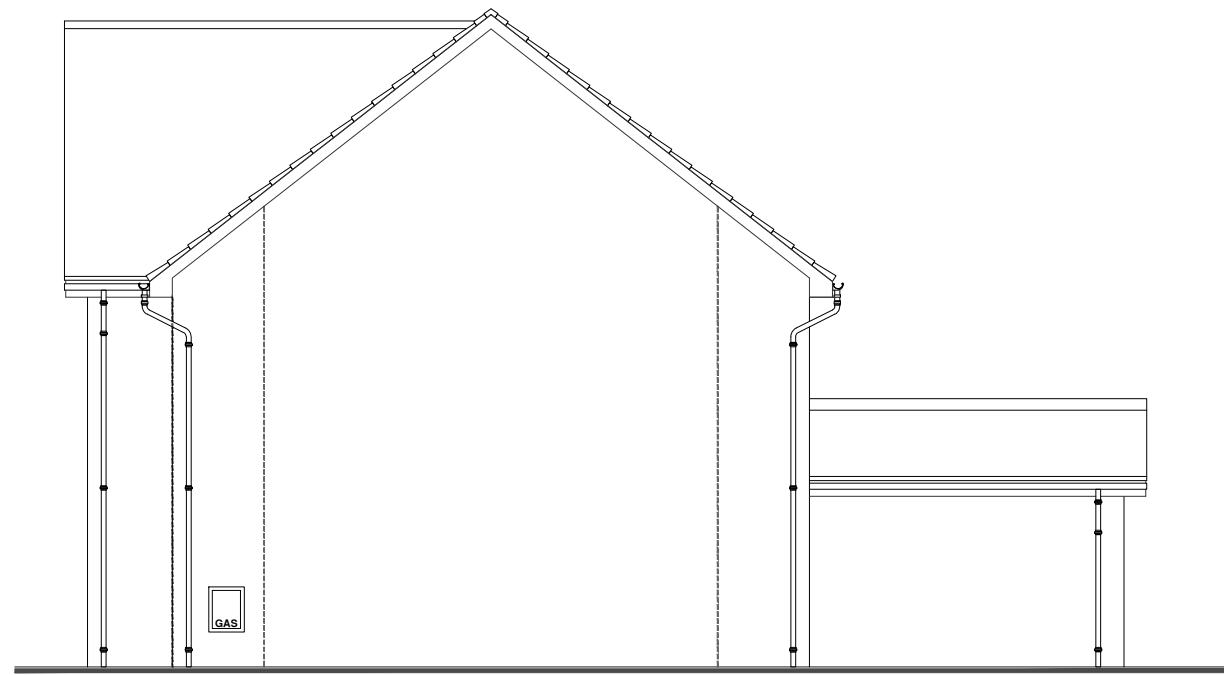
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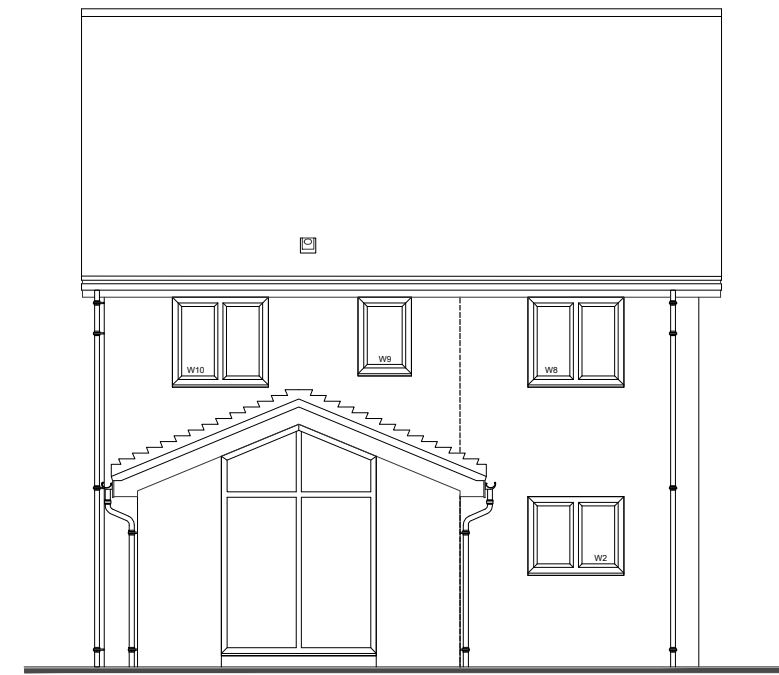
Side Elevation



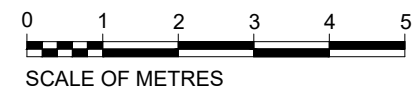
Front Elevation



Side Elevation



Rear Elevation



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Drawing Title:

**Planning Elevations**  
 All Divisions

Scale: 1:100	Date: Apr 19	Drawn: GBR
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House Name:  
**CLEMENTE GARDEN ROOM 18**

**ARTISTRY RANGE 18**

Drawing No: 18-CL-GR-12	Rev: -
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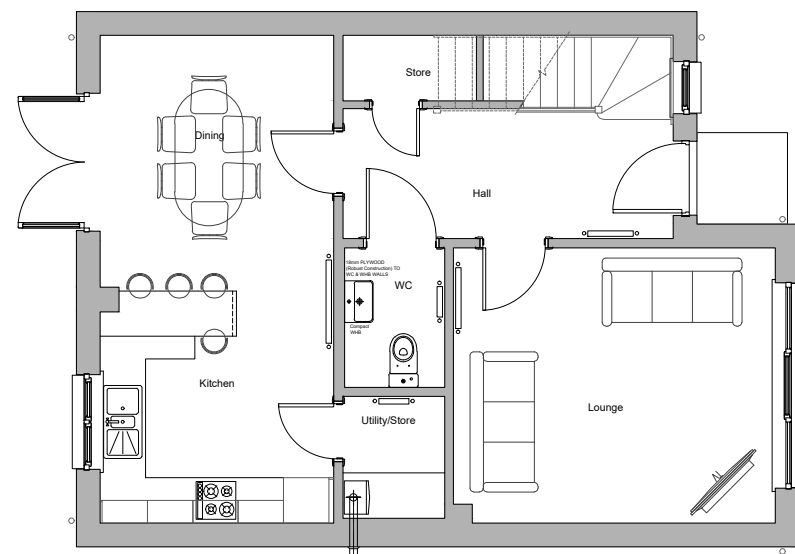
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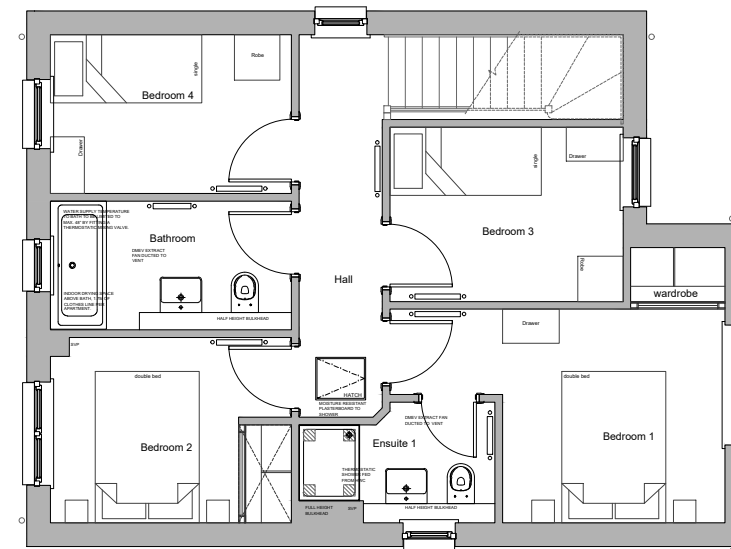
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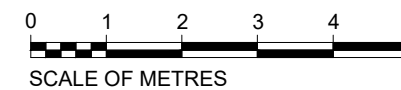
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Ground Floor



First Floor



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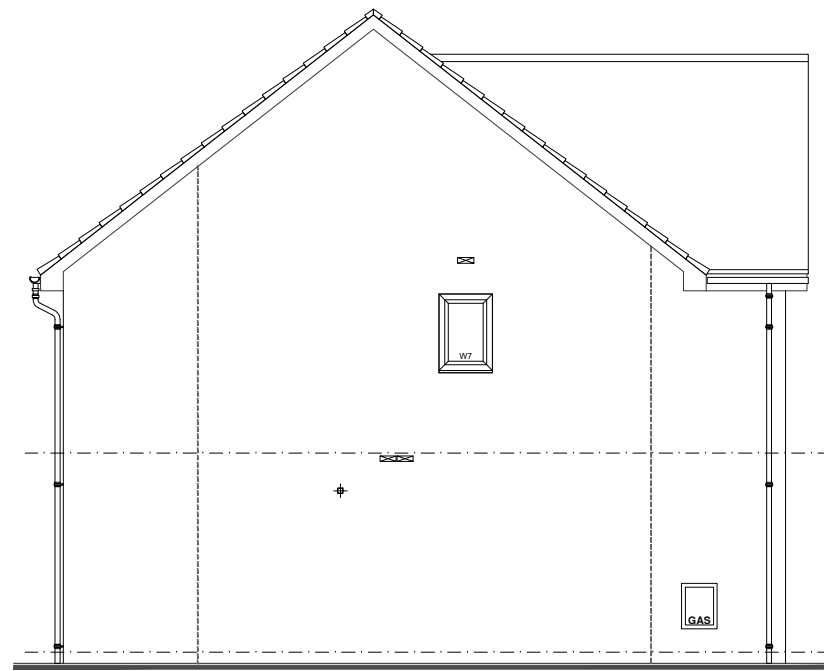
Drawing Title:  
**Planning Floor Plans**  
 All Divisions

Scale: 1:100	Date: Feb 19	Drawn: GBR
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House Name:  
**CORNELL 18**

**ARTISTRY RANGE 18**

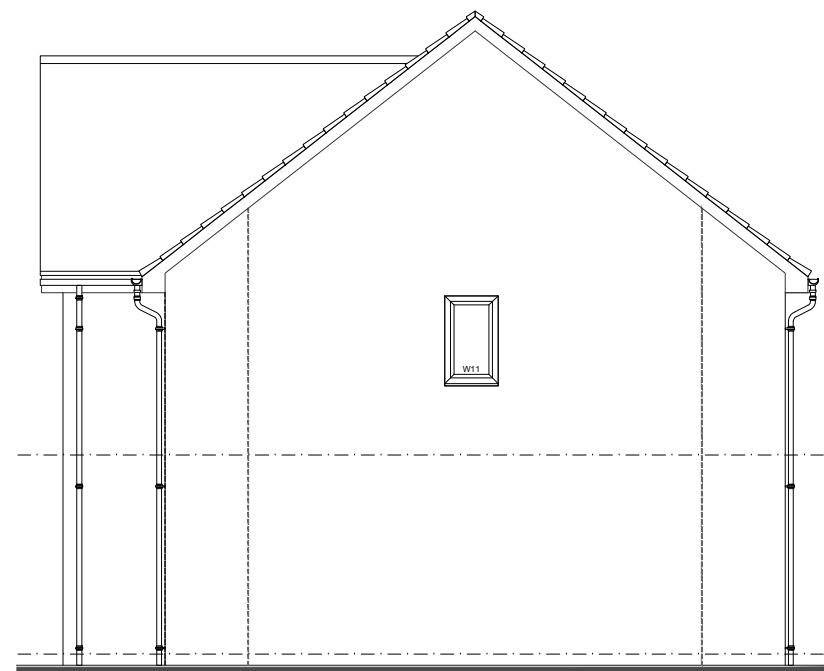
Drawing No: <b>18-CN-B-11</b>	Rev:
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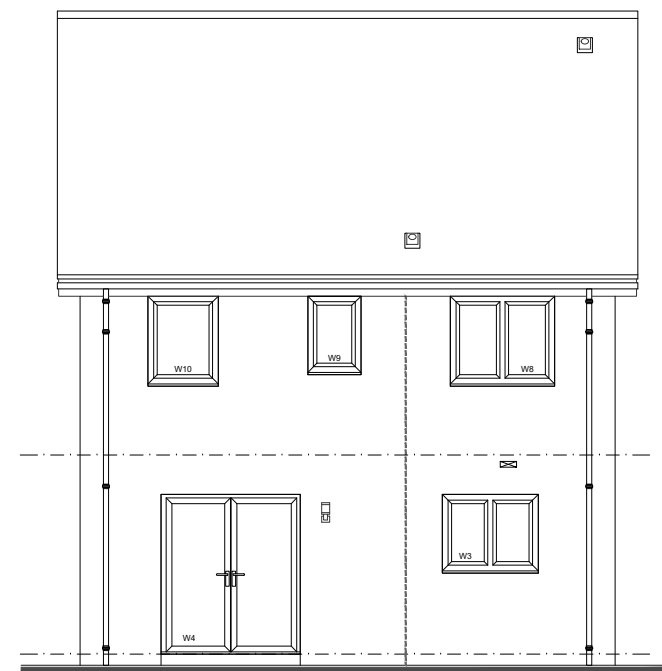
Side Elevation



Front Elevation



Side Elevation



Rear Elevation

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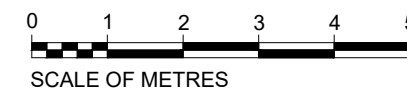
**Planning Elevations**  
 All Divisions

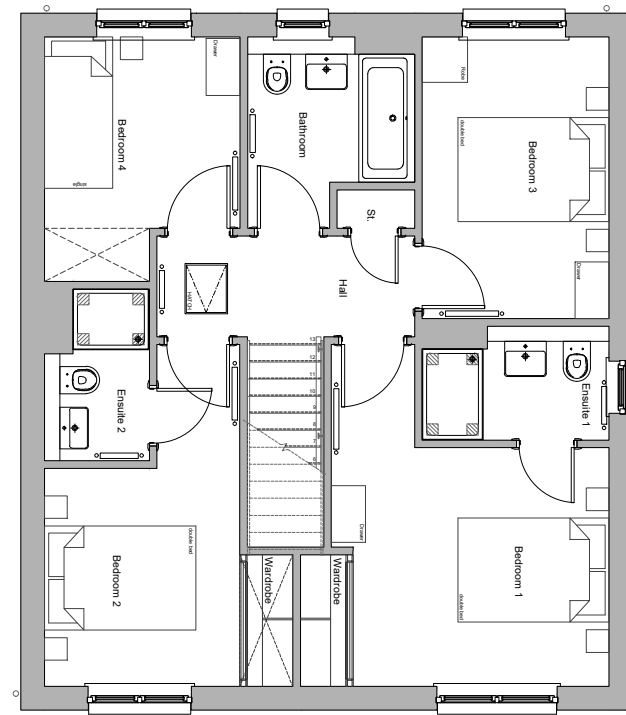
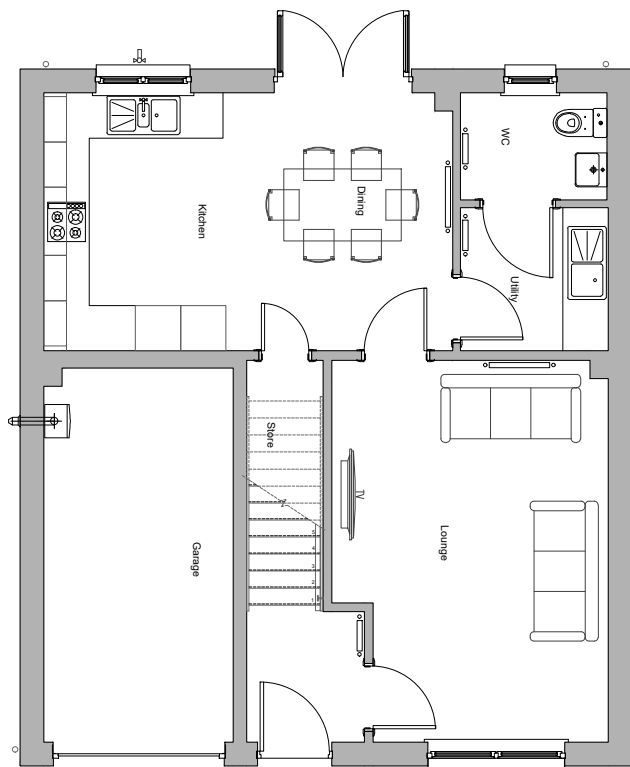
Scale: 1:100	Date: Feb 19	Drawn: GBR
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House Name:  
**CORNELL 18**

**ARTISTRY RANGE 18**

Drawing No: <b>18-CN-B-12</b>	Rev:
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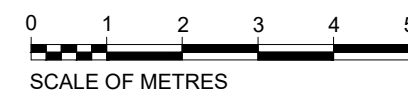
**Planning Floor Plans**  
 All Divisions

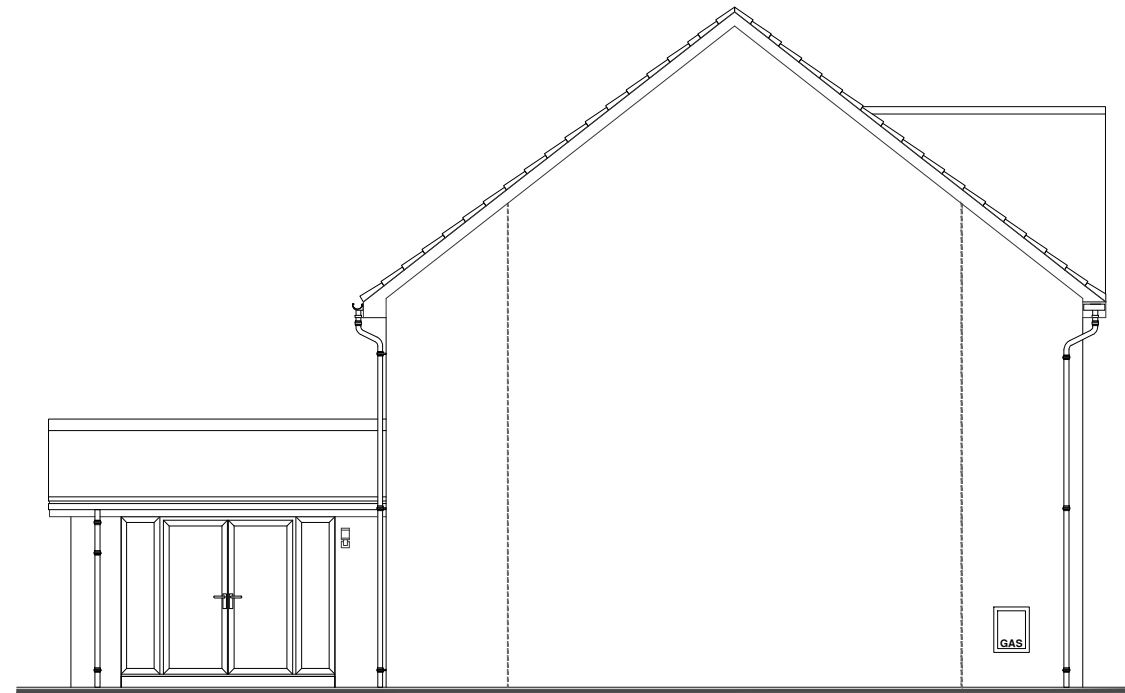
Scale: <b>1:100</b>	Date: <b>Mar 19</b>	Drawn: <b>GBR</b>
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House Name:  
**CORTONA BASE 18**

**ARTISTRY RANGE 18**

Drawing No: <b>18-CO-B-11</b>	Rev: <b>-</b>
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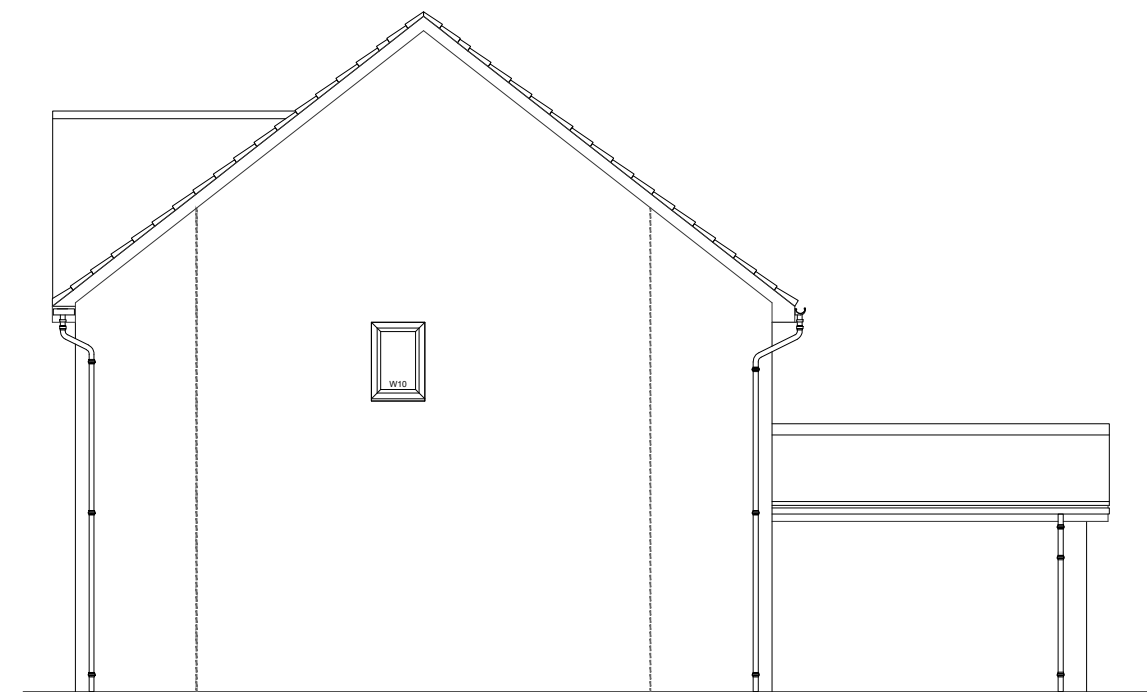




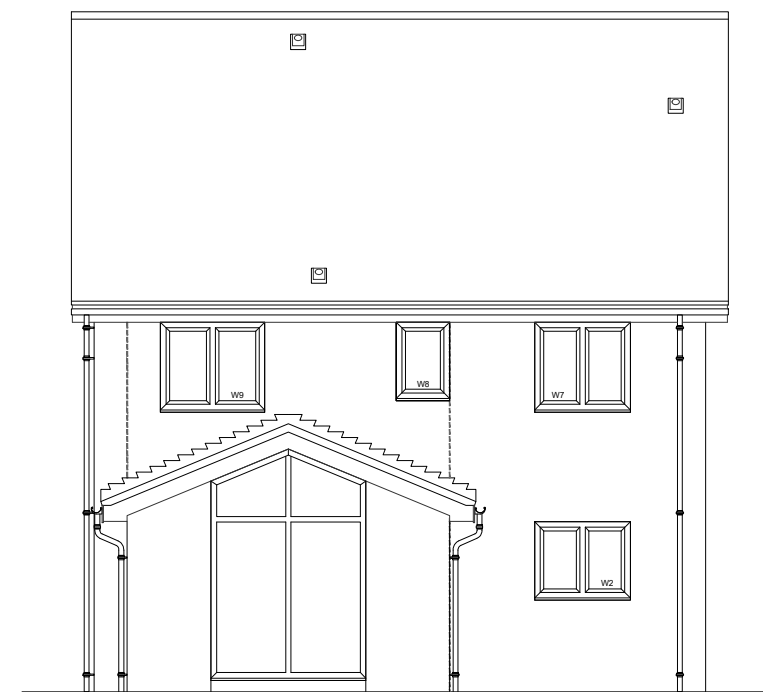
Side Elevation



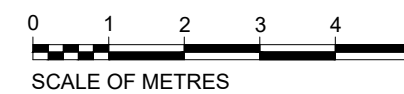
Front Elevation



Side Elevation



Rear Elevation



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Drawing Title:

**Planning Elevations**  
All Divisions

Scale:  
1:100

Date:  
Mar 19

Drawn:  
GBR

House Name:

CORTONA GARDEN ROOM 18

ARTISTRY RANGE 18

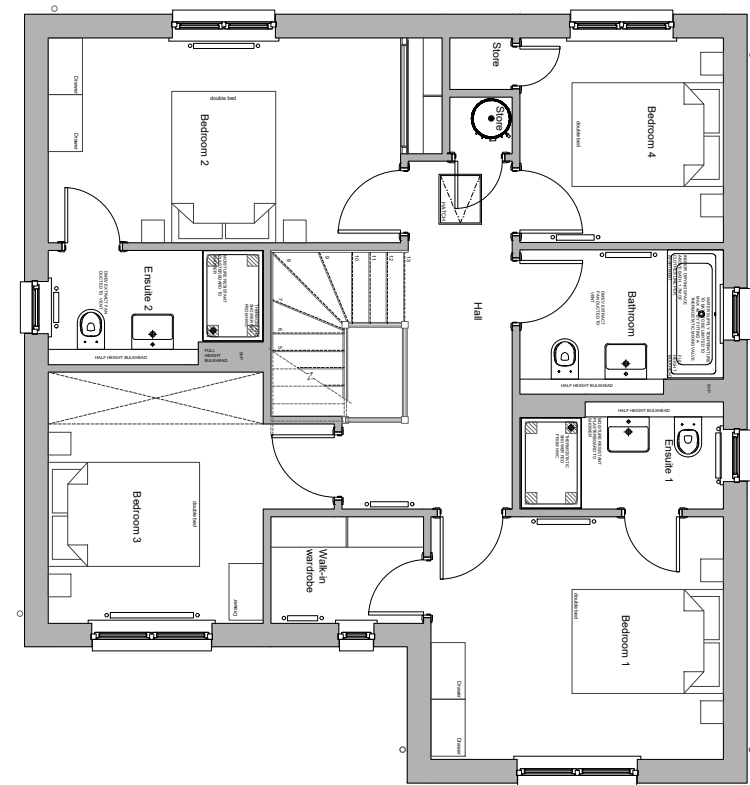
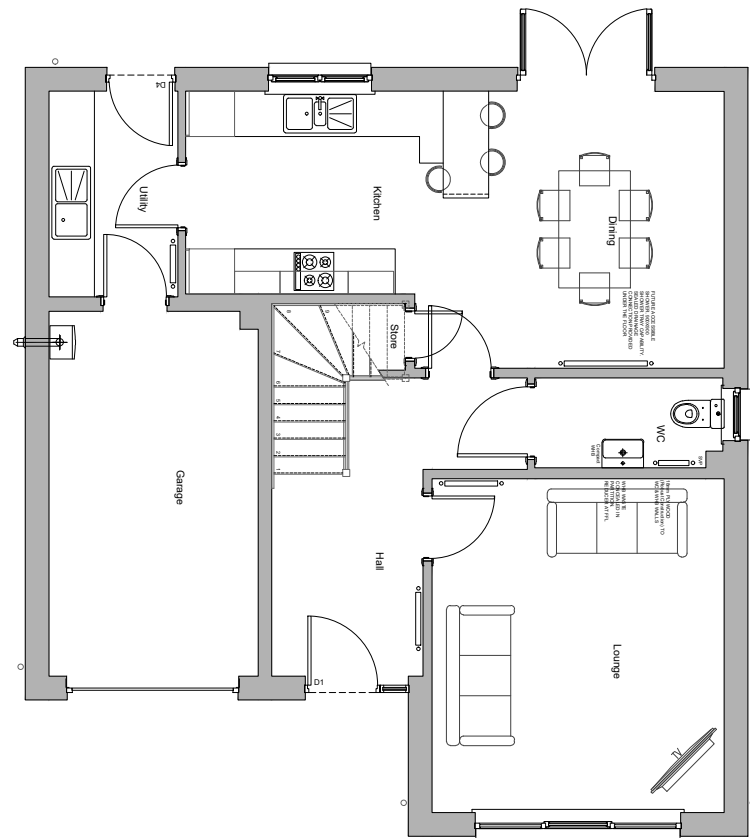
Drawing No:

18-CO-GR-12

Rev:

-





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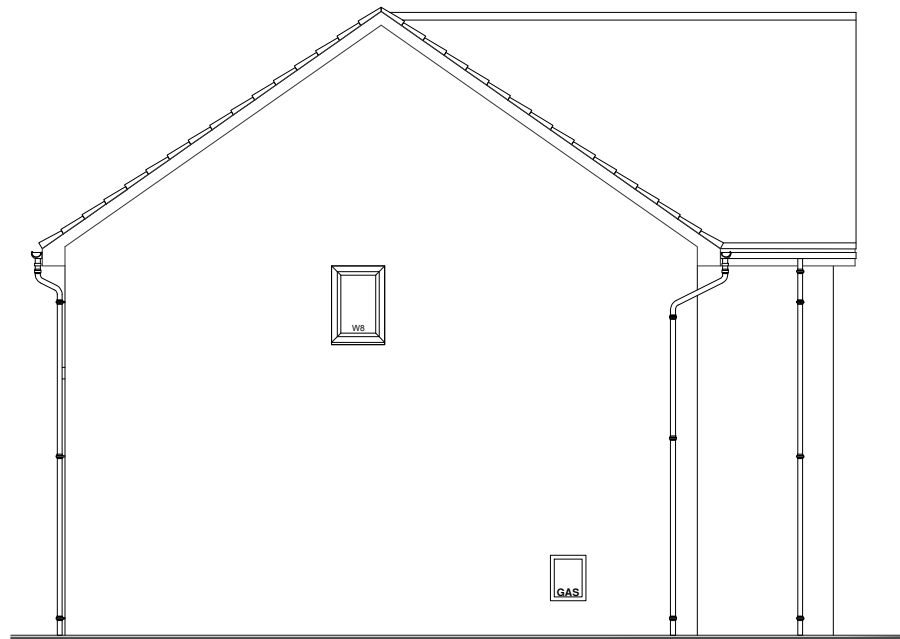
Drawing Title:  
**Planning Floor Plans**  
 All Divisions

Scale: 1:100	Date: Jun 18	Drawn: GBR
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House Name:  
**ELLIOT BASE 18**

**ARTISTRY RANGE 18**

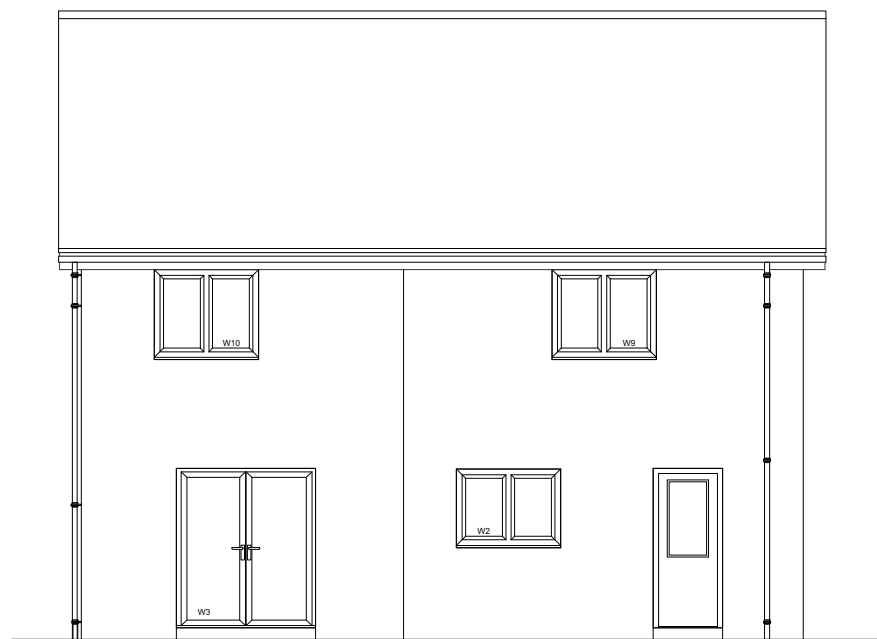
Drawing No: 18-EL-B-11	Rev: -
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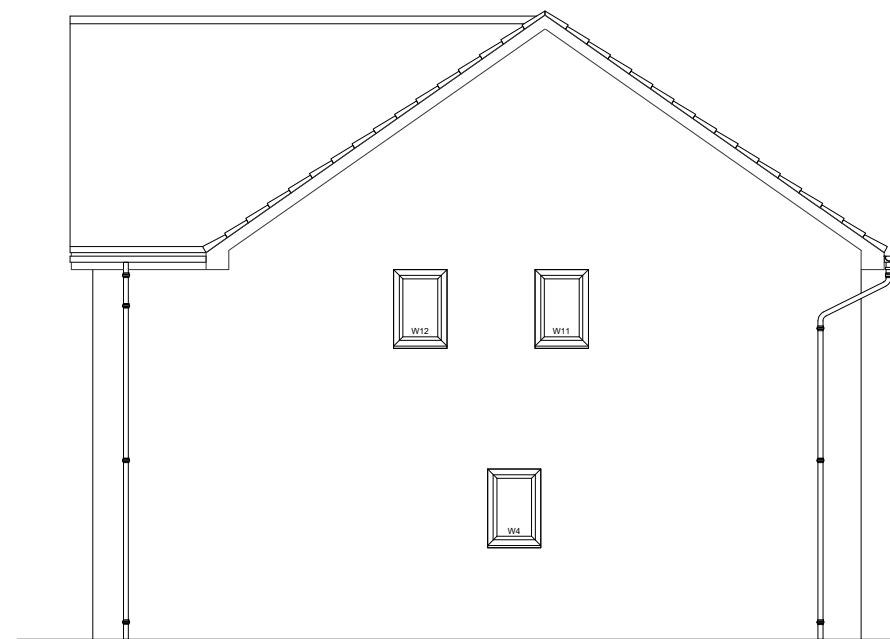
Side Elevation



Front Elevation



Rear Elevation



Side Elevation

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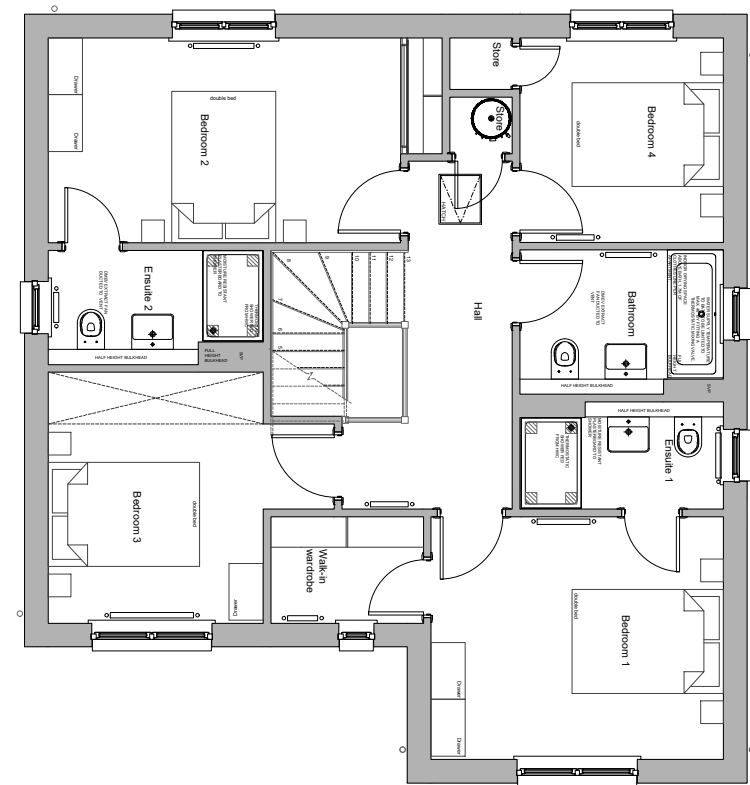
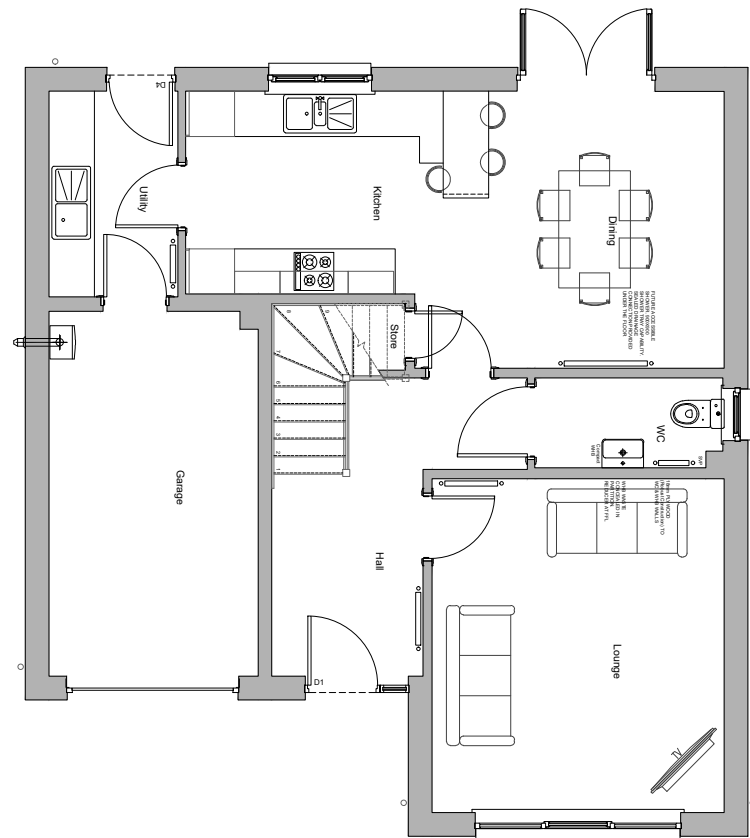
Drawing Title:  
**Planning Elevations**  
 All Divisions

Scale: 1:100	Date: May 18	Drawn: GBR
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House Name:  
**ELLIOT BASE 18**

**ARTISTRY RANGE 18**

Drawing No: 18-EL-B-12	Rev: -
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Drawing Title:  
**Planning Floor Plans**  
 All Divisions

Scale: 1:100	Date: Jun 18	Drawn: GBR
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House Name:  
**ELLIOT BASE 18**

**ARTISTRY RANGE 18**

Drawing No: 18-EL-B-11	Rev: -
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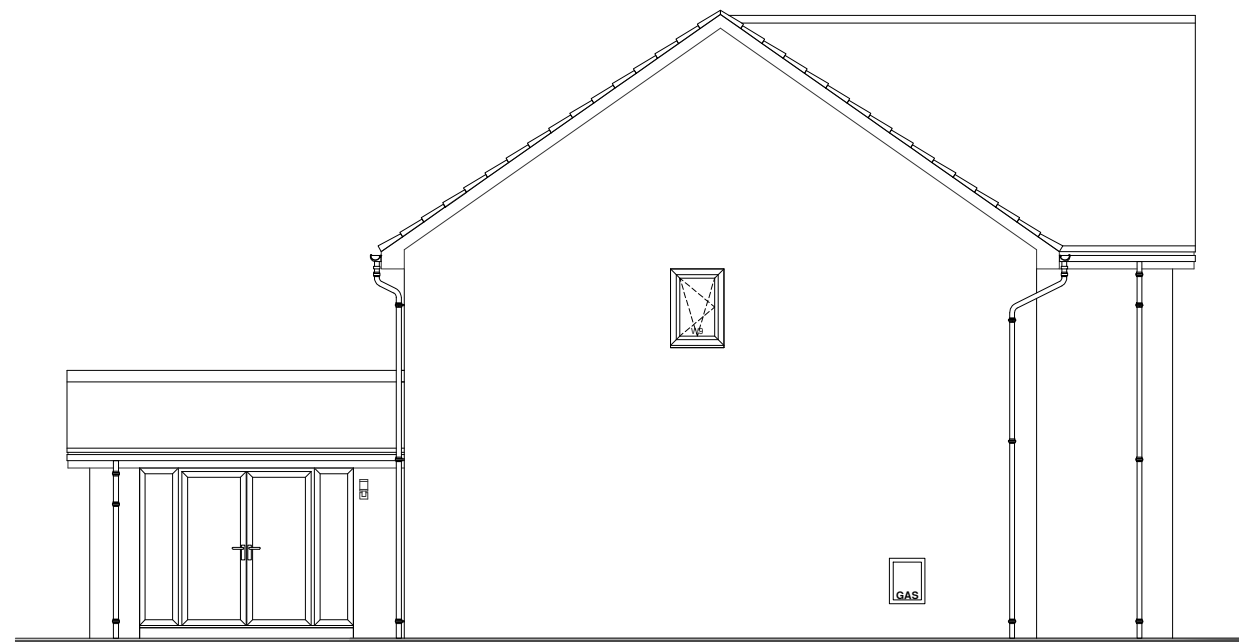
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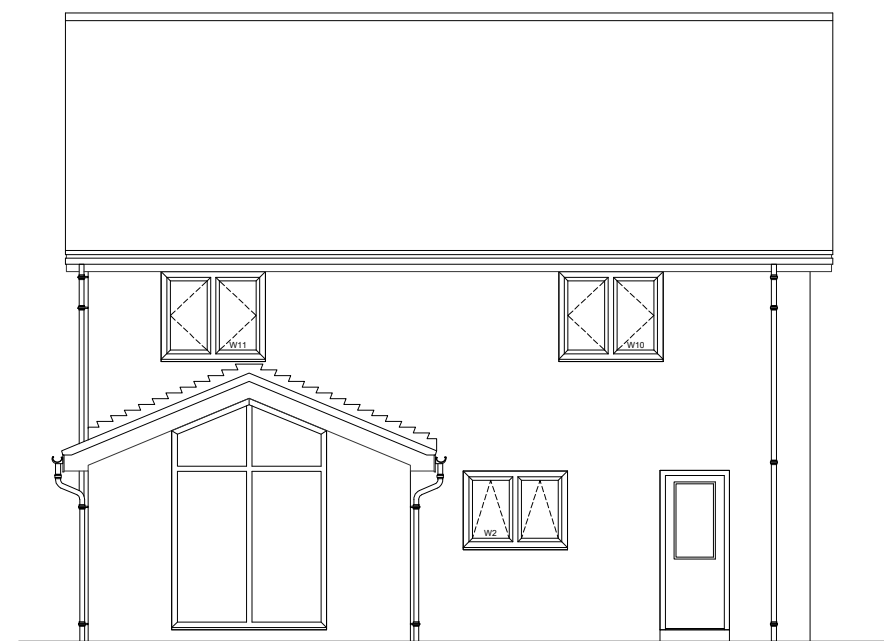
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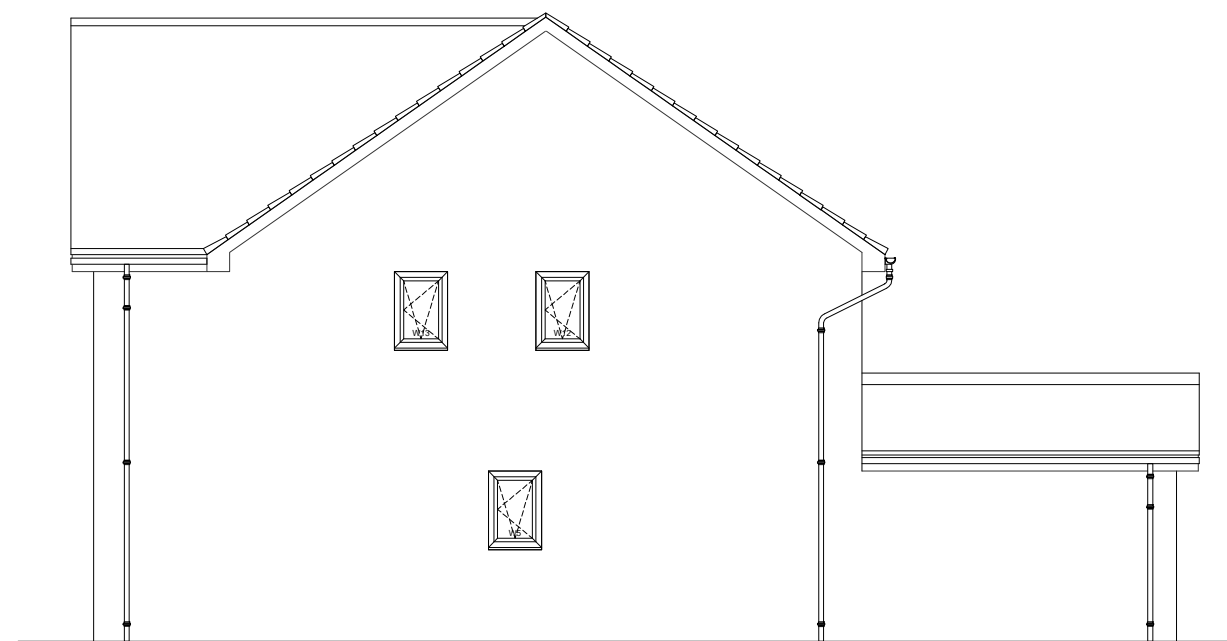
Side Elevation



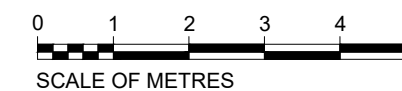
Front Elevation



Rear Elevation



Side Elevation



SCALE OF METRES

No.	Revision	Date	By
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Drawing Title:

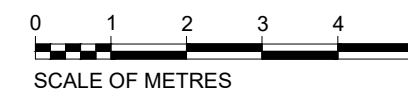
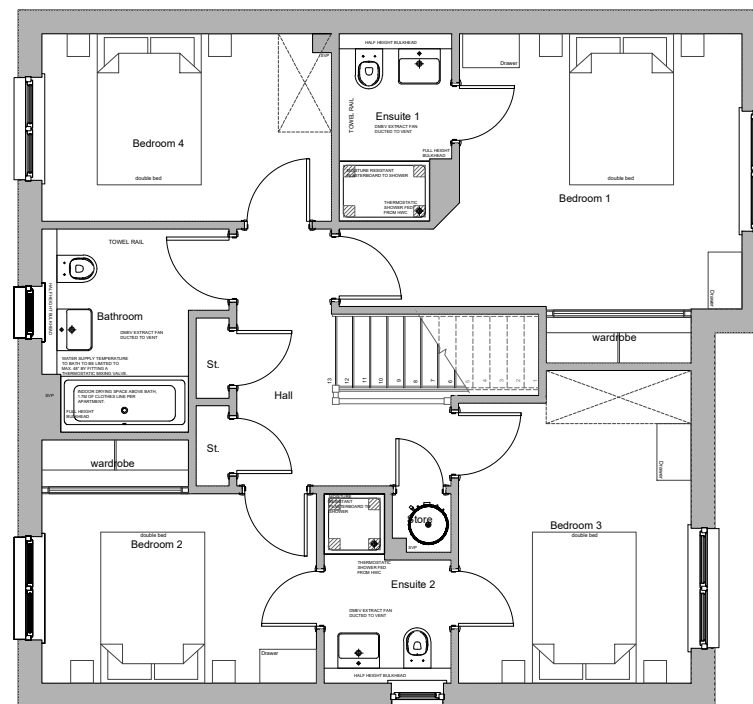
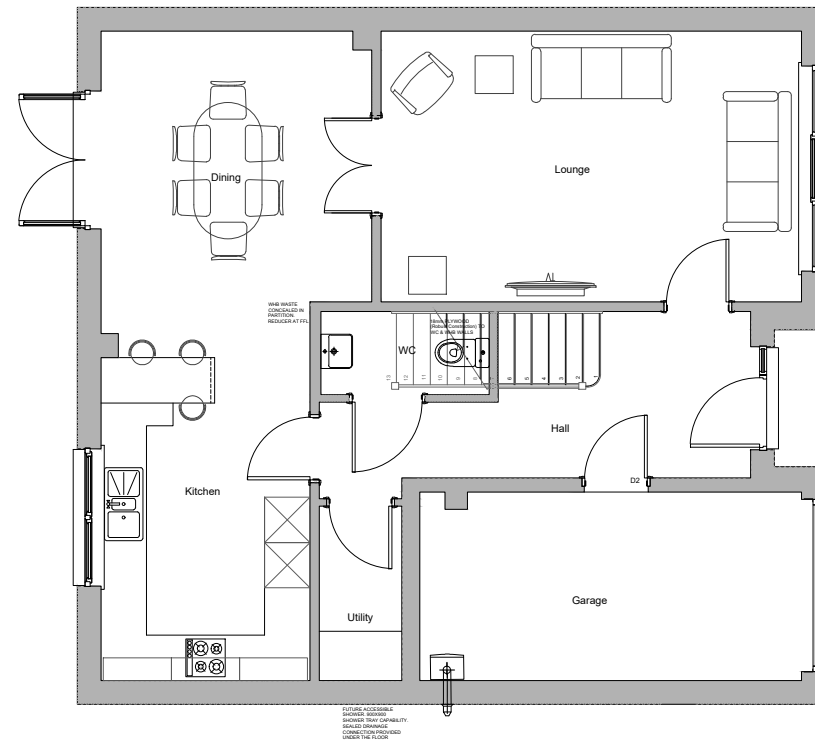
**Planning Elevations**  
All Divisions

Scale: 1:100	Date: May 18	Drawn: GBR
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House Name: <b>ELLIOT GARDEN ROOM 18</b>
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**ARTISTRY RANGE**

Drawing No: <b>18-EL-GR-12</b>	Rev: -
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Drawing Title:

**Planning Floor Plans**  
All Divisions

Scale:  
**1:100**

Date:  
**MAY '18**

Drawn:  
**ME**

House Name:

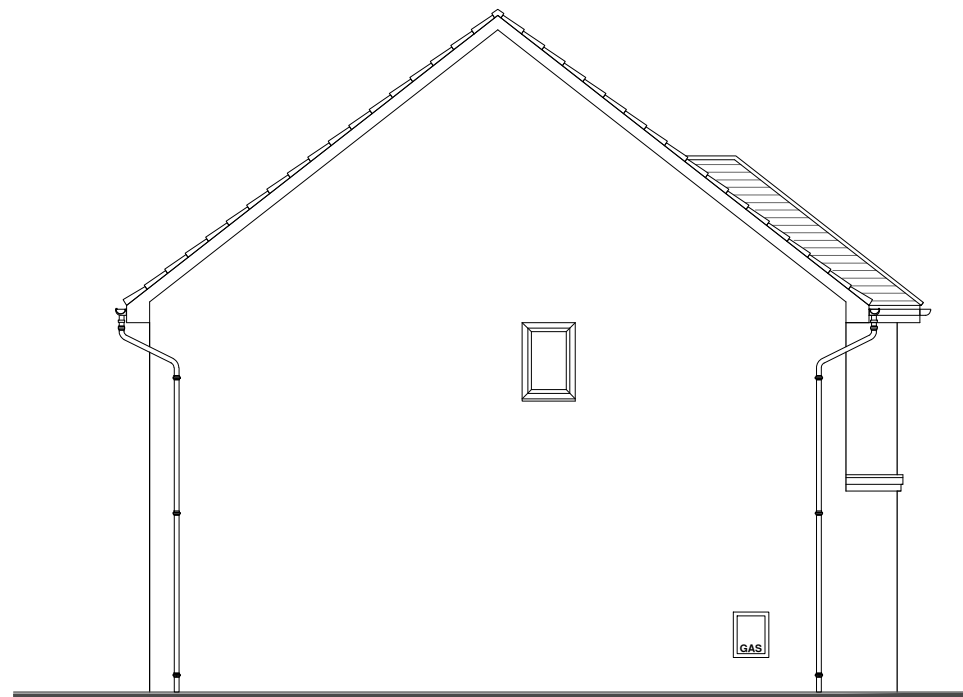
**EVERETT BASE 18**

**ARTISTRY RANGE**

Drawing No:

**18-EV-B-11**

Rev:



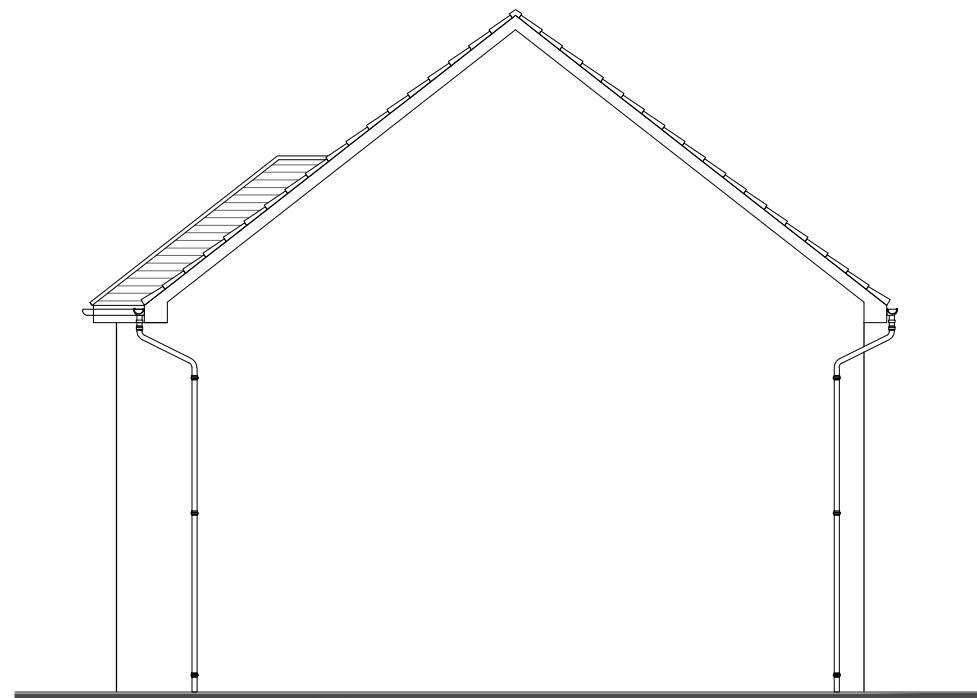
Side Elevation



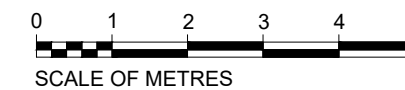
Front Elevation



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Side Elevation



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Drawing Title:

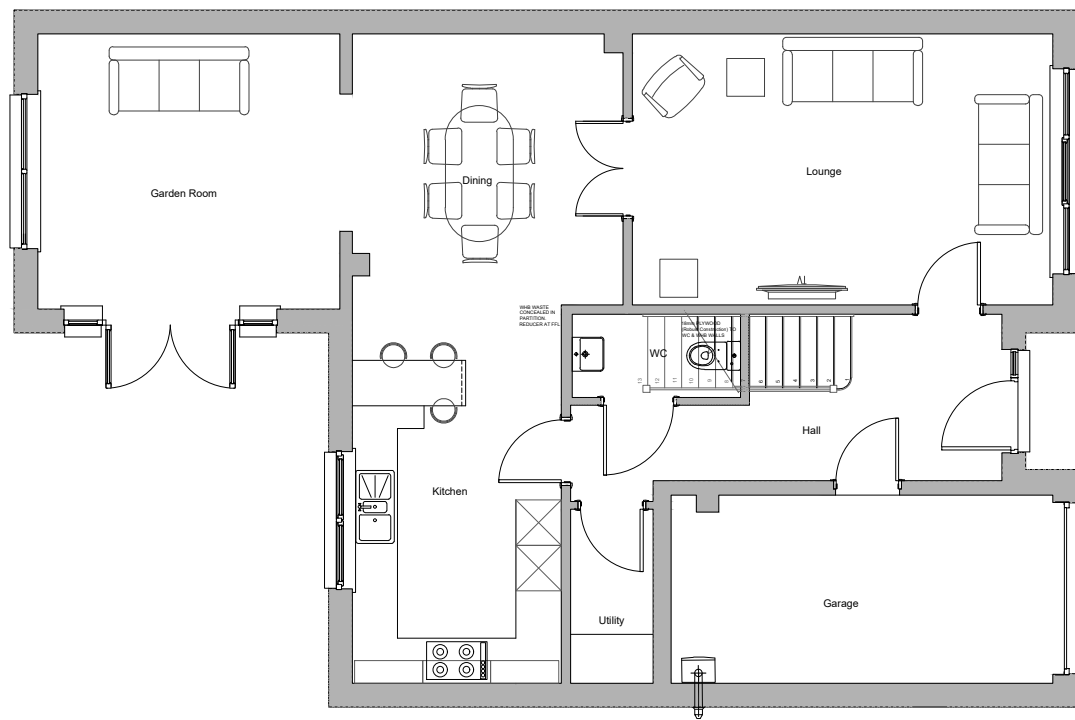
**Planning Elevations**  
All Divisions

Scale: <b>1:100</b>	Date: <b>MAY '18</b>	Drawn: <b>ME</b>
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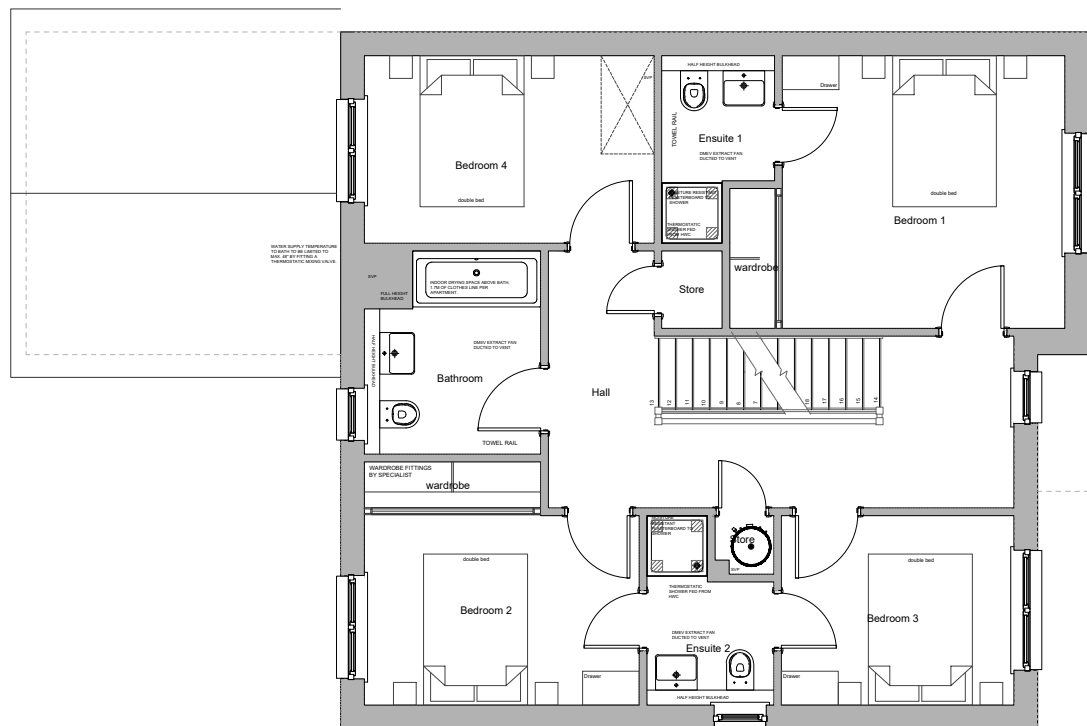
House Name:  
**EVERETT BASE 18**

**ARTISTRY RANGE**

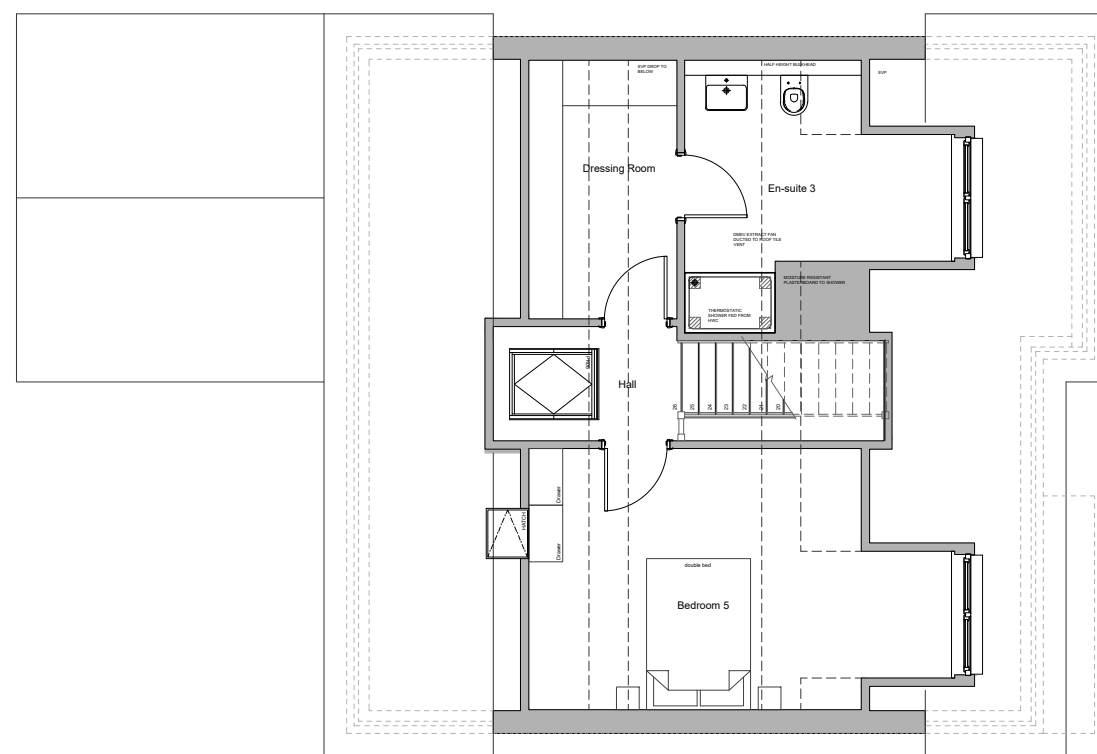
Drawing No: <b>18-EV-B-12</b>	Rev:
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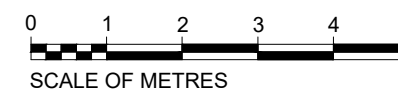
Ground Floor



First Floor



Second Floor



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No. Revision Date By



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Tel: 01786 431600 Fax: 01786 431650  
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Drawing Title:

**Planning Floor Plans**  
All Divisions

Scale: 1:100 Date: MAY '18 Drawn: ME

House Name:  
**EVERETT GRAND 18**

**ARTISTRY RANGE**

Drawing No: **18-EV-G-11** Rev:

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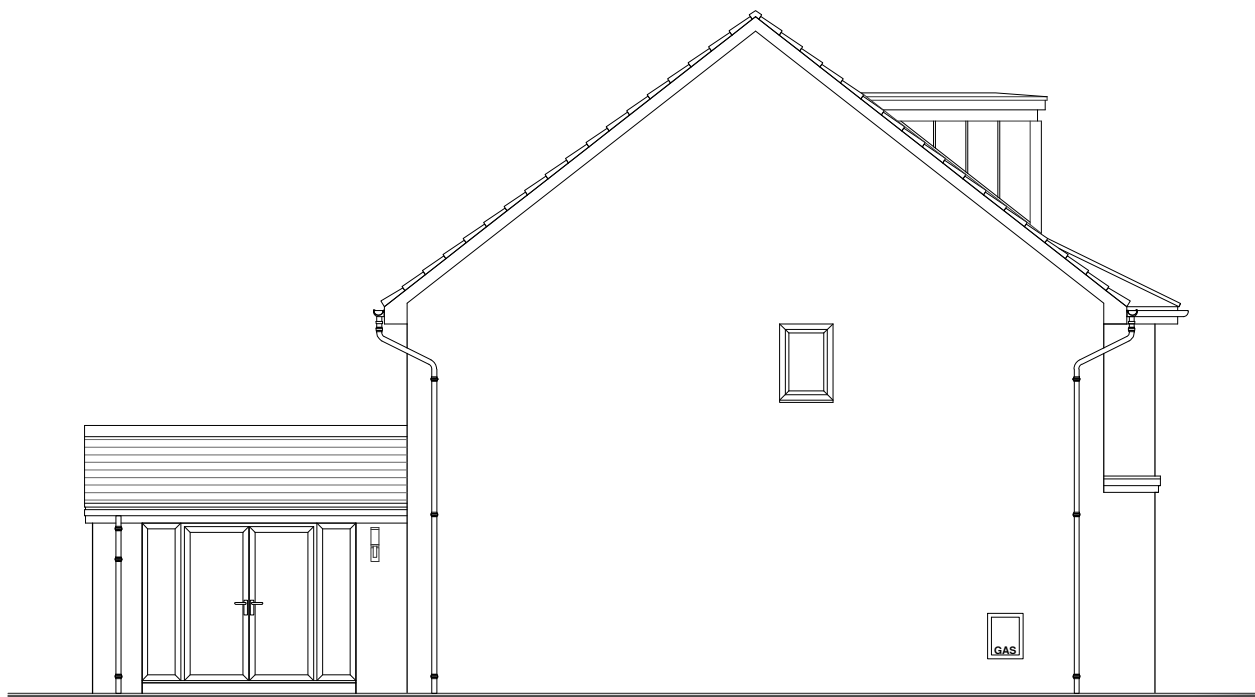
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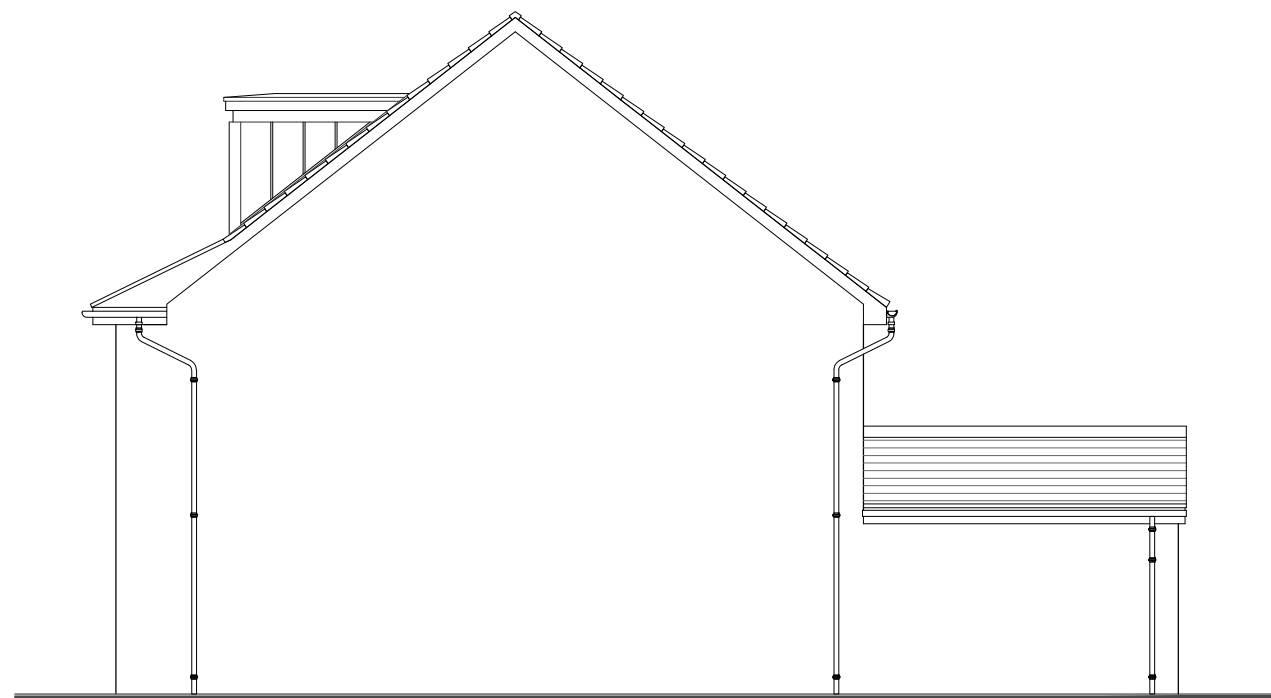
Side Elevation



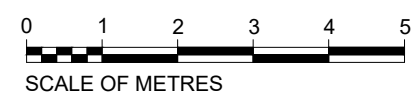
Front Elevation



Rear Elevation



Side Elevation



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Drawing Title:

**Planning Elevations**  
All Divisions

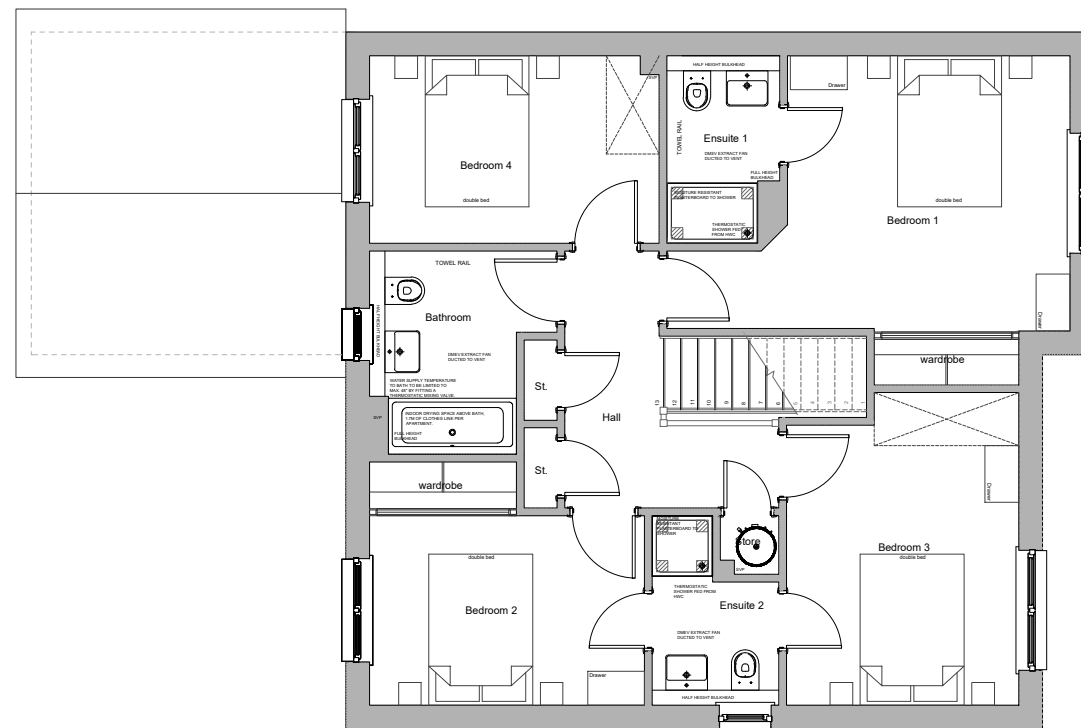
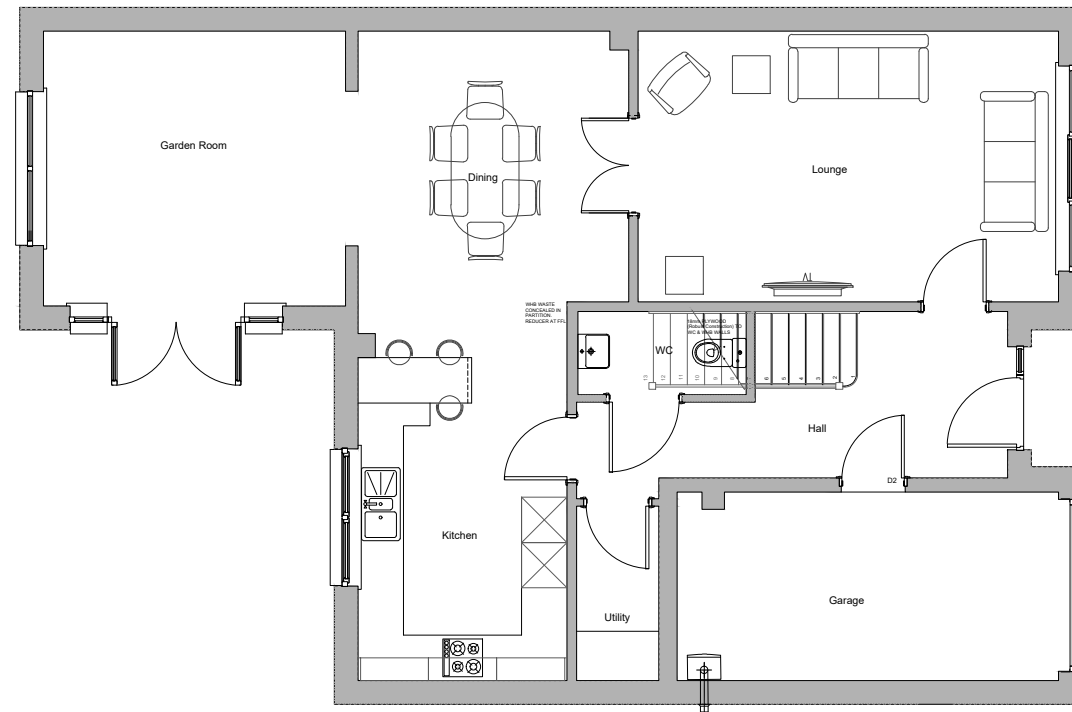
Scale: <b>1:100</b>	Date: <b>MAY '18</b>	Drawn: <b>ME</b>
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House Name:  
**EVERETT GRAND 18**

**ARTISTRY RANGE**

Drawing No: <b>18-EV-G-12</b>	Rev:
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Drawing Title:

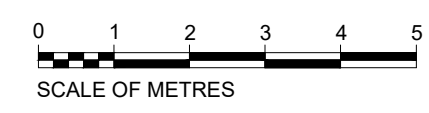
**Planning Floor Plans**  
 All Divisions

Scale: <b>1:100</b>	Date: <b>MAY '18</b>	Drawn: <b>ME</b>
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House Name:  
**EVERETT GARDEN ROOM 18**

**ARTISTRY RANGE**

Drawing No: <b>18-EV-GR-11</b>	Rev:
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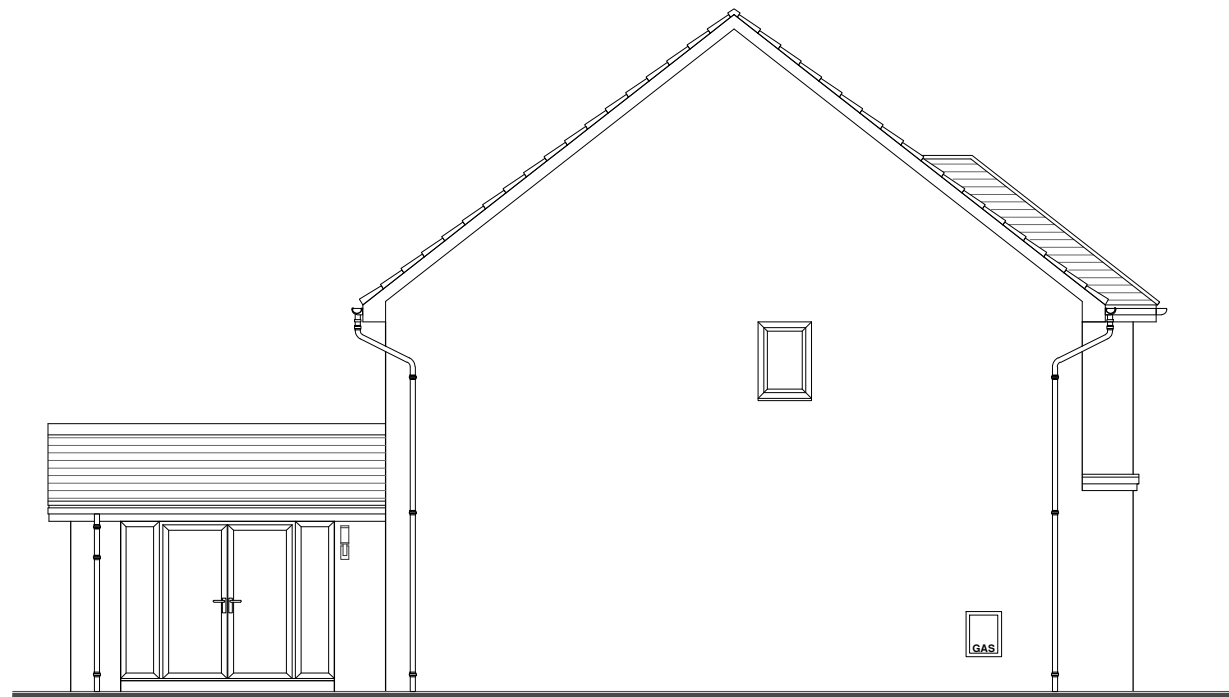
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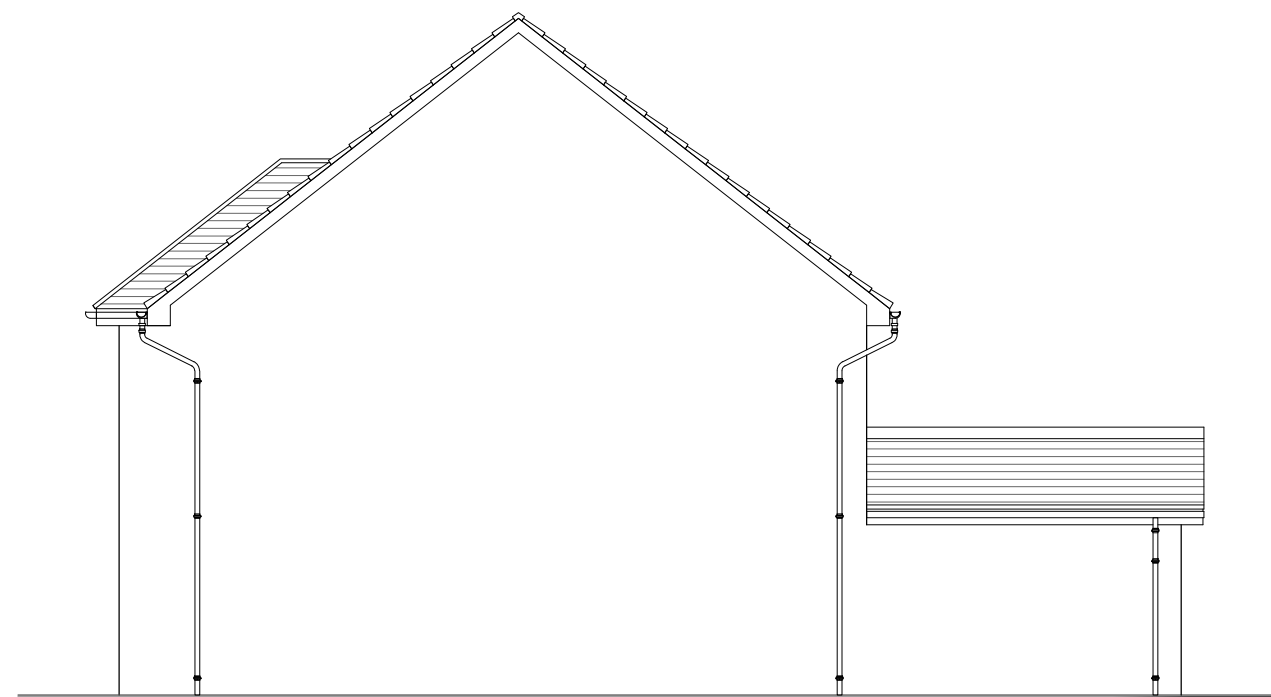
Side Elevation



Front Elevation



Rear Elevation



Side Elevation

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Drawing Title:

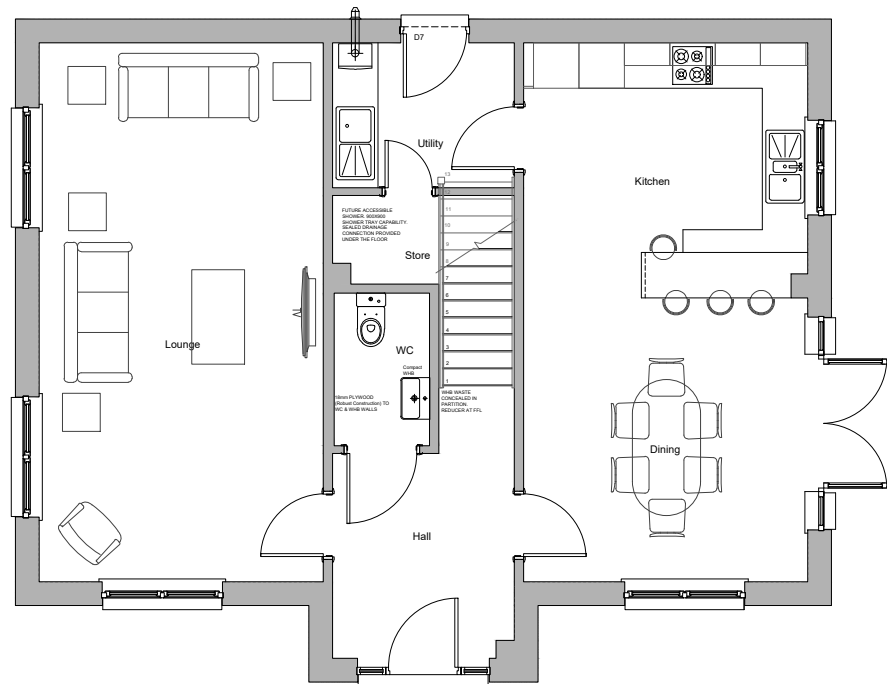
**Planning Elevations**  
 All Divisions

Scale: <b>1:100</b>	Date: <b>MAY '18</b>	Drawn: <b>ME</b>
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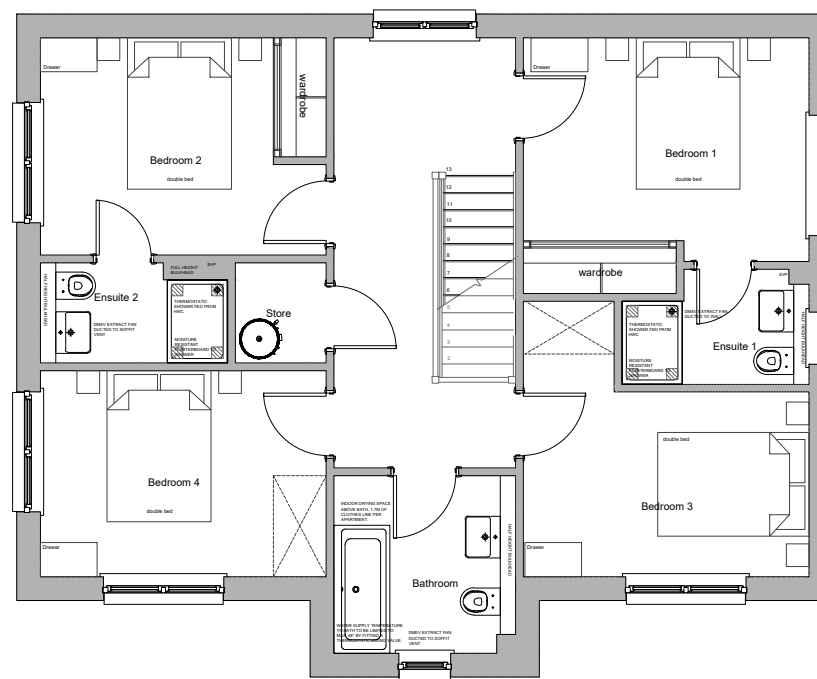
House Name:  
**EVERETT GARDEN ROOM 18**

**ARTISTRY RANGE**

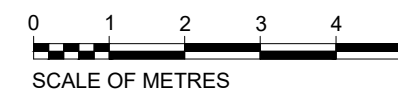
Drawing No: <b>18-EV-GR-12</b>	Rev:
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Ground Floor Layout



First Floor



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Drawing Title:

**Planning Floor Plans**  
All Divisions

Scale: <b>1:100</b>	Date: <b>MAY '18</b>	Drawn: <b>ME</b>
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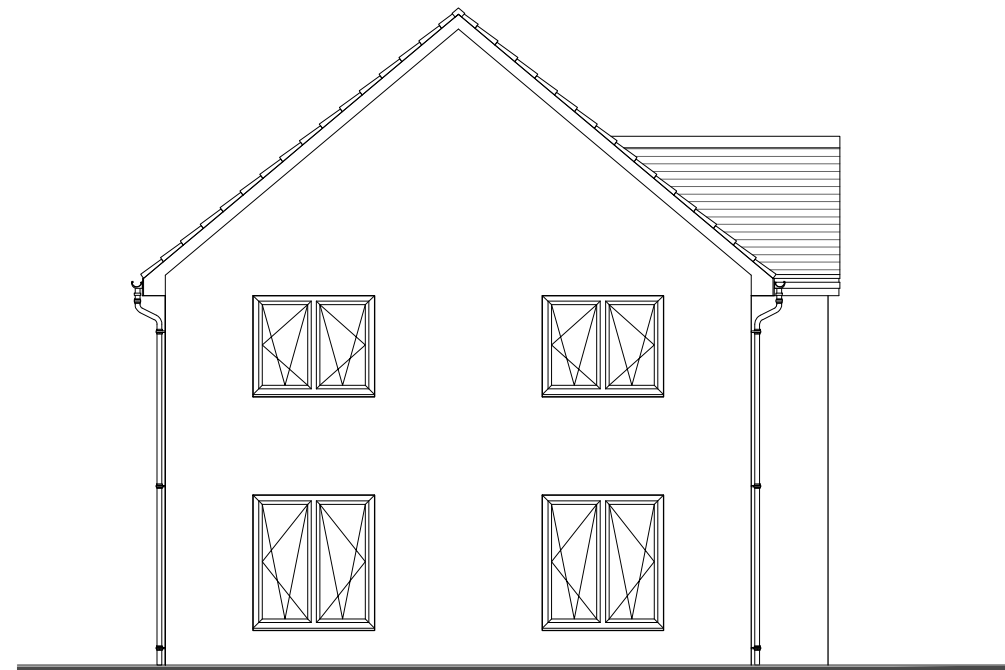
House Name:  
**GUIMARD 18**

**ARTISTRY RANGE**

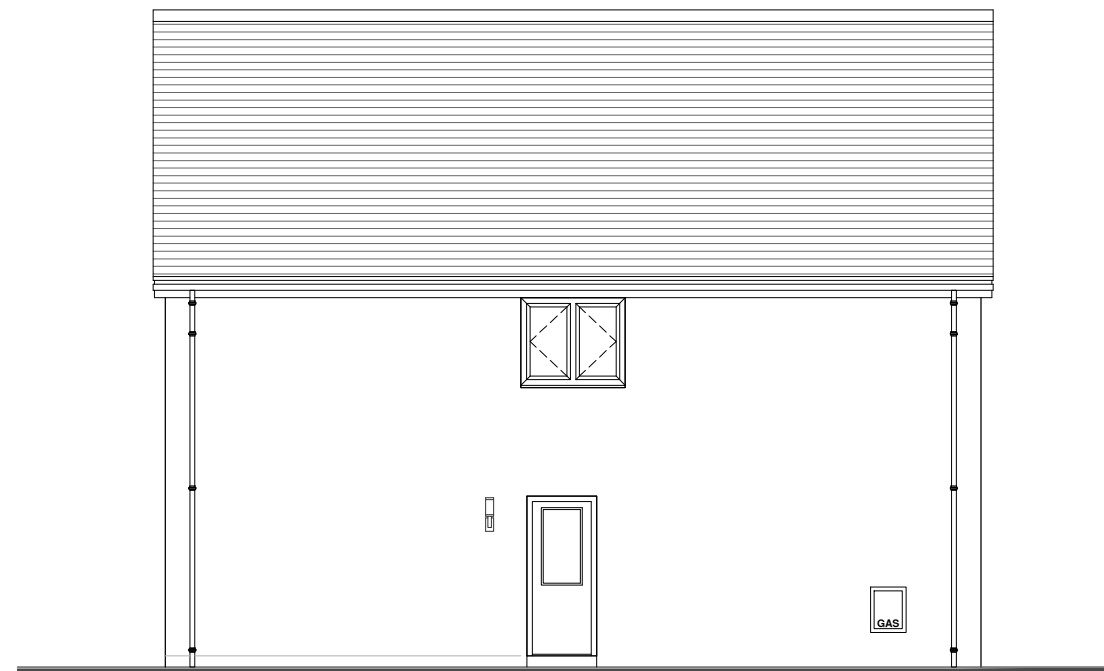
Drawing No: <b>18-GU-B-11</b>	Rev:
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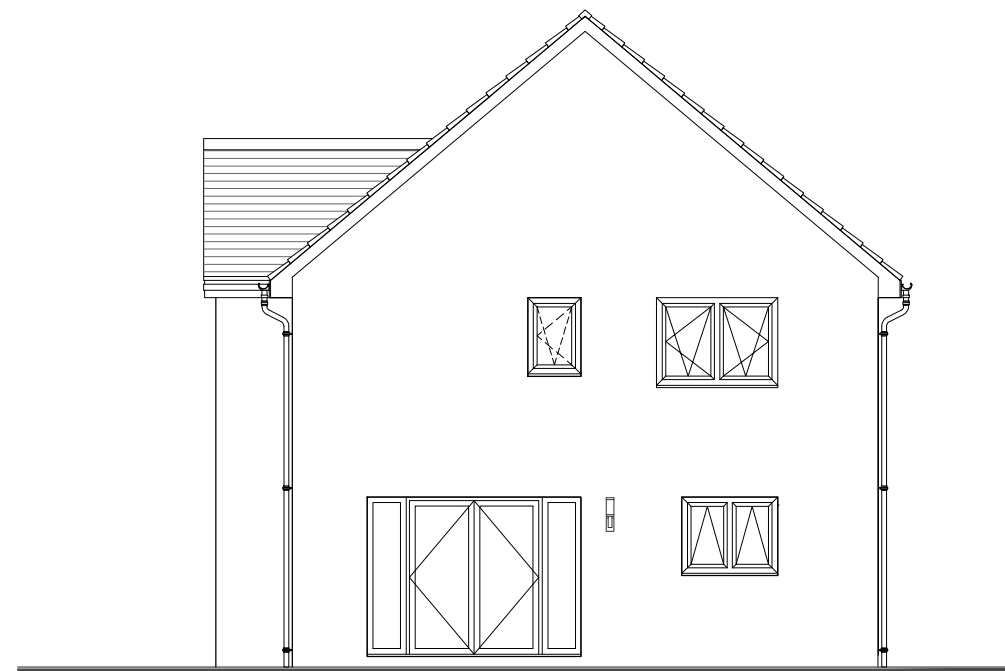
Front Elevation



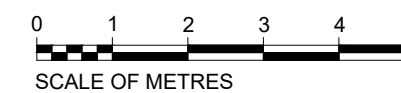
Side Elevation



Rear Elevation



Side Elevation



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Drawing Title:

**Planning Elevations**  
All Divisions

Scale:  
**1:100**

Date:  
**MAY '18**

Drawn:  
**ME**

House Name:

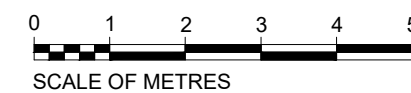
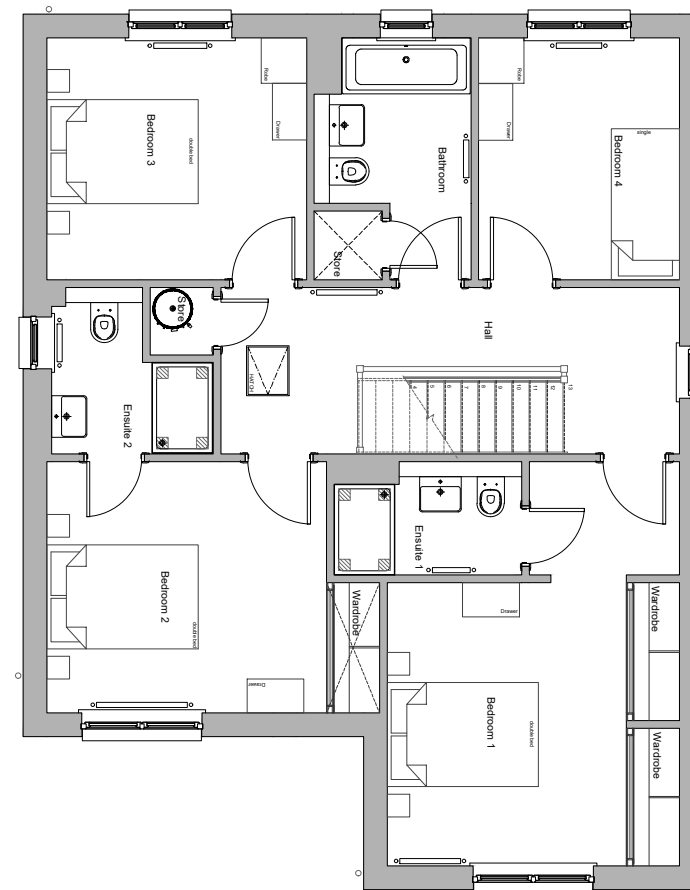
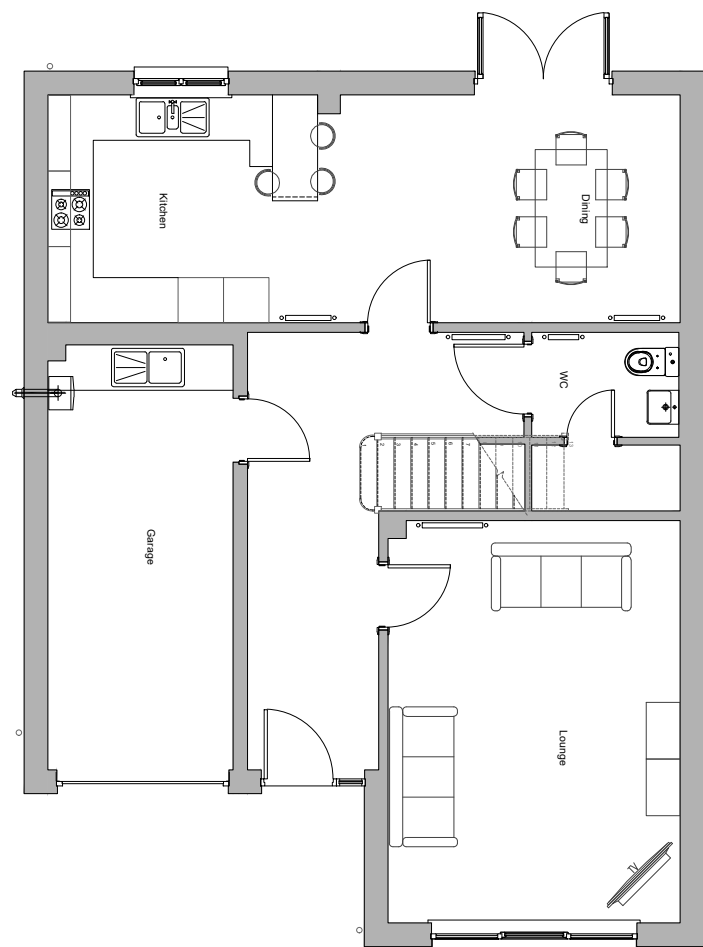
**GUIMARD 18**

**ARTISTRY RANGE**

Drawing No:

**18-GU-B-12**

Rev:



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Drawing Title:

**Planning Floor Plans**  
All Divisions

Scale: <b>1:100</b>	Date: <b>May 18</b>	Drawn: <b>GBR</b>
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House Name:

**HUTTON BASE 18**

**ARTISTRY RANGE**

Drawing No: <b>18-HU-B-11</b>	Rev: <b>-</b>
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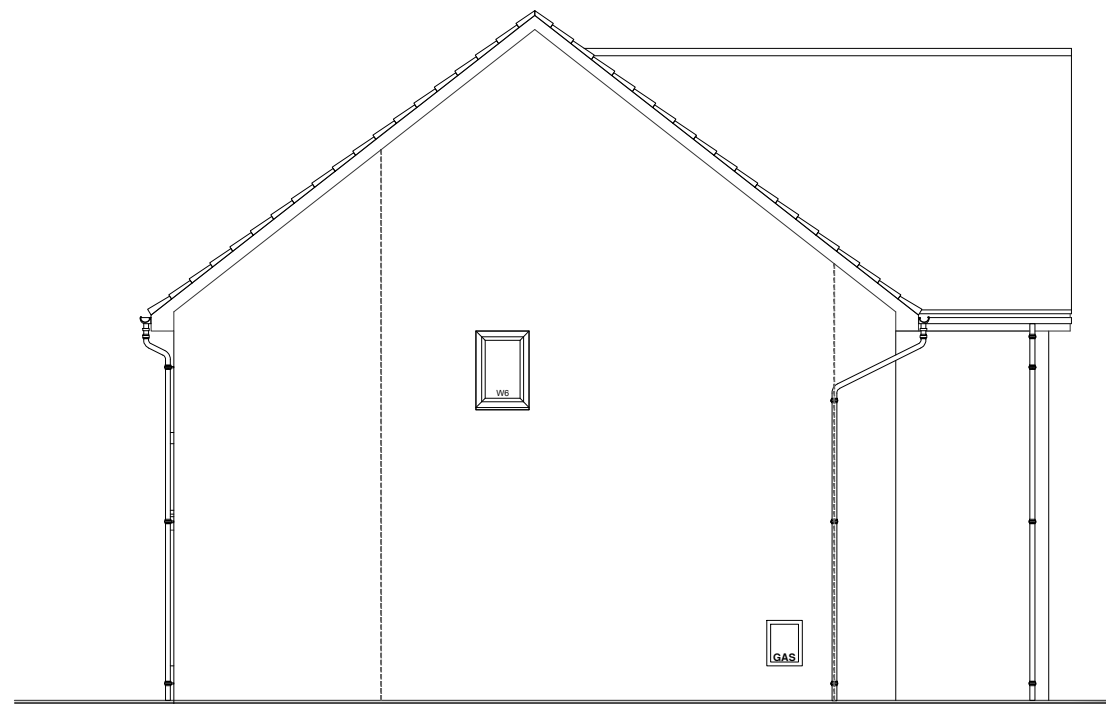
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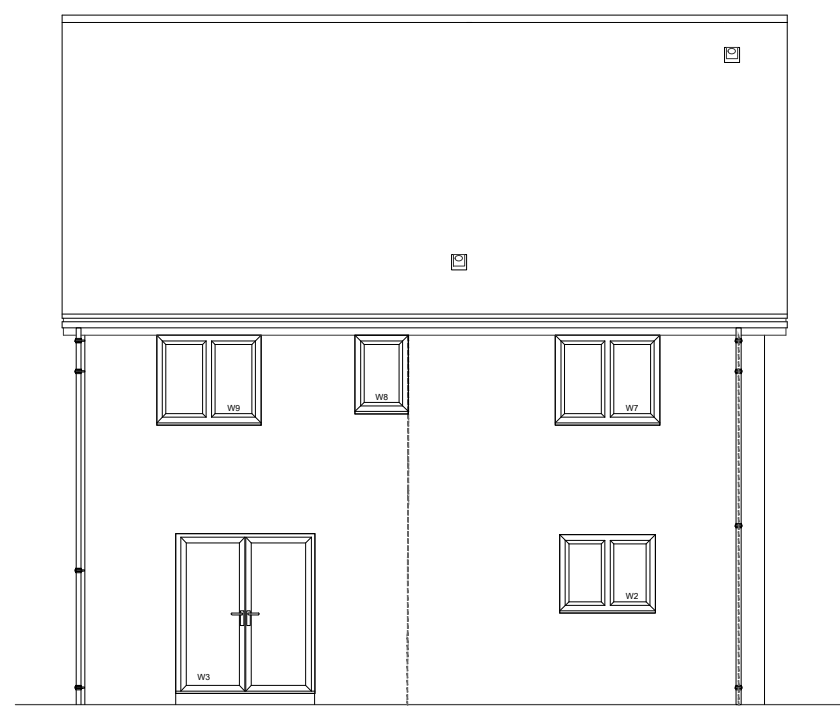
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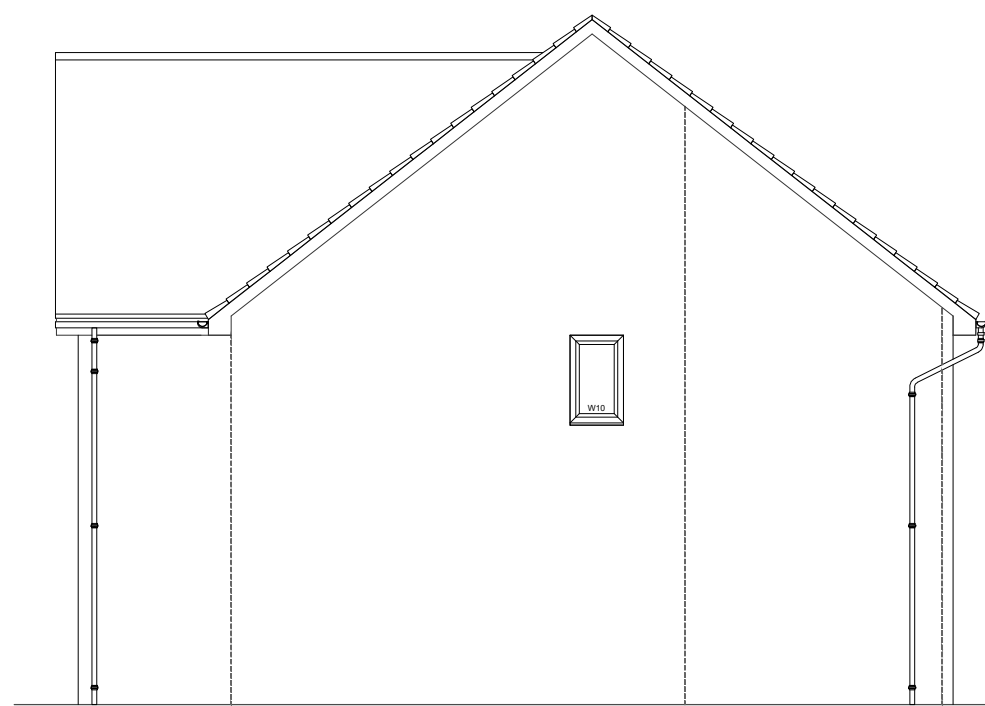
Side Elevation



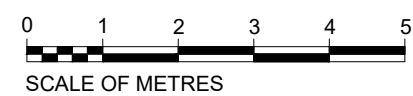
Front Elevation



Rear Elevation



Side Elevation



No.	Revision	Date	By



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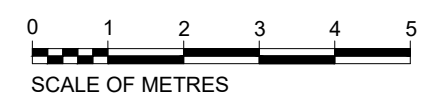
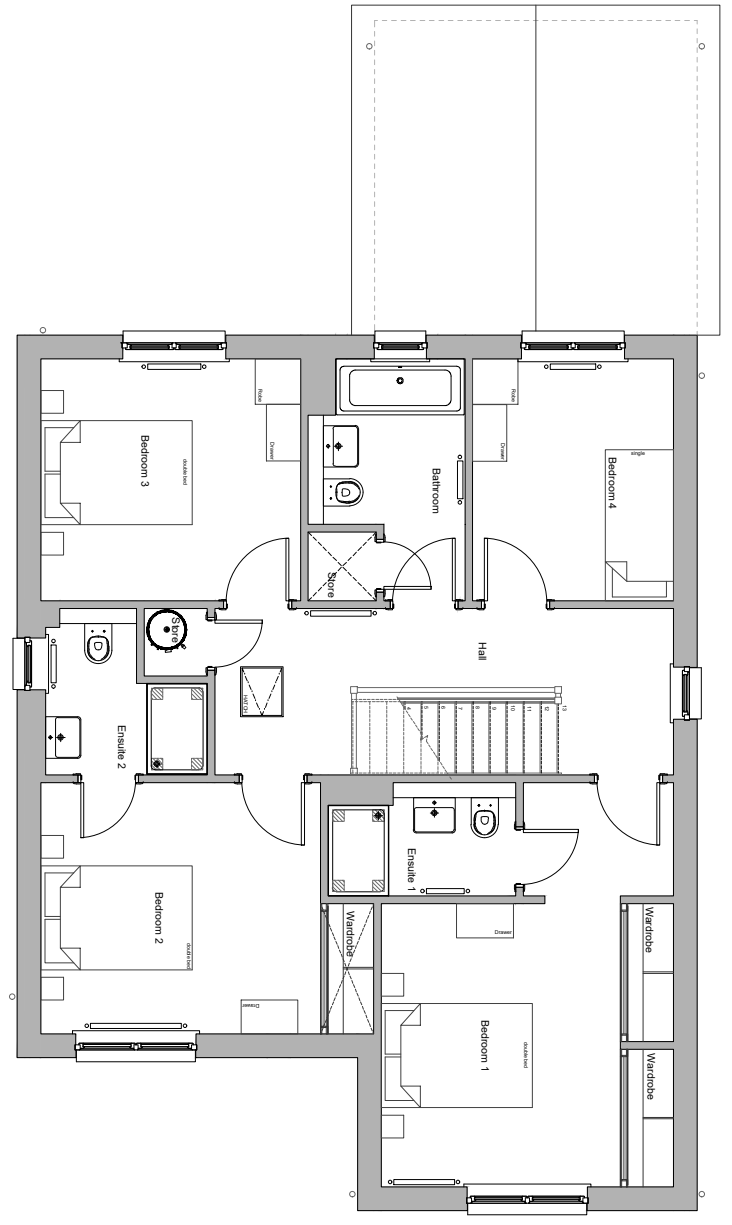
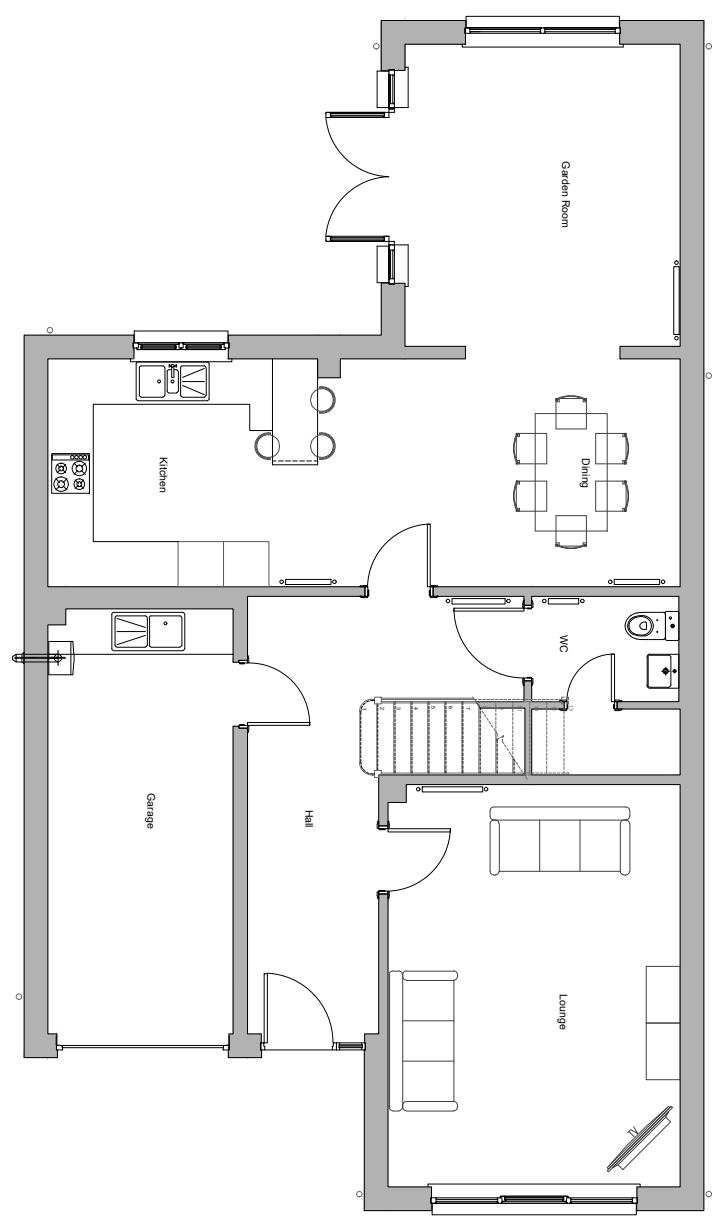
**Planning Elevations**  
 All Divisions

