

Agenda Item	6.4
Report No	PLS-079-21

## HIGHLAND COUNCIL

**Committee:** South Planning Applications Committee  
**Date:** 14 December 2021  
**Report Title:** 21/04716/FUL: Tulloch Homes Ltd  
Land 110M SE of 1 Earls Gate, Inverness  
**Report By:** Area Planning Manager - South

### Purpose/Executive Summary

**Description:** Erection of 49 residential units and associated landscaping, roads and ancillary infrastructure.  
**Ward:** 19 – Inverness South  
**Development category:** Local  
**Reason referred to Committee:** More than 30 residential units

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

### Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report.

## **1. PROPOSED DEVELOPMENT**

- 1.1 The application has been submitted for the erection of 49 houses as part of a wider development first granted permission for 416 residential houses in 2008 (08/00244/FULIN). The application seeks to make modifications to house types and plot layouts with minor modifications to the road layout and associated landscaping after planning permission was granted in December 2020 (20/00509/FUL) for the erection of 49 residential units within Phase F of the development. No additional residential units are proposed. There is an approved Masterplan for the Slackbuie Farm development that was granted planning permission in 2004 (03/00104/OUTIN).
- 1.2 The proposed development comprises of a mix of two storey 3 and 4 bedroom homes. The mix of units comprise:
- 12No three bedroom semi-detached units;
  - 12No three bedroom detached units; and
  - 25No four bedroom detached units
- 1.3 The applicant did not utilise the Council's Pre-Application Service, however informal advice was sought in relation to the design and layout of the development. The applicant was advised that the principle of the previously approved scheme for this site (20/00509/FUL) submitted by Kirkwood Homes should be adhered to. Specifically the amendments to the scheme that were secured to enhance the development such as the strong frontages, in particular onto the spine road, arrangement of public open space, boundary treatments and vehicle and pedestrian routes through the site, in particular improvements to the existing footpath adjacent to the north west site boundary.
- 1.4 The application is supported by the following:
- Affordable Housing Statement;
  - Archaeology Report;
  - Archaeology Statement;
  - Construction Environmental Management Plan;
  - Construction Traffic Management Plan;
  - Contamination Statement;
  - Drainage Impact Assessment;
  - Geotech Report
  - Supporting Statement;
  - Surface Water Drainage Calculations; and
  - Tree Survey.
- 1.5 Variations: None

## **2. SITE DESCRIPTION**

- 2.1 The site is located in the Slackbuie area to the south side of Inverness. The site has open views over Inverness. There is established housing to the north and west / south west of the site. To the south is the remaining area of Leys Castle Designated

Landscape. To the east of the site is a Tulloch Homes development of 49 homes site that is under construction.

- 2.2 There is an existing stepped footpath which provides access from the north west site boundary to the site. The site is bounded along the south-western boundary with mature broadleaf woodland and a burn which separates the established housing development found to the west. The site is bounded on the east by a recently constructed spine road which winds its way up from Slackbuie Distributor Road through the new development to connect with the existing road network on higher ground to the south.
- 2.3 The site is on a slope, with a drop of around 15m from the high point in the south to the northern boundary.

### 3. PLANNING HISTORY

- |     |              |                                                                                                                                                                                                                                                      |                             |
|-----|--------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------|
| 3.1 | 09 Sept 2004 | 03/00104/OUTIN Outline masterplan for the development of residential (including low cost housing for sale or rent), site for new school, community facilities, means of access with roads hierarchy, open space and structural landscaping provision | Planning Permission Granted |
| 3.2 | 28 May 2008  | 08/00244/FULIN Erect 416 residential units, access, internal roads, services, open space and landscaping                                                                                                                                             | Planning Permission Granted |
| 3.3 | 10 Dec 2020  | 20/00509/FUL Erection of 49no dwellings and associated works                                                                                                                                                                                         | Planning Permission Granted |
| 3.4 | 29 Sept 2020 | 20/02961/FUL Siting of temporary building for marketing suite                                                                                                                                                                                        | Planning Permission Granted |
| 3.5 | Pending      | 21/05190/RCC The proposed roads & footways serving slackbuie area f                                                                                                                                                                                  | Pending Consideration       |

### 4. PUBLIC PARTICIPATION

- 4.1 Advertised: Unknown Neighbour  
Date Advertised: 22.10.2021  
Representation deadline: 05.11.2021  
Timeous representations: 0  
Late representations: 1 objection
- 4.2 Material considerations raised are summarised as follows:  
a) Impact on badgers; and

b) Outdoor access during construction works.

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet [www.wam.highland.gov.uk/wam](http://www.wam.highland.gov.uk/wam).

## 5. CONSULTATIONS

5.1 **Access Officer** does not object to the application.

5.2 **Contaminated Land Team** do not object to the application. It sets out that there are no known contaminated land issues within the planning site boundary.

5.3 **Environmental Health Officer** does not object to the application. Notes that planning conditions are not used to control the impact of construction noise as similar powers are available to the Local Authority under Section 60 of the Control of Pollution Act 1974. He expects that the developer / contractor will employ the best practicable measures in accordance with BS 5228-1:2009 "Code of practice for noise and vibration control of construction and open sites – Part 1: Noise". Particular considerations should be given to the proposed hours of operation and the use of tonal reversing alarms as these are the most common causes of complaint about construction noise. States that the applicant has submitted a CEMP which includes proposed mitigation in relation to dust and noise arising from the construction phase including working hours of 8am to 6pm Monday to Friday and 8am to 1pm on Saturdays.

5.4 **Forestry Officer** does not object to the application following submission of updated layout, tree protection plans and landscaping plans. Conditions are requested to safeguard trees that are not highlighted for removal; protection of retained trees; employment of an arboricultural consultant to implement the arboricultural method statement and tree protection plan; implementation of the landscaping plan; and employment of a landscape consultant.