Scale: 1:100	Date: May 18	Drawn: GBR
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House Name:  
**HUTTON BASE 18**

**ARTISTRY RANGE**

Drawing No: 18-HU-B-12	Rev: -
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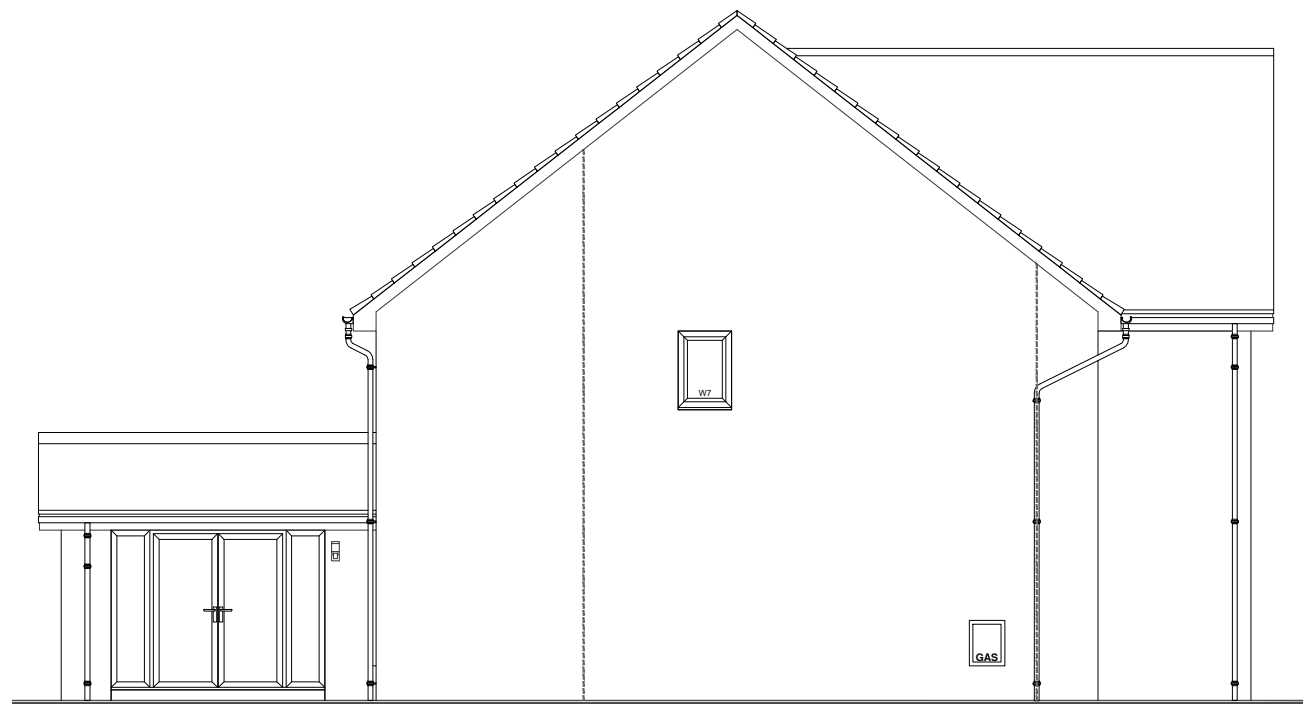
Drawing Title:  
**Planning Floor Plans**  
 All Divisions

Scale: 1:100	Date: May 18	Drawn: GBR
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House Name:  
**HUTTON GARDEN ROOM 18**

**ARTISTRY RANGE**

Drawing No: <b>18-HU-GR-11</b>	Rev: -
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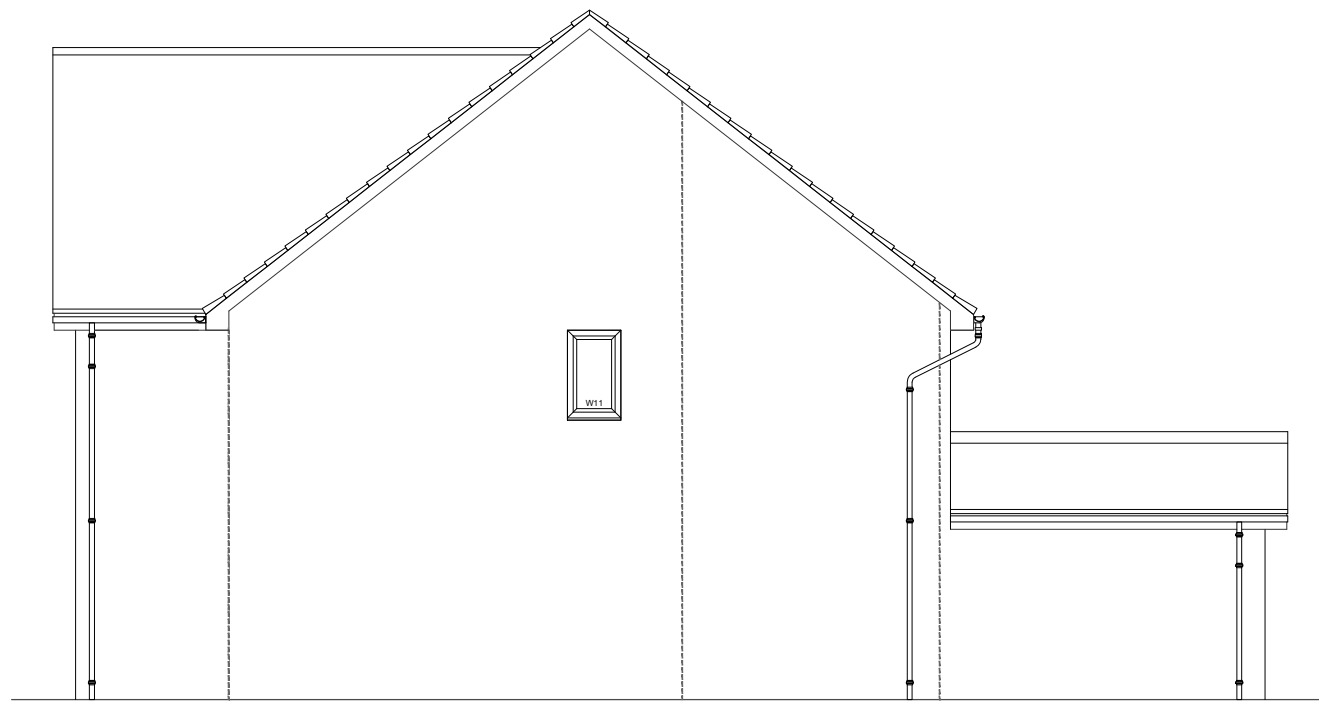
Side Elevation



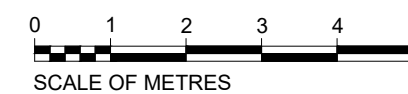
Front Elevation



Rear Elevation



Side Elevation



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Drawing Title:

**Planning Elevations**  
 All Divisions

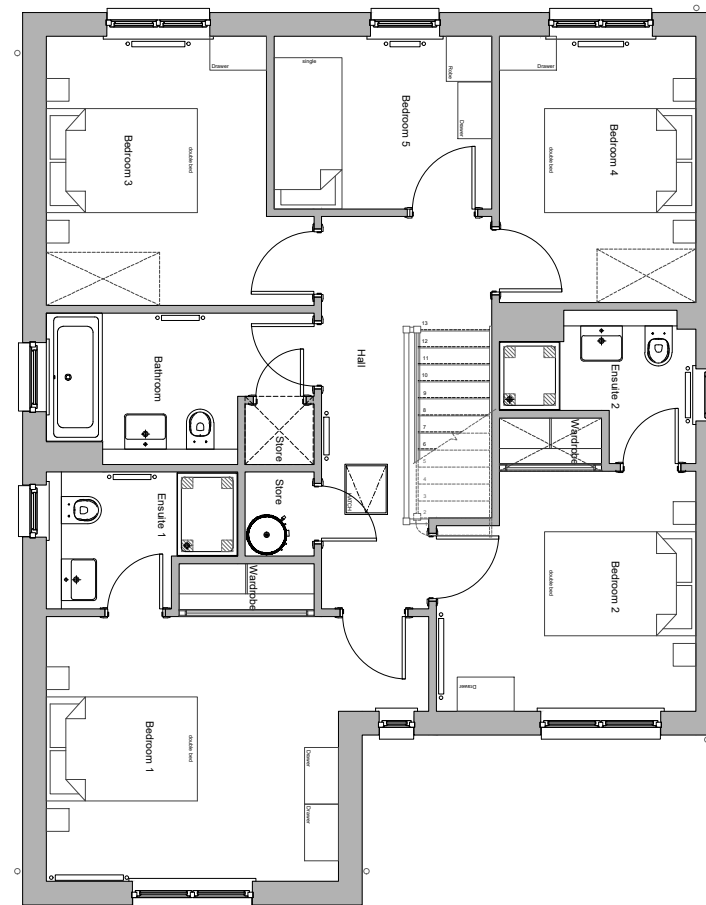
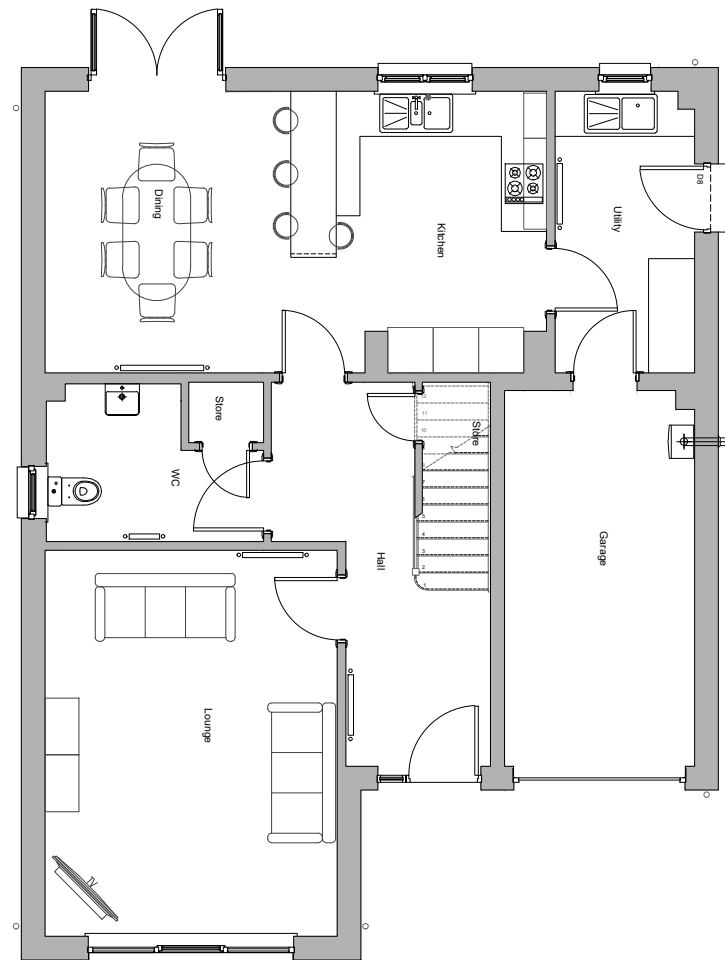
Scale: 1:100	Date: May 18	Drawn: GBR
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House Name:  
**HUTTON GARDEN ROOM 18**

**ARTISTRY RANGE**

Drawing No: 18-HU-GR-12	Rev: -
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Drawing Title:

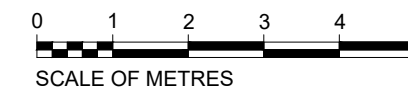
**Planning Floor Plans**  
 All Divisions

Scale: <b>1:100</b>	Date: <b>Jun 18</b>	Drawn: <b>GBR</b>
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House Name:  
**LAWRIE 18**

**ARTISTRY RANGE**

Drawing No: <b>18-LA-B-11</b>	Rev: <b>-</b>
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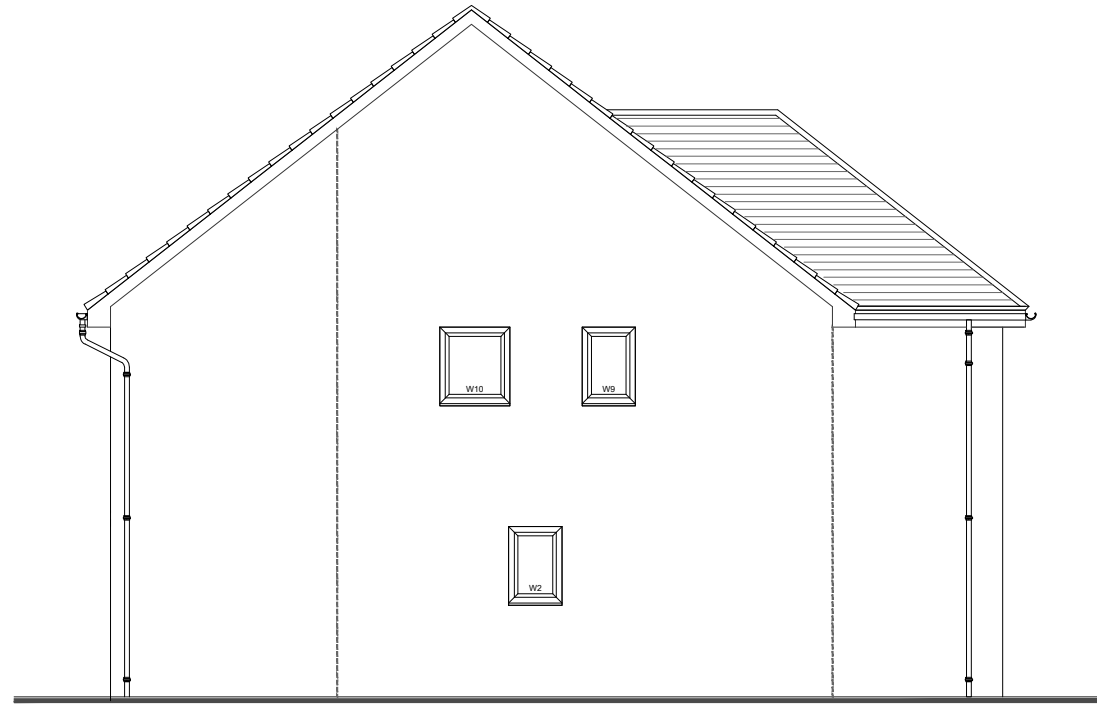
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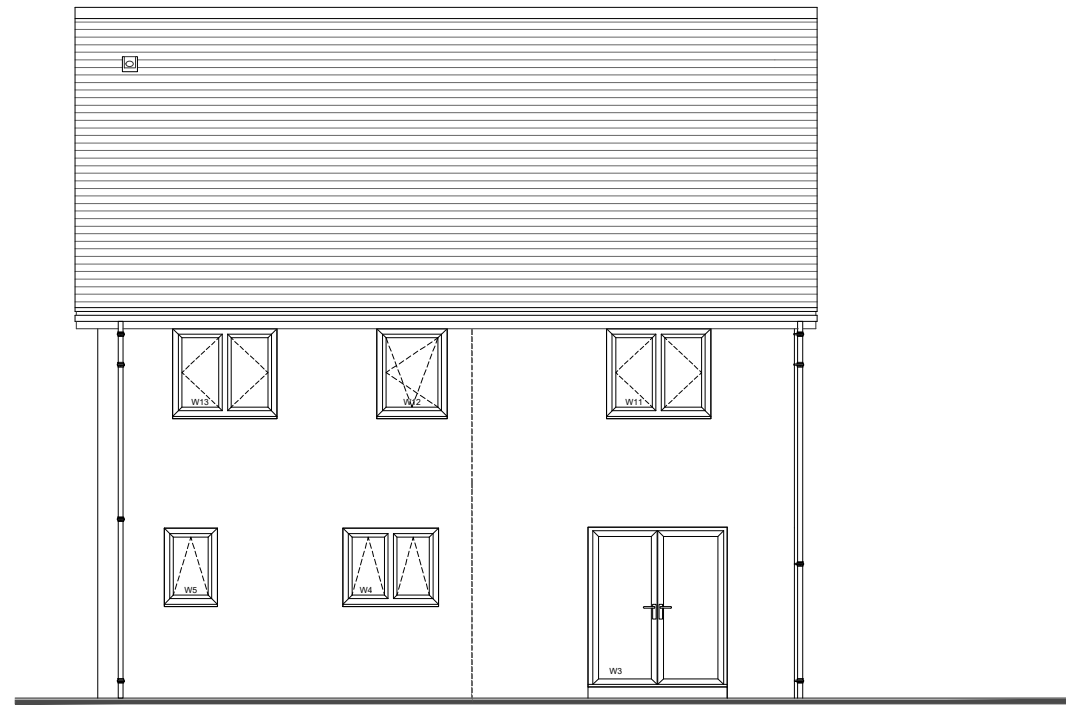
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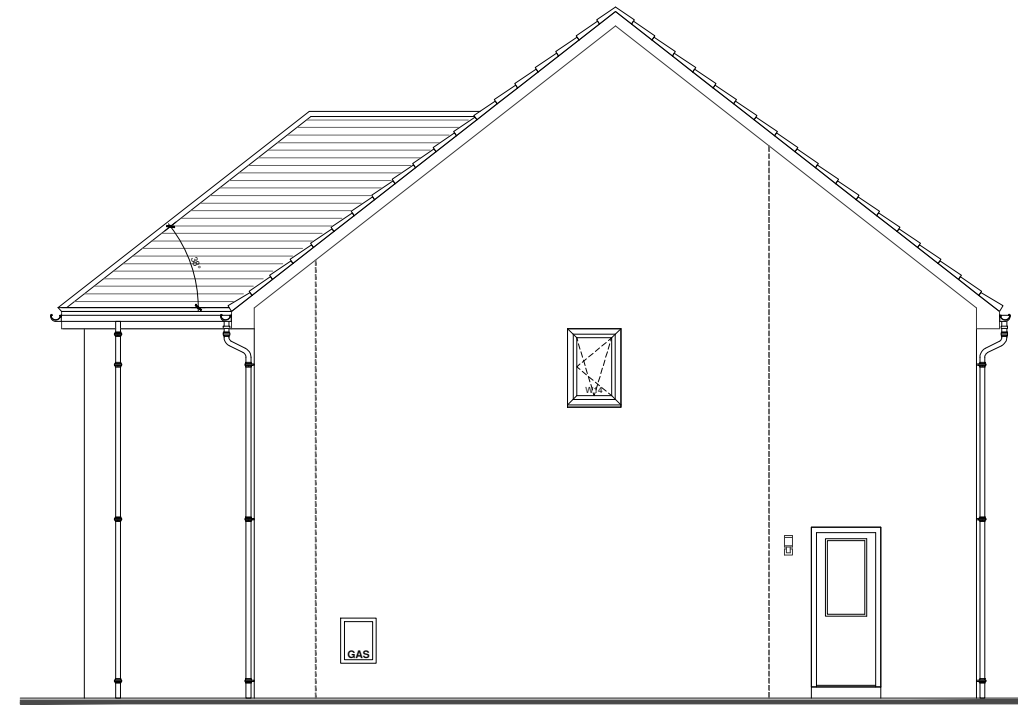
Side Elevation



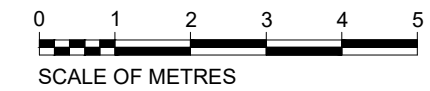
Front Elevation



Rear Elevation



Side Elevation



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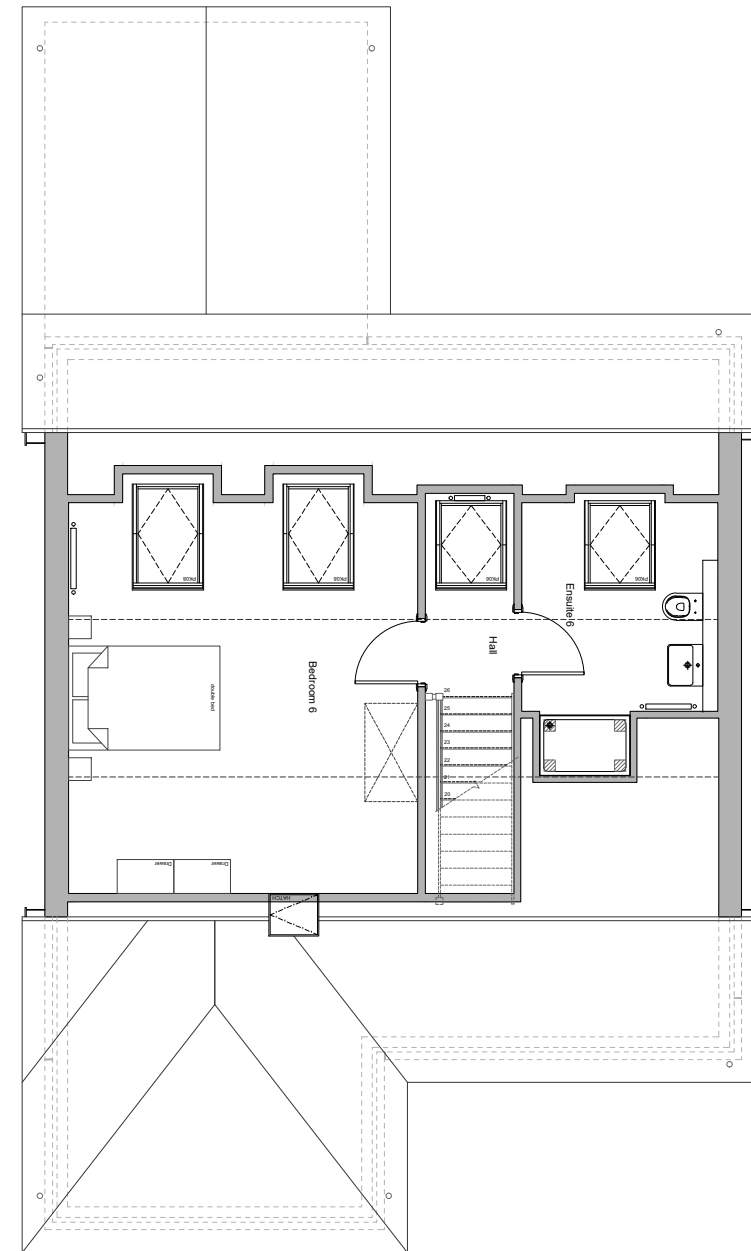
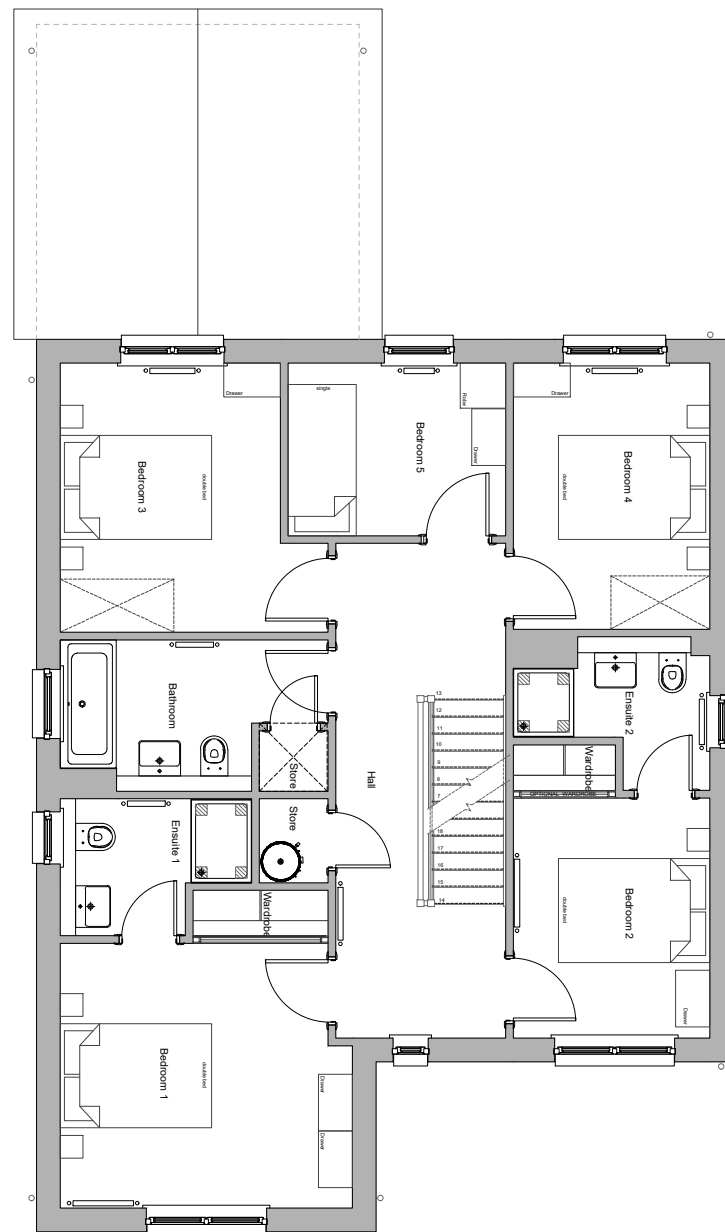
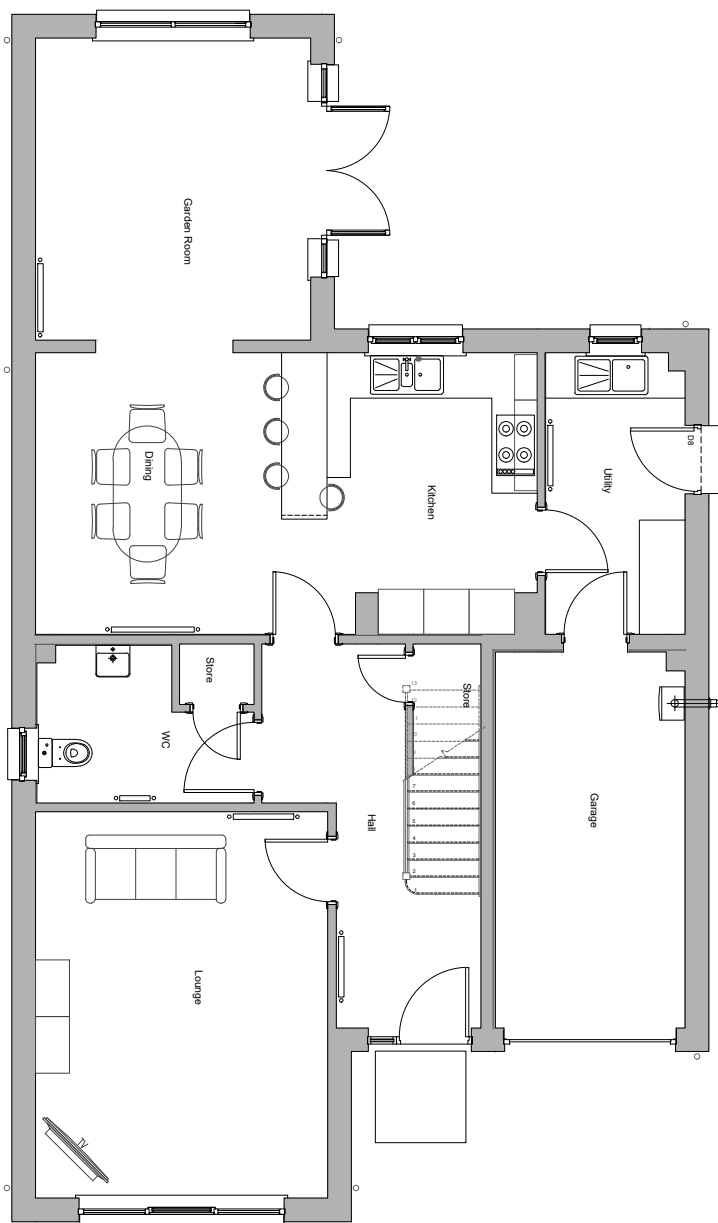
**Planning Elevations**  
 All Divisions

Scale: <b>1:100</b>	Date: <b>June 18</b>	Drawn: <b>GBR</b>
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House Name:  
**LAWRIE 18**

**ARTISTRY RANGE**

Drawing No: <b>18-LA-B-12</b>	Rev: <b>-</b>
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No. Revision Date By



Robertson House, Castle Business Park, Stirling FK9 4TZ

Tel: 01786 431600 Fax: 01786 431650

Email: info@robertson.co.uk

www.robertsonhomes.co.uk

Drawing Title:

**Planning Floor Plans**  
All Divisions

Scale:  
1:100

Date:  
May 18

Drawn:  
GBR

House Name:

**LAWRIE GRAND 18**

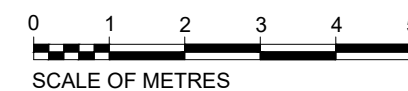
**ARTISTRY RANGE**

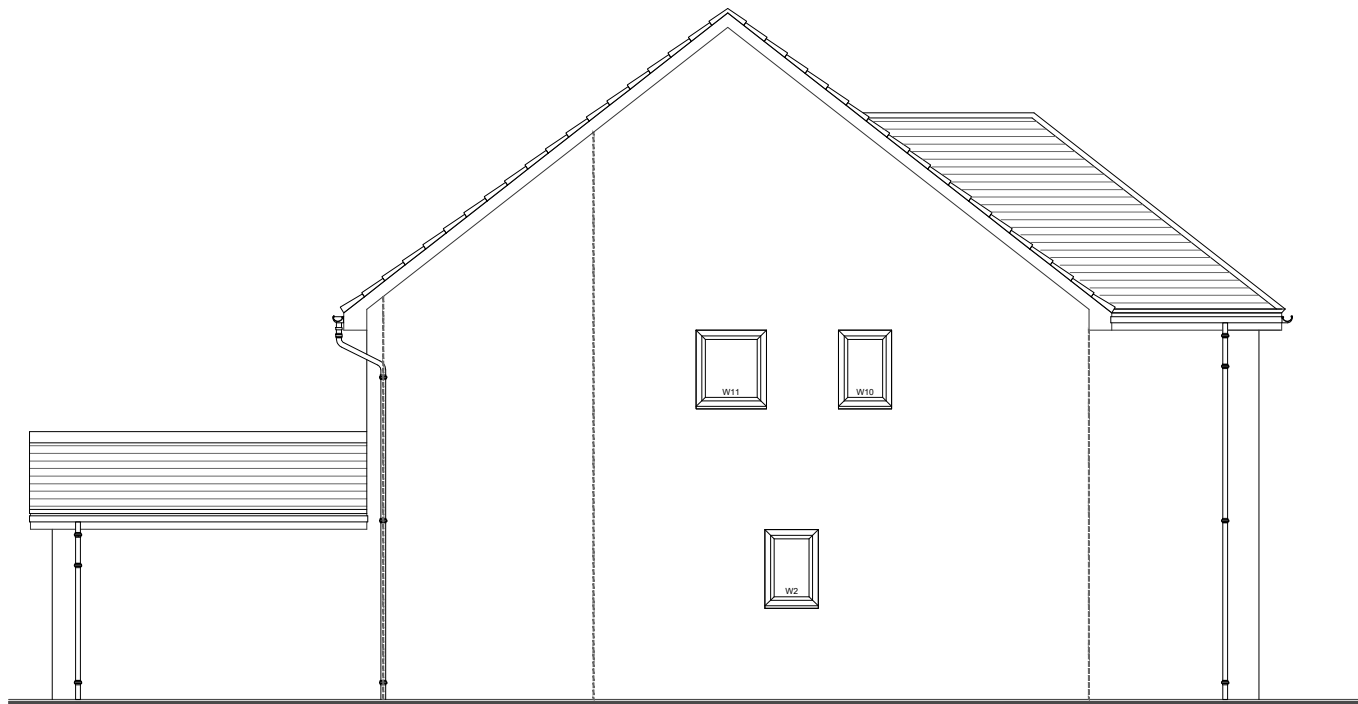
Drawing No:

**18-LA-G-11**

Rev:

-

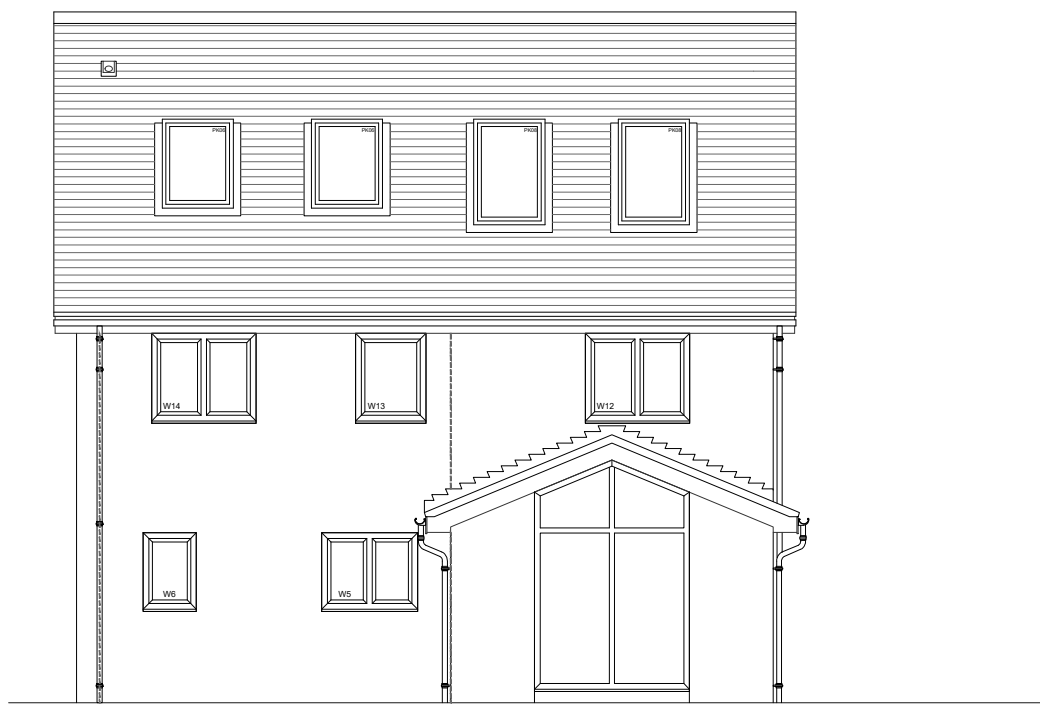




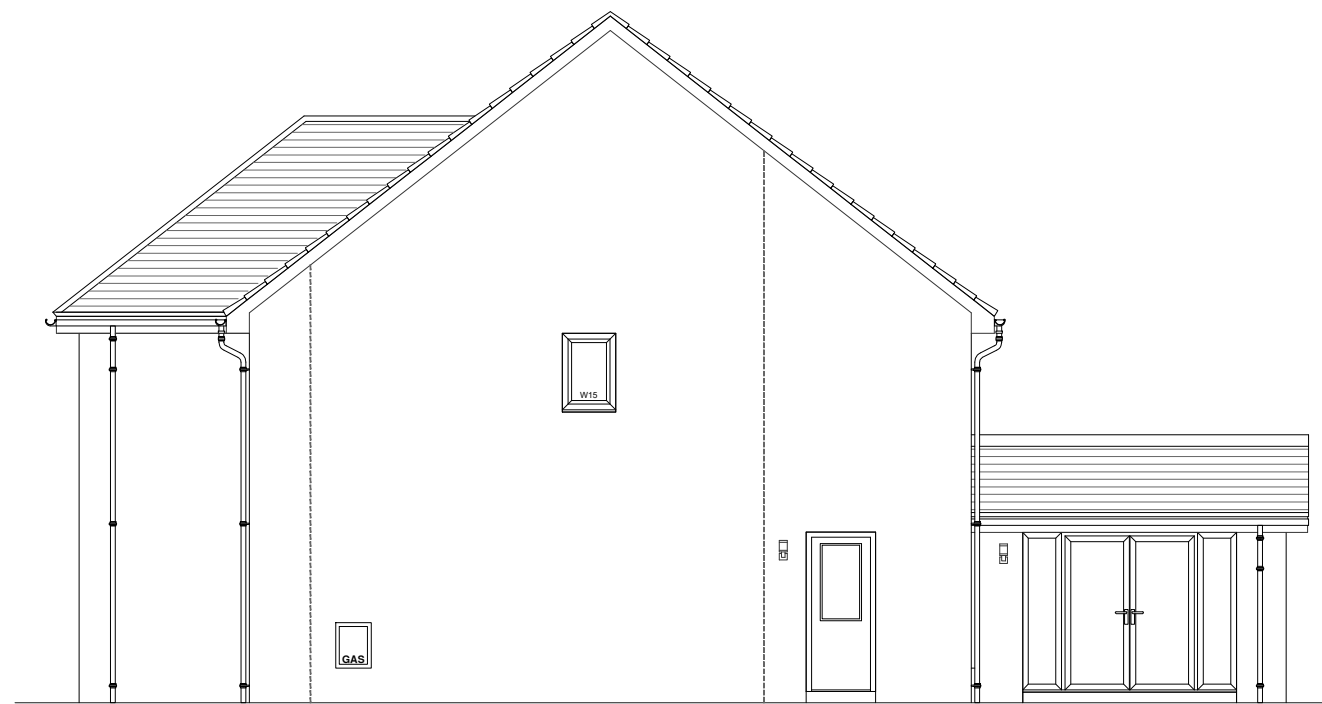
Side Elevation



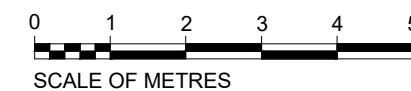
Front Elevation



Rear Elevation



Side Elevation



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**Planning Elevations**  
All Divisions

Scale:  
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Date:  
May 18

Drawn:  
GBR

House Name:

**LAWRIE GRAND 18**

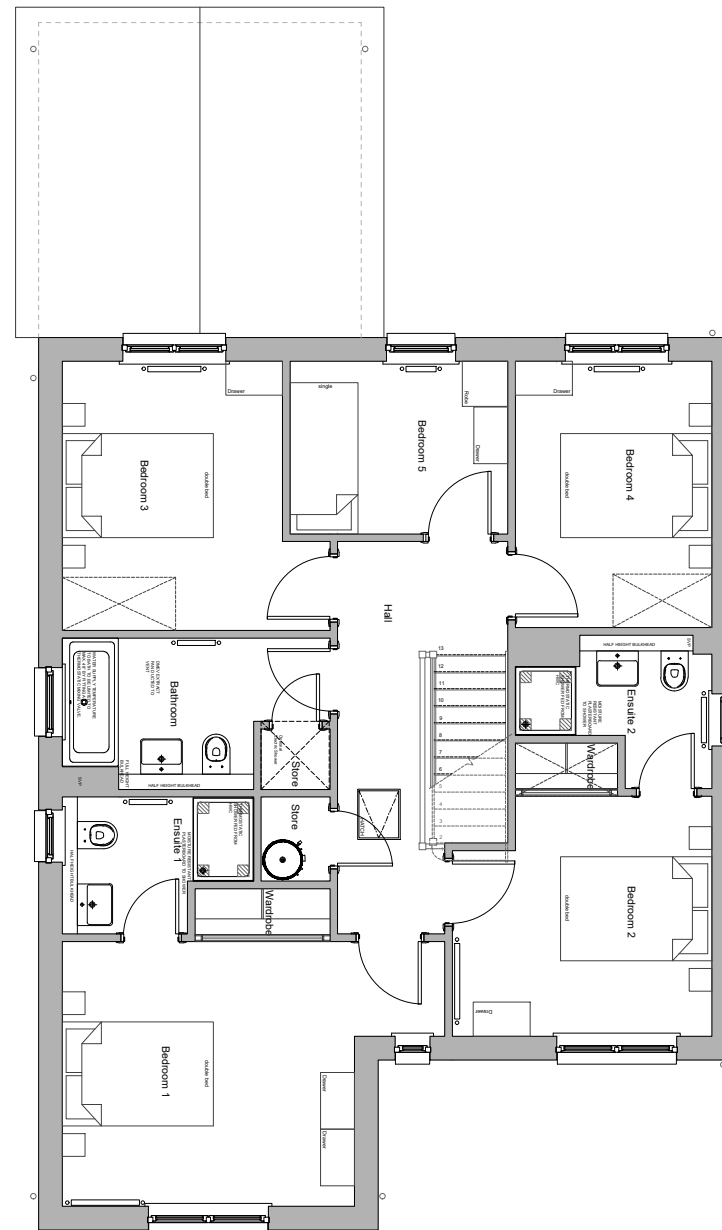
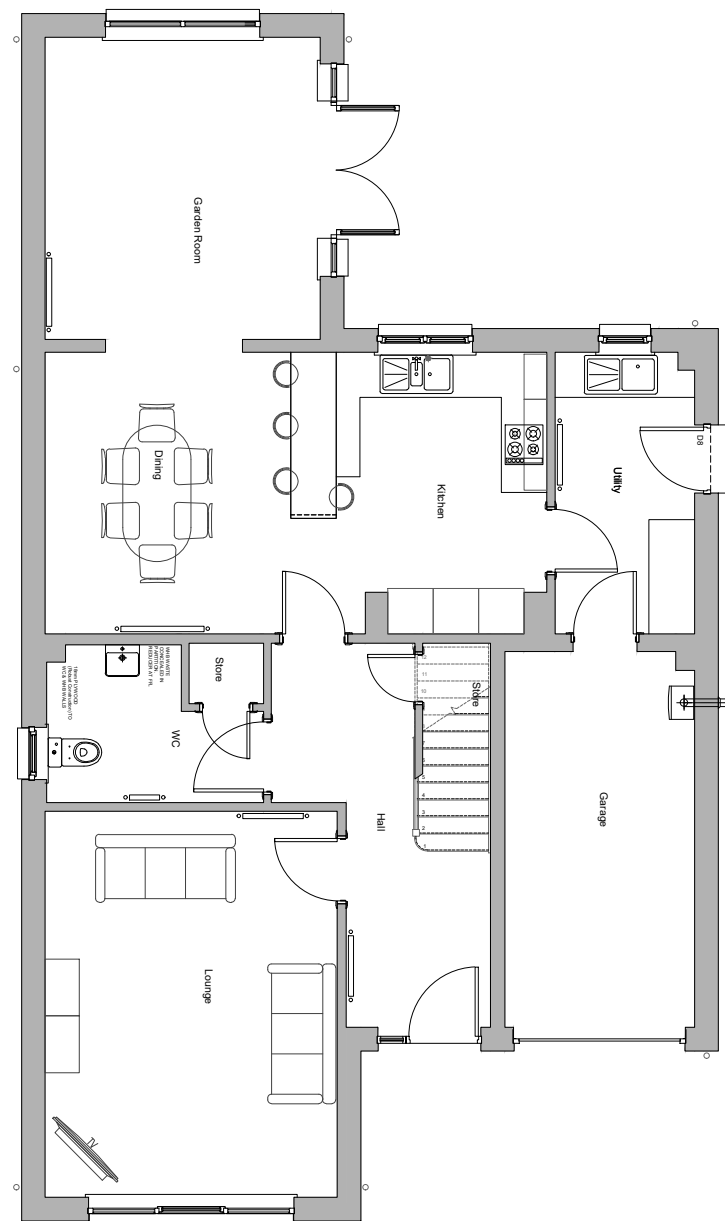
**ARTISTRY RANGE**

Drawing No:

**18-LA-G-12**

Rev:

-



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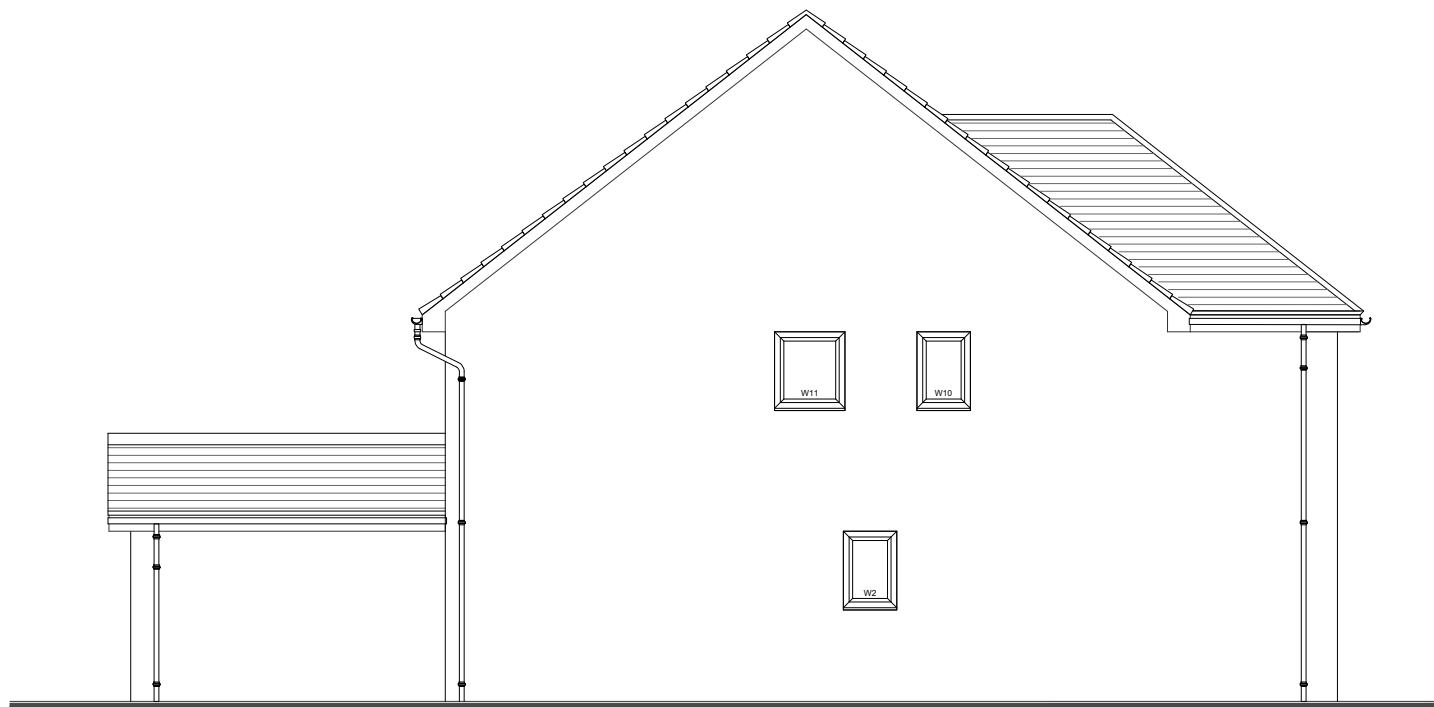
**Planning Floor Plans**  
 All Divisions

Scale: <b>1:100</b>	Date: <b>Jun 18</b>	Drawn: <b>GBR</b>
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House Name:  
**LAWRIE GARDEN ROOM 18**

**ARTISTRY RANGE**

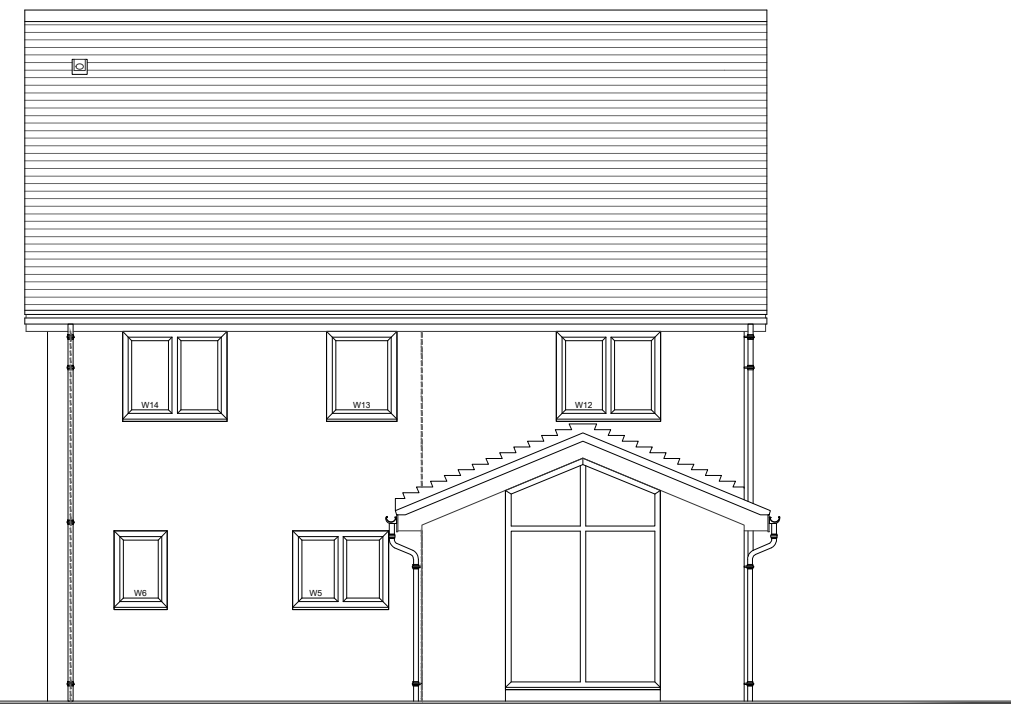
Drawing No: <b>18-LA-GR-11</b>	Rev: <b>-</b>
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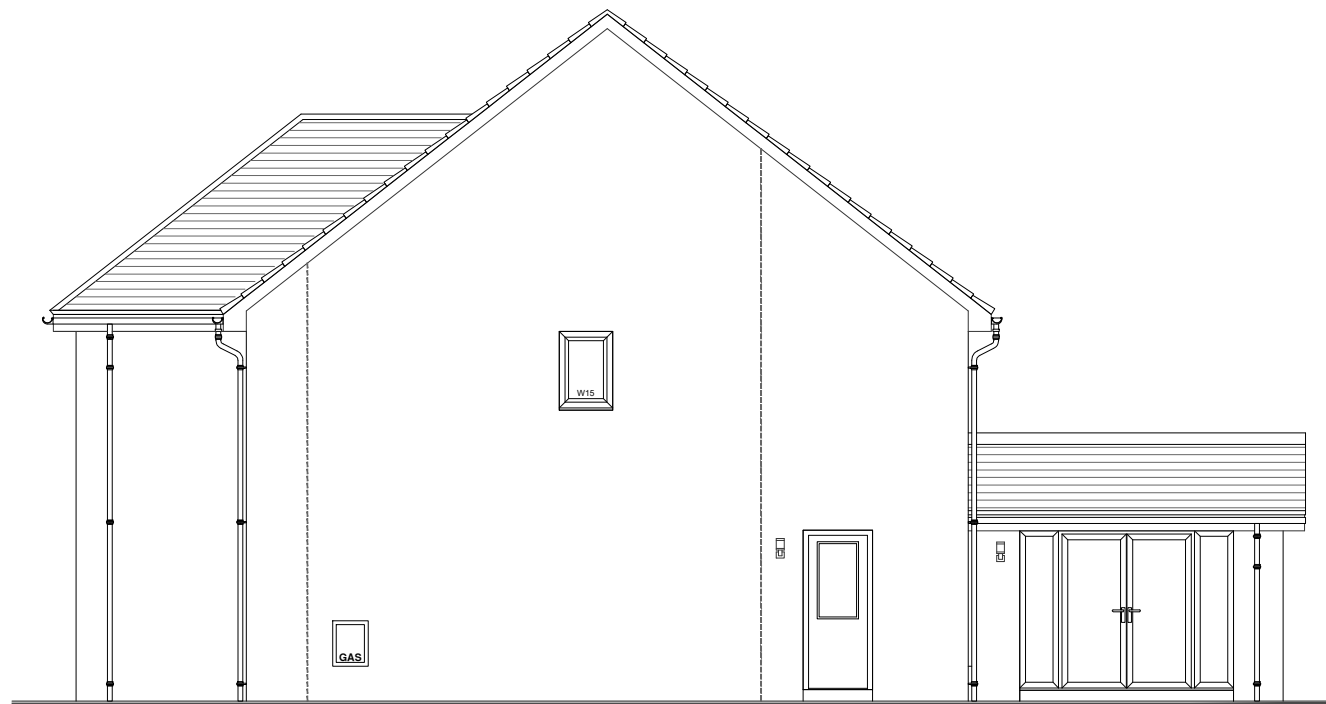
Side Elevation



Front Elevation



Rear Elevation



Side Elevation

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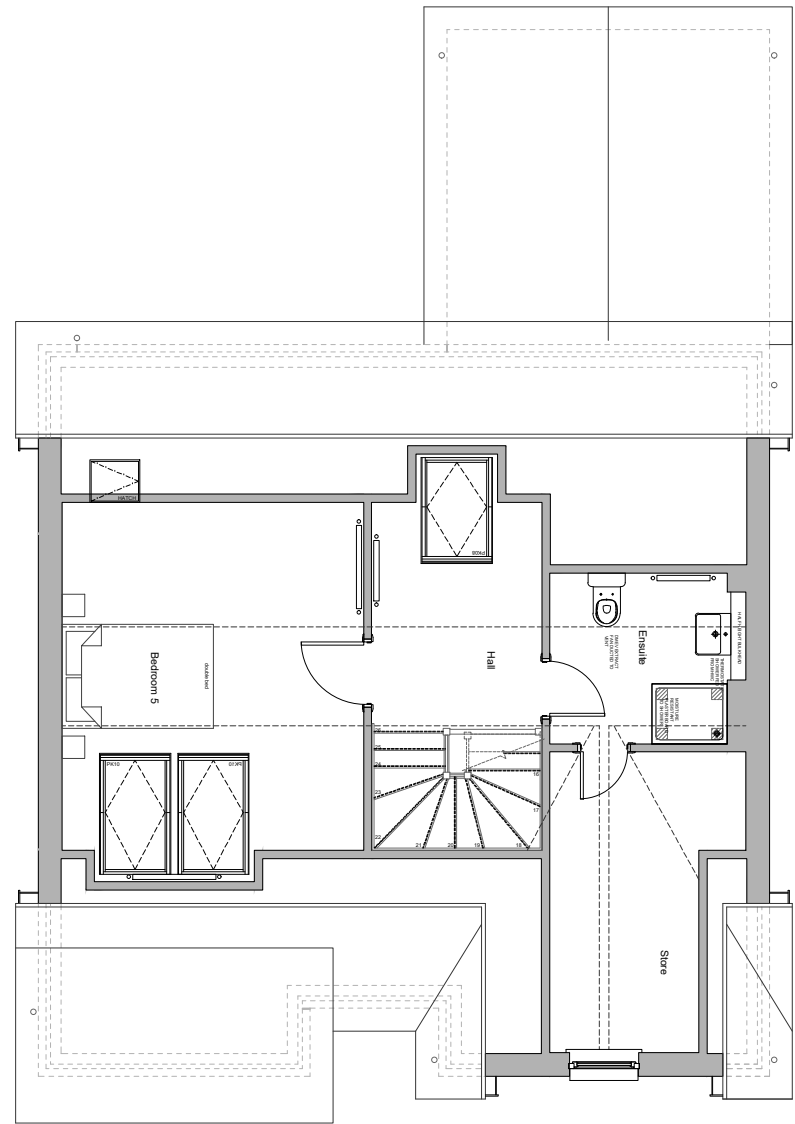
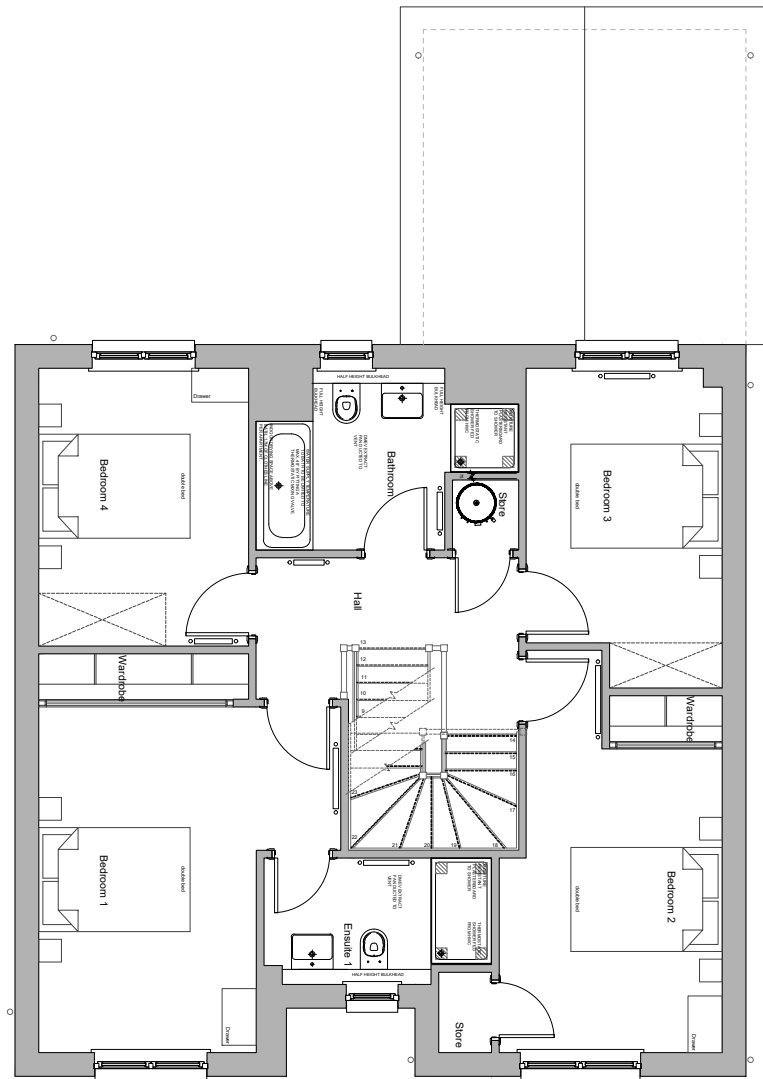
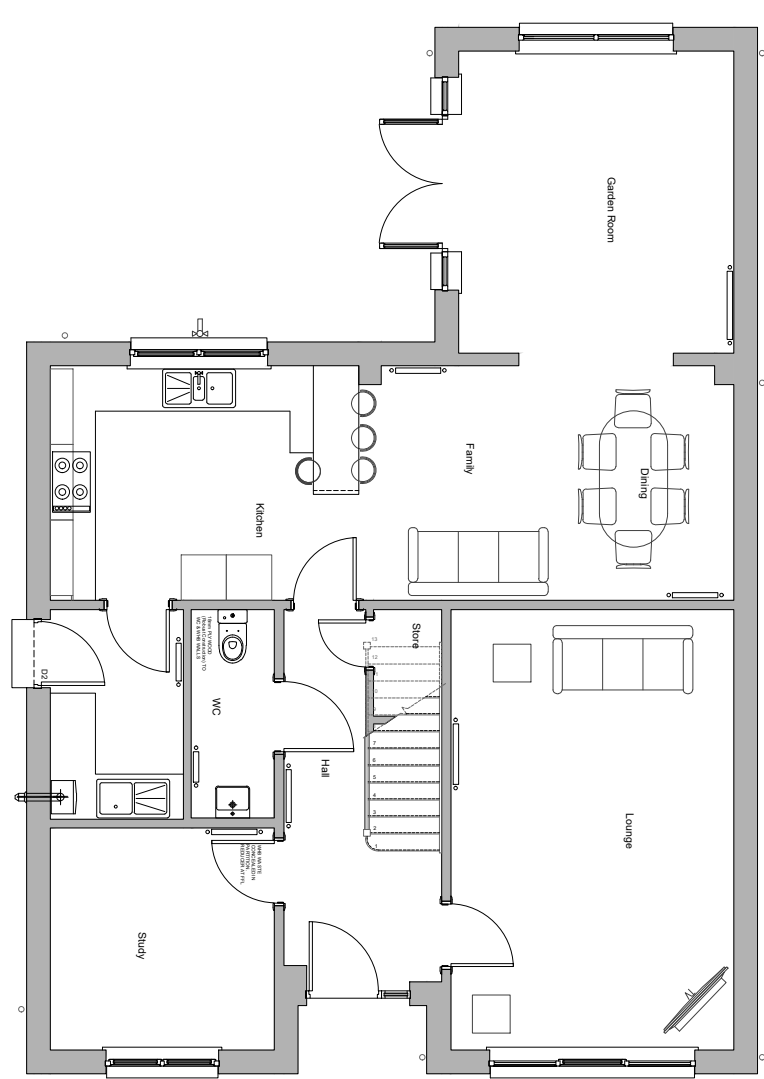
**Planning Elevations**  
All Divisions

Scale: <b>1:100</b>	Date: <b>June 18</b>	Drawn: <b>GBR</b>
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House Name:  
**LAWRIE GARDEN ROOM 18**

**ARTISTRY RANGE**

Drawing No: <b>18-LA-GR-12</b>	Rev: <b>-</b>
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Drawing Title:

**Planning Floor Plans**  
 All Divisions

Scale: <b>1:100</b>	Date: <b>June 18</b>	Drawn: <b>GBR</b>
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House Name:  
**LEONARDO GRAND 18**

**ARTISTRY RANGE**

Drawing No: <b>18-LE-G-11</b>	Rev: <b>-</b>
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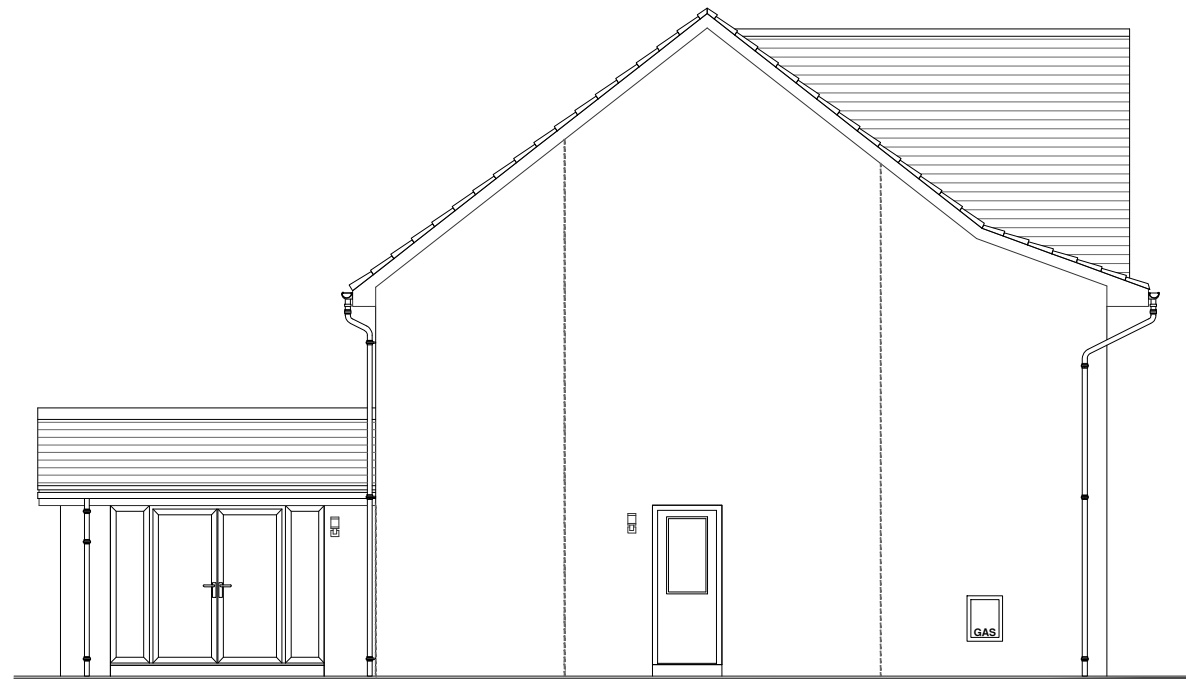
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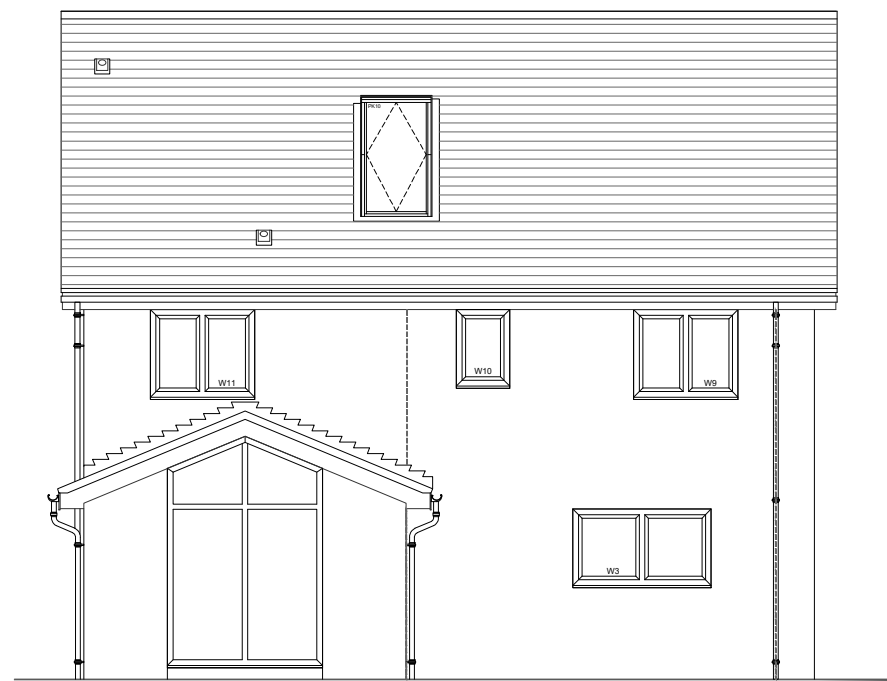
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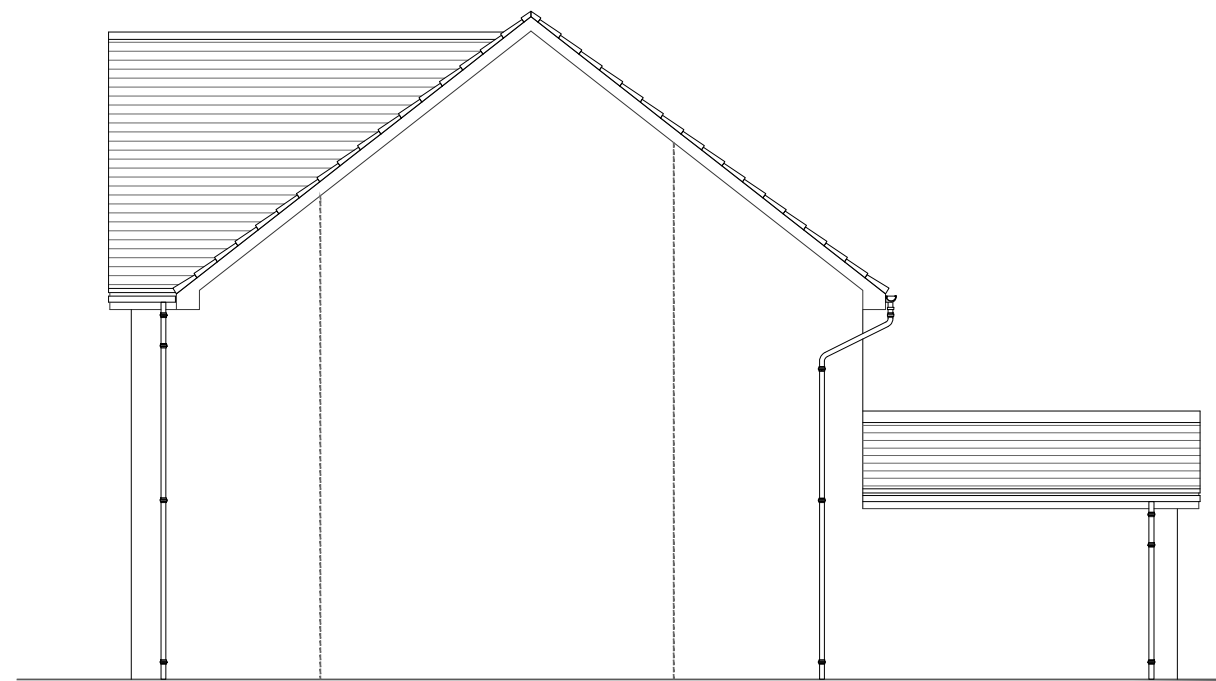
Side Elevation



Front Elevation



Rear Elevation



Side Elevation

No.	Revision	Date	By
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Drawing Title:

**Planning Elevations**  
All Divisions

Scale: 1:100	Date: Jun 18	Drawn: GBR
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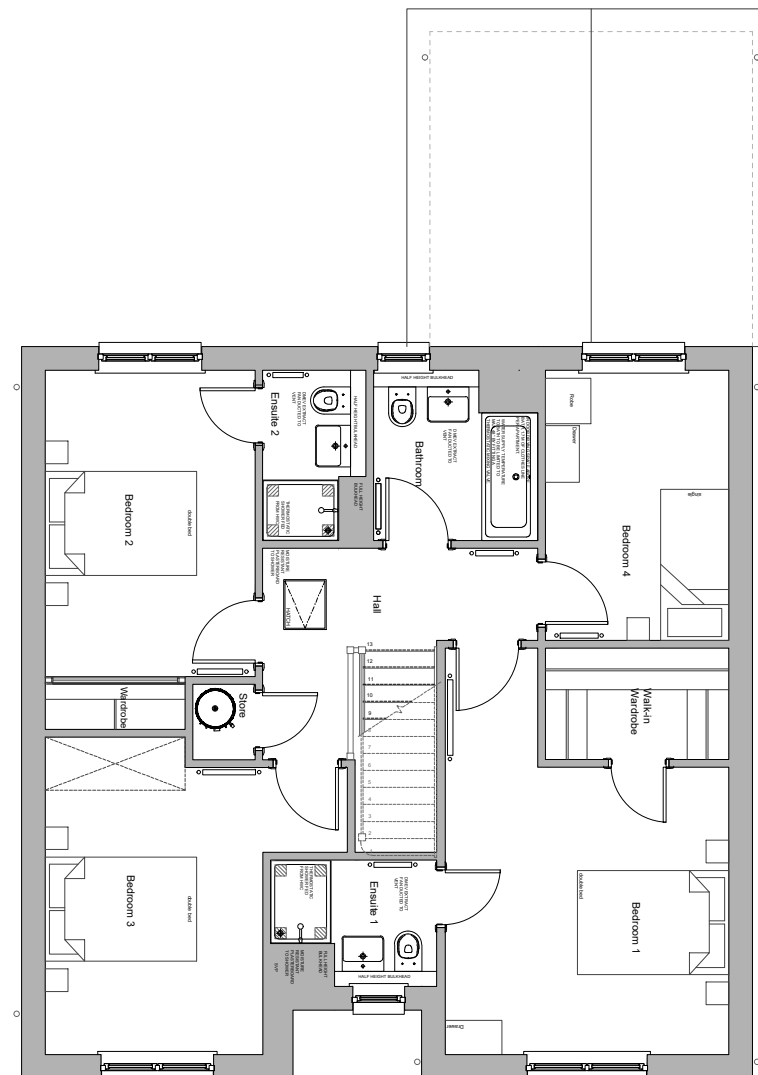
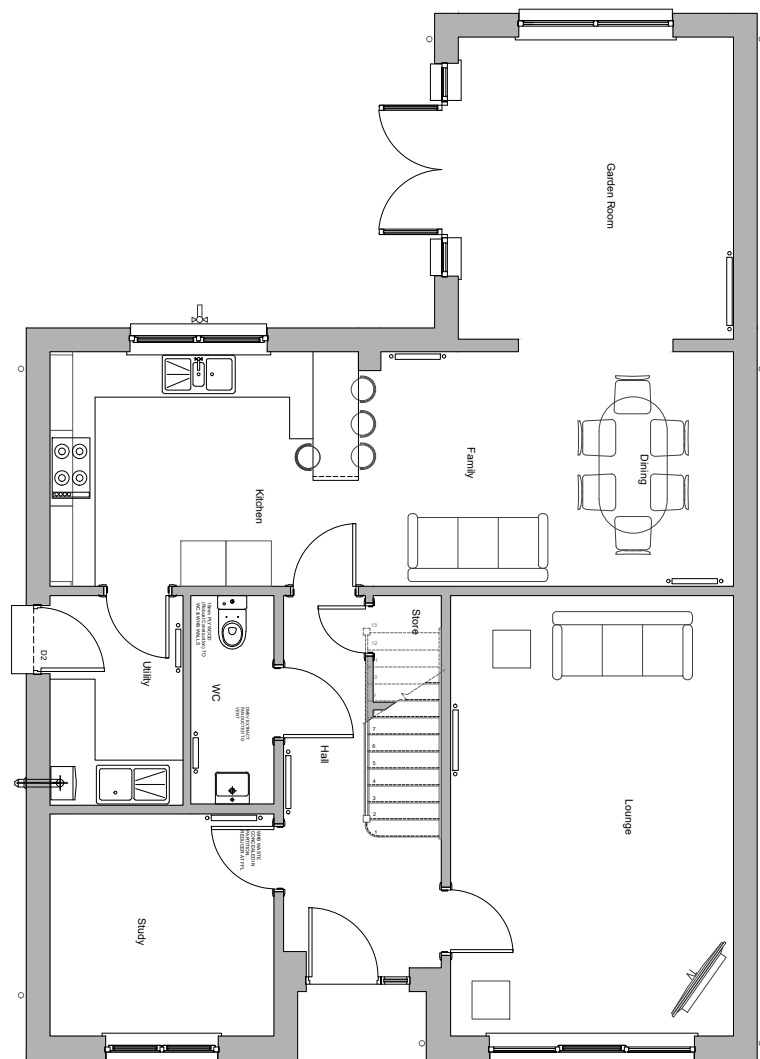
House Name:

**LEONARDO GRAND 18**

**ARTISTRY RANGE**

Drawing No: <b>18-LE-G-12</b>	Rev: -
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Drawing Title:

**Planning Floor Plans**  
 All Divisions

Scale: 1:100	Date: June 18	Drawn: GBR
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House Name:  
**LEONARDO & GR 18**

**ARTISTRY RANGE**

Drawing No: 18-LE-GR-11	Rev: -
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**Planning Elevations**  
All Divisions

Scale:  
1:100

Date:  
May 18

Drawn:  
GBR

House Name:

**LEONARDO & GR 18**

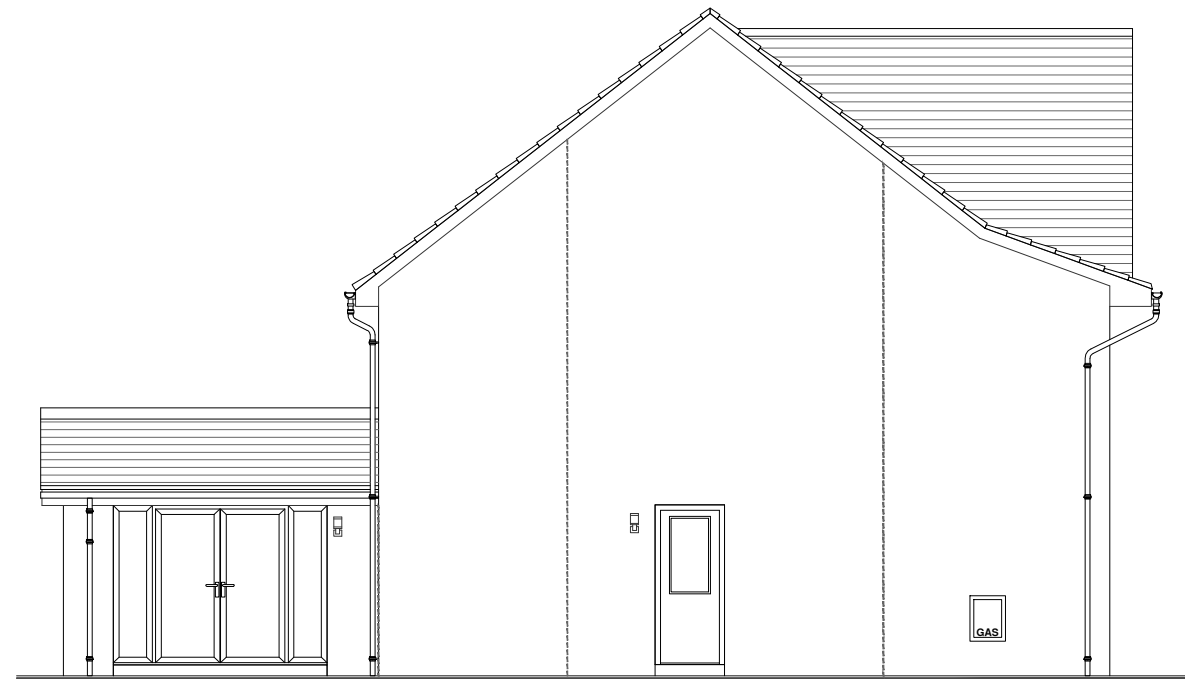
**ARTISTRY RANGE**

Drawing No:

**18-LE-GR-12**

Rev:

-



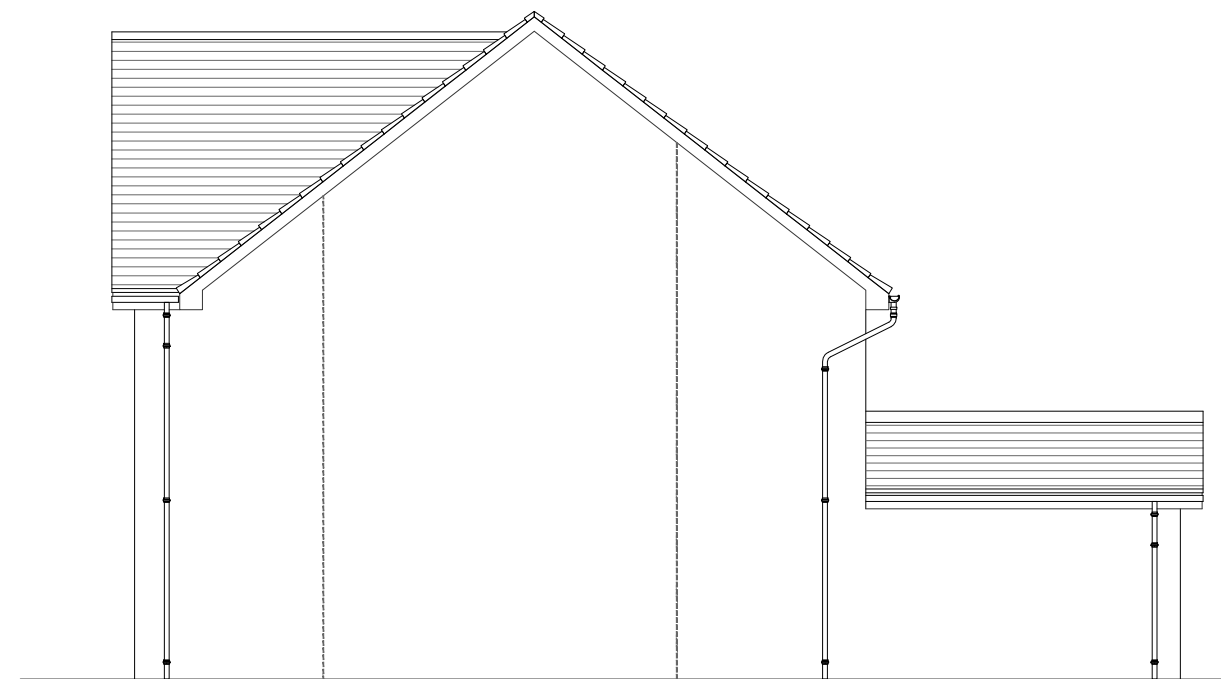
Side Elevation



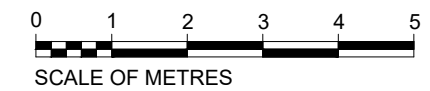
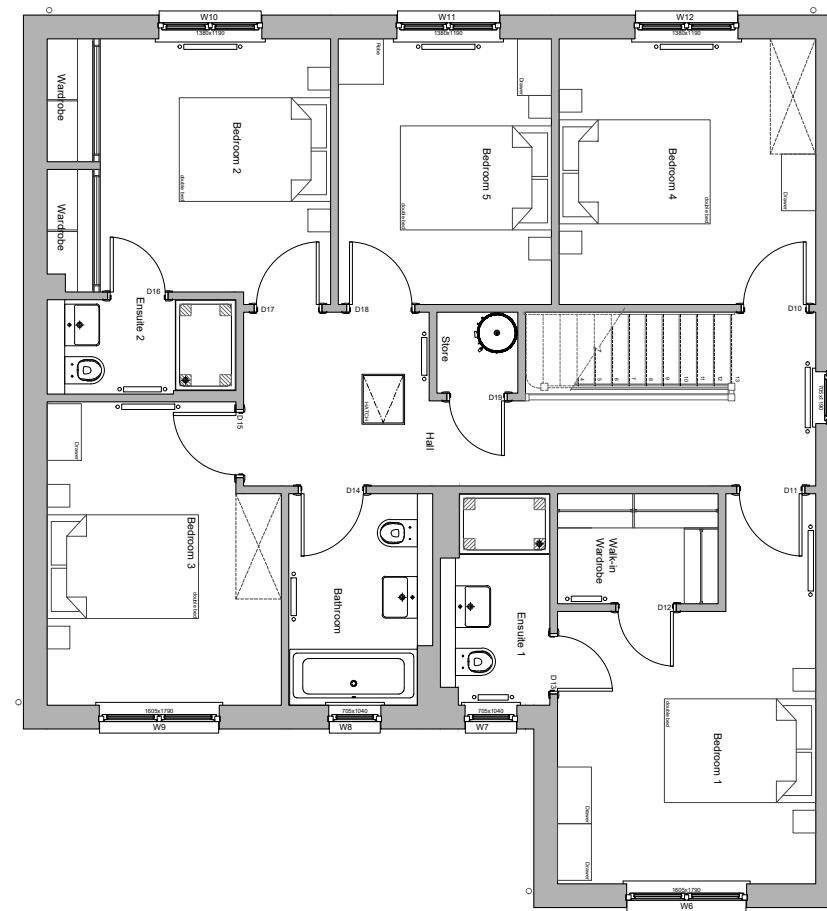
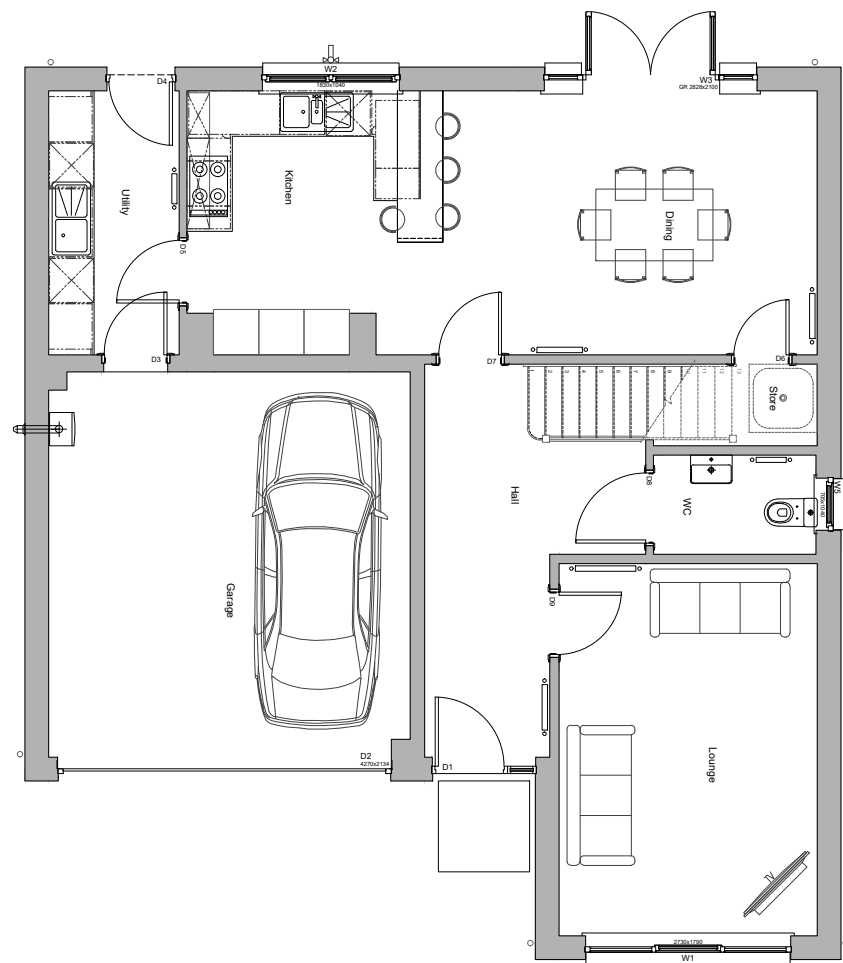
Front Elevation



Rear Elevation



Side Elevation



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Drawing Title:

**Planning Floor Plans**  
All Divisions

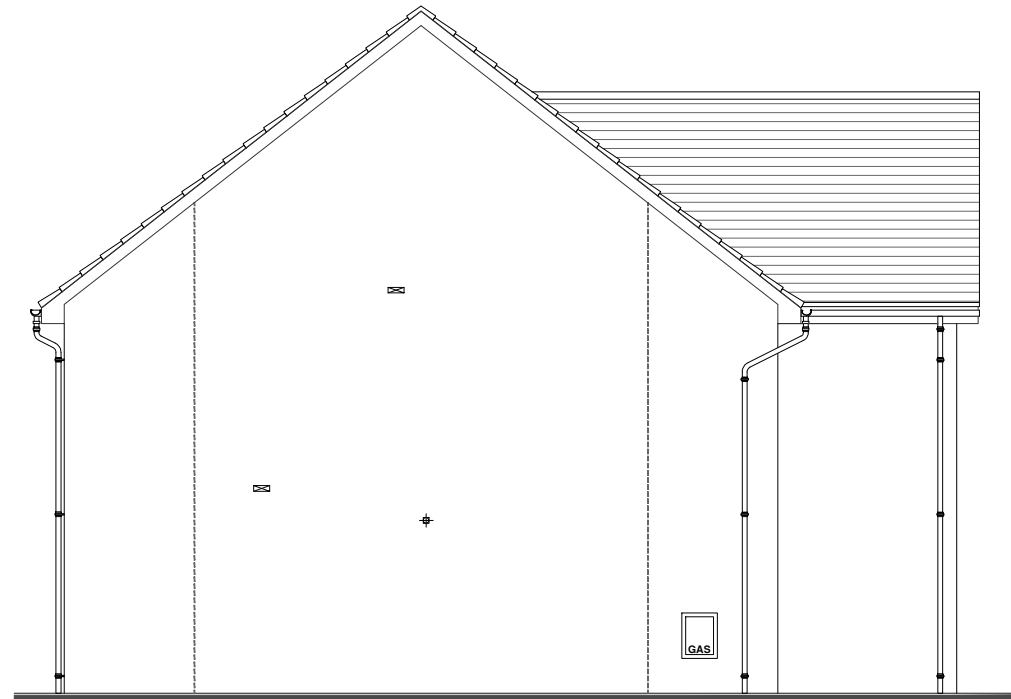
Scale: 1:100	Date: Oct 18	Drawn: GBR
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House Name:

**MACKINTOSH BASE 18**

**ARTISTRY RANGE 18**

Drawing No: <b>18-MA-B-11</b>	Rev:
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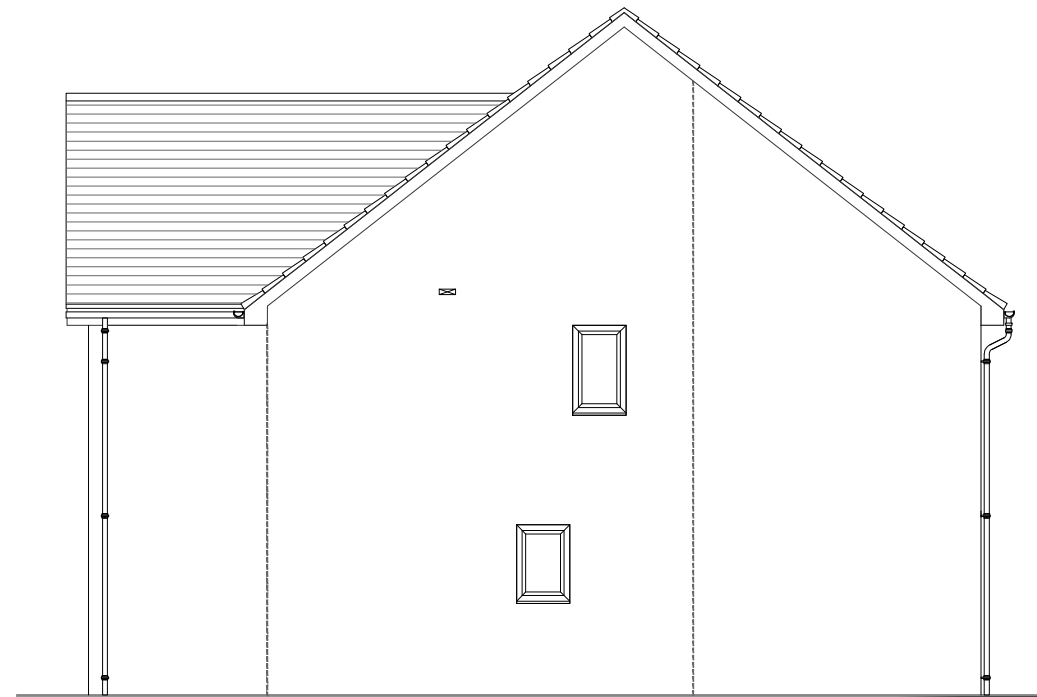
Side Elevation



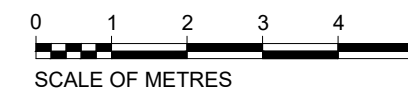
Front Elevation



Rear Elevation



Side Elevation



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Drawing Title:

**Planning Elevations**

All Divisions

Scale:

1:100

Date:

Oct 18

Drawn:

GBR

House Name:

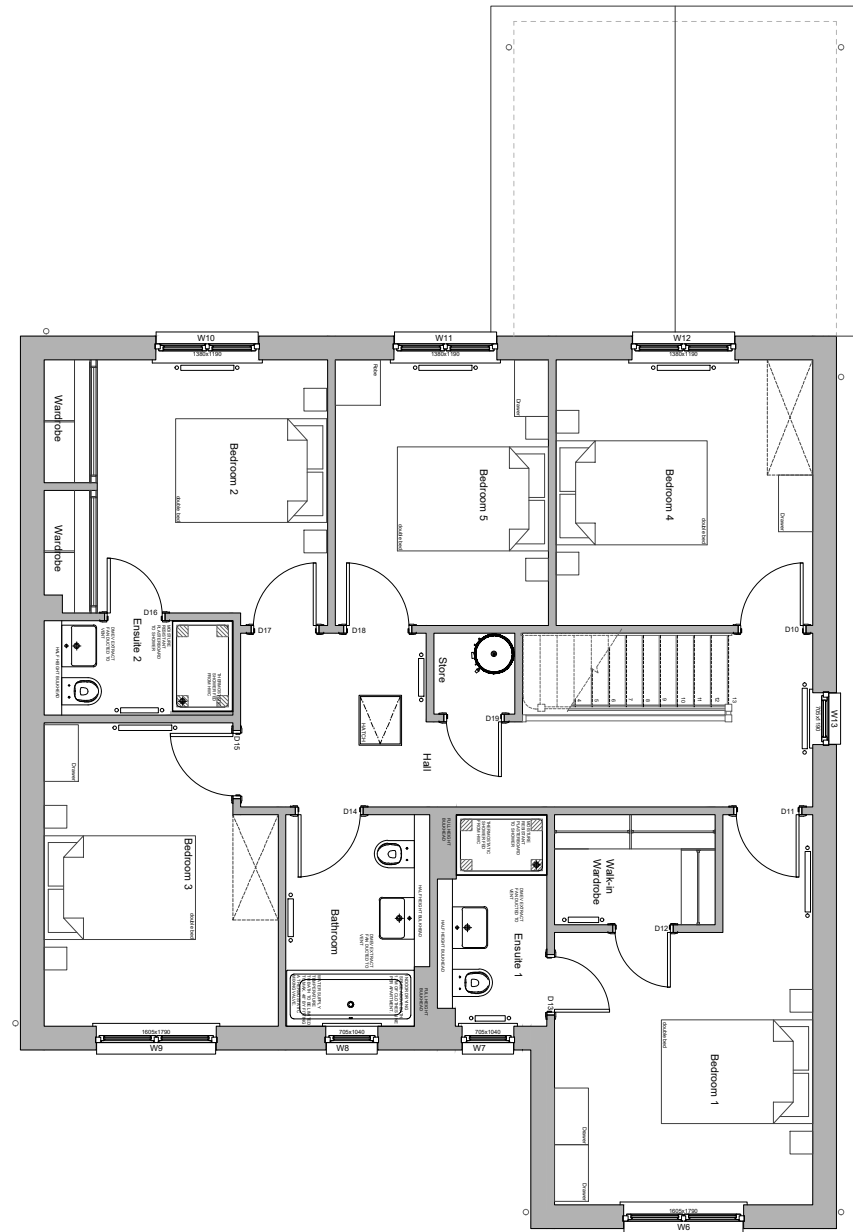
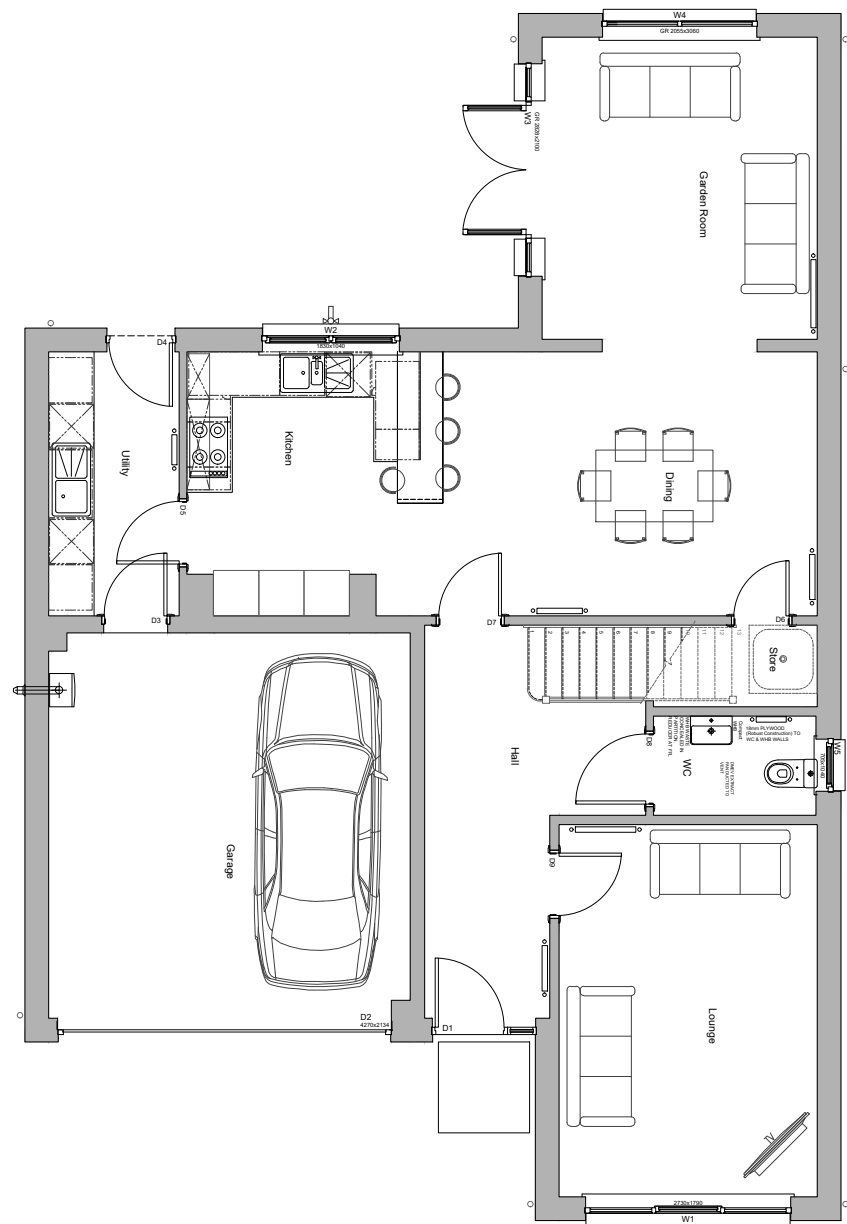
**MACKINTOSH BASE 18**

**ARTISTRY RANGE 18**

Drawing No:

**18-MA-B-12**

Rev:



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Drawing Title:  
**Planning Floor Plans**  
 All Divisions

Scale: 1:100	Date: Oct 18	Drawn: GBR
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House Name:  
**MACKINTOSH GR 18**

**ARTISTRY RANGE 18**

Drawing No: <b>18-MA-GR-11</b>	Rev:
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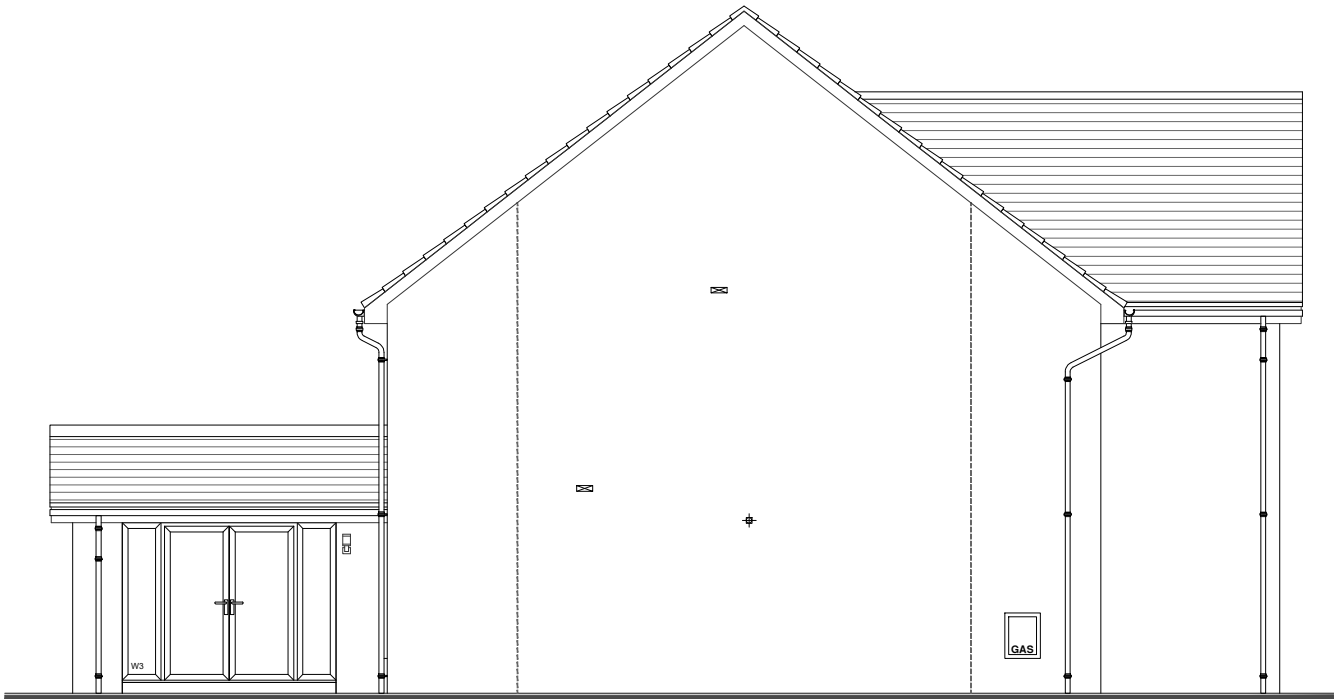
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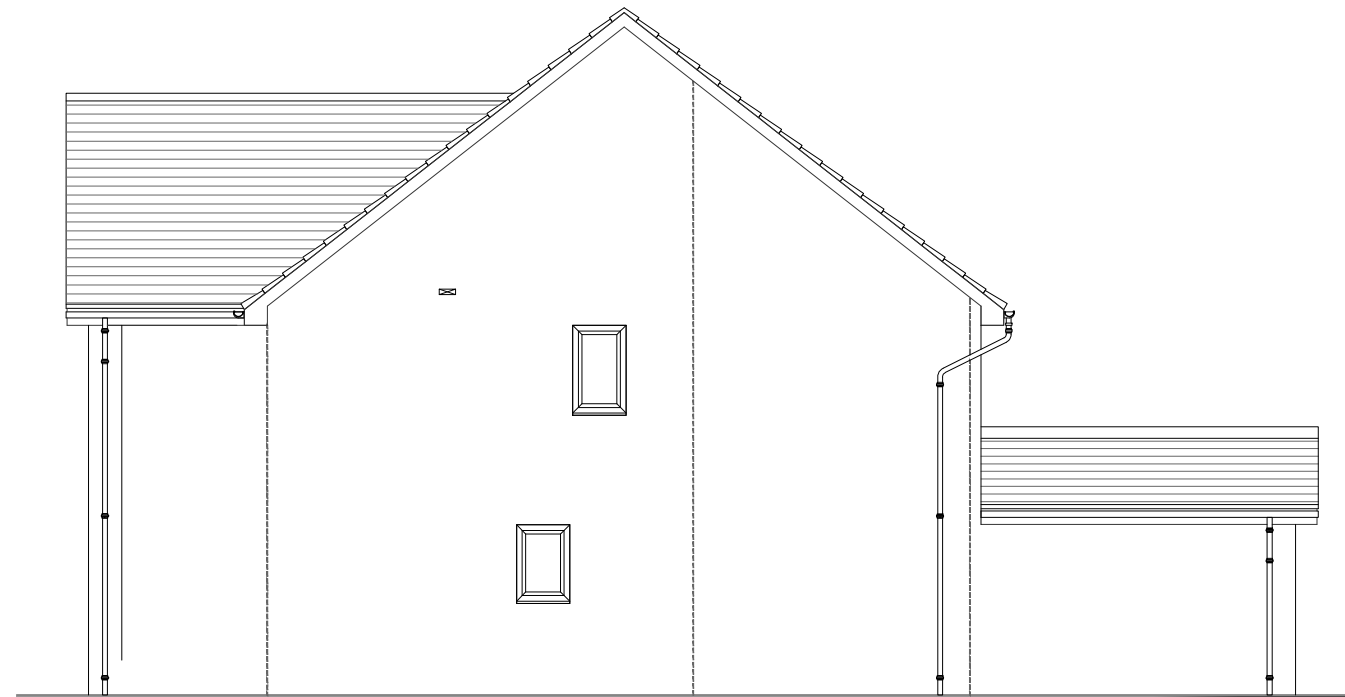
Side Elevation



Front Elevation



Rear Elevation



Side Elevation

No.	Revision	Date	By



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Drawing Title:

**Planning Elevations**  
All Divisions

Scale:  
1:100

Date:  
Oct 18

Drawn:  
GBR

House Name:

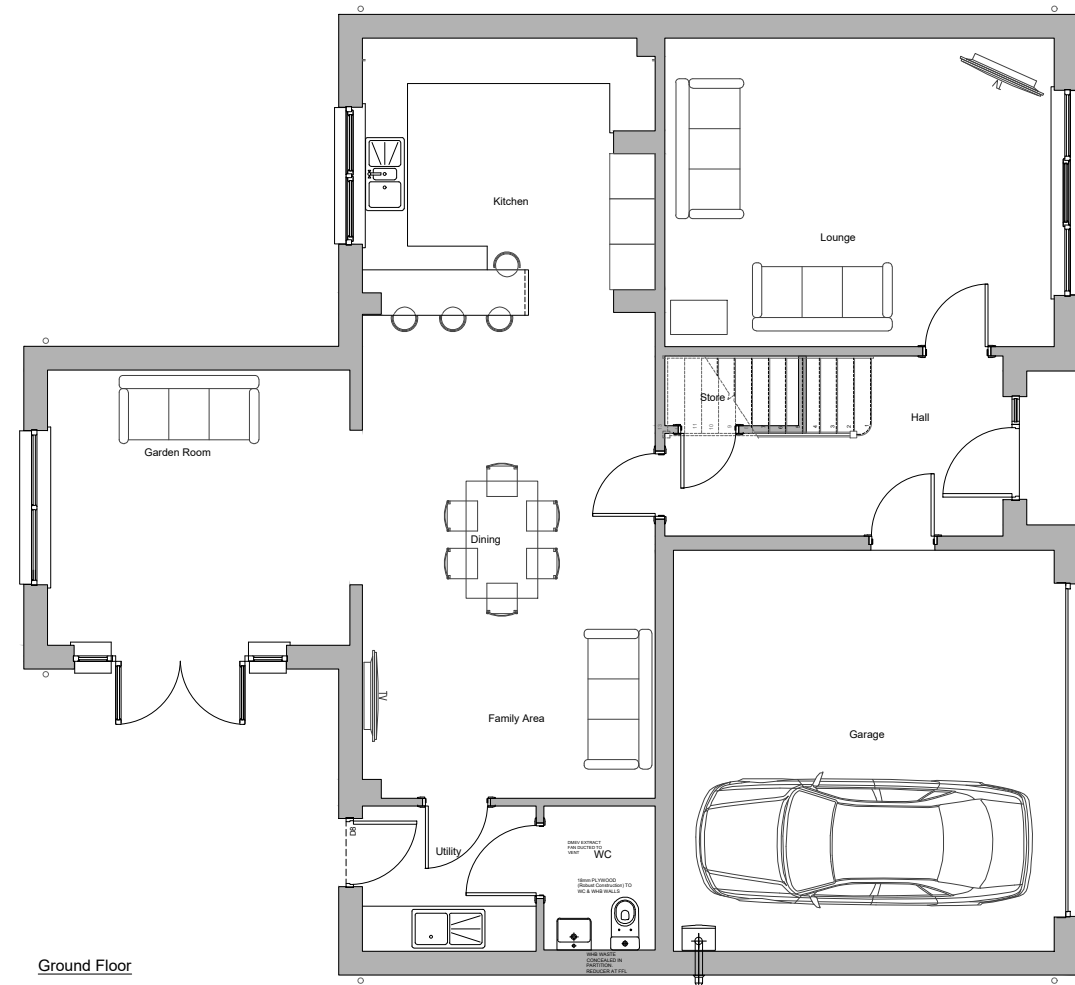
**MACKINTOSH GR 18**

**ARTISTRY RANGE 18**

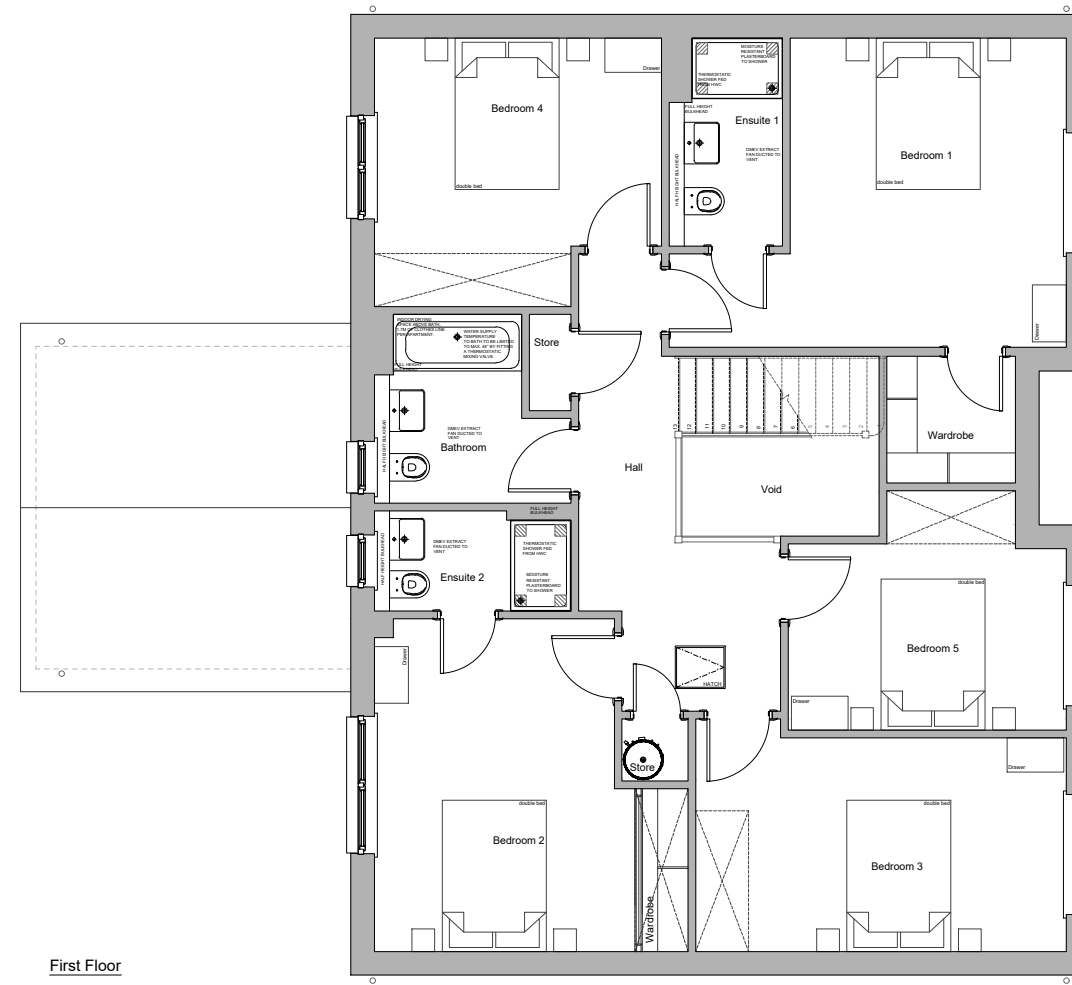
Drawing No:

**18-MA-GR-12**

Rev:



Ground Floor



First Floor

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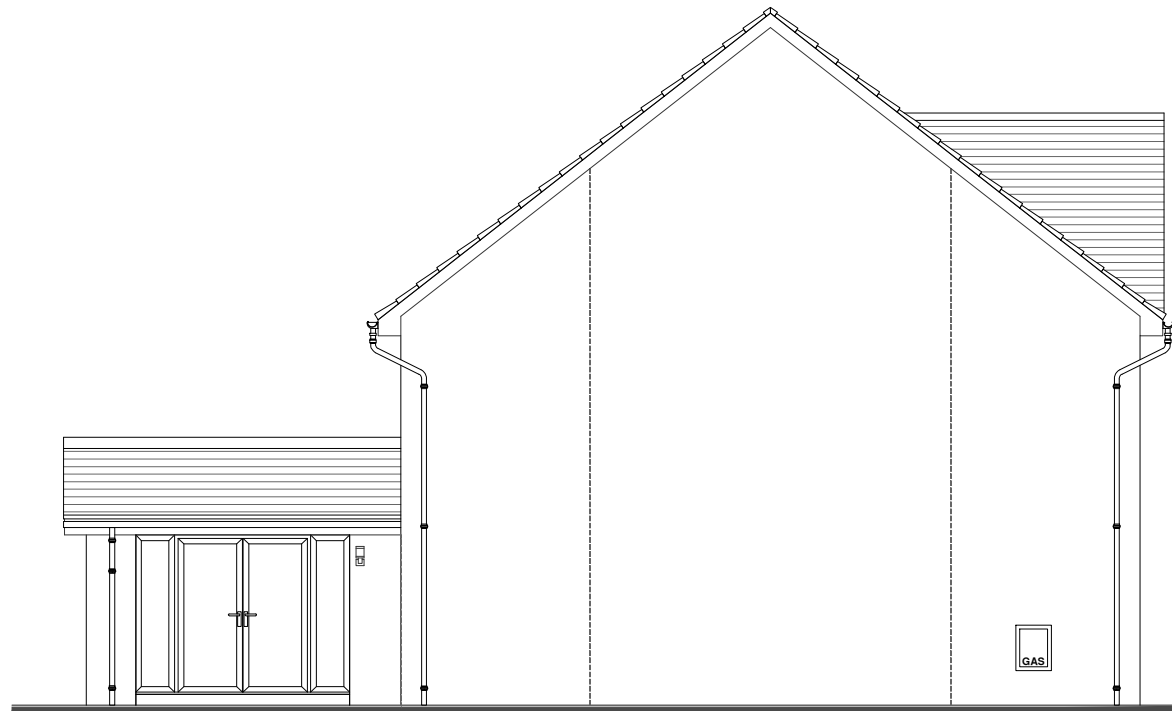
**Planning Floor Plans**  
 All Divisions

Scale: 1:100	Date: Jun 18	Drawn: ME
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House Name:  
**MITCHELL GARDEN ROOM 18**

**ARTISTRY RANGE**

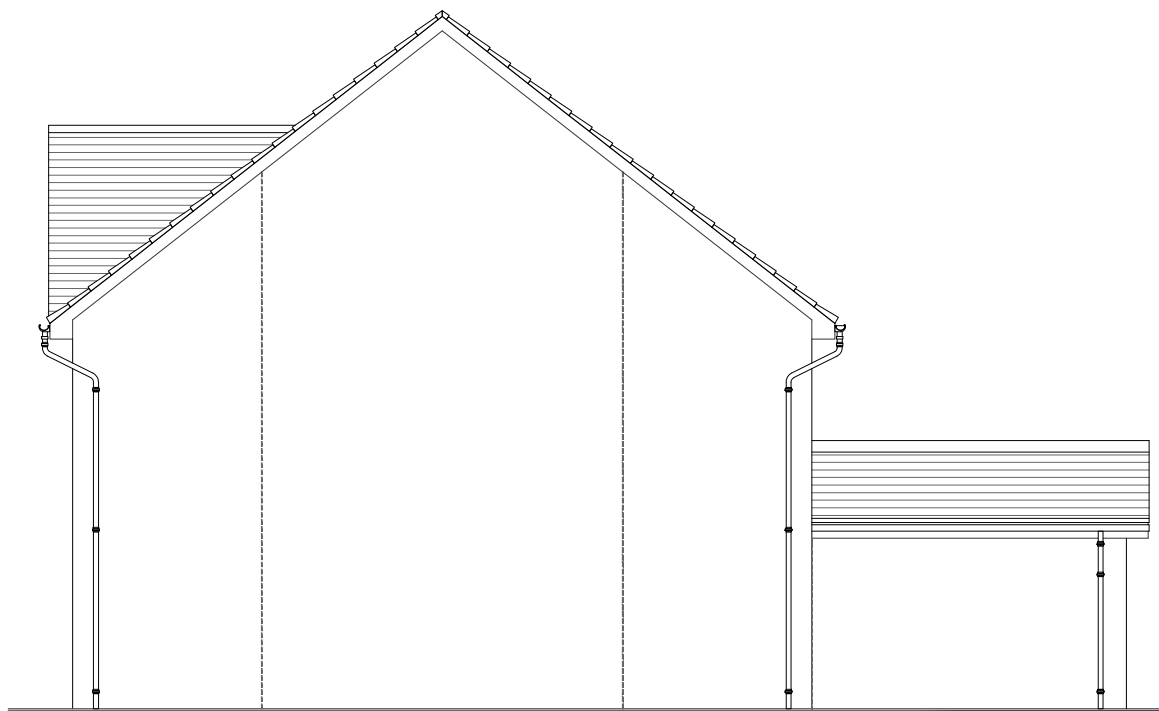
Drawing No: 18-MI-GR-11	Rev: -
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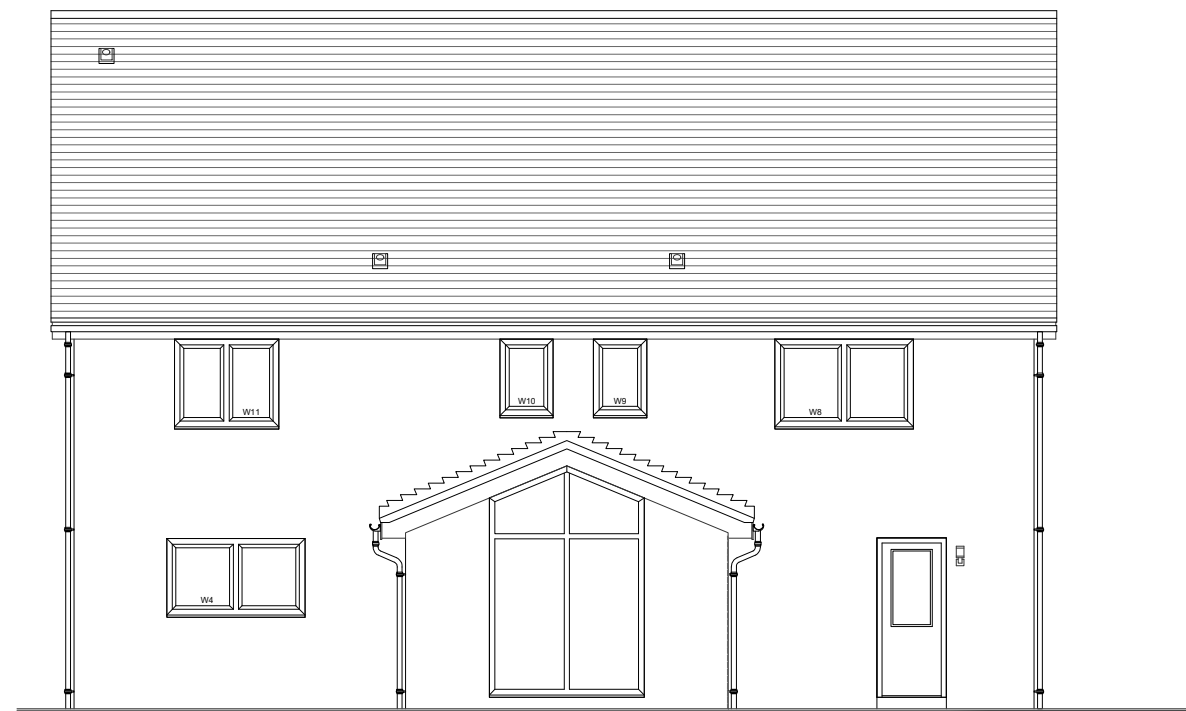
Side Elevation



Front Elevation



Side Elevation



Rear Elevation

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No.	Revision	Date	By



Robertson House, Castle Business Park, Stirling FK9 4TZ

Tel: 01786 431600 Fax: 01786 431650

Email: info@robertson.co.uk

www.robertsonhomes.co.uk

Drawing Title:

**Planning Elevations**  
All Divisions

Scale:  
1:100

Date:  
May 18

Drawn:  
GBR

House Name:

**MITCHELL GARDEN ROOM 18**

**ARTISTRY RANGE**

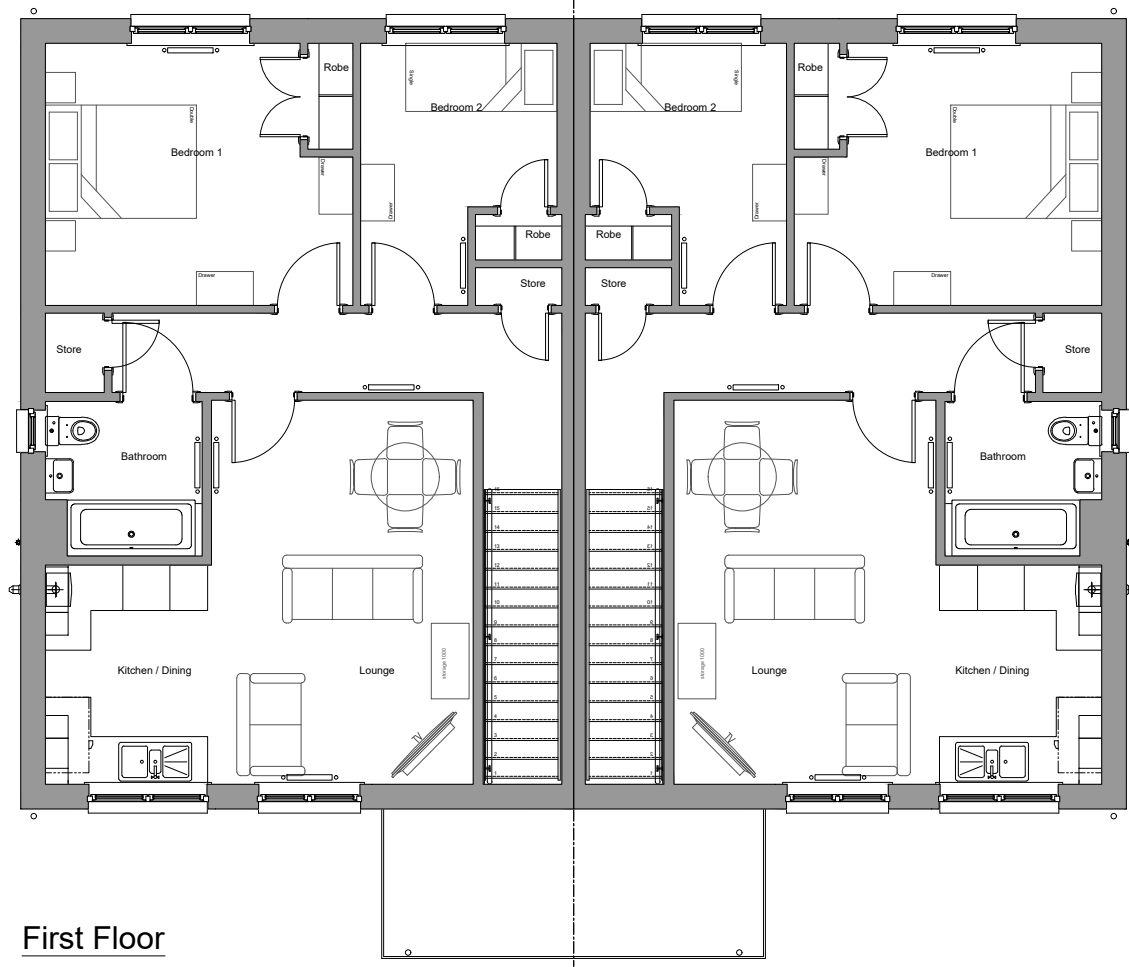
Drawing No:

**18-MI-GR-12**

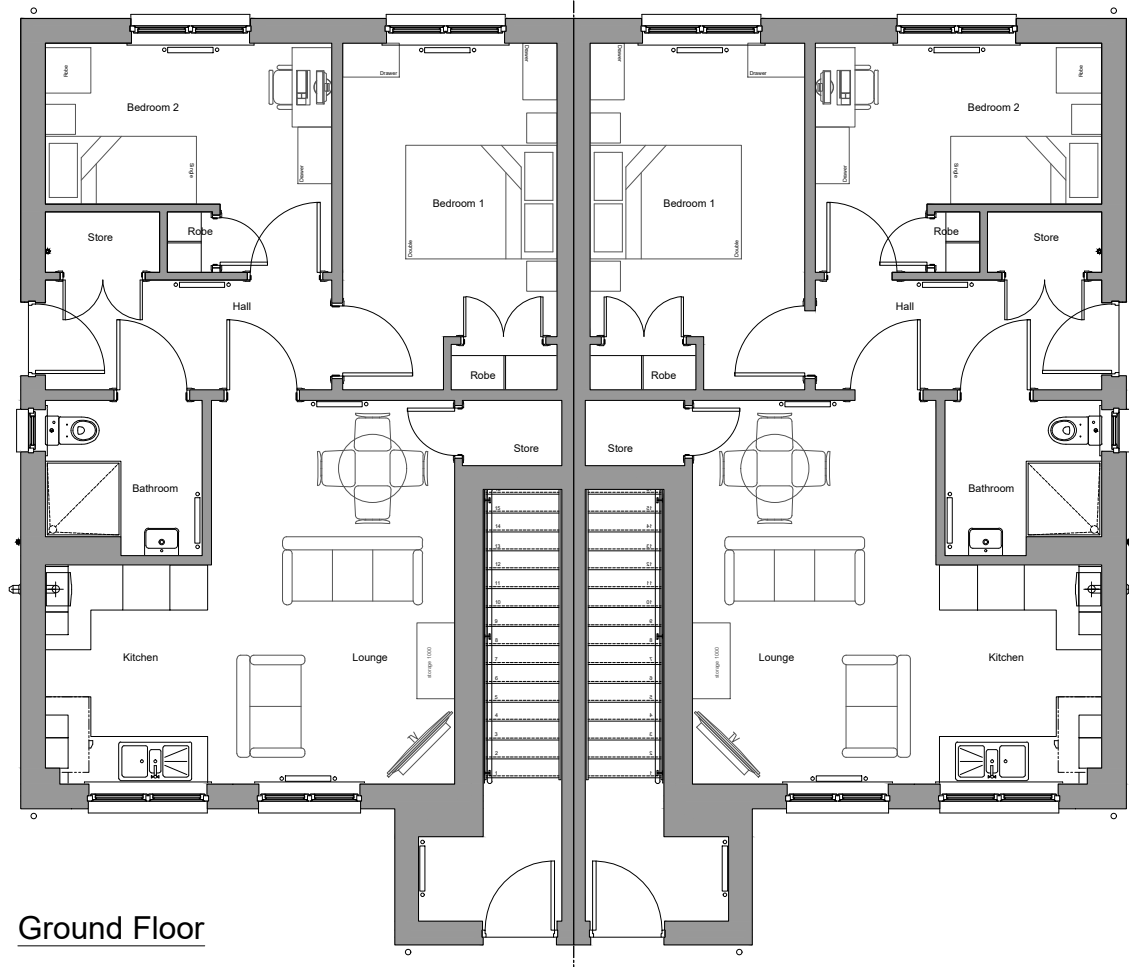
Rev:

-





First Floor



Ground Floor



**GENERAL NOTES:**

- All works to be constructed accordance with the Building (Scotland) Act 2003 and subsequent amendments.
- All works to be carried out in accordance with the Construction, Design and Management Regulations 2015.
- All drainage to be installed and tested to the satisfaction of the Local Authority.
- All electrical work to comply with the latest edition of the IEE Regulations and BS 7671 current edition.
- Gross area of the dwelling is calculated to finished face of external walls including the stair to both ground and first floor plans, but excluding any other voids/mezzanines (where present).
- Drawings to be read in conjunction with all relevant contract drawings, specification and details.
- All foundation and below ground drainage shown are indicative of standard ground conditions. Refer to site investigation report and structural/civil engineers information for individual plot design and specification.

No.	Revision	Date	By



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 www.robertsonhomes.co.uk

Drawing Title:

**Planning Floor Plans**  
 All Divisions

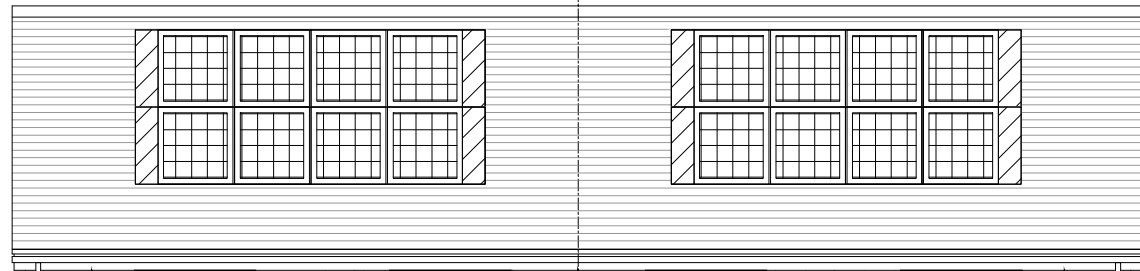
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House Name:

**T3/T4 Cottage Flats**

**ARTISTRY RANGE 18**

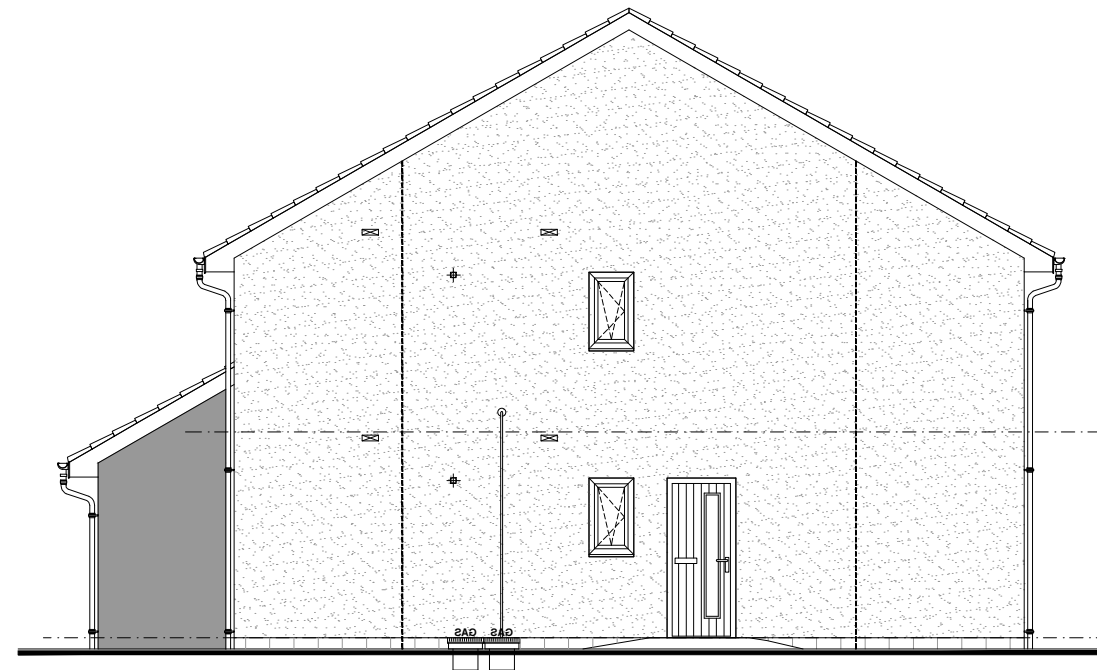
Drawing No: <b>T3/T4-01</b>	Rev:
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Rear Elevation



Front Elevation



End Elevation



**GENERAL NOTES:**

All works to be constructed accordance with the Building (Scotland) Act 2003 and subsequent amendments.

All works to be carried out in accordance with the Construction, Design and Management Regulations 2015.

All drainage to be installed and tested to the satisfaction of the Local Authority.

All electrical work to comply with the latest edition of the IEE Regulations and BS 7671 current edition.

Gross area of the dwelling is calculated to finished face of external walls including the stair to both ground and first floor plans, but excluding any other voids/mezzanines (where present).

Drawings to be read in conjunction with all relevant contract drawings, specification and details.

All foundation and below ground drainage shown are indicative of standard ground conditions. Refer to site investigation report and structural/civil engineers information for individual plot design and specification.

No.	Revision	Date	By



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www.robertsonhomes.co.uk

Drawing Title:

**Planning Elevations**  
 All Divisions

Scale: 1:100 @A3	Date: Jan 19	Drawn: GBR
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House Name:

**T3/T4 Cottage Flats**

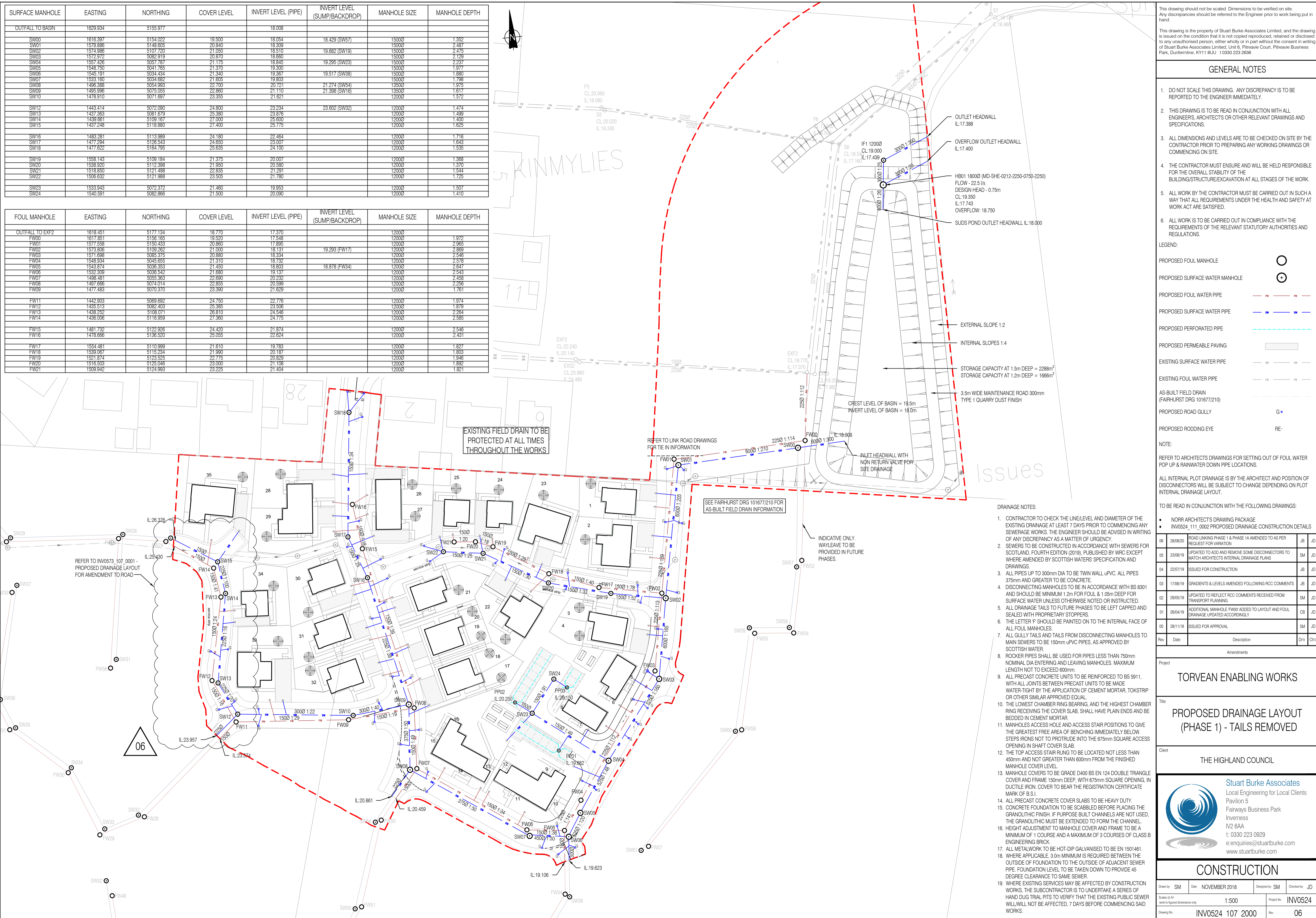
**ARTISTRY RANGE 18**

Drawing No: <b>T3/T4-02</b>	Rev:
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SURFACE MANHOLE	EASTING	NORTHING	COVER LEVEL	INVERT LEVEL (PIPE)	INVERT LEVEL (SUMP/BACKDROP)	MANHOLE SIZE	MANHOLE DEPTH
OUTFALL TO BASIN	1629.934	5155.977		18.008			
SW00	1616.397	5154.022	19.500	18.054	18.429 (SW57)	15000	1.352
SW01	1578.896	5148.605	20.840	18.309	18.510	15000	2.487
SW02	1573.986	5107.720	21.050	18.510	19.682 (SW19)	15000	2.475
SW03	1572.212	5082.919	21.070	18.690	18.690	15000	2.129
SW04	1557.426	5057.787	21.175	18.845	19.295 (SW23)	15000	2.237
SW05	1548.750	5041.765	21.370	19.300	19.300	15000	1.977
SW06	1545.191	5034.434	21.340	19.367	19.517 (SW38)	15000	1.880
SW07	1533.190	5034.682	21.615	19.803	19.803	15000	1.786
SW08	1496.388	5054.993	22.700	20.721	21.274 (SW54)	13500	1.975
SW09	1495.996	5075.055	22.860	21.110	21.398 (SW16)	13500	1.617
SW10	1478.910	5071.697	23.355	21.621	21.621	12000	1.572
SW12	1443.414	5072.090	24.800	23.234	23.602 (SW32)	12000	1.474
SW13	1437.363	5081.679	25.380	23.876	23.876	12000	1.499
SW14	1439.661	5109.167	27.000	25.600	25.600	12000	1.400
SW15	1437.248	5118.880	27.400	25.775	25.775	12000	1.625
SW16	1483.281	5113.989	24.180	22.464	22.464	12000	1.716
SW17	1477.294	5126.543	24.650	23.007	23.007	12000	1.643
SW18	1477.622	5164.795	25.635	24.700	24.700	12000	1.535
SW19	1558.143	5109.184	21.375	20.007	20.007	12000	1.368
SW20	1538.920	5112.988	21.950	20.580	20.580	12000	1.370
SW21	1518.850	5121.498	22.835	21.291	21.291	12000	1.544
SW22	1506.632	5121.988	23.505	21.780	21.780	12000	1.725
SW23	1533.943	5072.372	21.460	19.953	19.953	12000	1.507
SW24	1540.591	5082.866	21.500	20.090	20.090	12000	1.410

FOUL MANHOLE	EASTING	NORTHING	COVER LEVEL	INVERT LEVEL (PIPE)	INVERT LEVEL (SUMP/BACKDROP)	MANHOLE SIZE	MANHOLE DEPTH
OUTFALL TO EXP2	1618.451	5177.134	18.770	17.370		12000	
FW00	1617.851	5156.165	19.520	17.548		12000	1.972
FW01	1577.558	5150.433	20.860	17.895		12000	2.965
FW02	1573.896	5109.262	21.000	18.131	19.293 (FW17)	12000	2.869
FW03	1571.688	5085.375	20.880	18.334	18.334	12000	2.546
FW04	1548.934	5045.655	21.310	18.732	18.732	12000	2.578
FW05	1543.874	5036.353	21.450	18.803	18.878 (FW34)	12000	2.647
FW06	1532.309	5036.542	21.680	19.137	19.137	12000	2.543
FW07	1498.481	5055.363	22.690	20.232	20.232	12000	2.458
FW08	1497.696	5074.014	22.855	20.598	20.598	12000	2.295
FW09	1477.483	5070.370	23.390	21.629	21.629	12000	1.761
FW11	1442.903	5089.692	24.750	22.776	22.776	12000	1.974
FW12	1435.515	5082.403	25.385	23.506	23.506	12000	1.819
FW13	1438.282	5108.071	26.810	24.546	24.546	12000	2.264
FW14	1436.006	5116.959	27.360	24.775	24.775	12000	2.585
FW15	1481.732	5122.926	24.420	21.874	21.874	12000	2.546
FW16	1478.666	5136.520	25.055	22.824	22.824	12000	2.431
FW17	1554.481	5110.999	21.610	19.783	19.783	12000	1.827
FW18	1539.067	5115.234	21.990	20.187	20.187	12000	1.803
FW19	1521.874	5123.825	22.715	20.829	20.829	12000	1.946
FW20	1516.503	5125.046	23.000	21.108	21.108	12000	1.892
FW21	1509.942	5124.993	23.225	21.404	21.404	12000	1.821



This drawing should not be scaled. Dimensions to be verified on site. Any discrepancies should be referred to the Engineer prior to work being put in hand.

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- THE CONTRACTOR MUST ENSURE AND WILL BE HELD RESPONSIBLE FOR THE OVERALL STABILITY OF THE BUILDING/STRUCTURE/EXCAVATION AT ALL STAGES OF THE WORK.
- ALL WORK BY THE CONTRACTOR MUST BE CARRIED OUT IN SUCH A WAY THAT ALL REQUIREMENTS UNDER THE HEALTH AND SAFETY ACT ARE SATISFIED.
- ALL WORK IS TO BE CARRIED OUT IN COMPLIANCE WITH THE REQUIREMENTS OF THE RELEVANT STATUTORY AUTHORITIES AND REGULATIONS.

LEGEND:

PROPOSED FOUL MANHOLE:

PROPOSED SURFACE WATER MANHOLE:

PROPOSED FOUL WATER PIPE:

PROPOSED SURFACE WATER PIPE:

PROPOSED PERFORATED PIPE:

PROPOSED PERMEABLE PAVING:

EXISTING SURFACE WATER PIPE:

EXISTING FOUL WATER PIPE:

AS-BUILT FIELD DRAIN (FAIRHURST DRG 101677/210)

PROPOSED ROAD GULLY:

PROPOSED RODDING EYE:

NOTE:

REFER TO ARCHITECTS DRAWINGS FOR SETTING OUT OF FOUL WATER POP UP & RAINWATER DOWN PIPE LOCATIONS.

ALL INTERNAL PLOT DRAINAGE IS BY THE ARCHITECT AND POSITION OF DISCONNECTORS WILL BE SUBJECT TO CHANGE DEPENDING ON PLOT INTERNAL DRAINAGE LAYOUT.

TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS:

- NORR ARCHITECTS DRAWING PACKAGE
- INV0524\_111\_0002 PROPOSED DRAINAGE CONSTRUCTION DETAILS

Rev	Date	Description	Drn	Chd
08	28/08/20	ROAD LINKING PHASE 1 & PHASE 1A AMENDED TO AS PER REQUEST FOR VARIATION	JIB	JD
05	23/08/19	UPDATED TO ADD AND REMOVE SOME DISCONNECTORS TO MATCH ARCHITECTS INTERNAL DRAINAGE PLANS	SM	JD
04	22/07/19	ISSUED FOR CONSTRUCTION	JIB	JD
03	17/06/19	GRADIENTS & LEVELS AMENDED FOLLOWING RCC COMMENTS	JIB	JD
02	29/05/19	UPDATED TO REFLECT RCC COMMENTS RECEIVED FROM TRANSPORT PLANNING	SM	JD
01	26/04/19	ADDITIONAL MANHOLE FW007 ADDED TO LAYOUT AND FOUL DRAINAGE UPDATED ACCORDINGLY	CB	JD
00	28/11/18	ISSUED FOR APPROVAL	SM	JD

Project: TORVEAN ENABLING WORKS

Title: PROPOSED DRAINAGE LAYOUT (PHASE 1) - TAILS REMOVED

Client: THE HIGHLAND COUNCIL

Stuart Burke Associates  
Local Engineering for Local Clients  
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### CONSTRUCTION

Drawn by	SM	Date	NOVEMBER 2018	Designed by	SM	Checked by	JD
Scale	@ A1	work to signed dimensions only	1:500	Project No.	INV0524		
Drawing No.	INV0524_107_2000			Rev	06		

1. CONTRACTOR TO CHECK THE LINE LEVEL AND DIAMETER OF THE EXISTING DRAINAGE AT LEAST 7 DAYS PRIOR TO COMMENCING ANY SEWERAGE WORKS. THE ENGINEER SHOULD BE ADVISED IN WRITING OF ANY DISCREPANCY AS A MATTER OF URGENCY.

2. SEWERS TO BE CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND, FOURTH EDITION (2019), PUBLISHED BY WRc EXCEPT WHERE AMENDED BY SCOTTISH WATERS SPECIFICATION AND DRAWINGS.

3. ALL PIPES UP TO 300mm DIA TO BE TWIN WALL uPVC. ALL PIPES 375mm AND GREATER TO BE CONCRETE.

4. DISCONNECTING MANHOLES TO BE IN ACCORDANCE WITH BS 8301 AND SHOULD BE MINIMUM 1.2m FOR FOUL & 1.05m DEEP FOR SURFACE WATER UNLESS OTHERWISE NOTED OR INSTRUCTED.

5. ALL DRAINAGE TAILS TO FUTURE PHASES TO BE LEFT CAPPED AND SEALED WITH PROPRIETARY STOPPERS.

6. THE LETTER 'F' SHOULD BE PAINTED ON TO THE INTERNAL FACE OF ALL FOUL MANHOLES.

7. ALL GULLY TAILS AND TAILS FROM DISCONNECTING MANHOLES TO MAIN SEWERS TO BE 150mm uPVC PIPES, AS APPROVED BY SCOTTISH WATER.

8. ROCKER PIPES SHALL BE USED FOR PIPES LESS THAN 750mm NOMINAL DIA ENTERING AND LEAVING MANHOLES. MAXIMUM LENGTH NOT TO EXCEED 600mm.

9. ALL PRECAST CONCRETE UNITS TO BE REINFORCED TO BS 5911, WITH ALL JOINTS BETWEEN PRECAST UNITS TO BE MADE WATER-TIGHT BY THE APPLICATION OF CEMENT MORTAR, TOKSTRIP OR OTHER SIMILAR APPROVED EQUAL.

10. THE LOWEST CHAMBER RING BEARING, AND THE HIGHEST CHAMBER RING RECEIVING THE COVER SLAB, SHALL HAVE PLAIN ENDS AND BE BEDDED IN CEMENT MORTAR.

11. MANHOLES ACCESS HOLE AND ACCESS STAIR POSITIONS TO GIVE THE GREATEST FREE AREA OF BENCHING IMMEDIATELY BELOW. STEPS IRONS NOT TO PROTRUDE INTO THE 675mm SQUARE OPENING IN SHAFT COVER SLAB.

12. THE TOP ACCESS STAIR RUNG TO BE LOCATED NOT LESS THAN 450mm AND NOT GREATER THAN 600mm FROM THE FINISHED MANHOLE COVER LEVEL.

13. MANHOLE COVERS TO BE GRADE D400 BS EN 124 DOUBLE TRIANGLE COVER AND FRAME 150mm DEEP, WITH 675mm SQUARE OPENING. IN DUCTILE IRON. COVER TO BEAR THE REGISTRATION CERTIFICATE MARK OF B.S.I.

14. ALL PRECAST CONCRETE COVER SLABS TO BE HEAVY DUTY.

15. CONCRETE FOUNDATION TO BE SCABBLED BEFORE PLACING THE GRANULITHIC FINISH. IF PURPOSE BUILT CHANNELS ARE NOT USED, THE GRANULITHIC MUST BE EXTENDED TO FORM THE CHANNEL.

16. HEIGHT ADJUSTMENT TO MANHOLE COVER AND FRAME TO BE A MINIMUM OF 1 COURSE AND A MAXIMUM OF 3 COURSES OF CLASS B ENGINEERING BRICK.

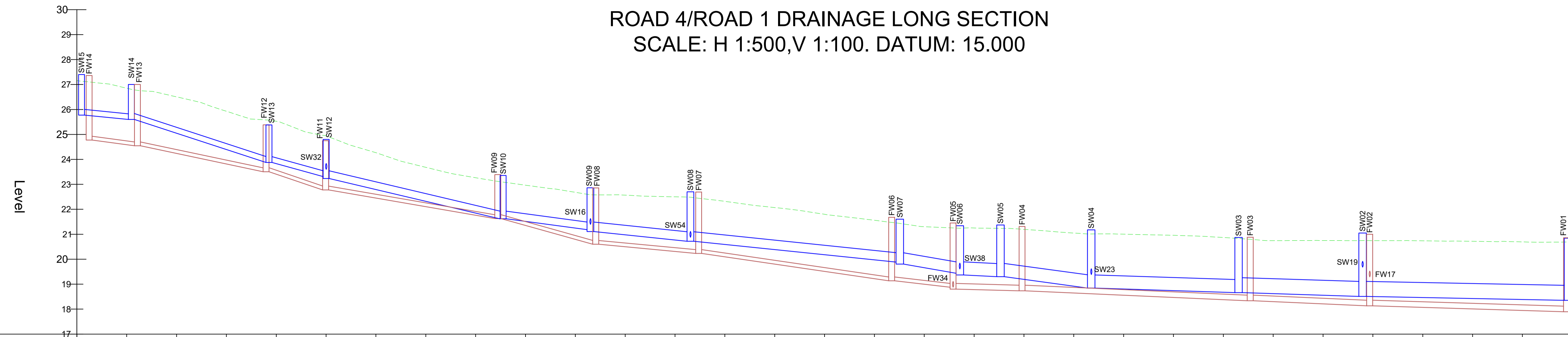
17. ALL METALWORK TO BE HOT-DIP GALVANISED TO BE EN 150146-1.

18. WHERE APPLICABLE, 300mm MINIMUM IS REQUIRED BETWEEN THE OUTSIDE OF FOUNDATION TO THE OUTSIDE OF ADJACENT SEWER PIPE. FOUNDATION LEVEL TO BE TAKEN DOWN TO PROVIDE 45 DEGREE CLEARANCE TO SAME SEWER.

19. WHERE EXISTING SERVICES MAY BE AFFECTED BY CONSTRUCTION WORKS, THE SUBCONTRACTOR IS TO UNDERTAKE A SERIES OF HAND DUG TRIAL PITS TO VERIFY THAT THE EXISTING PUBLIC SEWER WILL NOT BE AFFECTED, 7 DAYS BEFORE COMMENCING SAID WORKS.



ROAD 4/ROAD 1 DRAINAGE LONG SECTION  
SCALE: H 1:500,V 1:100. DATUM: 15.000



Chainage	00.000	10.000	20.000	30.000	40.000	50.000	60.000	70.000	80.000	90.000	100.000	110.000	120.000	130.000	140.000	150.000	160.000	170.000	180.000	190.000	200.000	210.000	220.000	230.000	240.000	250.000	260.000	270.000	280.000	290.000	300.000
Existing Levels	27.152	26.851	26.506	25.928	25.525	24.939	24.267	23.683	23.265	22.986	22.681	22.567	22.500	22.319	22.070	21.800	21.561	21.302	21.251	21.195	21.049	21.003	20.958	20.869	20.745	20.750	20.745	20.738	20.718	20.694	20.691
Proposed SW IL Levels	CL:27.499 IL:25.775	CL:27.000 IL:25.600			CL:25.380 IL:23.876	CL:24.800 IL:23.234 SW32 IL:23.602					CL:23.355 IL:21.821		CL:22.860 SW10 IL:21.110 SW16 IL:21.586		CL:22.700 SW09 IL:20.721 SW34 IL:21.274			CL:21.605 IL:19.803		CL:21.340 SW08 IL:19.517 SW06 IL:19.517	CL:21.370 IL:19.300			CL:21.175 SW05 IL:18.845 SW23 IL:19.295		CL:20.870 IL:18.660		CL:21.050 SW03 IL:18.570 SW19 IL:19.662			CL:20.840 IL:16.959
Proposed SW Gradients	2250 1:100		2250 1:16		2250 1:20			3000 1:22			3000 1:40		3750 1:50					4500 1:50		5250 1:120	5250 1:48			5250 1:160		6000 1:165		6000 1:205			
Proposed FW IL Levels	CL:27.360 IL:24.775	CL:26.810 IL:24.546			CL:25.385 IL:23.506	CL:24.750 IL:22.776				CL:23.350 IL:21.625		CL:22.855 IL:20.559		CL:22.690 IL:20.632			CL:21.690 IL:19.157		CL:21.450 FW06 IL:18.803 FW34 IL:18.878	CL:21.310 IL:18.732				CL:20.880 IL:18.334		CL:21.000 FW03 IL:18.131 FW17 IL:19.293				CL:20.850 IL:17.868	
Proposed FW Gradients	1500 1:41		1500 1:24		1500 1:16			1500 1:29		1500 1:19		1500 1:49		1500 1:34			1500 1:36		2250 1:141			2250 1:112			2250 1:113		2250 1:169				

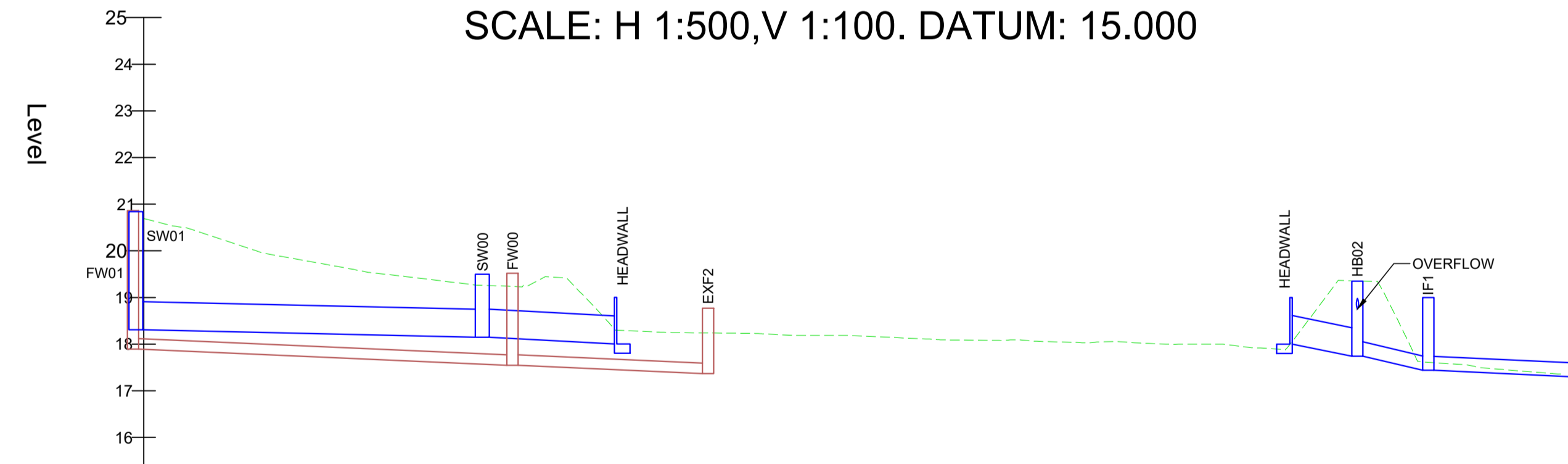
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GENERAL NOTES

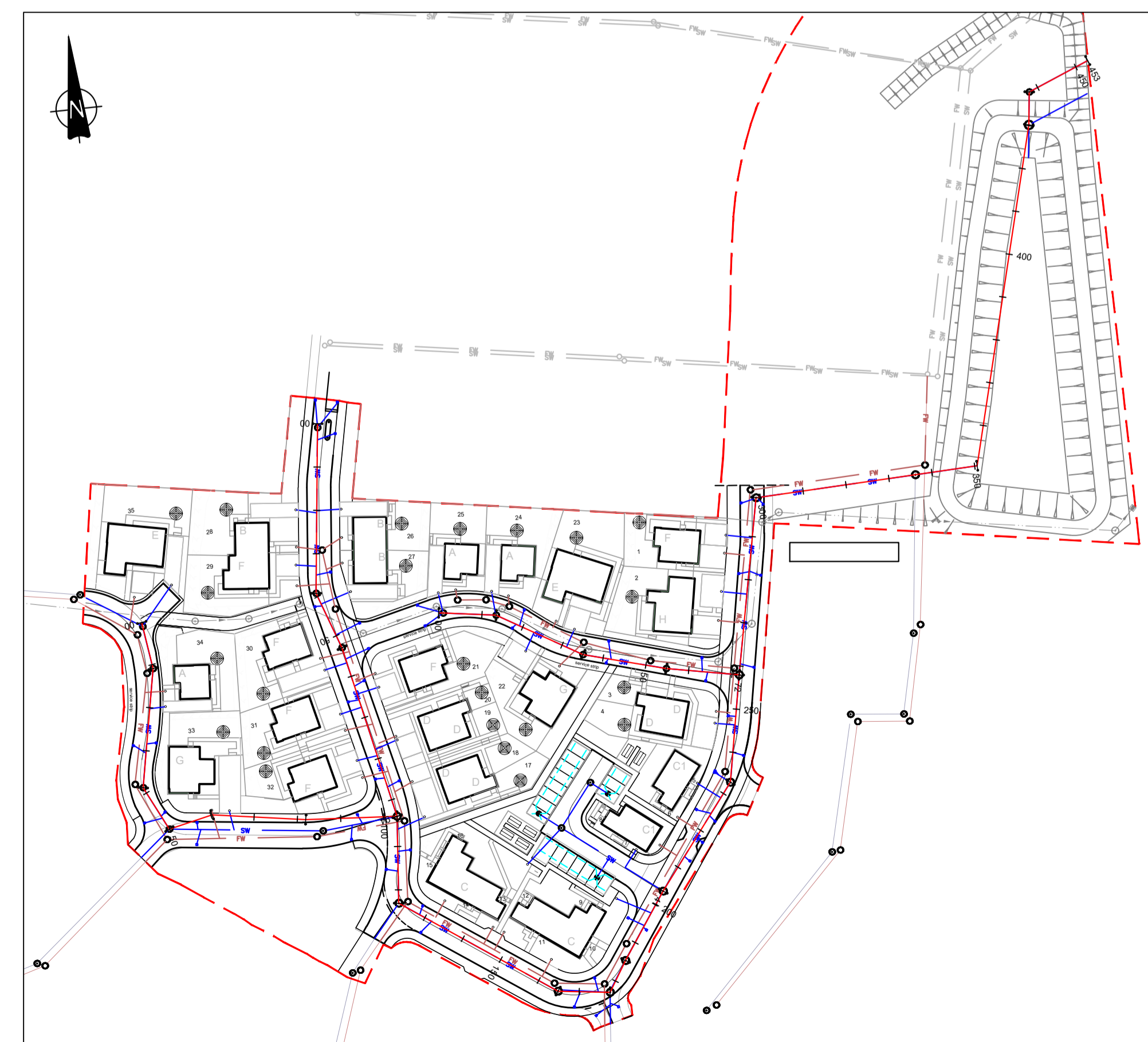
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TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS: -  
INV0524\_107\_1100 - PROPOSED DRAINAGE LAYOUT (PHASE 1)  
INV0524\_111\_0002 - PROPOSED DRAINAGE CONSTRUCTION DETAILS  
INV0524\_111\_0003 - 0004 - EXISTING SUDS BASIN DETAILS

ROAD 4/ROAD 1 DRAINAGE LONG SECTION  
SCALE: H 1:500,V 1:100. DATUM: 15.000



Chainage	300.000	310.000	320.000	330.000	340.000	350.000	360.000	370.000	380.000	390.000	400.000	410.000	420.000	430.000	440.000	450.000	455.091
Existing Levels	20.691	20.136	19.694	19.404	19.234	18.434	18.241	18.187	18.146	18.083	18.036	17.999	17.917	19.355	17.581	17.388	
Proposed SW IL Levels	CL:20.840 IL:18.309				CL:19.500 IL:18.024	HEADWALL IL:18.008							HEADWALL IL:18.000	CL:19.350 IL:17.743	OVERFLOW IL:18.750	CL:18.000 IL:17.439	HEADWALL IL:17.388
Proposed SW Gradients			6000 1:205		6000 1:210									6000 1:27	3000 1:25	3000 1:300	
Proposed FW IL Levels	CL:19.520 IL:17.895				CL:19.520 IL:17.548		CL:18.770 IL:17.370										
Proposed FW Gradients			2250 1:114		2250 1:112												