5.5 **Flood Risk Management Team** do not object to the application subject to appropriate planning conditions to ensure the final drainage details are submitted to and approved by the Planning Authority in consultation with the Flood Risk Management Team. It requests that the drainage design is in accordance with Sewers for Scotland and the drainage strategy set out in the Drainage Impact Assessment. It requests a condition be applied to ensure a minimum of 6m riparian buffer between the Slackbuie channel and the proposed development.

5.6 **Historic Environment Team** do not object to the proposed development subject to an appropriate planning condition to ensure the protection of any archaeological or historic interests of the site due to the potential for archaeological features within the site.

5.7 **Transport Planning Team** do not object to the proposed development subject to appropriate conditions to secure; construction of footpaths to Highland Council standards; provision of a Construction Traffic Management Plan. It requests active travel contributions to upgrade substandard paths. It sets out that the traffic calming features appear to be acceptable. It has identified that parking provision and waste collection meet with Council guidelines and visitor parking standards have been

exceeded. It highlights that a 20mph home zone Traffic Regulation Order will be required.

- 5.8 **Scottish Water** does not object to the proposed development. However, it is unable to confirm if there is capacity to connect to the Inverness Water Treatment Works and advises that the applicant contacts Scottish Water directly to confirm capacity. It also notes that there is sufficient capacity to connect to the public water and waste water network. There are Scottish Water assets within the site that the developer should contact Scottish Water directly to resolve and issue at an early stage.

## **6. DEVELOPMENT PLAN POLICY**

The following policies are relevant to the assessment of the application

### **6.1 Highland Wide Local Development Plan 2012**

01 - Completing the Unconstrained City Expansion Areas  
28 - Sustainable Design  
29 - Design Quality and Place-making  
30 - Physical Constraints  
31 - Developer Contributions  
32 - Affordable Housing  
34 - Settlement Development Areas  
51 - Trees and Development  
56 - Travel  
57 - Natural, Built and Cultural Heritage  
58 - Protected Species  
59 - Other important Species  
60 - Other Importance Habitats  
61 - Landscape  
62 - Geodiversity  
63 - Water Environment  
64 - Flood Risk  
65 - Waste Water Treatment  
66 - Surface Water Drainage  
72 - Pollution  
74 - Green Networks  
75 - Open Space  
77 - Public Access

### **6.2 Inner Moray Firth Local Development Plan 2015**

Policy 2 – Delivering Development

Allocation: IN40 – Lower Slackbuie (Housing Capacity 405)

### **6.3 Highland Council Supplementary Planning Policy Guidance**

Construction Environmental Management Process for Large Scale Projects  
(August 2010)

Developer Contributions (March 2018)

Flood Risk and Drainage Impact Assessment (Jan 2013)

Green Networks (Jan 2013)

Highland Historic Environment Strategy (Jan 2013)  
Highland's Statutorily Protected Species (March 2013)  
Managing Waste in New Developments (March 2013)  
Open Space in New Residential Developments (Jan 2013)  
Physical Constraints (March 2013)  
Public Art Strategy (March 2013)  
Standards for Archaeological Work (March 2012)  
Sustainable Design Guide (Jan 2013)  
Trees, Woodlands and Development (Jan 2013)

## **7. OTHER MATERIAL POLICY CONSIDERATIONS**

### **7.1 Scottish Government Planning Policy and Guidance**

Scottish Planning Policy (as amended December 2020)  
National Planning Framework 3 (Scottish Government 2014)  
Designing Streets (Scottish Government 2010)  
Creating Places (Scottish Government 2013)  
PAN 61 – Sustainable Urban Drainage Systems  
PAN 67 – Housing Quality  
PAN 2/2011 – Planning and Noise

## **8. PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

### **Determining Issues**

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

### **Planning Considerations**

8.3 The principle of the development has been established through the previous permissions on the site, most notably the permission granted in December 2020 for 49 residential units (20/00509/FUL). This application is for a change in house types and change in plot layouts only with minor inconsequential modifications to layout and landscaping. This application has been brought forward as the previous applicant for did not complete their purchase of the site. In order to address the determining issues therefore, Committee must consider the extent to which the proposal continue to comply with development plan policy, the provisions of the conditions attached to the planning permission in principle and take into consideration any other material considerations.

## **Development plan/other planning policy**

- 8.4 Development Plan policy has changed since the time of determination of the original planning permissions for this site and the wider site. The Highland Structure Plan (2001) is no longer in force and the Inverness Local Plan (2006) in relation to this site and the policy provision has been superseded by the contents of the Highland-wide Local Development Plan (2012). The Inner Moray Firth Local Development Plan (2015) has also been adopted and the development site is allocated site IN40 within the development plan. The site is allocated for 405 houses and the development should be in accordance with planning permission 08/00244/FULIN.
- 8.5 However, Development Plan policy has not changed since the determination of the application for 49 residential units in December 2020 (20/00509/FUL). Therefore, subject to detail set out later in this report the submission for the approval of matters specified in conditions accords with the provisions of the Development Plan.