Rev	Date	Description	Drn	Chd
04	23/08/19	UPDATED TO MATCH UPDATES TO LAYOUT	SM	JD
03	22/07/19	ISSUED FOR CONSTRUCTION	JB	JD
02	17/06/18	GRADIENTS & LEVELS AMENDED FOLLOWING RCC COMMENTS	JB	JD
01	17/12/18	ISSUED FOR TENDER	SM	JD
00	29/11/18	ISSUED FOR APPROVAL	SM	JD

Project  
**TORVEAN ENABLING WORKS**

Title  
**PROPOSED DRAINAGE LONG SECTION (PHASE 1) SHEET 1 OF 2**

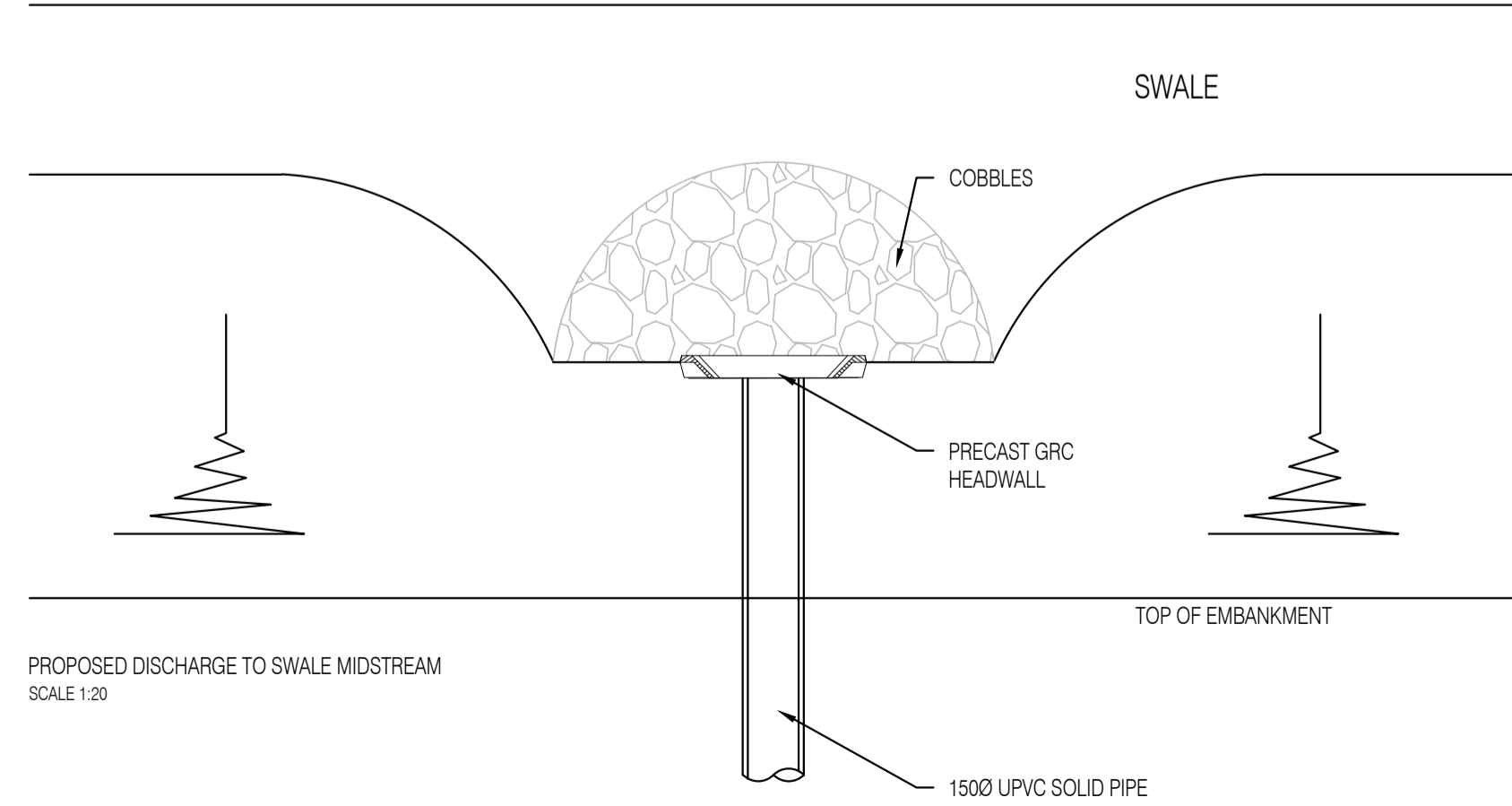
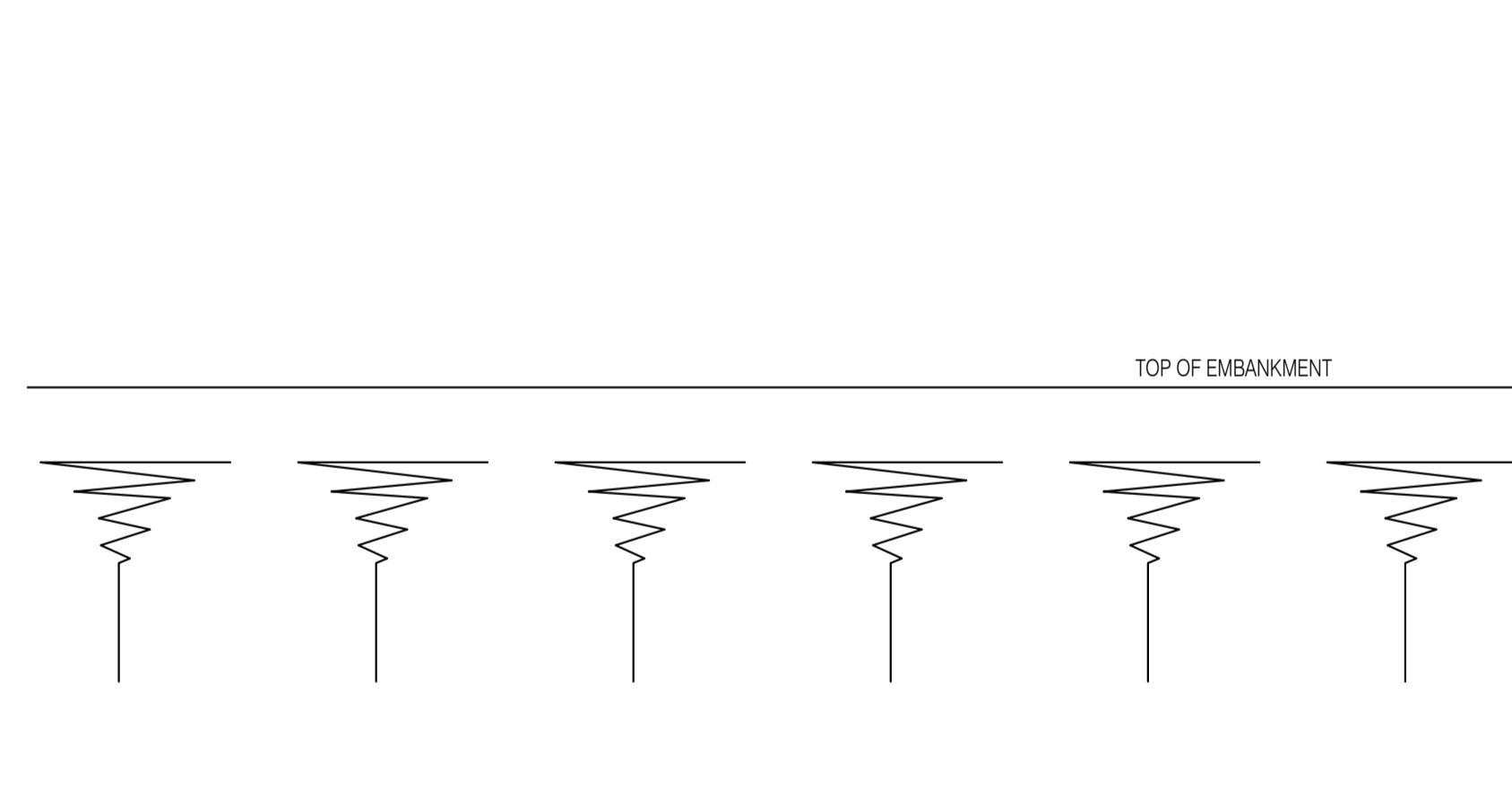
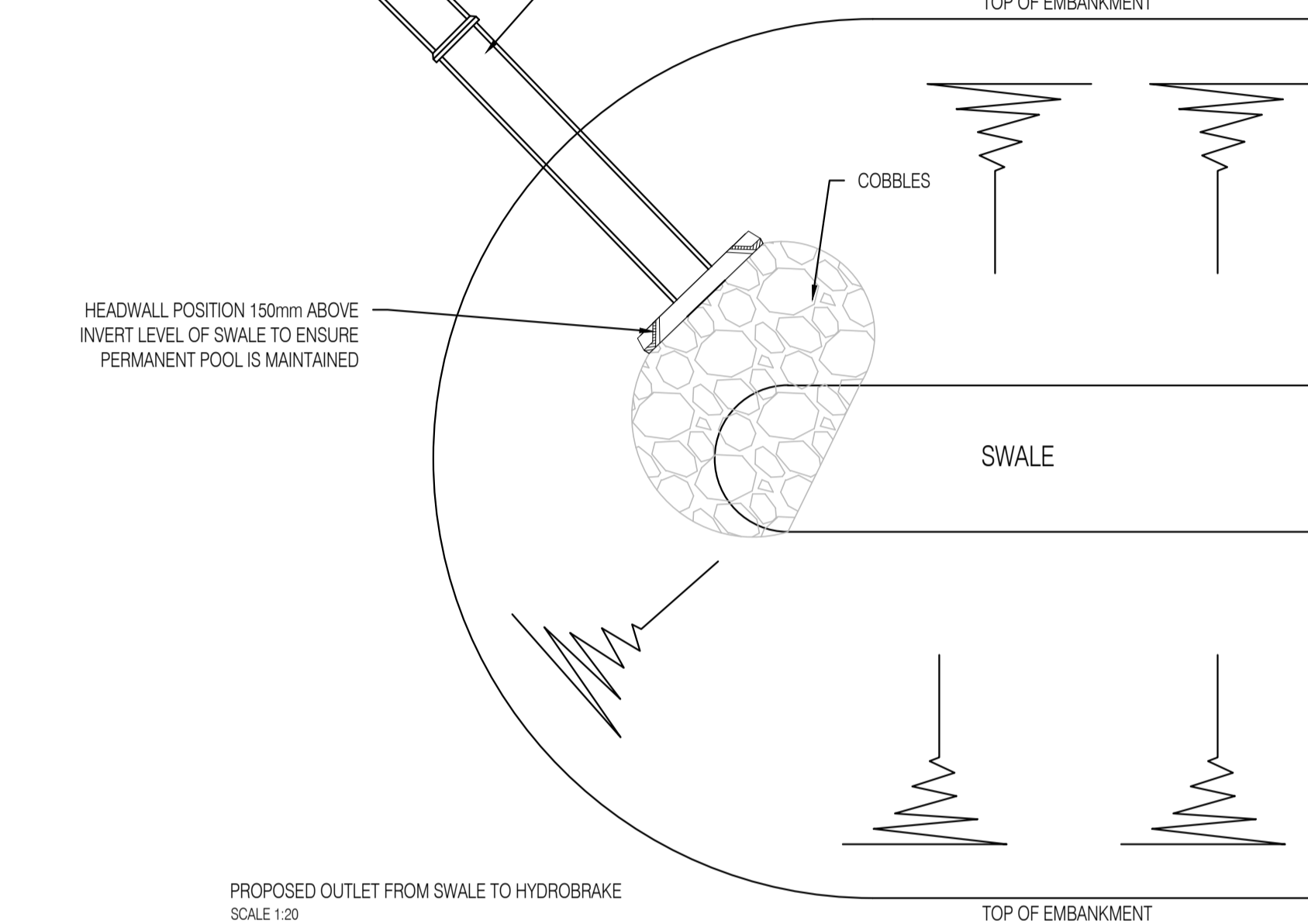
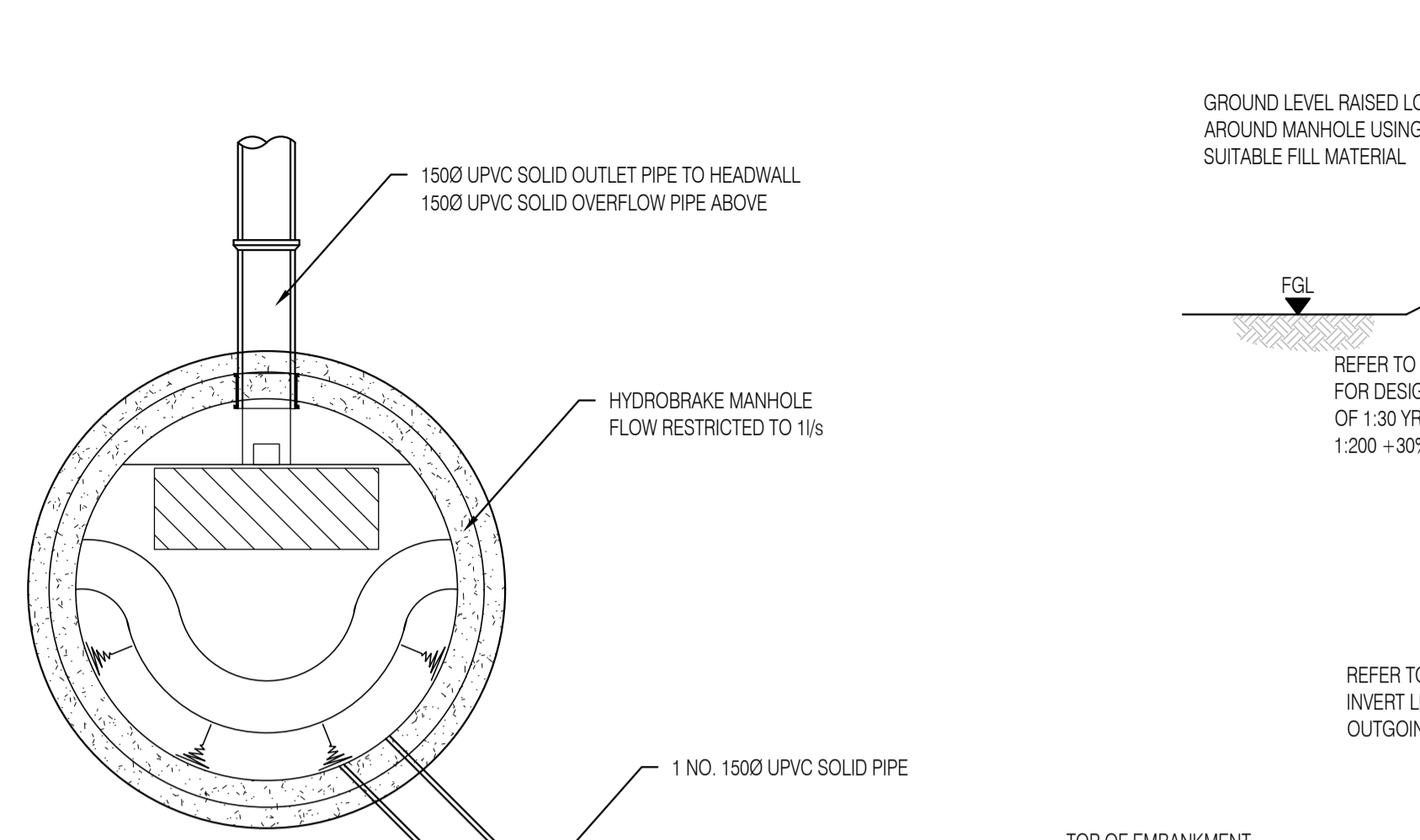
Client  
**THE HIGHLAND COUNCIL**

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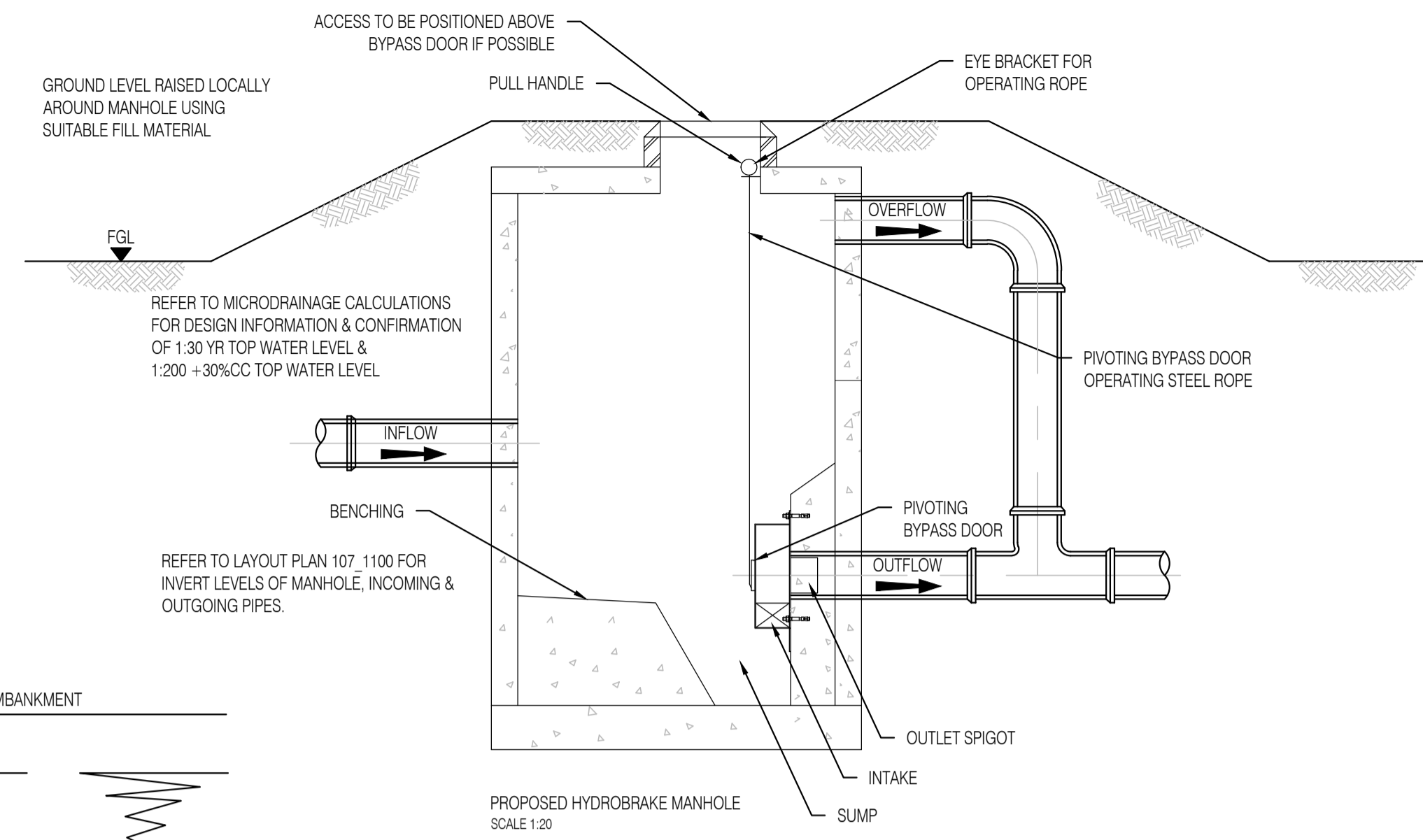
CONSTRUCTION

Drawn by SM Date NOVEMBER 2018 Designed by SM Checked by JD  
Scale (if A1 work to signed dimensions only) 1:500 Project No. INV0524  
Drawing No. INV0524\_107\_2001 Rev 04

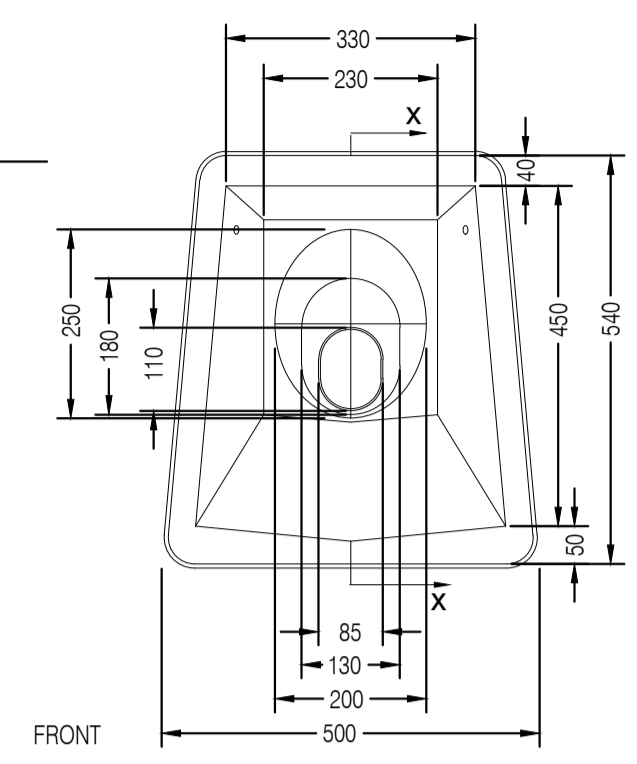




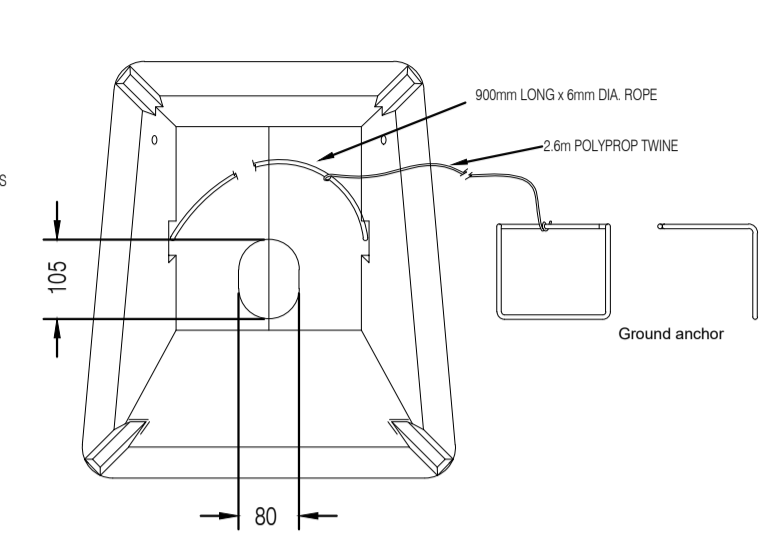
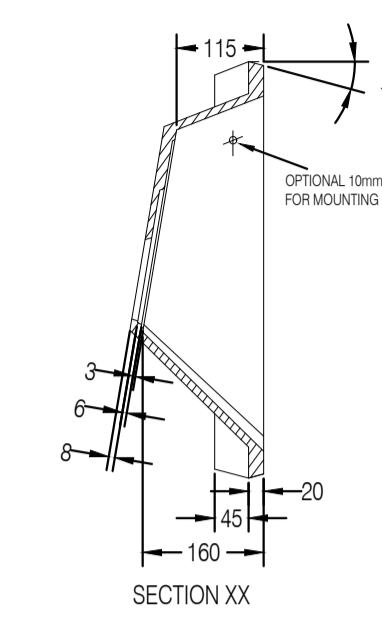
PROPOSED DISCHARGE TO SWALE MIDSTREAM  
SCALE 1:20



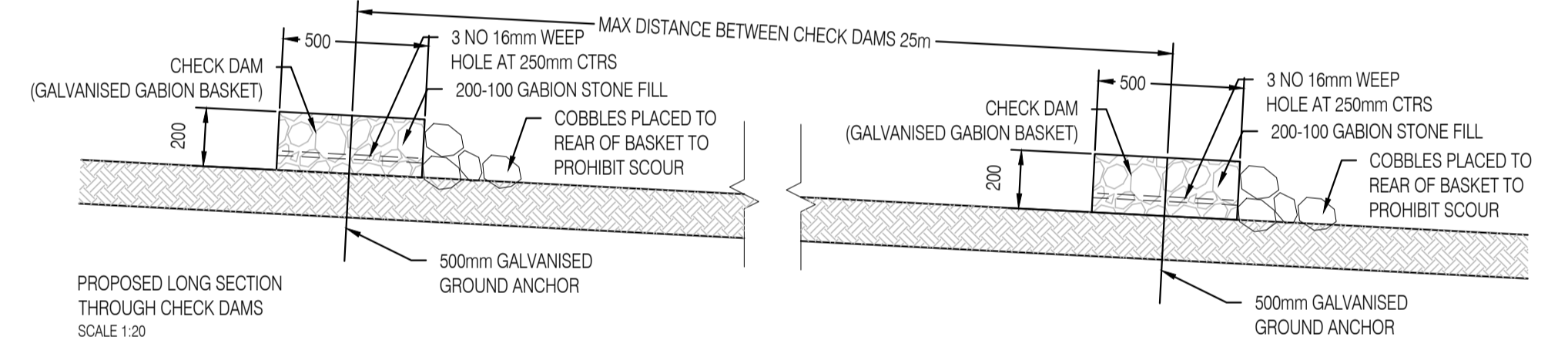
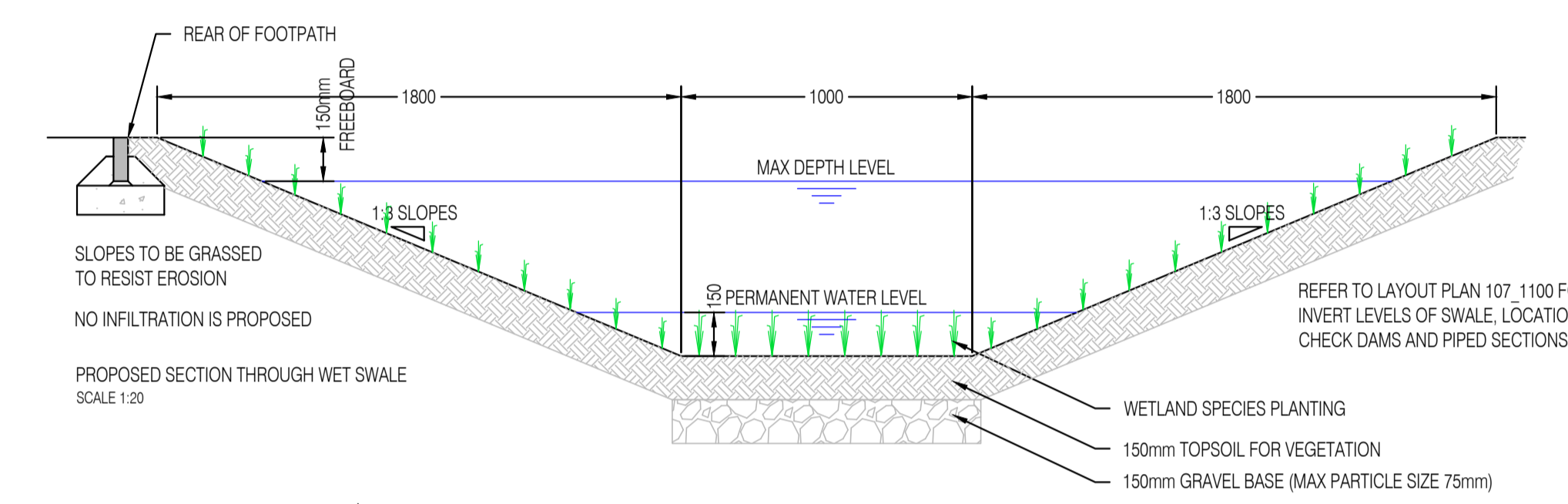
MATERIAL: GLASS REINFORCED CONCRETE  
WEIGHT APPROXIMATELY 11.5kg



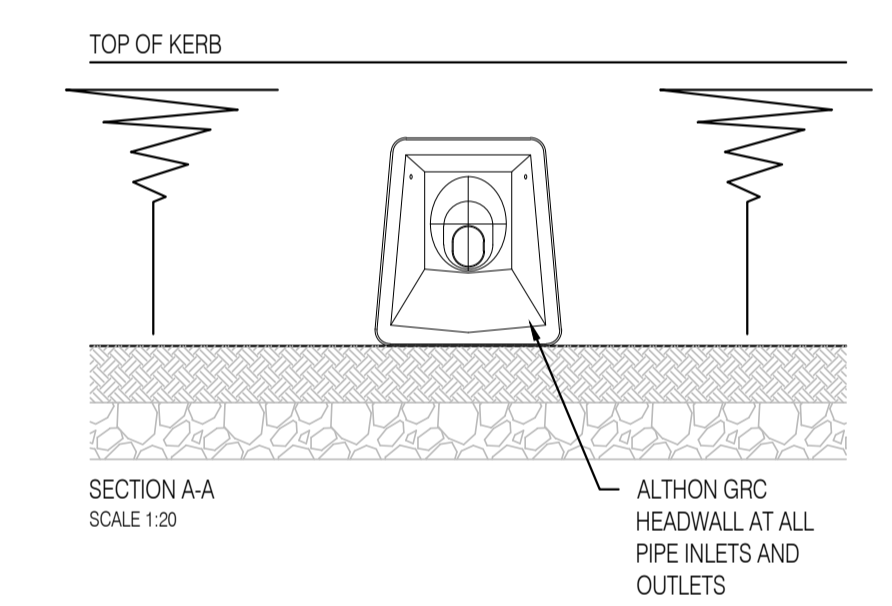
PROPOSED GRC HEADWALL DETAIL  
SCALE 1:10



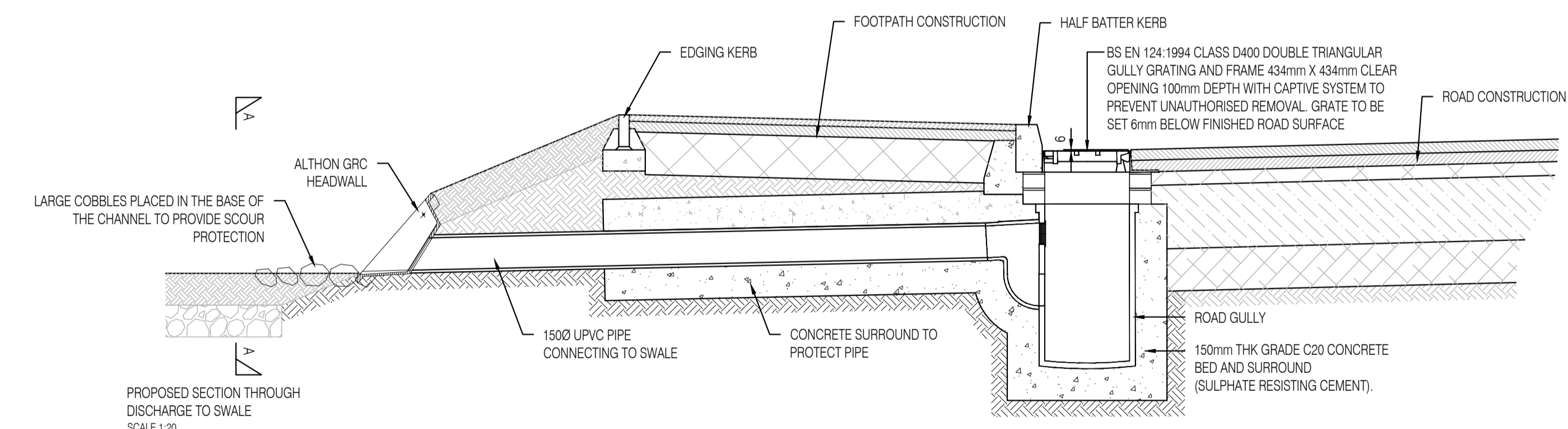
REAR



PROPOSED LONG SECTION THROUGH CHECK DAMS  
SCALE 1:20



SECTION A-A  
SCALE 1:20



PROPOSED SECTION THROUGH DISCHARGE TO SWALE  
SCALE 1:20

NOTE \*  
150mm OR 1/4 OF THE O.D. (OUTSIDE DIAMETER) WHICH EVER IS GREATER, FOR CONCRETE PIPEWORK 200mm OR 1/4 OF O.D. WHICH EVER IS GREATER.

BACKFILLING TO PIPELINES GENERALLY, UNLESS SPECIFIED OTHERWISE, BACKFILL FROM TOP OF SPECIFIED SURROUND OR PROTECTIVE CUSHION WITH GRANULAR SUB BASE MATERIAL TYPE 1 TO DOT SPECIFICATION FOR HIGHWAYS WORKS, CLAUSE 803, LAD AND COMPACTED IN 150mm LAYERS.

BACKFILLING UNDER ROADS, PAVING & BUILDING FOOTPRINT, BACKFILL FROM TOP OF SPECIFIED SURROUND OR PROTECTIVE CUSHION UP TO FORMATION LEVEL WITH GRANULAR SUB BASE MATERIAL TYPE 1 TO DOT SPECIFICATION FOR HIGHWAYS WORKS, CLAUSE 803, LAD AND COMPACTED IN 150mm LAYERS.

CLASS 8 GRANULAR SURROUND LOWER PART OF TRENCH WIDTH TO BE AS CLAUSE 221 GRANULAR MATERIAL TO BS 882

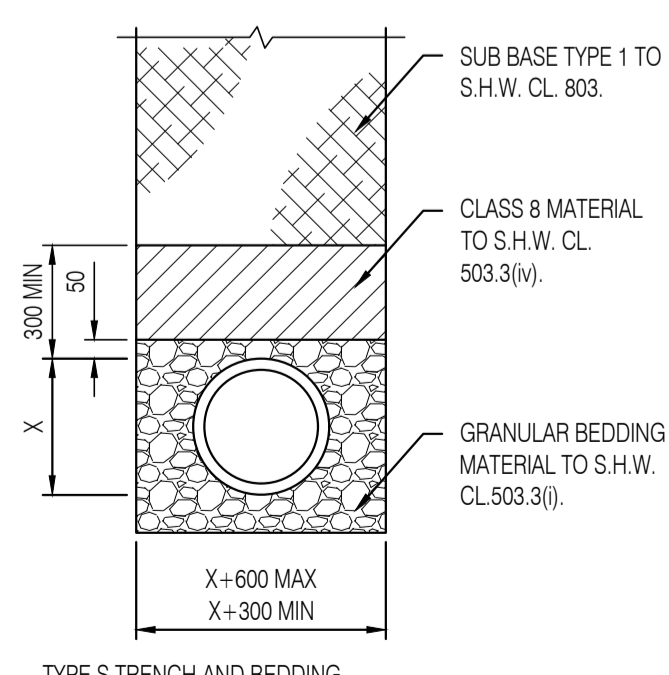
PIPE SIZE (DN)	NOM. SINGLE SIZE (mm)	GRADED SIZE (mm)
100 & 150	10	NOT PERMITTED
225 & 300	10 OR 20	20 TO 5

LAY AND COMPACT TO A THICKNESS NOT LESS THAN 50mm FOR SLEEVE JOINTED PIPES, 100mm FOR SOCKET JOINTED PIPES. OVER FULL WIDTH OF TRENCH, WHERE TRENCH BOTTOM IS UNEVEN DUE TO HARD SPOTS OR OTHER REASON, INCREASE DEPTH BY 100mm. SCOOP OUT LOCALLY AT COUPLINGS/SOCKETS AND LAY PIPES DIGGING SLIGHTLY INTO BED AND RESTING UNIFORMLY ON THEIR BARRELS. ADJUST TO LINE AND GRADIENT.

AFTER INITIAL TESTING, LAY AND COMPACT MORE GRANULAR MATERIAL IN 100mm LAYERS TO 150mm (250mm FOR ADOPTED SEWERS) ABOVE CROWN OF PIPE.

LOWER PART OF TRENCH WHERE BEDDING CLASS 8 IS SPECIFIED TRENCH WIDTH TO BE NOT MORE THAN THE FOLLOWING, REGARDLESS OF DEPTH OF COVER:

NOMINAL PIPE SIZE (DN)	100	150	225	300
MAX. TRENCH WIDTH (mm)	600	700	800	900



TYPE S TRENCH AND BEDDING  
SCALE 1:20

NOTE \*  
150mm OR 1/4 OF THE O.D. (OUTSIDE DIAMETER) WHICH EVER IS GREATER, FOR CONCRETE PIPEWORK 200mm OR 1/4 OF O.D. WHICH EVER IS GREATER.

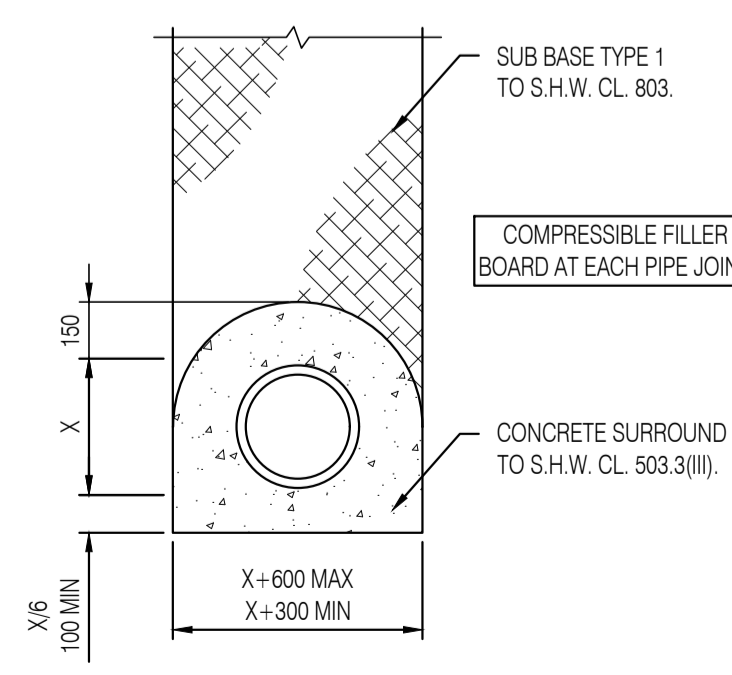
BACKFILLING OVER CONCRETE DO NOT START BACKFILLING WITHIN 24 HOURS OF PLACING CONCRETE. DO NOT USE HEAVY COMPACTORS AND PREVENT IMPOSITION OF TRAFFIC LOADS WITHIN 72 HOURS OF PLACING CONCRETE.

CLASS 2 CONCRETE SURROUND LAY CONCRETE BLINDING, 25mm THICK OVER FULL WIDTH OF TRENCH AND ALLOW TO SET.

LAY PIPES ON BLINDING ON FOLDING WEDGES OF COMPRESSIBLE BOARD TO GIVE A MINIMUM 150mm CLEARANCE UNDER THE PIPE. ANCHOR THE PIPELINE OR FILL WITH WATER, IF NECESSARY, TO PREVENT FLOTATION.

FORM VERTICAL CONSTRUCTION JOINTS IN SURROUND AT FACE OF FLEXIBLE PIPE JOINTS USING 18mm THICK COMPRESSIBLE BOARD PRECUT TO PROFILE. PIPE FILL ANY GAP BETWEEN SPIGOT AND SOCKET WITH RESILIENT MATERIAL TO PREVENT ENTRY TO CONCRETE.

AFTER INITIAL TESTING, PLACE AND COMPACT MORE CONCRETE FOR FULL WIDTH OF TRENCH TO ENCASE PIPE TO 150mm ABOVE CROWN OR TO OTHER HEIGHT AS SPECIFIED OR SHOWN ON DRAWINGS.



TYPE Z TRENCH AND BEDDING (WHERE COVER TO SOFFIT IS LESS THAN 1.5m)  
SCALE 1:20

This drawing should not be scaled. Dimensions to be verified on site. Any discrepancies should be referred to the Engineer prior to work being put in hand.

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GENERAL NOTES

- DO NOT SCALE THIS DRAWING. ANY DISCREPANCY IS TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEERS, ARCHITECTS OR OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.
- ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO PREPARING ANY WORKING DRAWINGS OR COMMENCING ON SITE.
- THE CONTRACTOR MUST ENSURE AND WILL BE HELD RESPONSIBLE FOR THE OVERALL STABILITY OF THE BUILDING/STRUCTURE/EXCAVATION AT ALL STAGES OF THE WORK.
- ALL WORK BY THE CONTRACTOR MUST BE CARRIED OUT IN SUCH A WAY THAT ALL REQUIREMENTS UNDER THE HEALTH AND SAFETY AT WORK ACT ARE SATISFIED.
- ALL WORK IS TO BE CARRIED OUT IN COMPLIANCE WITH THE REQUIREMENTS OF THE RELEVANT STATUTORY AUTHORITIES AND REGULATIONS.

NOTE:  
ALL PLANTING TO BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTS SPECIFICATION.

TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS:

- LANDSCAPE ARCHITECTS DRAWING PACKAGE
- INV0524\_102\_1000 - PROPOSED ROADS LAYOUT (LINK ROAD)
- INV0524\_107\_1100 - PROPOSED DRAINAGE (LINK ROAD)

Rev	Date	Description	Drn	Chd
03	08/03/19	MANHOLE DETAIL AMENDED	JB	JD
02	23/01/19	ISSUED FOR CONSTRUCTION	SM	JD
01	12/12/18	UPDATED TO REFLECT COMMENTS RECEIVED FROM TRANSPORT PLANNING, ISSUED FOR APPROVAL	SM	JD
00	10/10/18	ISSUED FOR APPROVAL	SM	JD

Project  
**TORVEAN ENABLING WORKS**

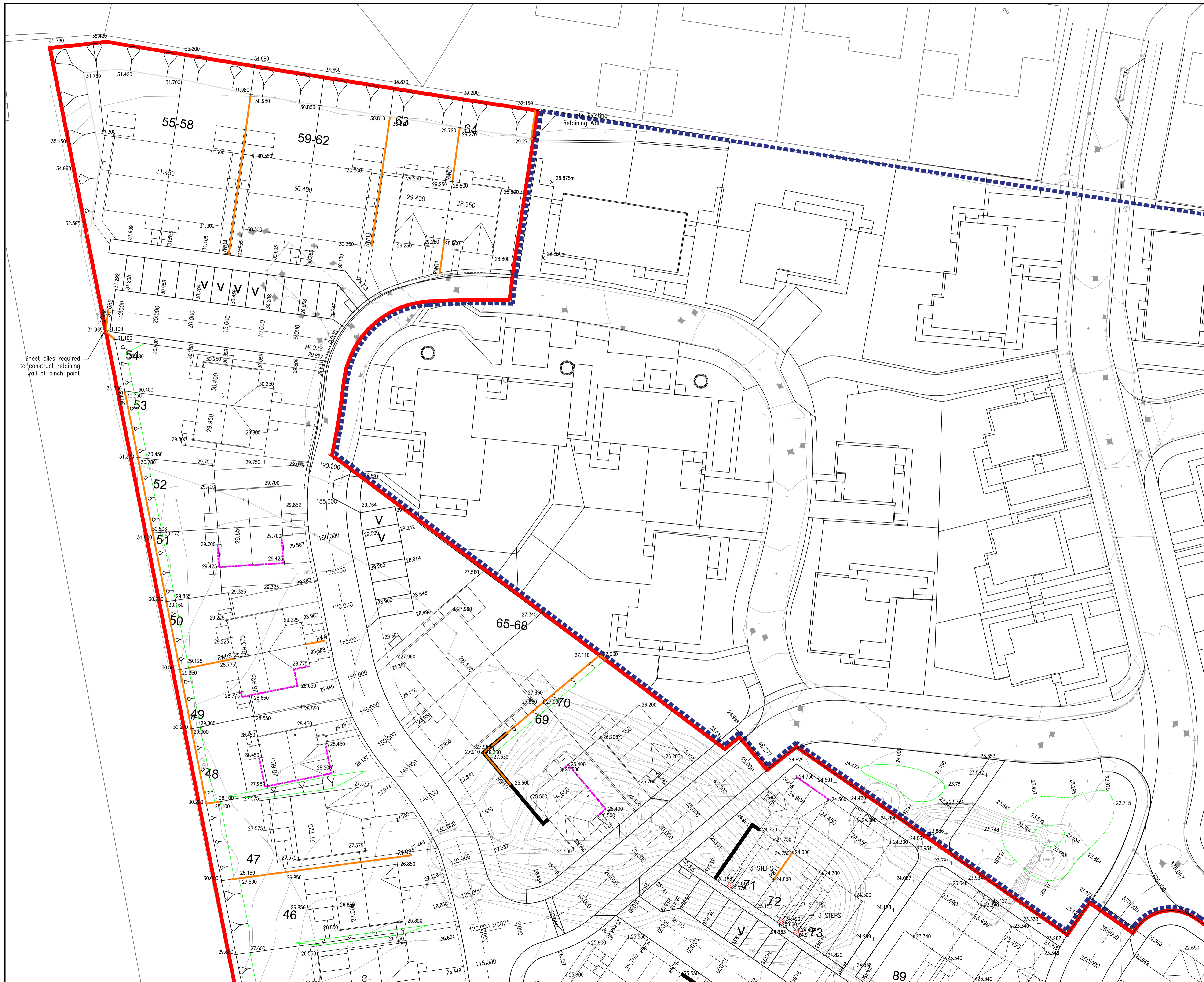
Title  
**PROPOSED DRAINAGE CONSTRUCTION DETAILS (LINK ROAD)**

Client  
**HIGHLAND COUNCIL**

FOR CONSTRUCTION

Drawn by	SM	Date	OCTOBER 2018	Designed by	SM	Checked by	JD
Scales (if A1 work to signed dimensions only)	AS SHOWN		Project No.	INV0524			
Drawing No.	INV0524_111_1003		Rev	03			





Do not scale from this drawing.

**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

- Notes:
1. Do not scale from this drawing
  2. All dimensions are in metres unless specified otherwise

Key

	Proposed Underbuild
	Proposed Retaining Wall
	Proposed Boundary Wall / Retaining Wall
	Proposed Berm - Slopes Greater than 1:10

E	18/07/21	ARCHITECTS LAYOUT AMENDED, LEVELS AND RETAINING WALLS UPDATED TO REFLECT CLIENT'S COMMENTS	RMS	JP	DE
D	17/07/21	LAYOUT AMENDED AS PER CLIENT'S COMMENTS	RMS	JP	DE
C	09/07/21	ARCHITECTS LAYOUT AMENDED, LEVELS AND RETAINING	RMS	JP	DE
B	11/06/21	ARCHITECTS LAYOUT AMENDED, PLOTS 41-43, 46 HANDED PLOTS 69-70 SEPARATED	JP	DE	DE
A	16/06/21	LEVELS REVISED, RETAINING WALLS ADDED	JP	DE	DE

Rev. Date Description Drwn. Chkd. Appd.

Client:

**FAIRHURST**

Elve House  
Broomfield Business Park  
INVERNESS  
IV2 3BW

Tel: 01463 724 544  
Fax: 0844 381 4412

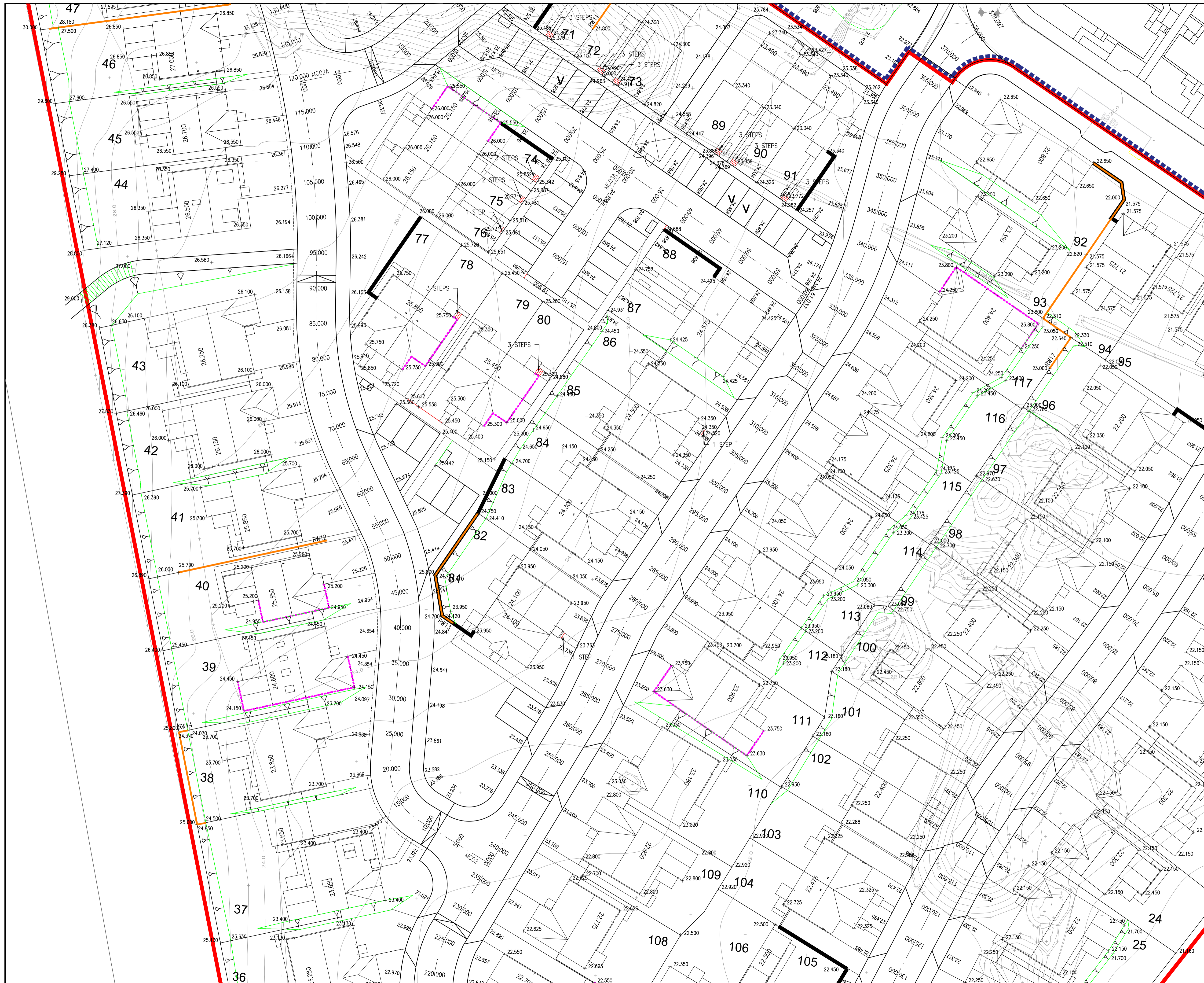
**ROBERTSON**  
HOMES

Project Title:  
**TORVEAN HOUSING  
INVERNESS**

Drawing Title:  
**SITE LEVELS  
SHEET 1 OF 5**

Scale of A1: 1:500	Status: For Approval
Drawn: JP	Checked: DE
Date: 16/03/21	Date: 16/03/21
Approved: DE	Date: 16/03/21
Drawing No.: 134067/1007	Revision: E





Do not scale from this drawing.

**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

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RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

Notes:

- Do not scale from this drawing
- All dimensions are in metres unless specified otherwise

Key

- Proposed Underbuild
- Proposed Retaining Wall
- Proposed Boundary Wall / Retaining Wall
- Proposed Boundary Wall
- Proposed Berm - Slopes Greater than 1:10

F	16/03/21	PLOT 74-76 FFL AMENDED, LEVELS UPDATED TO SUIT	RMS	JP	DE
E	16/03/21	ARCHITECTS LAYOUT AMENDED, LEVELS AND RETAINING WALLS UPDATED TO SUIT CLIENT'S COMMENTS	RMS	JP	DE
D	10/03/21	LAYOUT AMENDED AS PER CLIENT'S COMMENTS	RMS	JP	DE
C	18/02/21	ARCHITECTS LAYOUT AMENDED, LEVELS AND RETAINING WALLS UPDATED TO SUIT	RMS	JP	DE
B	11/02/21	PLOTS 41-43, 46 HANDED	JP	DE	DE
A	16/02/21	LEVELS UPDATED, RETAINING WALLS ADDED	JP	DE	DE

Rev. Date Description Drawn. Chkd. Appd.

**FAIRHURST**  
 Elve House  
 Brechinwood Business Park  
 INVERNESS  
 IV2 3BW  
 Tel: 01463 724 544  
 Fax: 0844 381 4412

**ROBERTSON HOMES**

Project Title:  
**TORVEAN HOUSING  
 INVERNESS**

Drawing Title:  
**SITE LEVELS  
 SHEET 2 OF 5**

Scale of A1: 1:500	Status: For Approval
Drawn: JP	Checked: DE
Date: 16/03/21	Date: 16/03/21
Drawing No.:	Approved: AM

134067/1008 F

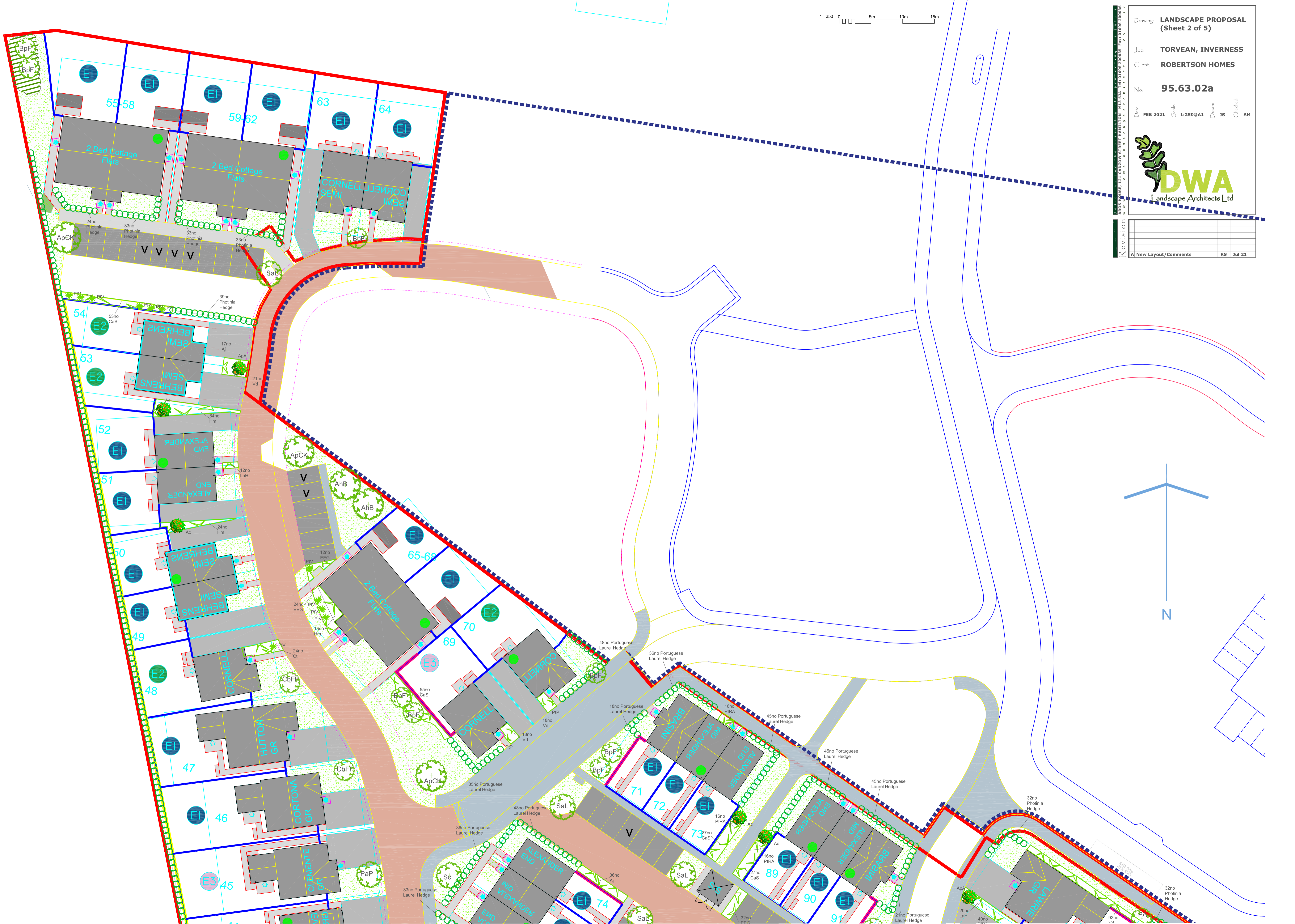









REVISION		
A	New Layout/Comments	RS Jul 21







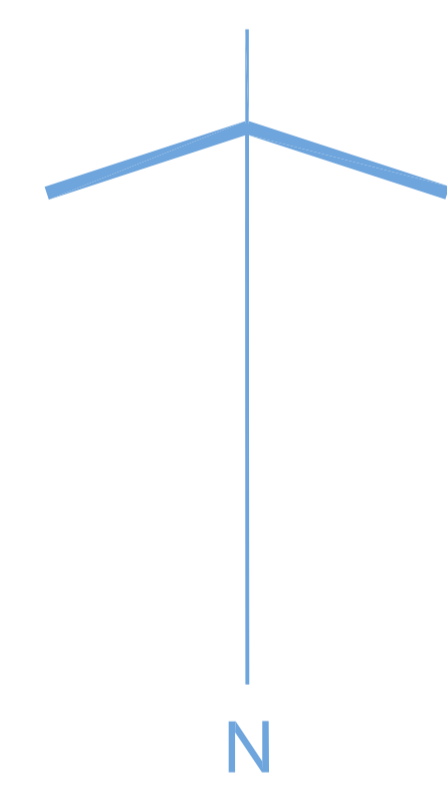
New Layout Commitments		RS	Jul 21
<p><b>LANDSCAPE PROPOSAL</b> (Sheet 3 of 5)</p>			
<p>Job: <b>TORVEAN, INVERNESS</b></p>			
<p>Client: <b>ROBERTSON HOMES</b></p>			
<p>No: <b>95.63.03a</b></p>			
Date:	FEB 2021	Scale:	1:250@A1
Drawn:	JS	Checked:	AM


  
**DWA**  
 Landscape Architects Ltd





1:250 0 5m 10m 15m



REV	DESCRIPTION	DATE
1	A New Layout/Comments	RS Jul 21

Drawing: **LANDSCAPE PROPOSAL (Sheet 4 of 5)**  
 Job: **TORVEAN, INVERNESS**  
 Clients: **ROBERTSON HOMES**  
 No: **95.63.04a**  
 Date: **FEB 2021** Scale: **1:250@A1** Drawn: **JS** Checked: **AM**





10m 15m

216no Portuguese Laurel Hedge

160no Beech Hedge

184no Purple Beech Hedge

180no Purple Beech Hedge

10no Hedgerow Mix

80no Beech Hedge

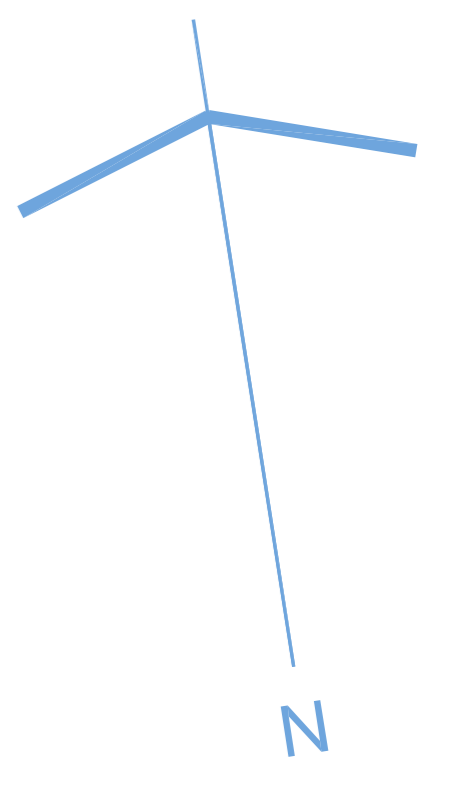
120no Beech Hedge

24no Photinia Hedge

28no Purple Hedge

16no Photinia Hedge

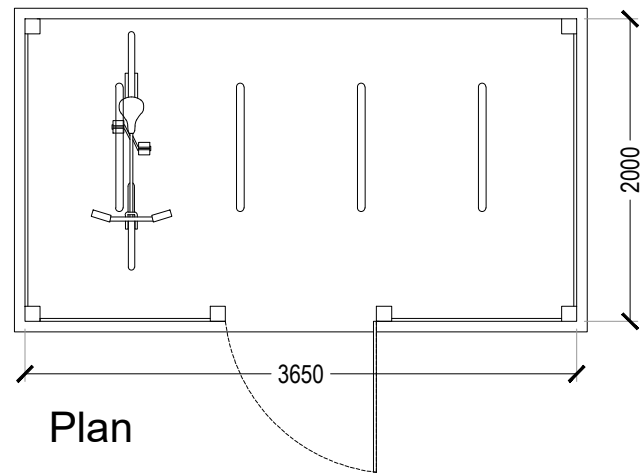
63no Portuguese Laurel Hedge



Revision	
	A New Layout/Comments
Drawing	LANDSCAPE (Sheet 5 of 5)
Job	TORVEAN, ROBERTSON
Client	
No	95.63
Date	FEB 2021
Scale	1:250

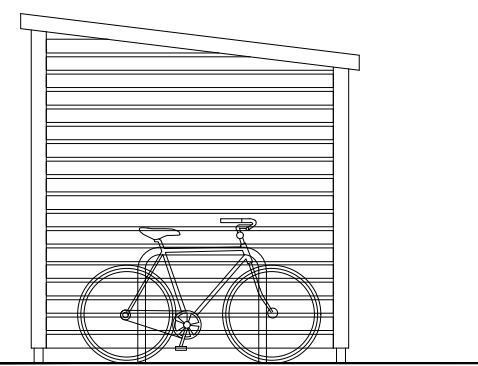
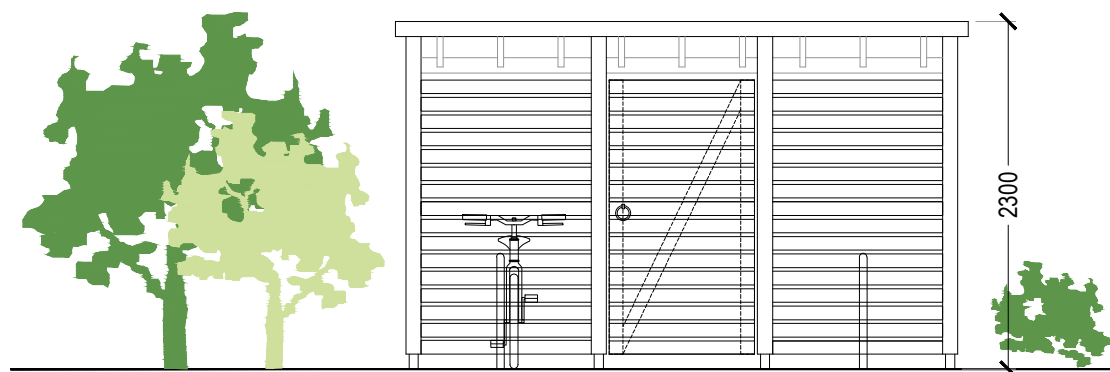
AROS HUGHES, 31 CARLOW STREET, HAMILTON, AUCKLAND, NEW ZEALAND  
 www.aroshughes.co.nz






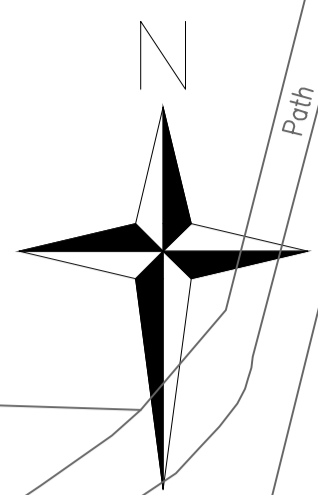
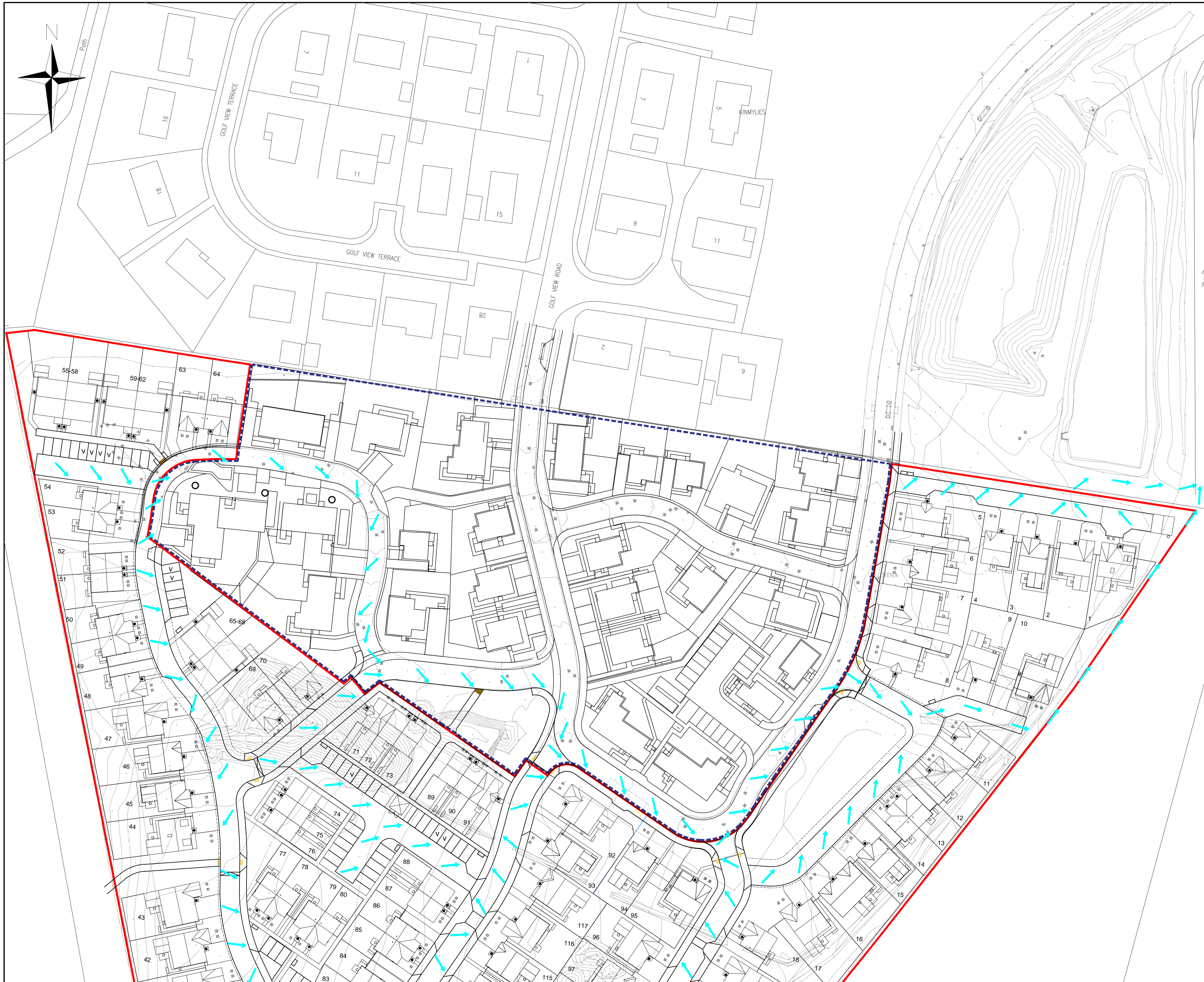
Bike shelter to comprise of modular timber structure inc. galavanised steel foot supports and aluminium profile sheet roofing system to protect bicycles from the elements. Timber cladding to sides to enclose shelter. To also include 4 no. stainless steel 'Sheffield' type cycle stand hoops.

Screen planting required around cycle store. Refer to landscaping layout for further details.



A		Slats and gate added to front elevation	JUL 21	MD
No.	Revision	Date	By	
 Robertson House, Castle Business Park, Stirling FK9 4TZ Tel: 01786 431600 Fax: 01786 431650 Email: info@robertson.co.uk www.robertsonhomes.co.uk				
Project Title:				
TORVEAN INVERNESS				
Drawing Title:				
PROPOSED CYCLE SHELTER				
Scale:		Date:		
1:50 @A3		JULY 20		
Drawn:		Checked:		
MD				
Drawing No.				Rev:
TOR_CS-01				A





Do not scale from this drawing.

**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

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RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

Rev.	Date	Description	Drawn	Chkd	Appd
B	16/07/21	DRAWING UPDATED IN LINE WITH THO'S RCC COMMENTS	RMS	JP	DE
A	23/06/21	ARCHITECTS LAYOUT UPDATED, DRAWING AMENDED TO SUIT.	RMS	JP	DE

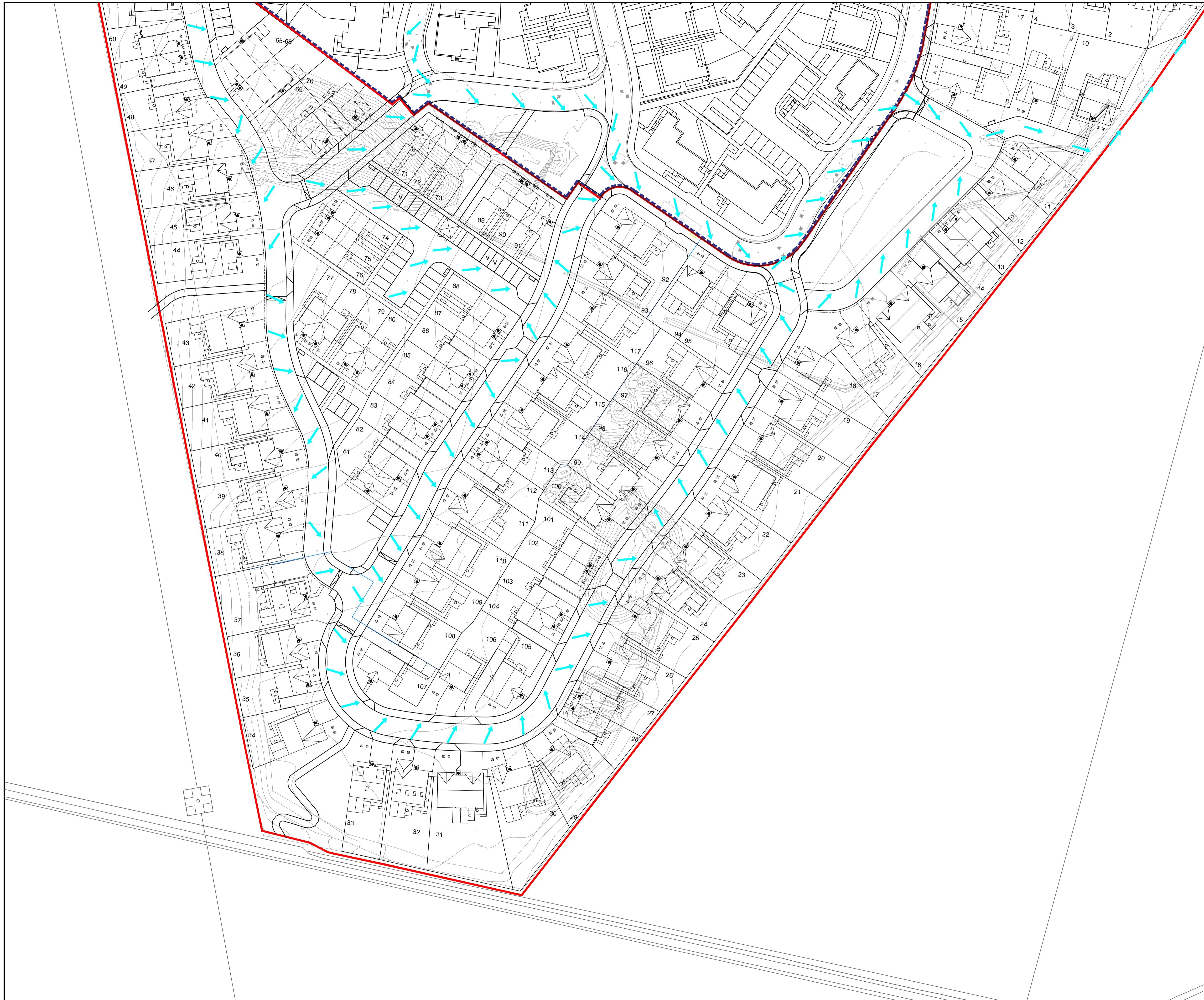
<p><b>FAIRHURST</b></p> <p>Elve House Beechwood Business Park INVERNESS IV2 3BW Tel: 01463 724 544 Fax: 0844 381 4412</p>	<p><b>ROBERTSON</b></p> <p>HOMES</p>
---	--------------------------------------

Project Title:  
**TORVEAN HOUSING  
INVERNESS**

Drawing Title:  
**FLOOD ROUTING  
SHEET 1 OF 2**

Scale at A1: 1:500	Status: For Approval
Drawn: JP	Checked: DE
Date: 17/03/21	Approved: AM
Drawing No.:	Date: 03/03/21
Revision:	Date: 03/03/21
Drawing No.: <b>134067/2002</b> Revision: <b>B</b>	





Do not scale from this drawing.

**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

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CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

Rev.	Date	Description	Drawn	Chkd	Appd
C	12/07/21	DRAWING UPDATED IN LINE WITH THCS RCC COMMENTS	RMS	JP	DE
B	23/06/21	ARCHITECTS LAYOUT UPDATED, DRAWING AMENDED TO SUIT	RMS	JP	DE
A	05/06/21	ARCHITECTS LAYOUT AMENDED		JP	DE

Client:

**FAIRHURST**

Elve House  
Beechwood Business Park  
INVERNESS  
IV2 3BW  
Tel: 01463 724 544  
Fax: 0844 381 4412

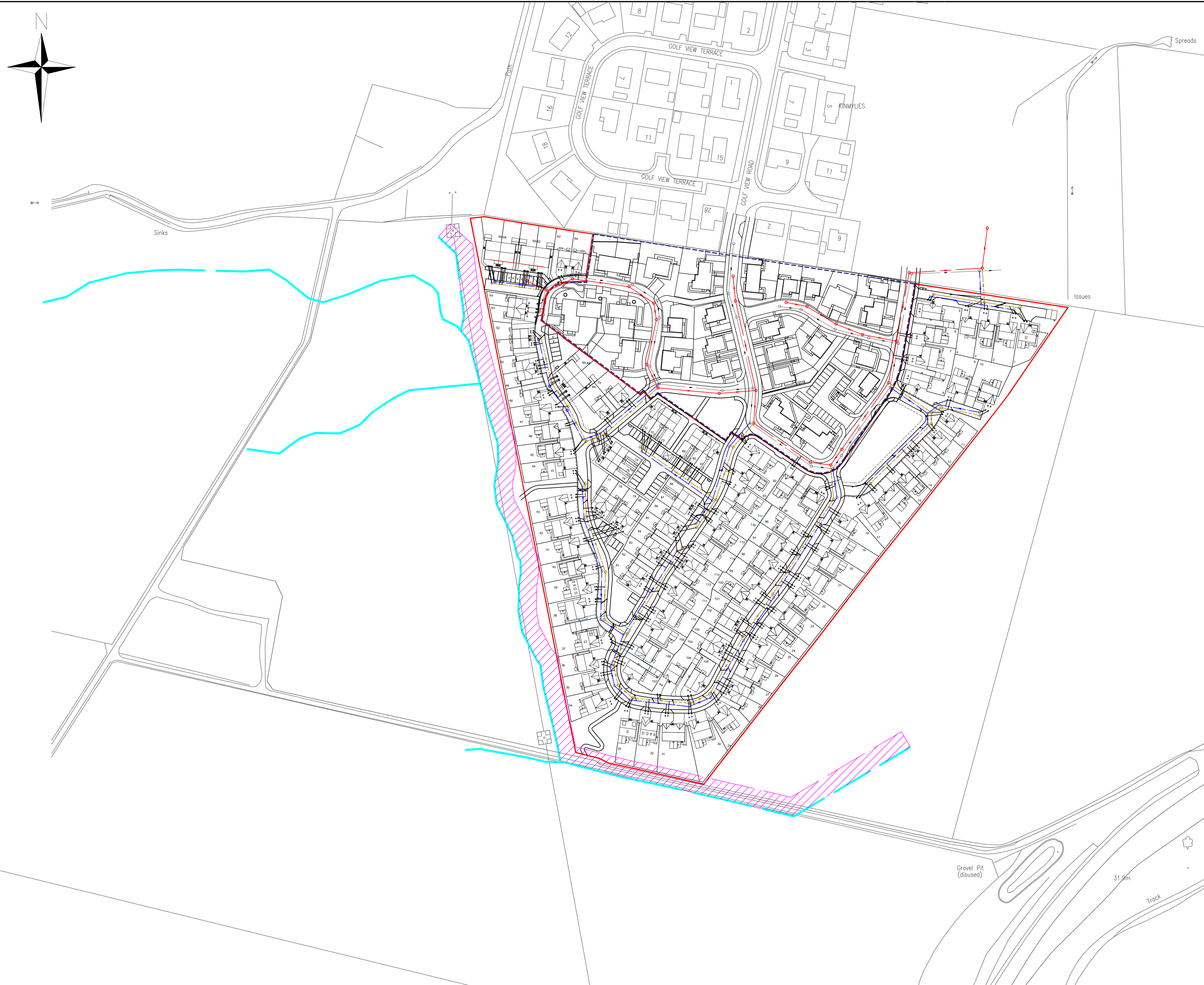
Project Title:  
**TORVEAN HOUSING  
INVERNESS**

Drawing Title:  
**FLOOD ROUTING  
SHEET 2 OF 2**

Scale at A1: 1:500	Status: For Approval
Drawn: JP	Checked: DE
Date: 17/03/21	Approved: AM
	Date: 03/03/21
Drawing No.:	Revision: C

134067/2003 C





Do not scale from this drawing.

**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

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RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION

DEMOLITION

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IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

- Notes:
1. Do not scale from this drawing
  2. All dimensions are in metres unless specified otherwise
- LEGEND:
- EXISTING DITCH
  - 10M BUFFER FROM EXISTING DITCH

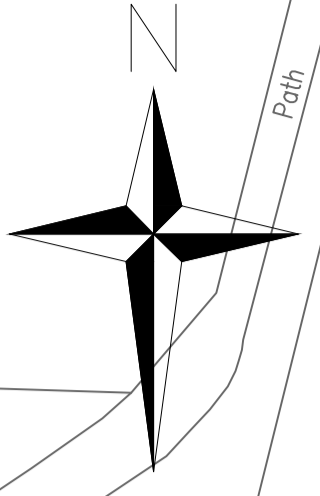
Rev.	Date	Description	Drawn	Chkd	Appd
<p><b>FAIRHURST</b></p> <p>Elve House Beechwood Business Park INVERNESS IV2 3BW Tel: 01463 724 544 Fax: 0844 381 4412</p>					
<p>Client:</p> <p><b>ROBERTSON HOMES</b></p>					

Project Title:  
**TORVEAN HOUSING  
INVERNESS**

Drawing Title:  
**GOLF COURSE DITCH  
10M BUFFER ZONE**

Scale at A1: 1:1000	Status: For Approval
Drawn: JJP	Checked: AM
Date: 11/08/21	Date: 11/08/21
Approved: AM	Date: 11/08/21
Drawing No.: 134067/2020	Revision: -





Do not scale from this drawing.

**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

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CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

**Notes.**

- Do not scale from this drawing.
- All dimensions are in meters unless specified otherwise.
- Refer to Fairhurst drawing 134067/1027 for Visibility Splay Sheet 2.

Speed	Kilometres per hour	16	20	24	25	30	32	40	45	48	50	60
MSD (metres)	Mean per hour	10	12	15	16	19	20	25	28	30	31	37
SSD (metres)	indicated for normal length	11	14	17	18	23	25	33	39	43	45	59

Visibility requirements taken from Designing Streets.

**KEY:**

- JUNCTION VISIBILITY SPLAY
- FORWARD VISIBILITY SPLAY

A	5/8/21	ARCHITECTS LAYOUT UPDATED	JP	DE	DE
Rev.	Date	Description	Drawn	Chkd	Appd

**FAIRHURST**

Elve House  
Beechwood Business Park  
INVERNESS  
IV2 3BW  
Tel: 01463 724 544  
Fax: 0844 381 4412

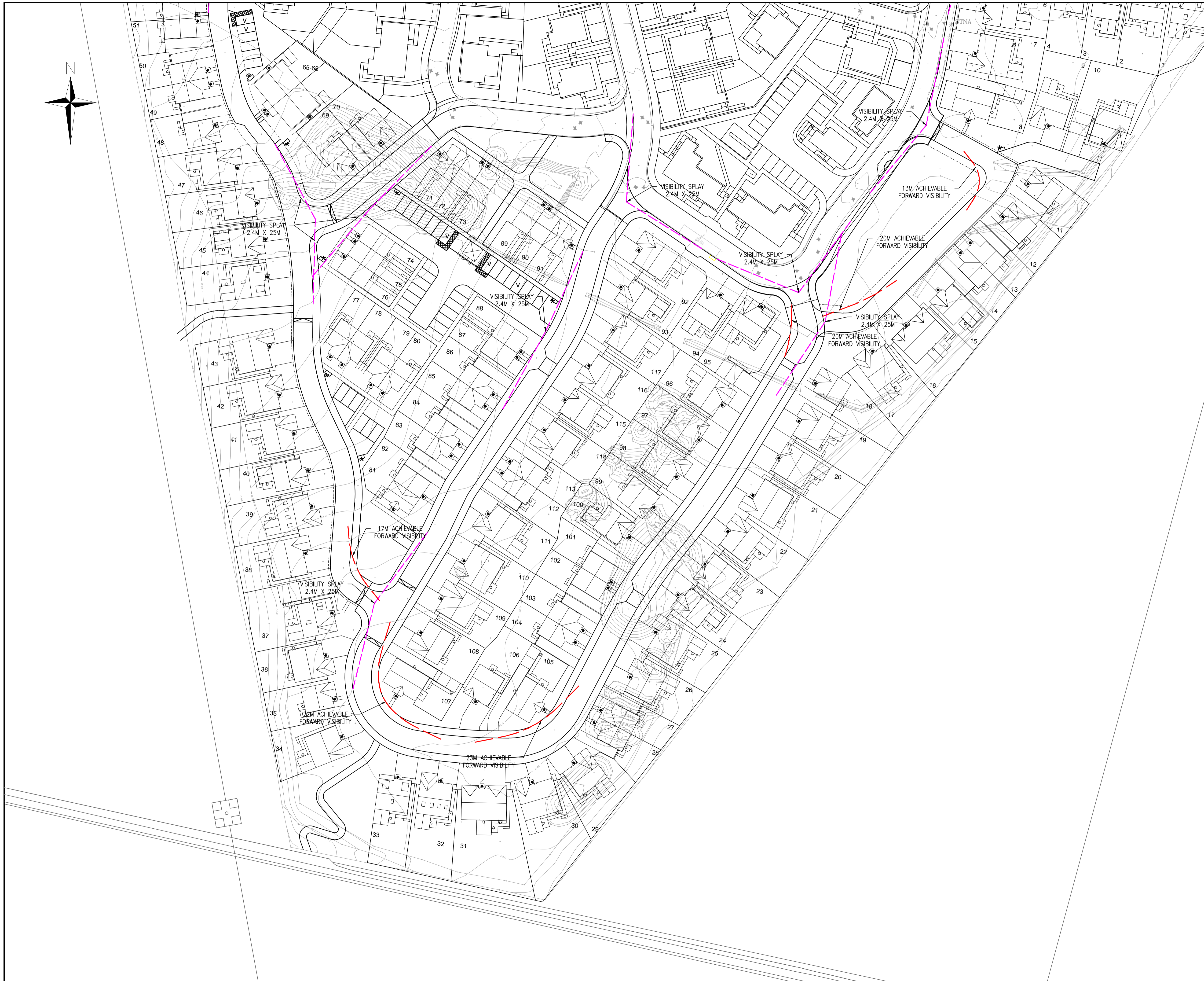
**ROBERTSON HOMES**

Project Title:  
**TORVEAN HOUSING  
INVERNESS**

Drawing Title:  
**VISIBILITY SPLAYS  
SHEET 1 OF 2**

Scale at A1: 1:500	Status: For Approval
Drawn: RMS	Checked: JP
Date: 08/07/21	Date: 08/07/21
Approved: AM	Date: 08/07/21
Drawing No.: 134067/1026	Revision: A





Do not scale from this drawing.

**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

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CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

**Notes.**

- Do not scale from this drawing.
- All dimensions are in meters unless specified otherwise.
- Refer to Fairhurst drawing 134067/1026 for Visibility Splay Sheet 1.

Speed	Kilometres per hour	16	20	24	25	30	32	40	40	48	50	60
Mean see through	metres	10	12	15	16	19	20	25	28	33	37	45
SSD (metres)	metres	9	12	15	16	20	22	31	36	43	49	59
SSD (indicated for forward length)	metres	11	14	17	18	23	25	33	39	45	51	61

Visibility requirements taken from Designing Streets.

**KEY:**

- JUNCTION VISIBILITY SPYLA
- FORWARD VISIBILITY SPYLA

A	08/07/21	UPDATED ARCHITECTS LAYOUT	JP	JP	DE
Rev.	Date	Description	Drawn	Chkd	Appd

**FAIRHURST**  
Elve House  
Beechwood Business Park  
INVERNESS  
IV2 3BW  
Tel: 01463 724 544  
Fax: 0844 381 4412

**ROBERTSON HOMES**

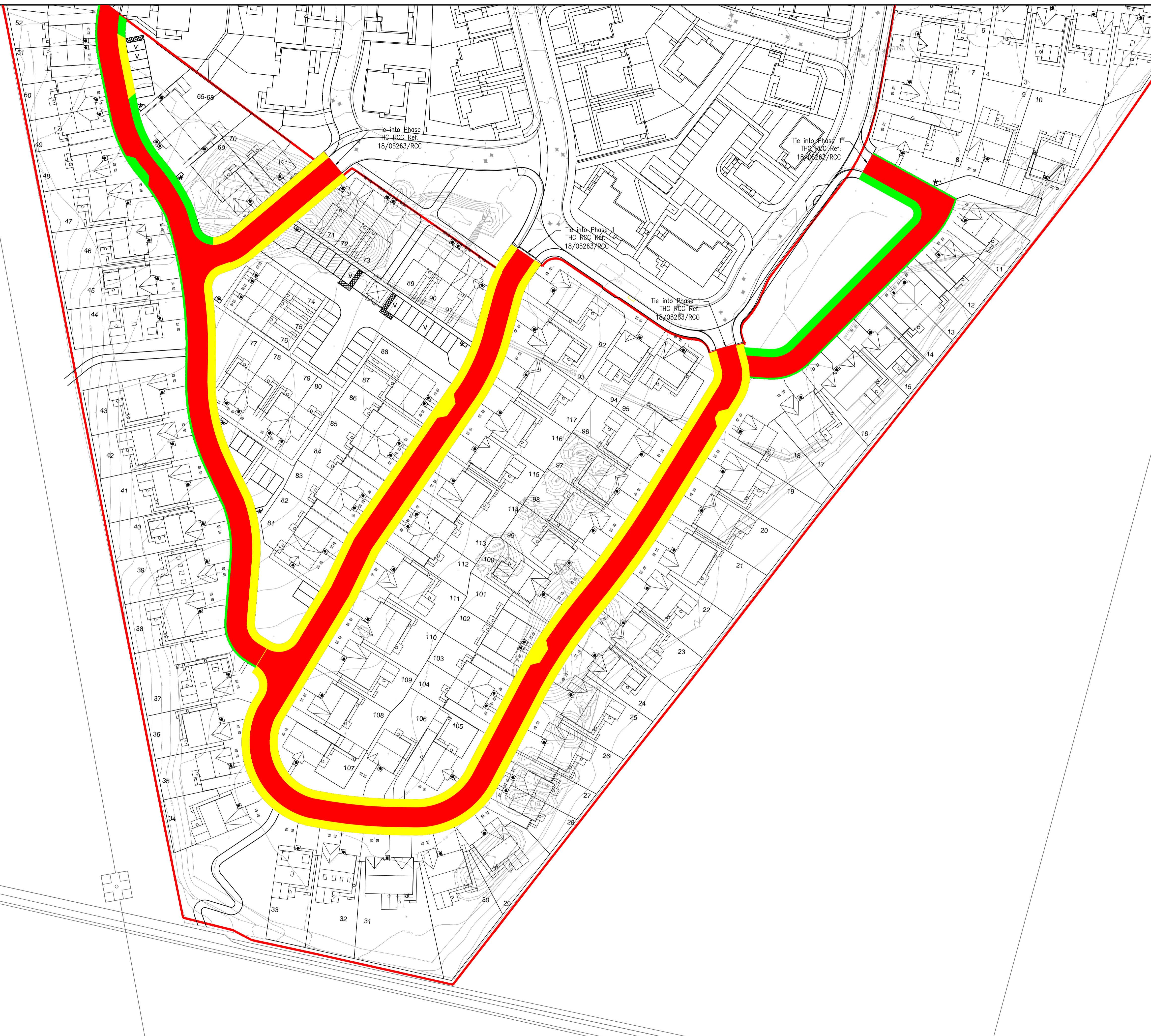
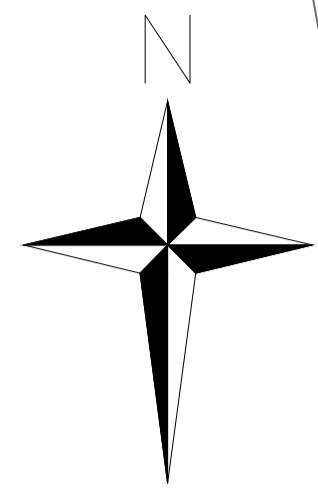
Project Title:  
**TORVEAN HOUSING INVERNESS**

Drawing Title:  
**VISIBILITY SPYLA SHEET 2 OF 2**

Scale at A1: 1:500	Status: For Approval	
Drawn: RMS	Checked: JP	Approved: AM
Date: 08/07/21	Date: 08/07/21	Date: 08/07/21
Drawing No.:	Revision:	

134067/1027 A





Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

**LEGEND:**

- █ EXTENT OF ADOPTABLE ROAD
- █ EXTENT OF ADOPTABLE FOOTPATH
- █ EXTENT OF ADOPTABLE VERGE

F	25/06/21 UPDATED IN LINE WITH THC COMMENTS	JP	JP	DE	
E	11/06/21 ARCHITECTS LAYOUT AMENDED, AREAS UPDATED TO SUIT	RMS	JP	DE	
D	28/06/21 ARCHITECTS LAYOUT AMENDED, AREAS UPDATED TO SUIT	RMS	JP	DE	
C	04/06/21 ARCHITECT LAYOUT AMENDED, AREAS UPDATED TO SUIT	RMS	JP	DE	
B	11/06/21 RCC NOTES ADDED		JP	DE	
A	25/06/21 UPDATED IN LINE WITH COMMENTS RECEIVED FROM RHL	RMS	JP	DE	
Rev.	Date	Description	Drawn	Chkd	Appd

**FAIRHURST**

Elve House  
Beechwood Business Park  
INVERNESS  
IV2 3BW

Tel: 01463 724 544  
Fax: 0844 381 4412

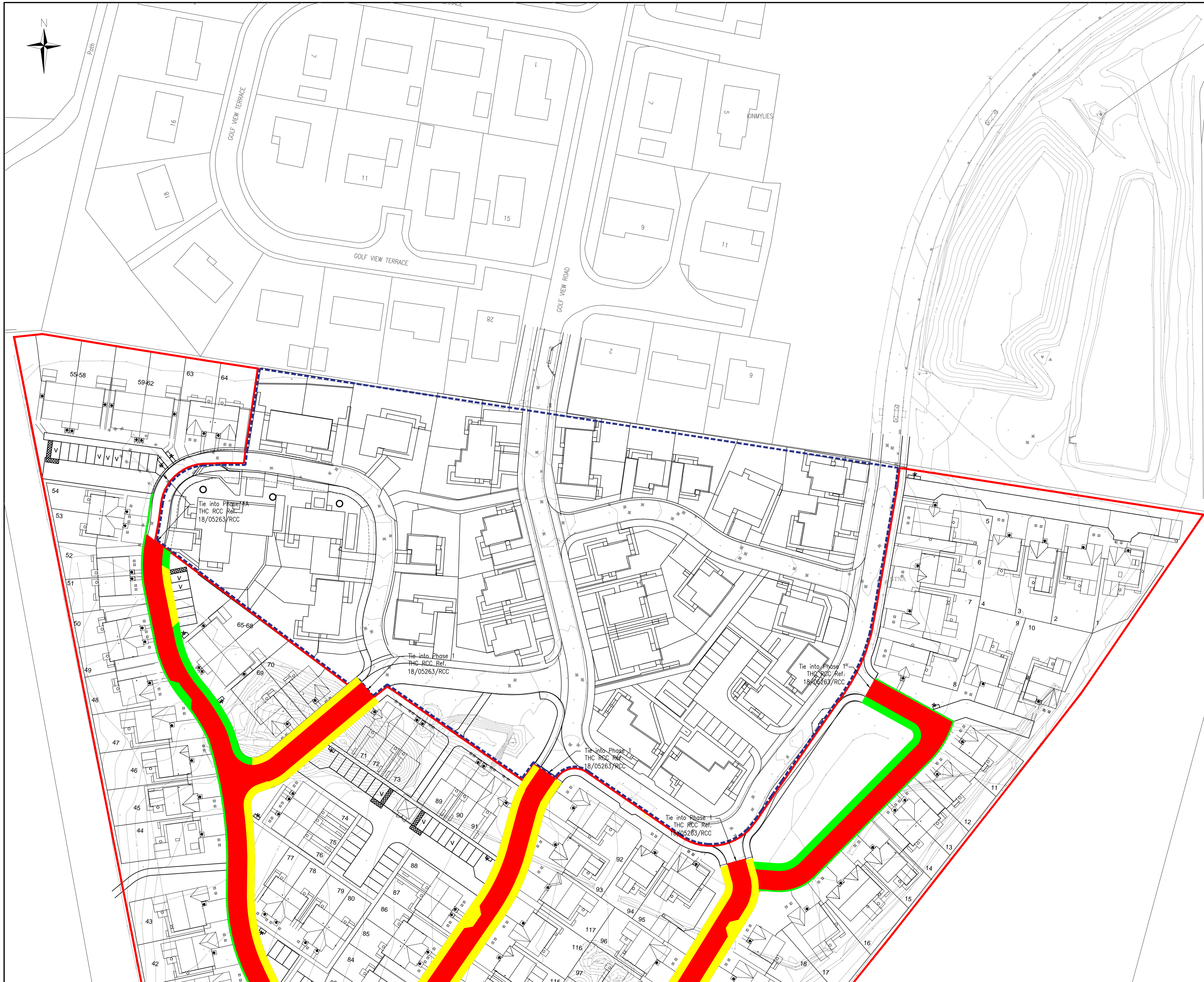
Project Title:  
**TORVEAN HOUSING  
INVERNESS**

Drawing Title:  
**ADOPTION AREAS  
SHEET 2 OF 2**

Scale at A1: 1:500	Status: For Approval
Drawn: JP	Checked: DE
Date: 03/03/21	Approved: AM
	Date: 03/03/21
Drawing No.:	Revision:

134067/1004 F





Do not scale from this drawing.

**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

**LEGEND:**

- EXTENT OF ADOPTABLE ROAD
- EXTENT OF ADOPTABLE FOOTPATH
- EXTENT OF ADOPTABLE VERGE

F	15/06/21	UPDATED IN LINE WITH THC COMMENTS	JP	JP	DE
E	11/06/21	ARCHITECTS LAYOUT UPDATED, AREAS AMENDED TO SUIT	RMS	JP	DE
D	08/06/21	ARCHITECTS LAYOUT AMENDED, AREAS UPDATED TO SUIT	RMS	JP	DE
C	04/06/21	ARCHITECTS LAYOUT AMENDED, AREAS UPDATED TO SUIT	RMS	JP	DE
B	11/06/21	RCC NOTES ADDED	JP	DE	DE
A	05/06/21	UPDATED IN LINE WITH COMMENTS RECEIVED FROM RHL	RMS	JP	DE

Rev.	Date	Description	Drawn	Chkd	Appd

**FAIRHURST**

Elvie House  
Beechwood Business Park  
INVERNESS  
IV2 3BW  
Tel: 01463 724 544  
Fax: 0844 381 4412

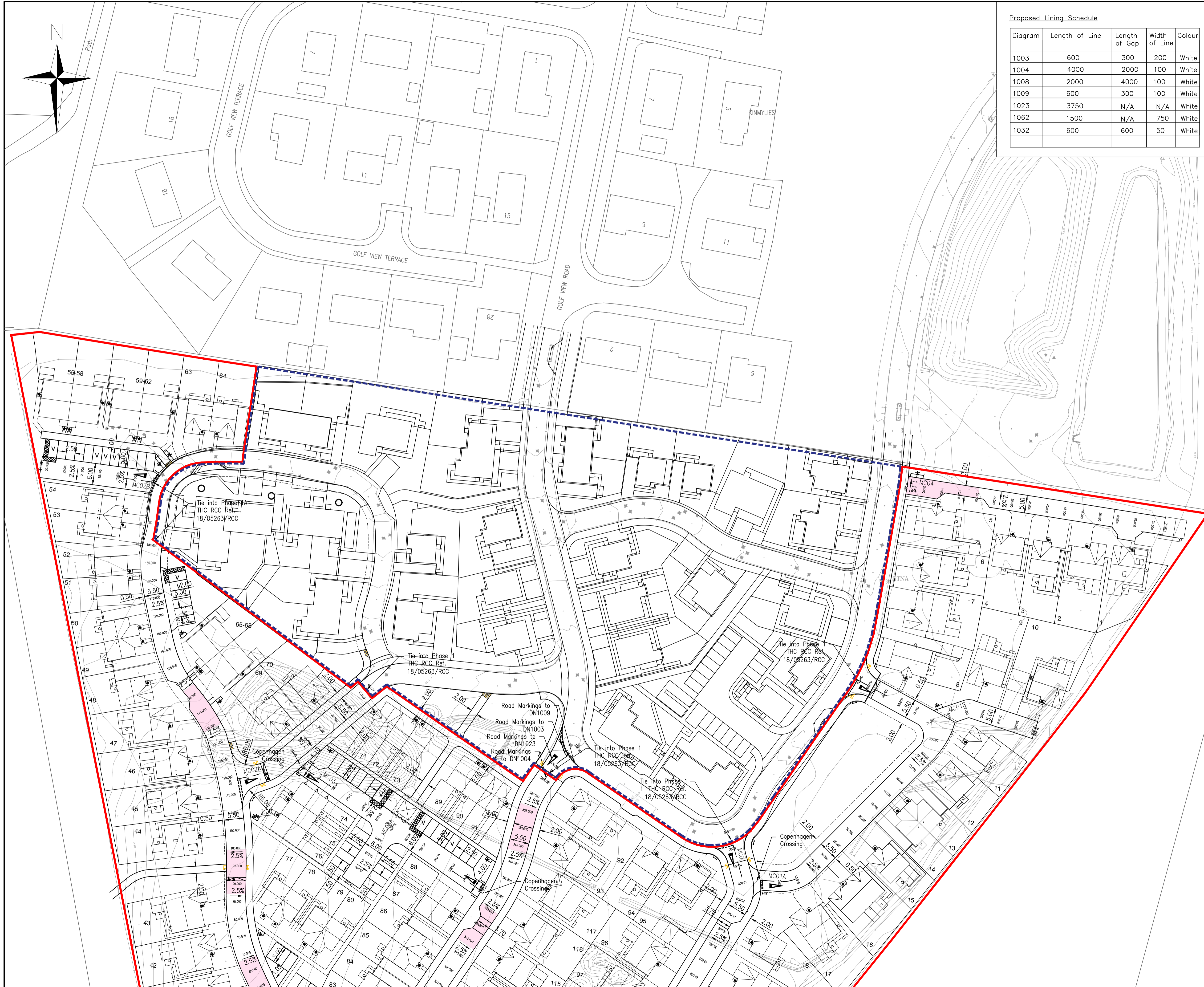
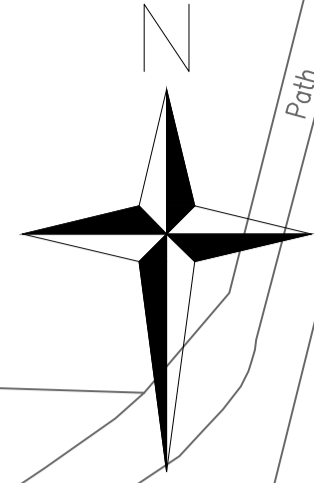
**ROBERTSON**  
HOMES

Project Title:  
**TORVEAN HOUSING  
INVERNESS**

Drawing Title:  
**ADOPTION AREAS  
SHEET 1 OF 2**

Scale at A1: 1:500	Status: For Approval
Drawn: JP	Checked: DE
Date: 03/03/21	Date: 03/03/21
Approved: AM	Date: 03/03/21
Drawing No.: 134067/1003	Revision: F





Proposed Lining Schedule

Diagram	Length of Line	Length of Gap	Width of Line	Colour
1003	600	300	200	White
1004	4000	2000	100	White
1008	2000	4000	100	White
1009	600	300	100	White
1023	3750	N/A	N/A	White
1062	1500	N/A	750	White
1032	600	600	50	White

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

Notes:

- Do not scale from this drawing
- All dimensions are in metres unless specified otherwise
- Refer to Fairhurst drawing 134067/1005 and 1006 for Road Long Sections
- Refer to Fairhurst drawing 134067/2000 and 2001 for Drainage Layout Plans
- The Contractor shall contact the Engineer prior to work commencing should they note any discrepancies or require clarification on any aspect of the design.
- The appointed Civil Engineering Contractor shall be responsible for setting out the Works and for the correctness of the position and dimensions of all parts of the works.
- Boundary lines shown on plan are indicative only and should not be used for the purpose of producing Feu plans.
- Development layout by Robertson Homes
- Coordinates are to National Grid and levels are relative to Ordnance Datum.
- Road alignment designed in accordance with The Highland Councils 'Roads and Transport Guidelines for New Developments'
- All signing and road markings to be in accordance with the Traffic Signs Regulations and General Directions 2016
- No unauthorised advertising or directional signs will be erected in contravention of Section 100 of the Roads (Scotland) Act 1984
- All proposed lining to tie into existing white lining
- Existing white lining in conflict with proposed to be removed
- All road signs and bollards to have minimum 450mm clearance from road channel.
- All permanent road markings shall consist of reflectorised white thermoplastic material complying with the requirements of BS EN 1871:2000 Class A with solid glass beads applied uniformly on the wet surface at the rate of 400-500 g/m complying with the requirements of BS EN 1423:1998.

Key:

- Site Boundary
- Crossfall Transition Area
- + Proposed Road Sign
- Proposed Street Name Plate
- Proposed Blister Tactile Paving
- Proposed Corduroy Tactile Paving

G	14/07/21	UPDATED IN LINE WITH COMMENTS RECEIVED FROM THC	JP	JP	DE
F	29/07/21	DRAWING UPDATED IN LINE WITH THC'S RCC COMMENTS.	RMS	JP	DE
E	25/08/21	ARCHITECTS LAYOUT AMENDED & ROAD MARKINGS ADDED	RMS	JP	DE
D	15/09/21	LAYOUT AMENDED AS PER CLIENT'S COMMENTS	RMS	JP	DE
C	04/09/21	ARCHITECT LAYOUT AMENDED, CHAINAGES ADDED	RMS	JP	DE
B	11/06/21	ARCHITECTS LAYOUT AMENDED, DRIVEWAY SPLAYS ADDED	JP	DE	DE
A	05/06/21	UPDATED IN LINE WITH COMMENTS RECEIVED FROM RHL	RMS	JP	DE

Rev.	Date	Description	Client:	Drawn	Chkd	Appd
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**FAIRHURST**

Elve House  
Beechwood Business Park  
INVERNESS  
IV2 3BW  
Tel: 01463 724 544  
Fax: 0844 381 4412



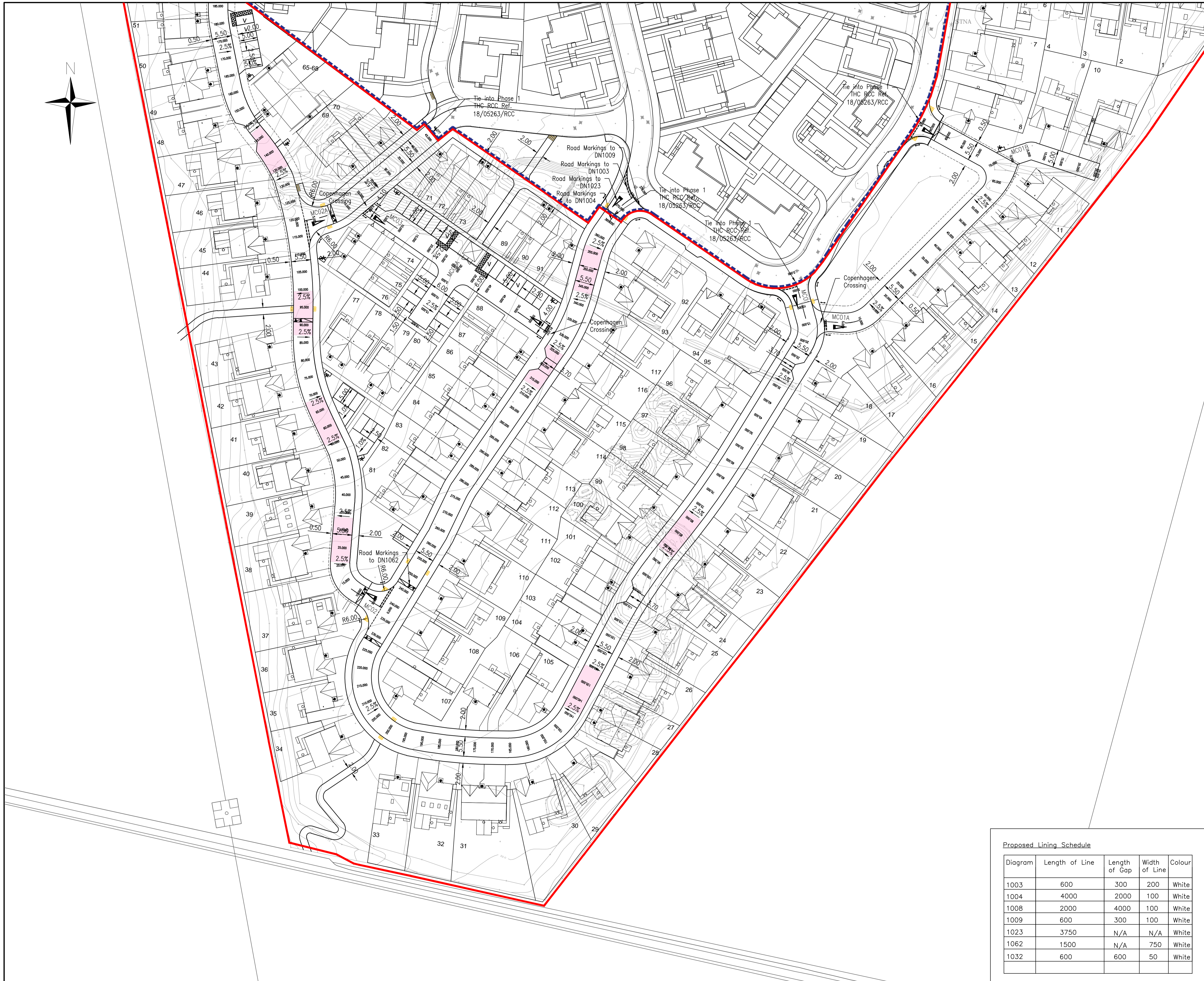
Project Title:  
**TORVEAN HOUSING  
INVERNESS**

Drawing Title:  
**ROAD LAYOUT  
SHEET 1 OF 2**

Scale at A1:		Status:	
1:500		For Approval	
Drawn:	JP	Checked:	DE
Approved:	AM	Date:	03/03/21
Date:	03/03/21	Date:	03/03/21

Drawing No.: 134067/1001 Revision: G





Do not scale from this drawing.