## **Design and Layout**

- 8.7 The layout of the site follows the principles of Designing Streets, with a looped layout and minimal culs-de-sacs. It promotes a strong frontage onto the anticipated Slackbuie distributor road, in doing so it will help to change the character of the road and should assist in slowing down traffic. The layout of the site is generally the same as the approved scheme (20/00509/FUL), with some minor modifications to the parking layout of plot numbers 219 and 220. On these plots, the parking has been relocated from the front of the houses to the side. This is welcomed.
- 8.8 The main pedestrian access into the site is via the same routes as for vehicles. Amendments were secured through the determination of this application in order to enhance pedestrian access both within the site and connecting the site to other areas within the wider development. The applicant is in control of the land which connects through to the earlier phase of development on Earl's Gate and then down to Morningfield Road and the district centre at Slackbuie. The active travel route which runs through that site has not been built to adoptable standards, is too narrow and not finished in an appropriate material. While the previous application sought a developer contribution to enhance this route with the Council delivering the scheme, as the applicant is in control of the land, this can be secured by planning condition. Concern has been raised in a representation over outdoor access across the site during construction. As it will be a live construction site, limited access will be possible through the site. However, access to the existing areas of open space surrounding the site will be unaffected.
- 8.9 The house designs are similar in style and mass as those in the earlier phases of the development. The finishes to the houses will comprise a mix of weatherboard, white dry dash render, grey concrete rooftiles and a grey pre-cast basecourse. The final colours of the materials and specifications can be secured by condition. As with the consented scheme the mix of housing types throughout the site provides variation in style creating a pleasant and interesting street character with various house frontages. Additionally, the corner plots adjacent to Earl's Gate have a dual aspect to further enhance the frontages and the relationship between the buildings and street. Boundaries will comprise hedging to the front and side of the properties and

fencing to the rear. A feature stone wall detail will be provided at the entrance to the site.

- 8.10 As the site is on a slope, the change in levels requires to be managed. There are a number of retaining walls to be used to manage the change in levels, but the majority of level changes are proposed within garden ground and the development generally works well with the slope. Gardens all have a minimum of 4m level ground and the change in levels is usually utilising a slope of 1 in 7. There is however a retaining structure through the middle of the site which ranges between 2.25m at the eastern end of the site to the rear of plot 243 to 2.8m to the rear of plot 249.
- 8.11 There is limited open space within the site but there is connectivity to larger areas of open space within walking distance. Due to the limited level of landscaping within the site, this should be delivered to a high standard and an appropriate level of play equipment should be secured by condition. The Council's Forestry Officer is satisfied with the landscaping within the development. Each plot is considered to have sufficient amenity space around the property and parking meets with the standards set out in the Roads and Transportation Guidelines for New Developments and the layout is serviceable in terms of waste management.
- 8.12 The site is bordered by the Slackbuie Channel to the west. Flows in the watercourse are limited by the South West Inverness Flood Relief Channel which is upstream and therefore there are no concerns in relation to fluvial flood risk. The site layout was modified through an earlier application to ensure a 6 metre buffer, measured from the top of the bank of the watercourse, to be kept free from all development and an appropriate condition will be applied to secure this. Subject to securing final drainage design details by condition, the Council's Flood Risk Management Team is satisfied.
- 8.13 Overall, the layout and design is acceptable as a result of the enhancements secured by officers on the earlier planning permission on the site. This has been reinforced through the design and relationship between the properties and the street within this application. As a result, it is considered that the proposal accords with the provisions of the Development Plan.

#### **Other Material Considerations**

- 8.14 The site is within an area that is adjacent to residential housing. As this is the case a Construction Environment Management Document will be required to manage the impact on the environment and the nearby receptors. This includes the need to employ an Ecological Clerk of Works to ensure impact on the species which may frequent the site, is managed appropriately. A Construction Traffic Management Plan will also be required.
- 8.15 In line with national policy, the Council is actively seeking infrastructure to facilitate low carbon fuel options and in this case the each house will be fitted with solar panels to the roof to provide hot water. In addition to this each house will be provided with an external point to allow charging of electric vehicles within the curtilage of each house and an appropriate condition will be attached to secure this.
- 8.16 An archaeological watching brief is required as the site is considered to have archaeological potential despite an evaluation in 2006 that did not identify any



significant features in this application area. Important prehistoric sites were found in other fields of the initial evaluation and since that time additional extensive prehistoric settlement remains have been found during development nearby. As such, it is considered that there remains the potential for buried features or finds to be impacted by this development. While the risk of encountering buried deposits is not such as to warrant a full excavation, it is important that the nature and extent of any features is identified and recorded. Site clearance works should be done under archaeological supervision.

### **Matters to be secured by Legal Agreement / Upfront Payment**

- 8.17 The original masterplan was not subject to a legal agreement. However contributions were made via the Southern Distributor Road agreement and the provision of land for a new primary school. The provision of affordable was previously delivered in line with the policy at the time, i.e. 10%, and have agreed that the position in relation to affordable housing on other sites in the masterplan area were not required to deliver any further affordable housing. The applicant was asked to submit a schedule comparing the originally consented development to what is now anticipated to be consented across the whole masterplan site to review the requirement as the requirement is to provide 25%. A schedule was submitted that demonstrated the affordable housing to date, including this site has been provided at 25%. However, any further units beyond what is proposed within this scheme (up to an additional 63 units) will be required to make contributions in line with the affordable guidance in place at that time.
- 8.18 When determining the previous application on the site (20/00509/FUL), developer contributions were secured through a legal agreement under Section 75 of the Town and Country Planning (Scotland) Act 1997 (As Amended). These were secured for the provision of the following per each residential unit:
- Contribution toward enhanced primary school capacity within the Inverness Royal Academy Catchment Area, in the first instance a 2 class room extension at Cauldeen Primary School (£2,137.50 per unit)
  - Contribution toward enhanced secondary school capacity in the City of Inverness, in the first instance a major school extension to Inverness Royal Academy (£3,646.76 per unit);
  - Contribution toward delivery of strategic road improvements, in the first instance toward delivery of the Inverness West Link Road (£3,472.80 per unit);
  - Contribution toward enhance community facilities within the Inverness Royal Academy Catchment Area, in the first instance toward the delivery of enhancements to Hilton Community Centre (£1,034.58 per unit); and
  - Contribution toward improved active travel connections within the Cauldeen Primary Catchment Area, in the first instance to enhancements to the existing route between the site and Morningfield Road (£618.12 per unit).
- 8.19 As set out earlier in this report the developer will be delivering the improved active travel connections directly therefore the previously agreed contribution is no longer required. Prior to a decision being issued on this application the legal agreement will

require to be modified to reflect this change and also to ensure it is tied to any new permission which may be granted. This can either be done via a minute of variation or an application under S75A of the Act.