**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

- Notes:**
1. Do not scale from this drawing
  2. All dimensions are in metres unless specified otherwise
  3. Refer to Fairhurst drawing 134067/1005 and 1006 for Road Long Sections
  4. Refer to Fairhurst drawing 134067/2001 and 2001 for Drainage Layout
  5. The Contractor shall contact the Engineer prior to work commencing should they note any discrepancies or require clarification on any aspect of the design.
  6. The appointed Civil Engineering Contractor shall be responsible for setting out the Works and for the correctness of the position and dimensions of all parts of the works.
  7. Boundary lines shown on plan are indicative only and should not be used for the purpose of producing Feu plans.
  8. Development layout by Robertson Homes
  9. Coordinates are to National Grid and levels are relative to Ordnance Datum.
  10. Road alignment designed in accordance with The Highland Councils 'Roads and Transport Guidelines for New Developments'
  11. All signing and road markings to be in accordance with the Traffic Signs Regulations and General Directions 2016
  12. No unauthorised advertising or directional signs will be erected in contravention of Section 100 of the Roads (Scotland) Act 1984
  13. All proposed lining to tie into existing white lining
  14. Existing white lining in conflict with proposed to be removed
  15. All road signs and bollards to have minimum 450mm clearance from road channel.
  16. All permanent road markings shall consist of reflectorised white thermoplastic material complying with the requirements of BS EN 1871:2000 Class A with solid glass beads applied uniformly on the wet surface at the rate of 400-500 g/m complying with the requirements of BS EN 1423:1998.

- Key:**
- Site Boundary
  - █ Crossfall Transition Area
  - ▲ Proposed Road Sign
  - Proposed Street Name Plate
  - Proposed Blister Tactile Paving
  - Proposed Corduray Tactile Paving

G	25/07/21	UPDATED IN LINE WITH THC COMMENTS	JP	JP	DE
F	29/07/21	DRAWING UPDATED IN LINE WITH THC'S RCC COMMENTS	RMS	JP	DE
E	28/08/21	ARCHITECTS LAYOUT UPDATED & ROAD MARKINGS ADDED	RMS	JP	DE
D	18/09/21	LAYOUT UPDATED AS PER CLIENT'S COMMENTS	RMS	JP	DE
C	04/09/21	ARCHITECTS LAYOUT UPDATED, CHANGES ADDED	RMS	JP	DE
B	11/06/21	ARCHITECTS LAYOUT AMENDED	JP	DE	DE
A	25/05/21	UPDATED IN LINE WITH COMMENTS RECEIVED FROM RHL	RMS	JP	DE

Rev. Date Description Client:

**FAIRHURST**  
Elvie House  
Beechwood Business Park  
INVERNESS  
IV2 3BW  
Tel: 01463 724 544  
Fax: 0844 381 4412

**ROBERTSON HOMES**

Project Title:  
**TORVEAN HOUSING  
INVERNESS**

Drawing Title:  
**ROAD LAYOUT  
SHEET 2 OF 2**

**Proposed Lining Schedule**

Diagram	Length of Line	Length of Gap	Width of Line	Colour
1003	600	300	200	White
1004	4000	2000	100	White
1008	2000	4000	100	White
1009	600	300	100	White
1023	3750	N/A	N/A	White
1062	1500	N/A	750	White
1032	600	600	50	White

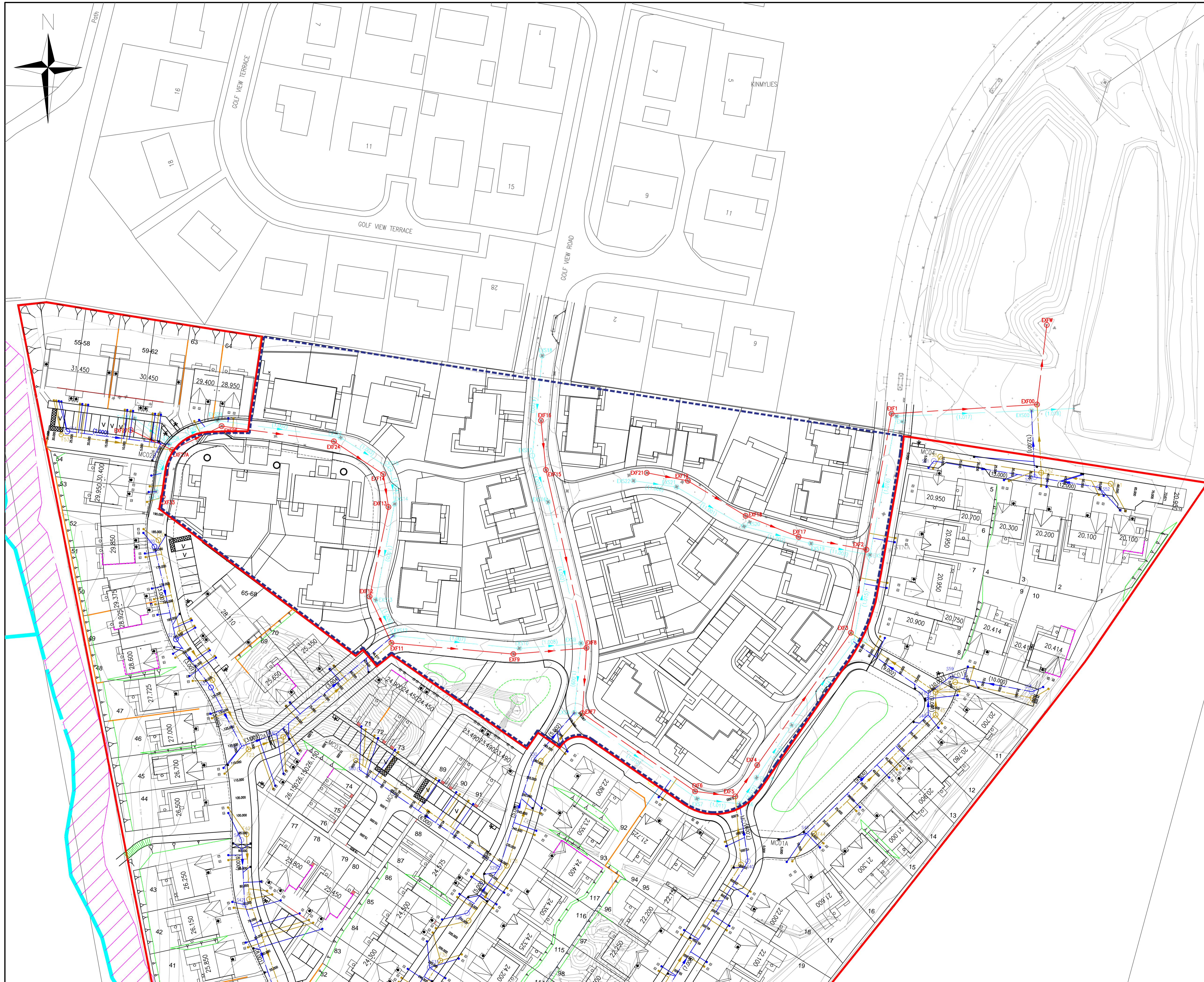
Scale at A1:  
1:500

Status:  
For Approval

Drawn: JP	Checked: DE	Approved: AM
Date: 03/03/21	Date: 03/03/21	Date: 03/03/21

Drawing No.: 134067/1002 Revision: G





Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

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CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

Notes:

- Do not scale from this drawing
- All dimensions are in metres unless specified otherwise
- All sewers and manholes to be laid and constructed in accordance with Sewers for Scotland, 4th edition
- Class D400 manhole covers to be used in all carriageways and parking areas.
- Concrete slab protection shall span the pipe trench and extend a minimum of 150mm either side. There shall be a minimum of 150mm of surround between the crown of the pipe and the underside of the slab. Concrete slab protection will be required where cover to the crown of the pipe is less than 1.2m.
- The appointed Civil Engineering Contractor shall be responsible for setting out the Works and for the correctness of the position and dimensions of all parts of the works.
- The Contractor shall take all necessary precautions to avoid causing any damage to, or interference with flow in, existing public sewers and shall ensure that debris, silt and mud, etc., do not enter the sewer.
- Processed granular and "as-dug" bedding, sidefill and surround materials for buried pipelines shall comply with WIS 04-08-02.
- Steps for manholes and other chambers shall be Type D, Class 1, complying with the requirements of BS EN 13101. Galvanised mild steel and plastic encapsulated steps are preferred.
- Refer to Fairhurst drawing 128402/2007 to 2010 for drainage long sections
- The Contractor shall contact the Engineer prior to work commencing should they note any discrepancies or require clarification on any aspect of the design.
- Connections from disconnecting Chamber to Scottish Water sewers to be a minimum of 150mm diameter.
- Inlay covers to be used where manhole are within Block Paving areas.

LEGEND:

- EXISTING SURFACE WATER SEWER
- EXISTING FOUL WATER SEWER
- EXISTING SURFACE WATER MANHOLE
- EXISTING FOUL WATER MANHOLE
- SURFACE WATER SEWER
- FOUL WATER SEWER
- SURFACE WATER MANHOLE
- EXISTING WATERED MANHOLE
- ARCHITECT'S SURFACE WATER DISCONNECTION SEWER & CHAMBER
- FOUL WATER DISCONNECTION SEWER & CHAMBER

F	04/07/21	DRAWING UPDATED IN LINE WITH THC'S RCC COMMENTS	RMS	JP	DE
E	15/03/21	PLOT 53 DISCONNECTION CHAMBERS AMENDED	RMS	JP	DE
D	15/03/21	PLOTS 74-76 DISCONNECTION CHAMBERS AMENDED & EXISTING MANHOLE'S RENUMBERED.	RMS	JP	DE
C	01/03/21	DRAINAGE LAYOUT UPDATED; MANHOLES S60, S61, F57 & F58 ADDED AND SEWER RUNS RENUMBERED.	RMS	JP	DE
B	11/02/21	DISCONNECTING CHAMBERS MOVED TO HEEL KERB	JP	DE	DE
A	15/03/21	UPDATED IN LINE WITH COMMENTS RECEIVED FROM RHL	RMS	JP	DE

Rev.	Date	Description	Drwn.	Chkd.	Appd.

Client:

**FAIRHURST**

Elve House  
Beechwood Business Park  
INVERNESS  
IV2 3BW

Tel: 01463 724 544  
Fax: 0844 381 4412

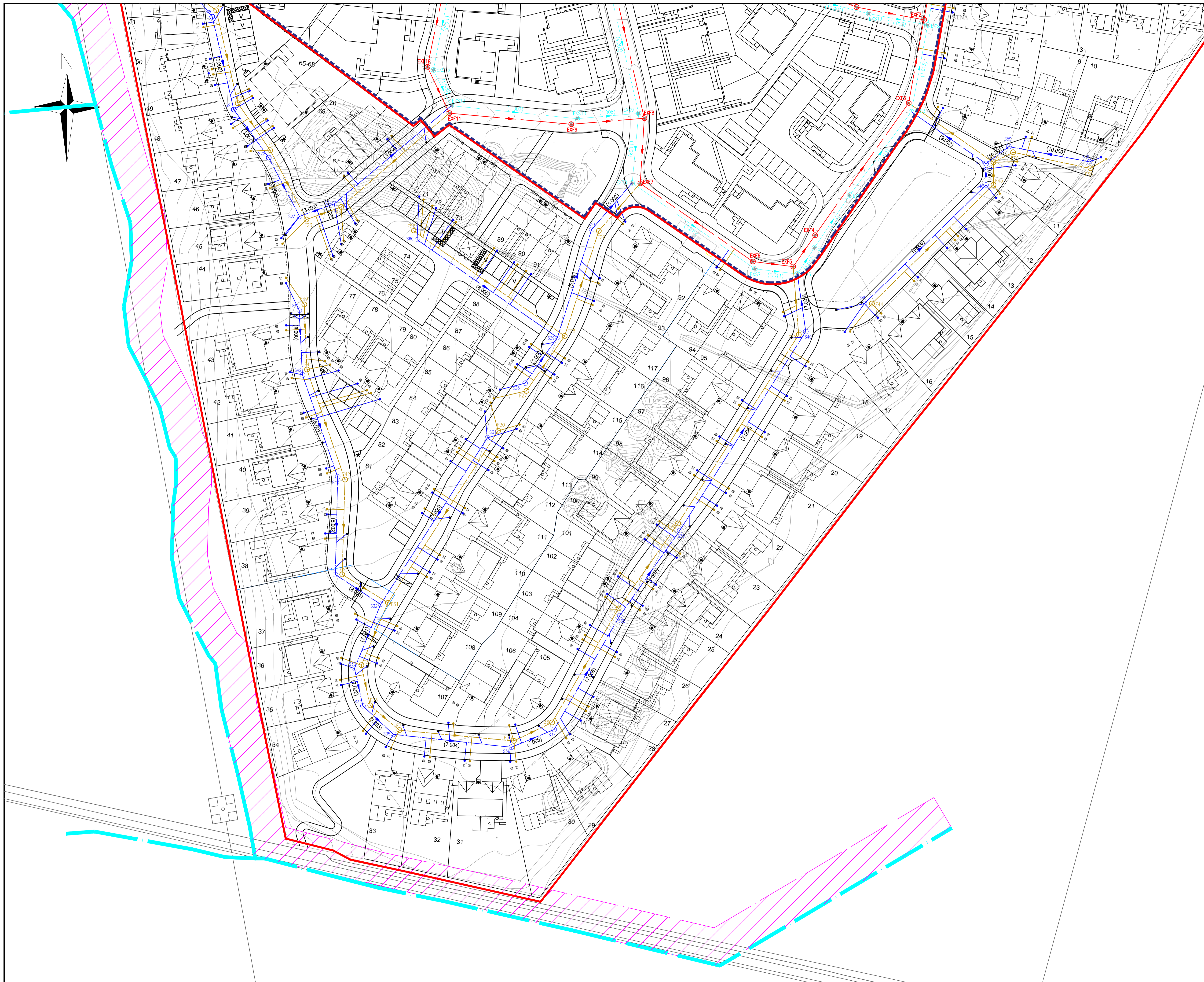
Project Title:  
**TORVEAN HOUSING  
INVERNESS**

Drawing Title:  
**DRAINAGE LAYOUT PLAN  
SHEET 1 OF 2**

Scale of A1: 1:500	Status: For Approval
Drawn: RMS	Checked: JP
Date: 15/03/21	Date: 15/03/21
Drawn No.:	Revision: G

134067/2000 G





Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

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CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

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LEGEND:

- EXISTING SURFACE WATER SEWER
- EXISTING FOUL WATER SEWER
- EXISTING SURFACE WATER MANHOLE
- EXISTING FOUL WATER MANHOLE
- SURFACE WATER SEWER
- FOUL WATER SEWER
- SURFACE WATER MANHOLE
- FOUL WATER MANHOLE
- SURFACE WATER DISCONNECTION SEWER & CHAMBER
- FOUL WATER DISCONNECTION SEWER & CHAMBER

G	25/08/21	ARCHITECTS LAYOUT UPDATED	JP	JP	DE
F	08/07/21	DRAWING UPDATED IN LINE WITH THC'S RCC COMMENTS	RMS	JP	DE
E	23/06/21	PLOT 53 DISCONNECTION CHAMBERS AMENDED	RMS	JP	DE
D	18/06/21	PLOTS 74-76 DISCONNECTION CHAMBERS AMENDED & EXISTING MANHOLES RENUMBERED	RMS	JP	DE
C	20/06/21	DRAINAGE LAYOUT UPDATED, MANHOLES S60, S61, F57 & F58 ADDED AND SEWER RUNS RENUMBERED	RMS	JP	DE
B	11/05/21	DISCONNECTING CHAMBERS MOVED TO HEEL KERB	JP	DE	DE
A	20/05/21	UPDATED IN LINE WITH COMMENTS RECEIVED FROM RHL	RMS	JP	DE

Rev.	Date	Description	Drawn	Chkd	Appd

Client:

**FAIRHURST**

Elvie House  
Beechwood Business Park  
INVERNESS  
IV2 3BW  
Tel: 01463 724 544  
Fax: 0844 381 4412

**ROBERTSON HOMES**

Project Title:  
**TORVEAN HOUSING  
INVERNESS**

Drawing Title:  
**DRAINAGE LAYOUT PLAN  
SHEET 2 OF 2**

Scale at A1: 1:500	Status: For Approval
Drawn: RMS	Checked: JP
Date: 15/03/21	Date: 15/03/21
Approved: DE	Date: 15/03/21

Drawing No.: 134067/2001      Revision: G



# TORVEAN, INVERNESS



Club House

Issues

Ponds

Track

FB

29.7m

- BELOW KEY DENOTES PLOT SPECIFIC SPECIFICATION TO EXTERNAL WALLS DWELLINGS
- STANDARD ELEVATION  
SURFEND DRY DASH RENDER - WHITE  
FORTERRA SMOOTH BLUE FACING BRICK TO FEATURE PANELS AND BASECOURSE
  - FEATURE ELEVATION 1  
SURFEND DRY DASH RENDER - WHITE  
TBS MYSTIQUE FACING BRICK TO FRONT PROJECTION AND BASECOURSE
  - FEATURE ELEVATION 2  
SURFEND DRY DASH RENDER - WHITE  
TBS MYSTIQUE FACING BRICK TO FRONT ELEVATION AND BASECOURSE
  - FEATURE ELEVATION 3  
TBS MYSTIQUE FACING BRICK TO ALL ELEVATIONS
- RUSSELL HIGH-AND (MOCK JOINT) ANTHRACITE ROOF TILE
  - RECONSTITUTED STONE WINDOW CILLS AND SURROUNDS (WHERE APPLICABLE) TO FRONT ELEVATIONS
  - GREY GRC. TO BE WINDOWS TO FRONT ELEVATIONS, WHITE UPVC WINDOWS TO REMAINDER. REFER TO SCHEDULES
  - GREY GRC. TO BE UPVC SOFFITS AND FASCIAS
  - BLACK UPVC GUTTERS AND DOWNPIPES
- DENOTES HANDINGS
  - SITE BOUNDARY
  - AFFORDABLE AREA
  - BIN LAYDOWN AREAS
  - SALES AREA
  - 1800mm HIGH TIMBER FENCE
  - 1800mm FACING BRICK FEATURE WALL
  - 1800mm HIGH ACOUSTIC FENCE - CLOSE BOARDED
  - 900mm HIGH NATURAL STONE FEATURE WALL
  - 1200mm HIGH TIMBER FENCE
  - 600-750MM HIGH HEDGE AS PER LANDSCAPING LAYOUT
  - WAYLEAVE

D	PARKING COURT AT 55-62 UPDATED	02/09/21	ME
C	DISABLED PARKING BAYS AMENDED	02/09/21	ME
B	LAYOUT UPDATED FOR ADDITIONAL ROADS COMMENTS	20/08/21	ME
A	LAYOUT UPDATED FOR ROADS AND ENGINEERS COMMENTS	21/06/21	ME

No.	Revision	Date	By
-----	----------	------	----



Robertson Homes, Castle Business Park, Strling FK9 4TZ  
Tel: 01786 431660 Fax: 01786 431660  
Email: info@robertson.co.uk  
www.robertsonhomes.co.uk

Project Title:  
**TORVEAN  
INVERNESS**

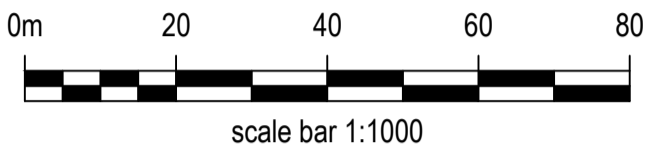
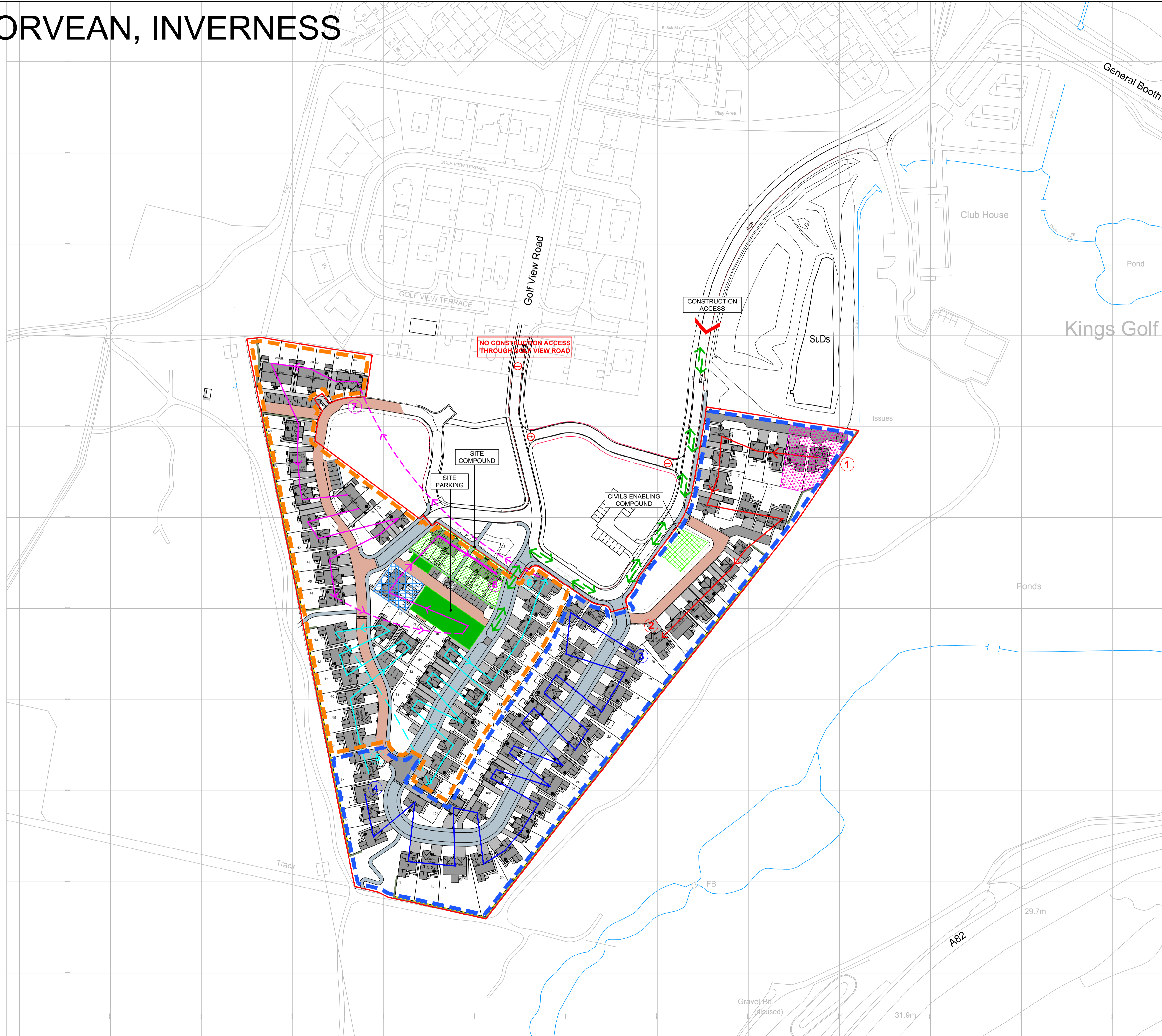
Drawing Title:  
**FENCING LAYOUT**

Scale: <b>1:500@A0</b>	Date: <b>FEB '21</b>
Drawn: <b>ME</b>	Checked: <b>AS</b>

Drawing No. <b>TOR/ARC/006</b>	Rev: <b>D</b>
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# TORVEAN, INVERNESS




**Key:**

- Site boundary
- - - Phase 1
- - - Phase 2

**LEGEND**

- ▨ TEMPORARY SITE COMPOUND
- ▨ SITE COMPOUND
- ▨ MATERIAL STORAGE
- ▨ CONSTRUCTION PARKING
- ▨ TEMPORARY SALES AREA
- ▨ SALES AREA
- ▨ SALES PARKING
- ↔ ROUTE OF BUILD PHASE 1 (FY21/22)
- ↔ ROUTE OF BUILD PHASE 2 (FY22/23)
- ↔ ROUTE OF BUILD PHASE 3 (FY23/24)
- ↔ ROUTE OF BUILD PHASE 4 (FY24/25)
- ⊘ NO ACCESS FOR CONSTRUCTION ACCESS
- ↔ TRAFFIC ROUTES

No.	Revision	Date	By
 Robertson House, Castle Business Park, Stirling FK9 4TZ Tel: 01786 431650 Fax: 01786 431650 Email: info@robertson.co.uk www.robertsonhomes.co.uk			
Project Title:			
<b>TORVEAN INVERNESS</b>			
Drawing Title:			
<b>ROUTE OF BUILD AND PHASING PLAN</b>			
Scale:		Date:	
1:1000@A1		JUNE 20	
Drawn:		Checked:	
ME		AS	
Drawing No.:			Rev.:
TOR_ROB_001			A



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- EXISTING EQUIPMENT**
- FEEDER PILLAR
  - STREET LIGHTING COLUMN
- PROPOSED EQUIPMENT**
- 6M ALUMINIUM COLUMN, PHILIPS LUMISTREET MICRO 20LED DW52 SETTING 1, 76MM POST TOP
  - 5M ALUMINIUM COLUMN, PHILIPS LUMISTREET MICRO 20LED DW52 SETTING 2, 76MM POST TOP
  - 5M ALUMINIUM COLUMN, PHILIPS LUMISTREET MICRO 20LED DW52 SETTING 3, 76MM POST TOP
  - 5M ALUMINIUM COLLAPSIBLE COLUMN, PHILIPS TOWNTUNE DN10 PATH OPTICS, 76MM POST TOP
  - 5M ALUMINIUM COLLAPSIBLE COLUMN, PHILIPS TOWNTUNE DS50 AREA OPTICS, 76MM POST TOP
  - 100MM INTERNAL DIAMETER SMOOTH BORE PURPLE DUCT AT 575MM DEEP, SEE DRAWING: "Standard Detail Duct & Cable"
  - 100MM INTERNAL DIAMETER SMOOTH BORE PURPLE DUCT AT 850MM DEEP, SEE DRAWING: "Standard Detail Duct & Cable"
  - 10MM3C SWA CABLE TO BS5467, VIOLET OUTER SHEATH
  - 10MM3C SWA CABLE TO BS5467, VIOLET OUTER SHEATH, TO BE LEFT DISCONNECTED AS BACKFEED

- LIGHTING INSTALLATION NOTES**
- Materials will only be supplied for the project following receipt of payment in full of all costs. This installation shall be in accordance with and comply with the requirements of the latest IEE wiring regulations (BS 7671), the installation specification for the lighting of roads as specified in the Design Manual for Roads & Bridges and Highland Council's Standards for Development Roads.
  - All lighting underground cables to be drawn in a continuous 100mm internal diameter, plastic, smooth bore, corrugated, purple duct to EN50086-2-4 (type 450n) as Argival ref no. AA 105. All ducts are to have draw cords installed.
  - All cable routes shown are indicative. The exact position of all new lighting apparatus must be agreed and positions marked on site by a representative from The Highland Council Lighting Section.
  - All lighting columns must be positioned with doors facing away from the oncoming traffic.
  - Where work is being carried out on existing lighting apparatus, the supply to the particular apparatus must be isolated prior to any works commencing. This must be done under the supervision of a representative of The Highland Council Lighting Section.
  - All street lighting, illuminated signs, uplighting, feeder pillars, ducting (including spare ducting for future use), duct access chambers, underground cabling, lighting columns, sign poles and brackets will be provided by The Highland Council Lighting Section and all the electrical installation will be carried out by The Highland Council Lighting Section Electricians.
  - The main contractor will liaise with the Council and carry out the excavation works and sequence their programme to co-ordinate with the lighting installation. The main contractor will carry out all civil engineering works associated with the street lighting, spare ducting, illuminated sign, uplighting and feeder pillar installations.
  - All materials supplied by the Council where required by this specification shall be uplifted by the Contractor from the appropriate Council Depot unless otherwise agreed with the Lighting Engineer.
  - Columns of 6 metre and above will require to be loaded on the Contractor's vehicle by means of a Hi-Ab, the Contractor must ensure that the vehicle utilising the columns has this loading facility.
  - The power supplies to the new street lighting feeder pillars are to be arranged by The Highland Council through Scottish & Southern Energy.
  - Where duct access chambers are required, these will consist of a minimum of an infill lid, one plain and one knock-out section.
  - Lighting department staff will require a minimum of 48 hours notice of any requirement for an electrician unless an emergency attendance is required.
  - The contractor must take precautionary measures when locating and excavating around Public Utility plants. Particular reference must be made to IEP Code of Practice for Electrical Safety in Highways Electrical Operations. G56 - Avoidance of Danger from Overhead Electrical Power Lines and H5047-Avoiding Danger from Underground Services.
  - Contact for Lighting Section - Lighting and Communications Engineer Tel: 01463 644209.

Revision	Details	BY	DATE	REV

**The Highland Council**  
**Comhairle na Gàidhealtachd**  
 Infrastructure & Environment

AREA LIGHTING OFFICE  
 Inverness, Nairn, Badenoch & Strathspey  
 94 Diriebught Road,  
 Inverness, IV2 3QN

LIGHTING & COMMUNICATIONS ENGINEER  
 PHONE: 01463 644209  
 EMAIL: neill@highland.gov.uk

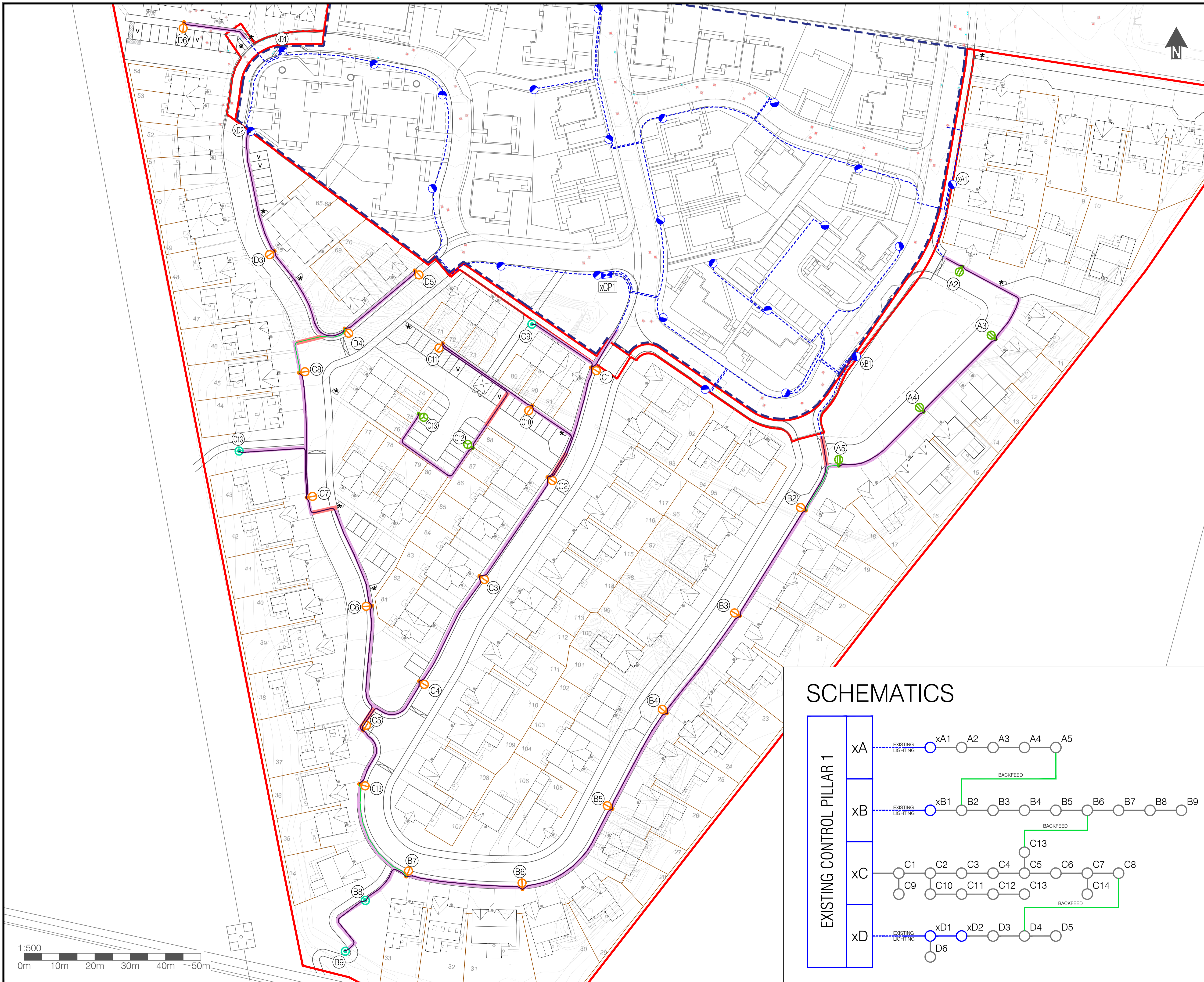
PROJECT  
**Torvean Housing Phase 2 Inverness**

CLIENT  
**Robertson Homes**

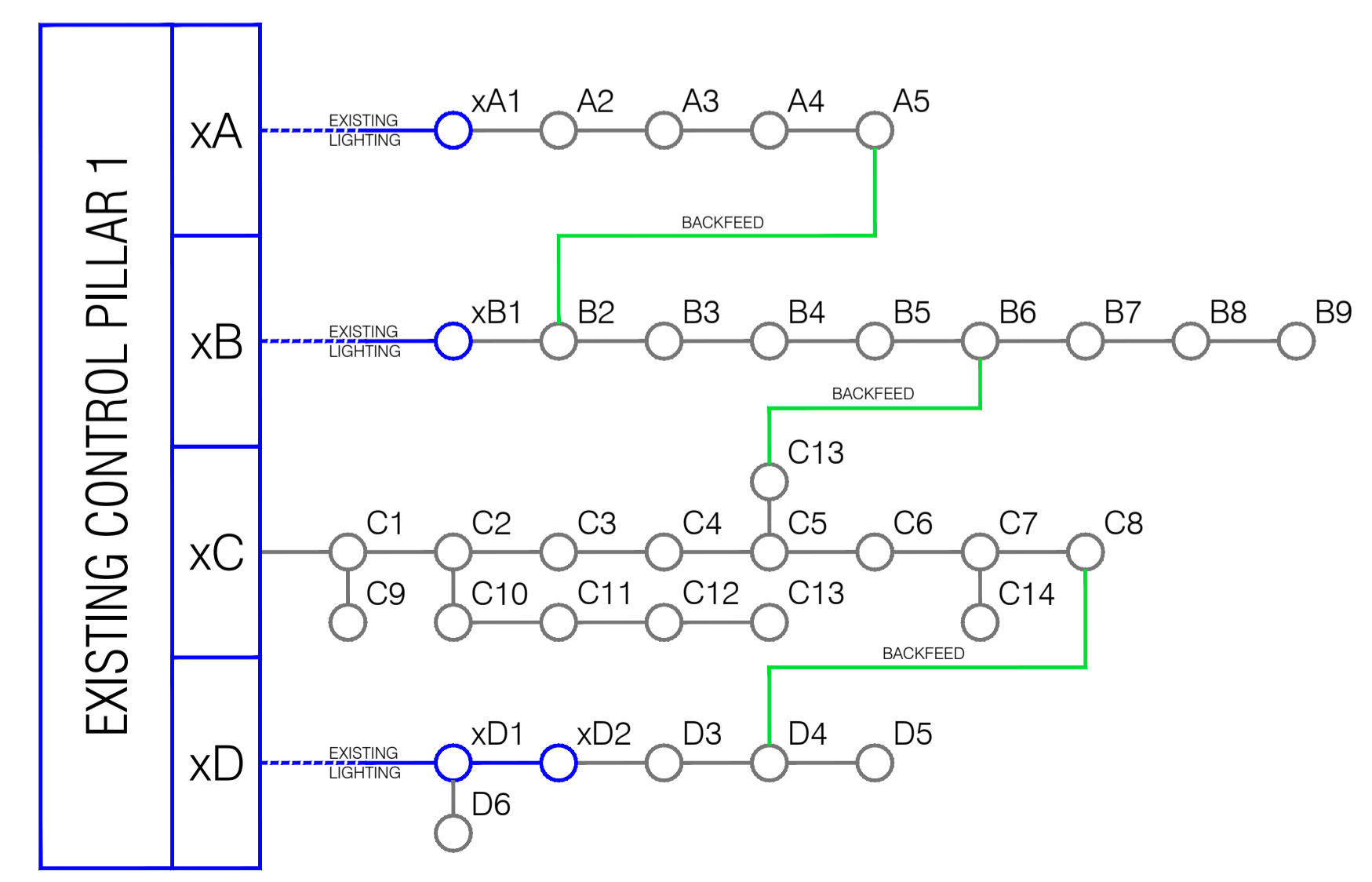
TITLE  
**Street Lighting Proposals**

DRAWN BY AL	DATE 26/08/2021	STATUS For Review
CHECKED BY NF	DATE 27/08/2021	

JOB NUMBER ERE6929 144	DRAWING NUMBER SL-21-010
SCALE AT A1 1:500	FILE NUMBER 2050
	REVISION -



**SCHEMATICS**







This drawing should not be scaled. Dimensions to be verified on site. Any discrepancies should be referred to the Engineer prior to work being put in hand.

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**GENERAL NOTES**

- DO NOT SCALE THIS DRAWING. ANY DISCREPANCY IS TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEERS, ARCHITECTS OR OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.
- ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO PREPARING ANY WORKING DRAWINGS OR COMMENCING ON SITE.
- THE CONTRACTOR MUST ENSURE AND WILL BE HELD RESPONSIBLE FOR THE OVERALL STABILITY OF THE BUILDING/STRUCTURE/EXCAVATION AT ALL STAGES OF THE WORK.
- ALL WORK BY THE CONTRACTOR MUST BE CARRIED OUT IN SUCH A WAY THAT ALL REQUIREMENTS UNDER THE HEALTH AND SAFETY AT WORK ACT ARE SATISFIED.
- ALL WORK IS TO BE CARRIED OUT IN COMPLIANCE WITH THE REQUIREMENTS OF THE RELEVANT STATUTORY AUTHORITIES AND REGULATIONS.

NOTE:  
TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS:

- NORR ARCHITECTS DRAWING PACKAGE
- LANDSCAPE ARCHITECTS PACKAGE
- INV0524\_102\_0101 - PROPOSED ROADS LEVELS (PHASE 1)
- INV0524\_102\_0102 - PROPOSED ROADS SURFACING (PHASE 1)
- INV0524\_102\_0103 - PROPOSED ROADS KERBING (PHASE 1)
- INV0524\_102\_0110 - 0111 - PROPOSED ROADS LONGSECTIONS (PHASE 1)
- INV0524\_111\_0001 - PROPOSED ROADS CONSTRUCTION DETAILS

Rev	Date	Description	Drn	Chd
10	28/08/20	ROAD LINKING PHASE 1 & PHASE 1A AMENDED TO AS PER REQUEST FOR VARIATION	JB	JD
09	18/07/19	ROAD 4 WIDENED AS PER ARCHITECTS LAYOUT. ISSUED FOR CONSTRUCTION	SM	JD
08	07/06/19	UPDATED TO REFLECT RCC COMMENTS RECEIVED FROM TRANSPORT PLANNING	CB	JD
07	23/05/19	UPDATED TO REFLECT RCC COMMENTS RECEIVED FROM TRANSPORT PLANNING	SM	JD
06	07/05/19	ISSUED FOR ROAD CONSTRUCTION CONSENT	SM	JD
05	20/03/19	SITE LEVELS UPDATED	SM	JD
04	31/01/18	LEVELS ADJUSTED TO PROVIDE SUITABLE OVERLAND FLOW ROUTES THROUGH THE SITE DURING FLOOD EVENTS	SM	JD
03	17/12/18	ISSUED FOR TENDER	SM	JD
02	12/12/18	UPDATED TO REFLECT COMMENTS RECEIVED FROM TRANSPORT PLANNING. ISSUED FOR APPROVAL	SM	JD
01	08/10/18	UPDATED TO REFLECT COMMENTS RECEIVED FROM TRANSPORT PLANNING. ISSUED FOR APPROVAL	SM	JD
00	10/08/18	ISSUED FOR PLANNING	SM	JD

Project  
**TORVEAN ENABLING WORKS**

Title  
**PROPOSED SITE LEVELS (PHASE 1)**

Client  
**HIGHLAND COUNCIL**



**Stuart Burke Associates**  
Local Engineering for Local Clients  
Pavilion 5  
Fairways Business Park  
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IV2 6AA  
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**APPROVAL**

Drawn by	SM	Date	AUGUST 2018	Designed by	SM	Checked by	JD
Scales (if A1 work to ligand dimensions only)	1:500		Project No.	INV0524			
Drawing No.	INV0524_102_0101			Rev	10		



Do not scale from this drawing.

**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION

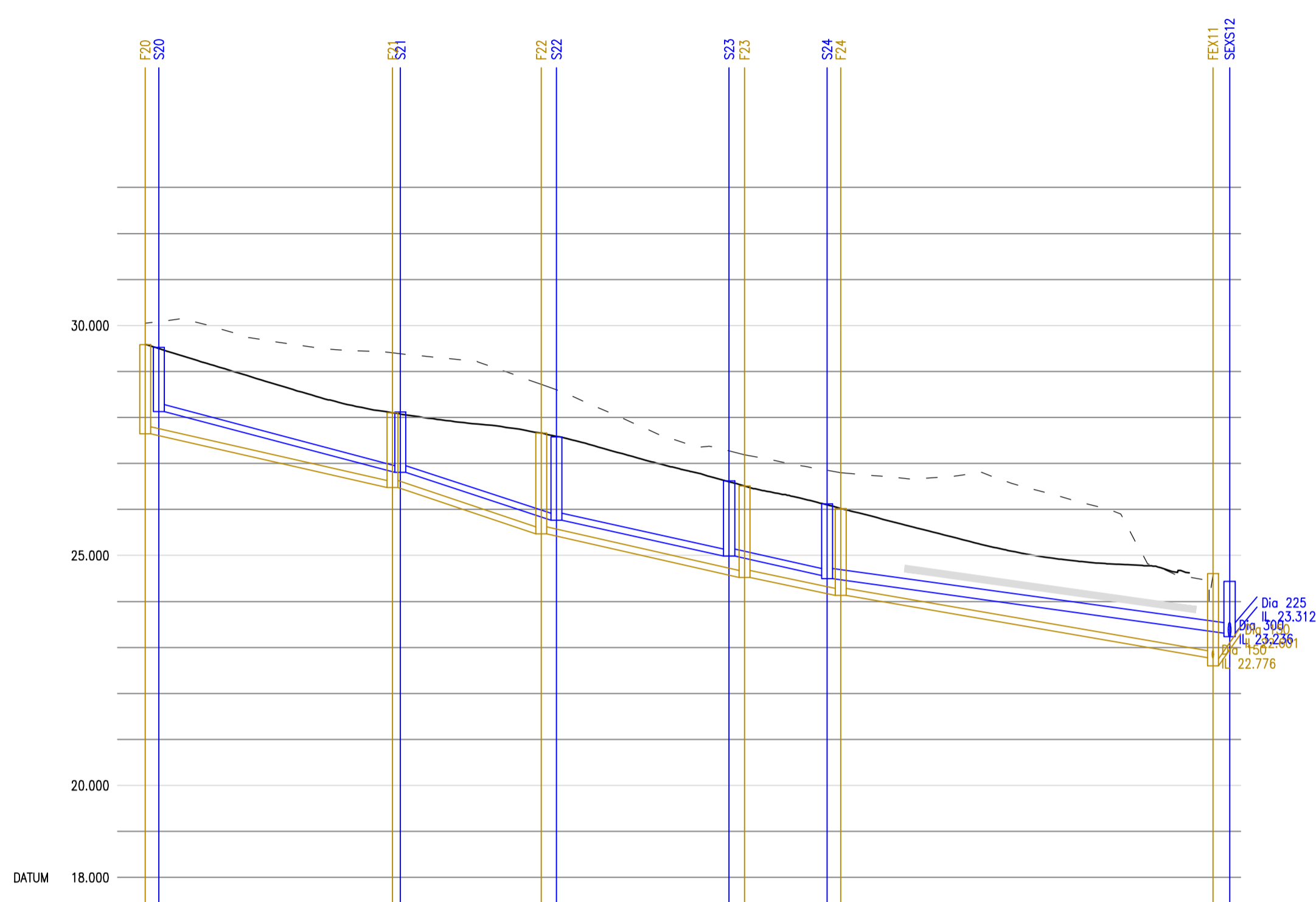
DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

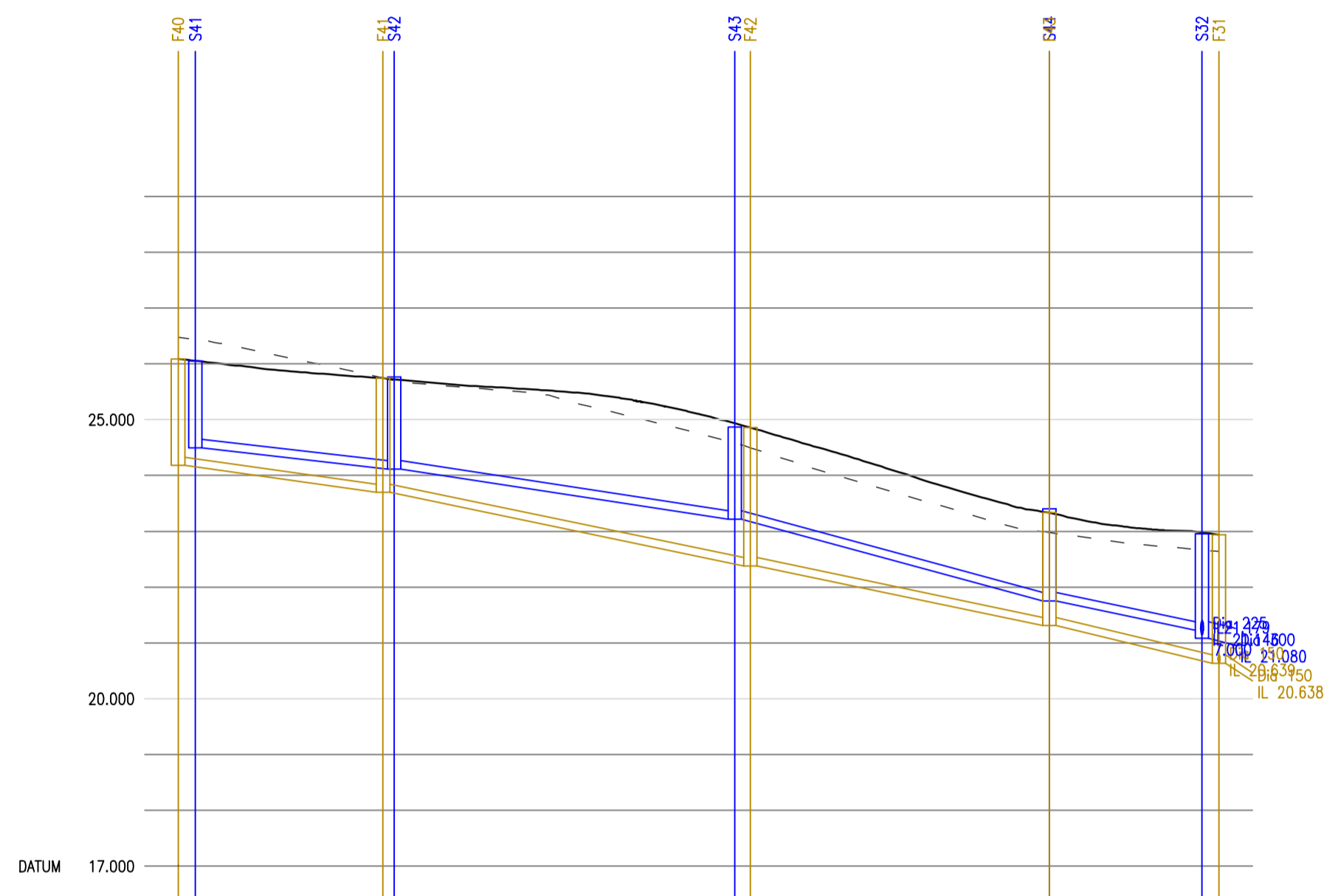
IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

**Key:**

- Proposed Road Level
- Existing Ground Level
- Proposed Surface Water Sewer
- Proposed Foul Water Sewer
- Proposed Concrete Protection



GROUND LEVEL	29.597	28.977	28.383	28.009	27.767	27.318	26.794	26.303	25.798	25.285	24.905	24.755
STORMWATER COVER LEVEL	29.526			28.116					26.620			24.435
STORMWATER INVERT	28.130			26.805	26.805	25.788	25.788	24.987	24.987	24.587	24.492	23.311
STORMWATER DETAILS		Pipe 3.000 Dia 150 Circular uPVC 1 in 20		Pipe 3.001 Dia 150 Circular uPVC 1 in 16		Pipe 3.002 Dia 150 Circular uPVC 1 in 24		Pipe 3.003 Dia 150 Circular uPVC 1 in 25				Pipe 3.004 Dia 225 Circular uPVC 1 in 37
STORMWATER LENGTHS		26.900		16.794		18.760		10.453				43.119
FOULWATER COVER LEVEL	29.597			28.104				26.509				24.608
FOULWATER INVERT	27.649			26.479	26.479	25.470	25.470	24.521	24.521	24.135	24.135	22.778
FOULWATER DETAILS		Pipe 3.000 Dia 150 Circular uPVC 1 in 23		Pipe 3.001 Dia 150 Circular uPVC 1 in 16		Pipe 3.002 Dia 150 Circular uPVC 1 in 23		Pipe 3.003 Dia 150 Circular uPVC 1 in 27				Pipe 3.004 Dia 150 Circular uPVC 1 in 30
FOULWATER LENGTHS		26.900		16.144		22.110		10.439				40.458



GROUND LEVEL	26.089	25.870	25.712	25.565	25.375	24.929	24.548	23.724	23.241	23.009
STORMWATER COVER LEVEL	26.055					24.870			23.406	22.857
STORMWATER INVERT	24.494					23.216	23.216		21.756	21.230
STORMWATER DETAILS		Pipe 8.000 Dia 150 Circular uPVC 1 in 48		Pipe 8.001 Dia 150 Circular uPVC 1 in 34			Pipe 8.002 Dia 150 Circular uPVC 1 in 19		Pipe 8.003 Dia 150 Circular uPVC 1 in 29	
STORMWATER LENGTHS		18.264		30.500			27.600		15.303	
FOULWATER COVER LEVEL	26.089					24.862			23.333	22.941
FOULWATER INVERT	24.179					23.360	23.360		21.308	20.638
FOULWATER DETAILS		Pipe 8.000 Dia 150 Circular uPVC 1 in 38		Pipe 8.001 Dia 150 Circular uPVC 1 in 25			Pipe 8.002 Dia 150 Circular uPVC 1 in 25		Pipe 8.003 Dia 150 Circular uPVC 1 in 23	
FOULWATER LENGTHS		18.364		32.900			26.800		15.200	

A	N/A/07	SECTION REVISED, CONCRETE PROTECTION ADDED, KEY ADDED	JP	DE	DE
Rev.	Date	Description	Drawn	Chkd	Appd.

**FAIRHURST**  
Elve House  
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INVERNESS  
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Tel: 01463 724 544  
Fax: 0844 381 4412

**ROBERTSON HOMES**

Project Title:  
**TORVEAN HOUSING  
INVERNESS**

Drawing Title:  
**DRAINAGE LONG SECTIONS  
SHEET 1 OF 4**

Scale at A1: AS SHOWN	Status: For Approval
Drawn: JP	Checked: JP
Date: 05/05/21	Date: 17/03/2021
Approved: DE	Date: 17/03/2021

Drawing No.: **134067/2007** Revision: **C**