- 8.20 The applicant has four months from the date that the Council's solicitor writes to the Applicant/Applicant's solicitor indicating the terms of the legal agreement or other appropriate mechanism to secure mitigation for the impacts of the development agreed by the Planning Service, to deliver to the Council a signed legal agreement. Should an agreement or other appropriate mechanism to secure the mitigation agreed by the Planning Service not be delivered within four months, the application may be refused under delegated powers for the following reason:

The proposed application has failed to conclude a legal agreement required to secure reasonable and proportionate contributions to secure mitigation for the impacts of the proposed development. As such the application is contrary to the provisions of Policy 31 – Affordable Housing of the Highland-wide Local Development Plan and Policy 2 (Delivering Development) of the Inner Moray Firth Local Development Plan.

## **9. CONCLUSION**

- 9.1 The proposed modification to the house types on the site is acceptable and should help to deliver a well-designed, high quality residential development. The application has not attracted any statutory objections and matters highlighted in the single representation to the application can be addressed by condition.
- 9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## **10. IMPLICATIONS**

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: The development will include sustainable technologies and the provision for electric vehicle charging in each plot.
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

## **11. RECOMMENDATION**

**Action required before decision issued** Y

Conclusion of modification to Section 75  
Obligation Y

**Subject to the above actions**, it is recommended to **GRANT** the application subject to the following conditions and reasons:

1. No development shall commence until a Construction Environmental Management Document (CEMD), in accordance with The Highland Council's Guidance Note on Construction Environmental Management Process for Large Scale Projects (August 2010) (as amended, revoked or re-enacted; with or without modification), has been submitted to, and approved in writing by, the Planning Authority (in consultation with SEPA, SNH and TECS). The CEMD shall be submitted at least two months prior to the intended start date on site and shall include the following:
  - i. An updated Schedule of Mitigation (SM) drawing together all approved mitigation proposed in support of the application and other agreed mitigation (including that required by agencies and relevant planning conditions attached to this permission);
  - ii. Change control procedures to manage/action changes from the approved SM, CEMD and Construction Environmental Management Plans;
  - iii. Construction Environmental Management Plans (CEMPs) for the construction phase, covering:
    - a. Pre-commencement habitat and species surveys;
    - b. Habitat and Species Protection;
    - c. Pollution Prevention and Control;
    - d. Dust Management;
    - e. Construction Noise Assessment and Mitigation Plan in accordance with BS5228 Code of practice for noise and vibration control on construction and open sites – Part 1: Noise;
    - f. Site Waste Management;
    - g. Surface and Ground Water Management;
      - i. Drainage and sediment management measures from all construction areas; and
      - ii. Mechanisms to ensure that construction will not take place during periods of high flow or high rainfall.
    - h. Public Water Supply Protection Measures;
    - i. Emergency Response Plans; and
    - j. Other relevant environmental management as may be relevant to the development.
  - iv. Special Study Area plans for:
    - a. Any other specific issue identified within the and/or conditions attached to this permission;
  - v. Details for the appointment, at the developer's expense, of a suitably qualified Environmental Clerk of Works (ECoW), including roles and responsibilities and any specific accountabilities required by conditions attached to this permission;

- vi. A statement of responsibility to 'stop the job/activity' if a breach or potential breach of mitigation or legislation occurs; and
- vii. Methods for monitoring, auditing, reporting and the communication of environmental management on site and with client, Planning Authority and other relevant parties.

Thereafter, development shall be carried out in accordance with the approved Schedule of Mitigation, Construction Environmental Management Document and any Construction Environmental Management Plans approved thereunder.

**Reason:** To ensure that the construction of the development is carried out appropriately and does not have an adverse effect on the environment.

2. No development shall commence until a Construction Traffic Management Plan (CTMP) has been submitted to, and approved by, the Planning Authority. The CTMP, which shall be implemented as approved during all period of construction, must include:
  - i. The CTMP shall make provision for all construction access being taken via the proposed site access as shown on the approved site layout.
  - ii. A description of all measures to be implemented by the developer in order to manage traffic during the construction phase (incl. routing strategies), with any additional or temporary signage and traffic control undertaken by a recognised suitably qualified traffic management consultant;
  - iii. The identification and delivery of all upgrades to the public road network to ensure that it is to a standard capable of accommodating construction related traffic (including the formation or improvement of any junctions leading from the site to the public road) to the satisfaction of The Highland Council, including;
    - An initial route assessment report for construction traffic, including swept path analysis and details of the movement of any street furniture, any traffic management measures and any upgrades and mitigations measures as necessary;
  - iv. A procedure for the regular monitoring of road conditions and the implementation of any remedial works required during construction periods.
  - v. Details of appropriate traffic management which shall be established and maintained at the site access for the duration of the construction period. Full details shall be submitted for the prior approval of Highland Council, as roads authority.
  - vi. Wheel washing measures to ensure water and debris are prevented from discharging from the site onto the public road;

- vii. Appropriate reinstatement works shall be carried out, as required by Highland Council, at the end of the construction of the development.
- viii. Measures to ensure that construction traffic adheres to agreed routes.

Thereafter the approved Construction Traffic Management Plan shall be implemented in full, unless otherwise approved in writing by the Planning Authority.

**Reason:** To maintain safety for road traffic and the traffic moving to and from the development, and to ensure that the transportation of abnormal loads will not have any detrimental effect on the road network.

3. No development shall commence until a detailed access management plan (including details of footpaths and cycle ways and lighting (existing, during construction and upon completion and information on temporary or permanent diversion or closure)) has been submitted to, and approved in writing by, the Planning Authority for each phase or sub-phase of the development. The plan shall show:-
  - a. All existing paths, tracks and rights of way and any areas currently outwith or excluded from statutory access rights;
  - b. Any areas proposed for exclusion from statutory access rights, for reasons of privacy, disturbance or curtilage in relation to proposed buildings or structures;
  - c. All paths and tracks proposed to be constructed for use by walkers, riders, cyclists, all-abilities users etc and how these will integrate with existing or proposed networks. Details shall include but not be limited to;
    - i. Pedestrian access to any and all core paths;
    - ii. Details of all paths to be delivered within and out of the site; and
    - iii. Construction details of all paths, inclusive of material finishes and drainage details;
  - d. Any diversion of paths, tracks or other routes, temporary or permanent, proposed as part of the development (including details of mitigation measures, diversion works, duration and signage); and
  - e. Links to the Highland Council's core paths and green frameworks;

The approved Access Management Plan, and any associated works, shall be implemented in full prior to the first occupation of the development or as otherwise may be agreed within the approved plan.

**Reason:** In order to safeguard and enhance public access during the construction and operational phase of the development.

4. No development or work (including site clearance) shall commence until a programme of work for the evaluation, preservation and recording of any archaeological and historic features affected by the proposed development/work,

including a timetable for investigation, all in accordance with the attached specification, has been submitted to, and approved in writing by, the Planning Authority. The approved programme shall be implemented in accordance with the agreed timetable for investigation.

**Reason:** In order to protect the archaeological and historic interest of the site.

5. With effect from the date of this permission, no trees other than those specifically agreed are to be cut down, uprooted, topped, lopped (including roots) or wilfully damaged in any way, without the prior written permission of the planning authority.

**Reason:** To ensure the protection of retained trees during construction and thereafter.

6. Prior to any site excavation or groundworks, all retained trees are to be protected against construction damage using protective barriers located as per the Proposed Tree Protection and Removal Plan (in accordance with BS5837:2012 Trees in Relation to Design, Demolition & Construction). Barriers are to remain in place throughout the construction period and must not be moved or removed without the prior written approval of the Planning Authority.

**Reason:** To ensure the protection of retained trees throughout the construction period.

7. No development shall commence until a scheme for the layout, design and construction of a play area (including specifications, protection measures, boundary treatments and timescales for implementation) has been submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented in full and in accordance with the timescales contained therein.

**Reason:** In order to comply with the requirements of the Council's Open Space in New Residential Development supplementary planning guidance (adopted 20 May 2009) and to ensure that sufficient play equipment exists within the application site to serve future residents' needs.

8. A suitable qualified Arboricultural consultant must be employed by the applicant to produce and Arboricultural Method Statement (AMS) which details how the trees on site are to be protected and also to ensure that the Approved Tree Protection Plans are implemented to the agreed standard. Stages requiring supervision are to be set out in a supervision schedule in the AMS for the written agreement of the Planning Authority and certificates of compliance for each stage are to be submitted for approval.

**Reason:** To ensure the protection of retained trees throughout the construction period.

9. The planting contained within the Landscape Proposal drawings shall be implemented in full during the first planting season following commencement of development or as otherwise agreed in writing by the Planning Authority.

For the avoidance of doubt, any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or

damaged shall be replaced in the next planting season with others of the same size and species.

**Reason:** In the interests of amenity.

10. A suitable qualified landscape consultant must be employed at the applicants expense to ensure that the planting contained within the set of four Landscape Proposal drawings is implemented to the agreed standard. Stages requiring supervision are to be agreed with the Planning Authority and certificates of compliance for each stage are to be submitted for approval.

**Reason:** In the interests of amenity.

11. None of the houses shall be occupied until a scheme for the maintenance, in perpetuity, of all on-site green spaces and any other spaces, facilities, features or parts of the development that are not the exclusive property of any identifiable individual home owner (such as communal parking areas and estate lighting, and those elements of surface water drainage regimes not maintained either by the Council or Scottish Water), have been submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented in full and in accordance with the timescales contained therein.

**Reason:** To ensure that all communal spaces, facilities and landscaping areas are properly managed and maintained.

12. The development shall not be occupied until details of the relevant person or party responsible for the maintenance of the on-site surface water drainage system have been provided to the Planning Authority. For the avoidance of doubt any part of the surface water drainage system not vested by Scottish Water shall remain the responsibility of the developer and maintained in line with the scheme to be approved under Condition 19.

**Reason:** To ensure that the surface water drainage system is maintained by an appropriate party and that the party responsible for maintenance can be easily identified should any issue arise.

13. No development shall commence on site until a scheme for the inclusion of public art within the development, including types and locations of artworks and the management and maintenance thereof, has been submitted to, and approved in writing by, the Planning Authority. The approved scheme shall be implemented prior to occupation of the development and maintained in perpetuity.

**Reason:** To ensure the delivery of a development with a unique identity which facilitates the creation of place.

14. Prior to the first occupation of each house within the development car parking spaces and cycle parking spaces (inclusive of communal cycle parking facilities as appropriate) shall be provided in line with the standards contained within The Highland Council's Road and Transportation Guidelines. Thereafter, all car parking and cycle parking spaces shall be maintained for this use in perpetuity.

**Reason:** To ensure that appropriate levels of car and cycle parking are available

for each plot.

15. No development shall commence until the principles for the siting and design of all on street above ground infrastructure (including electrical substations, junction boxes and broadband cabinets) within the development has been submitted to and approved in writing by the Planning Authority. Thereafter the delivery of above ground infrastructure shall be delivered in accordance with the approved principles.

**Reason:** In the interests of visual amenity and to ensure that these matters can be considered in detail to ensure the character and identity of the development is maintained.

16. No development shall commence until a scheme has been submitted detailing the provision electric vehicle charging points. The scheme shall include:
  - i. the provision of infrastructure, defined as the provision of cabling from the consumer unit within the property to an external point, to allow charging of electric vehicle within the curtilage of each house where the house has in-curtilage car parking provision;
  - ii. a timescale for implementation for infrastructure within a timescale for implementation for infrastructure within each phase or sub phase; and
  - iii. outline detail of a communication pack to be provided to each household on first occupation explaining how they can access electric vehicle infrastructure.

The approved scheme(s) shall be implemented in line with the approved timescales.

**Reason:** To facilitate the move toward the reduction in reliance of petrol and diesel cars.

17. No development shall commence until a Waste Management Strategy has been submitted to and approved in writing by the Planning Authority. This shall detail an approach to sustainable waste management in the operation of all aspects of development; identify bin collection points and bin stores (and include design of the bin stores as appropriate at 1:20 scale plans) ; identify routes for waste collection vehicles and any required infrastructure in each phase or sub-phase. Thereafter the strategy shall be implemented in line with the timescales contained therein.

**Reason:** In the interests of amenity, to manage waste and prevent pollution.

18. Notwithstanding the provisions of Article 3 and Schedule 1 of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended, revoked or re-enacted; with or without modification), no development shall take place within 6 metres of any watercourse without planning permission being granted on application to the Planning Authority.



**Reason:** To ensure that development which is normally permissible without the need for a planning application is carefully managed and does not encroach onto riparian buffer strips. Such buffers strips are required a) for the maintenance of watercourses adjacent to the application site, and b) in order to safeguard property from flood risk.

19. No development shall commence until full details of surface water drainage provision within the relevant Phase or sub-Phase and how that relates to the surface water drainage approach for the site as a whole (which should accord with the principles of Sustainable Urban Drainage Systems (SUDS) and be designed to the standards outlined in Sewers for Scotland Fourth Edition, or any superseding guidance prevailing at the time) has been submitted to and approved in writing by the Planning Authority. This shall include full modelling of the drainage networks and demonstrate that discharge will be limited to pre-development rates for a range of return period storms.

Thereafter, only the approved details shall be implemented and all surface water drainage provision for the relevant phase or sub-phase shall be completed prior to the final occupation of the relevant phase or sub-phase.

**Reason:** In the interests of amenity, to protect and enhance the natural environment, protect the water environment, and prevent pollution.

20. All footpaths shall be surfaced in bituminous macadam or a similar hard, cohesive material. Thereafter, all footpaths shall be maintained for this use in perpetuity unless/until it is adopted for maintenance under the Roads (Scotland) Act 1984 (as amended).

**Reason:** In the interests of pedestrian safety, and that the works involved comply with applicable standards.

## **REASON FOR DECISION**

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## **TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION**

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

## **INFORMATIVES**

### **Initiation and Completion Notices**

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

### **Flood Risk**

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

### **Scottish Water**

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

### **Septic Tanks and Soakaways**

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

### **Local Roads Authority Consent**

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

[http://www.highland.gov.uk/info/20005/roads\\_and\\_pavements/101/permits\\_for\\_working\\_on\\_public\\_roads/2](http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2)

### **Mud and Debris on Road**

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

### **Construction Hours and Noise-Generating Activities**

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact [env.health@highland.gov.uk](mailto:env.health@highland.gov.uk) for more information.

### **Protected Species – Halting of Work**

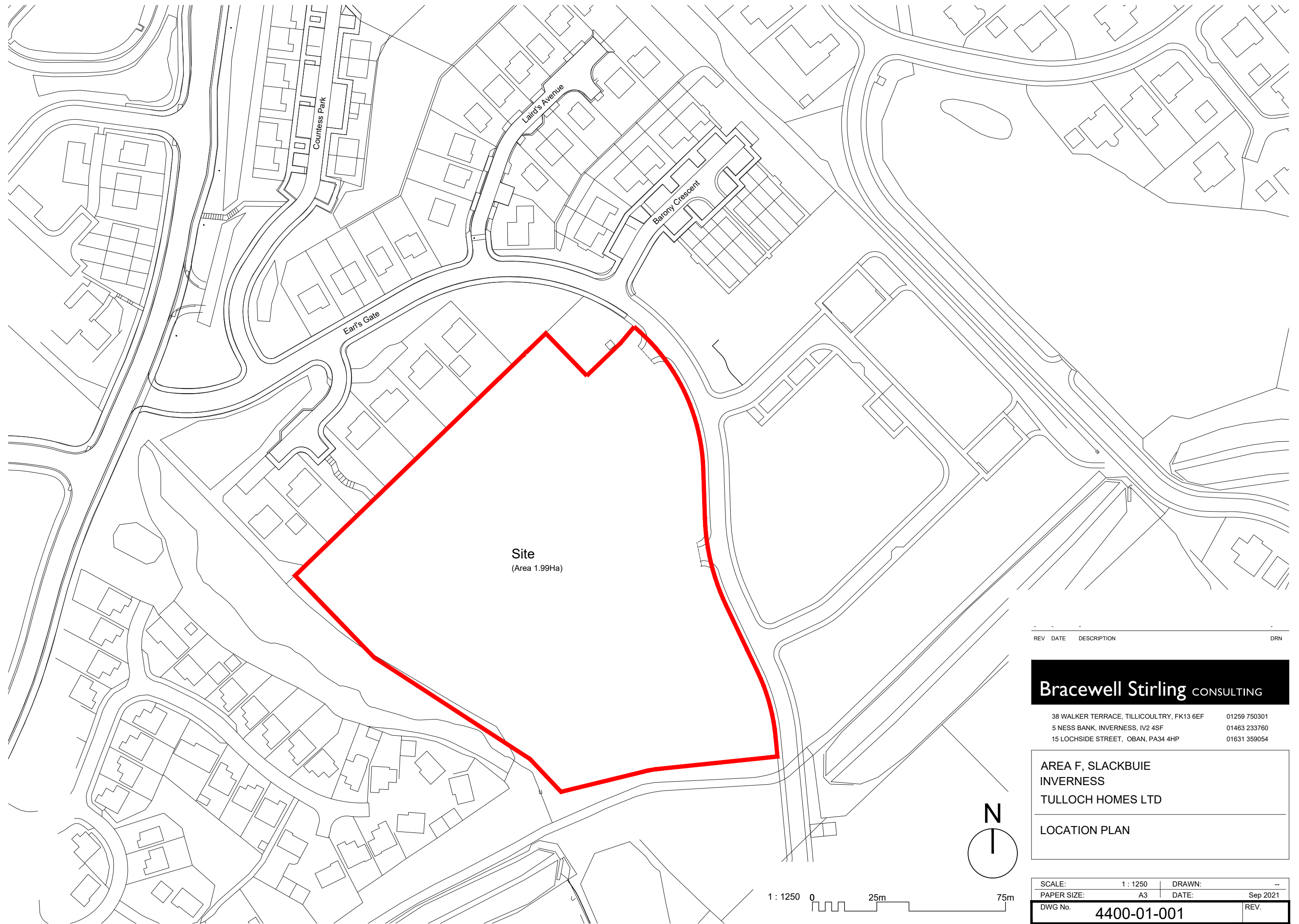
You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot:

<https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

### **Factoring of the Development**

Shared elements of the development are to be factored. The applicant is advised that it is their responsibility to ensure compliance with the provisions of the Property Factors (Scotland) Act 2011.

Signature: David Mudie  
Designation: Area Planning Manager - South  
Author: Claire Farmer – Planner / Simon Hindson – Team Leader  
Background Papers: Documents referred to in report and in case file.  
Relevant Plans: Plan 1 - 4400-01-001 – Location Plan  
Plan 2 - 4400-02-103 REV E – Site Layout Plan  
Plan 3 - 4400-01-300 – Section Plan  
Plan 4 - 4400-01-101 – Elevation Plan – Torrin House Type  
Plan 5 - 4400-01-111 – Elevation Plan – Calder House Type  
Plan 6 - 4400-01-121 – Elevation Plan – Elm House Type  
Plan 7 - 4400-01-130 – Elevation Plan – Tweed House Type  
Plan 8 - 4400-01-141 – Elevation Plan – Etive House Type  
Plan 9 - 4400-01-151 – Elevation Plan – Tarvie House Type  
Plan 10 - 4400-01-161 – Elevation Plan – Willow House Type  
Plan 11 - 4400-01-171 – Elevation Plan – Lochalsh House Type  
Plan 12 - 4400-01-200 – Entrance Wall Feature  
Plan 13 - TH SF 103.21.SL-01 REV B – Landscaping Plan  
Plan 14 - 1267-TPP – Tree Protection Plan



**Site**  
(Area 1.99Ha)

REV	DATE	DESCRIPTION	DRN

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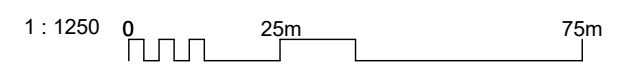
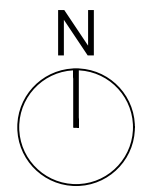
38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

**AREA F, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD**

**LOCATION PLAN**

SCALE: 1 : 1250 DRAWN: --  
 PAPER SIZE: A3 DATE: Sep 2021

DWG No. **4400-01-001** REV.





**Area F, Slackbuie, Inverness: Accommodation Schedule**

Ver.	Code	Name	Bedrooms	Description	Floor Area	No. of Units	Total Floor Area
<b>PD Units</b>							
16/2	35DV88	Torrin	3	Semi-Detached Villa	88.0	12	1056.0
16/2	3DV91	Calder	3	Detached Villa	91	9	819
16/2	3DV96	Elm	3	Detached Villa	96	3	288
16/2	4DV105	Tweed	4	Detached Villa	105	7	735
16/2	4DV118	Etive	4	Detached Villa	118	6	708
16/2	4DV124	Tarvie	4	Detached Villa	124	7	868
16/2	4DV131	Willow	4	Detached Villa	131	3	393
16/2	4DV139	Lochalsh	4	Detached Villa	139	2	278
<b>SUB-TOTAL</b>					<b>49</b>	<b>5145.0</b>	



**Key:**

- 221 Plot numbers
- Bi / B\* Housetype code / Handed housetype code
- Indicative rotary clothes drier location
- Indicative garden gradients
- Indicative break point between levels and graded garden ground

**Boundary Treatments / Landscaping:**

- 1.8m screen wall / fence
- 1.8m Timber screen fence
- Plot division line
- Hedge
- Communal open space
- Indicative shrub planting
- Indicative tree planting

**Car Parking / EV Charging:**

- In-curtlage 2.5 x 5.0m car parking space
- In-curtlage EV charging point location

All properties have 2ho. in-curtlage car parking spaces, contained within either a 3.0m wide x 11.0m long or a 5.5m wide x 6.0m long driveway.

Etive house types also have an integral single garage, while Lochalsh house types have an attached single garage.

Provision for up to 7kW Electric Car Charging in accordance with Approved Document P: Electrical safety – dwellings, Electricity at Work Regulations HSR25, BS7671:18th edition (2018) and the IET Code of Practice for EV Charging. (Properties with a driveway or garage to have a 13A external socket device supplied. External socket device to come complete with isolation switch and be suitable for upgrading in the future to a fast-charge device. External socket device to have a dedicated supply from the consumer unit, be certified for continuous load and suitably earthed. External socket device to be located 1.1m above finished ground level.)

**Refuse / Bin Collection:**

- Indicative in-curtlage location on refuse bin stance
- Refuse Collection Point for shared private driveways

All properties have space for in-curtlage bin storage.

Bin uplift will be at the kerbside of the adopted road and will require occupiers to transport the relevant bin from the bin stance to the kerbside.

Plots 209-211 and 219-222 are accessed off private shared driveways. Bin uplift for these properties will require the occupier to transport the relevant bin from the bin stance to the identified Refuse Collection Point.

REV	DATE	DESCRIPTION	DAK	DRN
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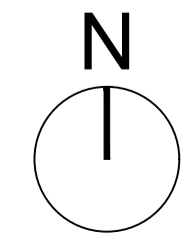
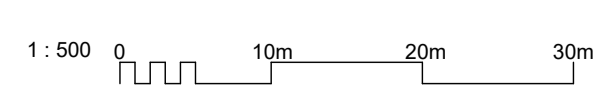
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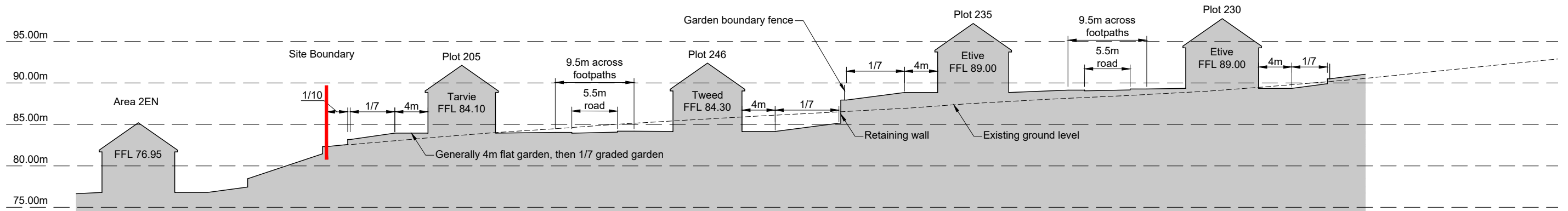
**AREA F, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD**

**SITE LAYOUT PLAN**

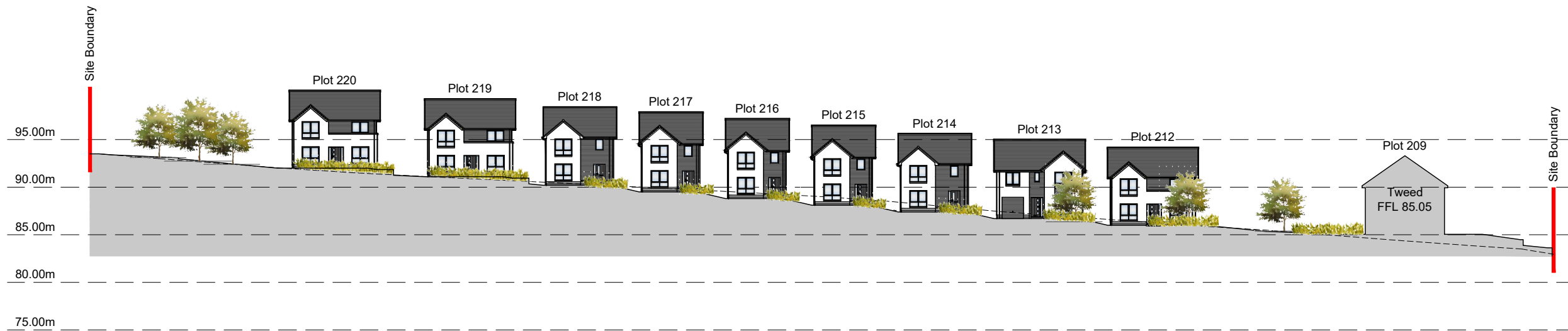
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Section AA



Section BB

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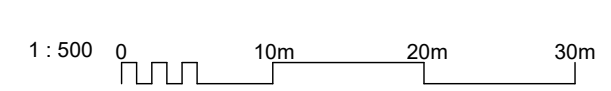
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AREA F, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

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SITE SECTIONS

Refer to Site Layout Plan for section line locations

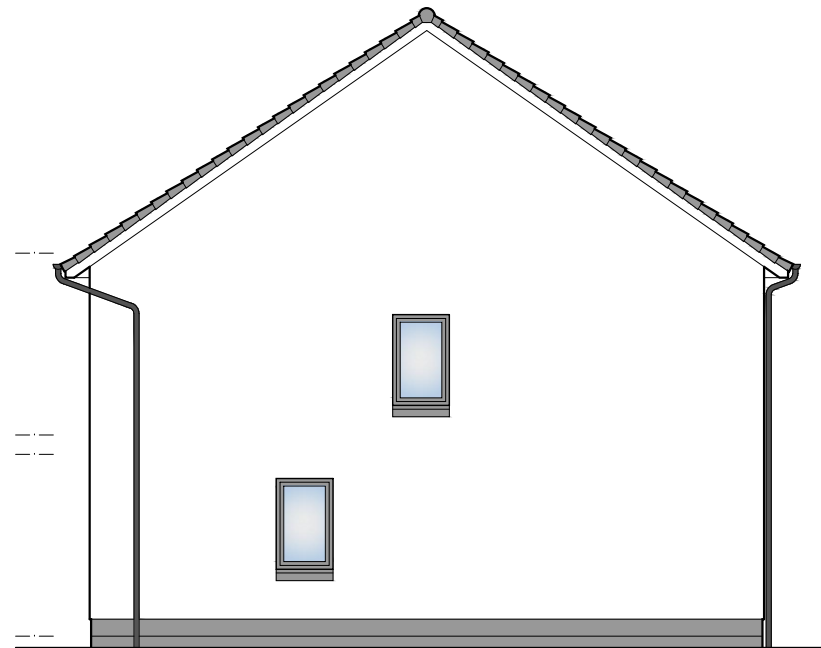


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DWG No.	4400-01-300		REV.

**Torrin**  
 2 storey semi-detached house / 3 Beds  
 Floor Area = 88m<sup>2</sup>



FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION



REAR ELEVATION



- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule

REV	DATE	DESCRIPTION	DRN

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38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA F, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

ELEVATIONS - TORRIN SEMI

1 : 100 0 1m 2m 3m 6m

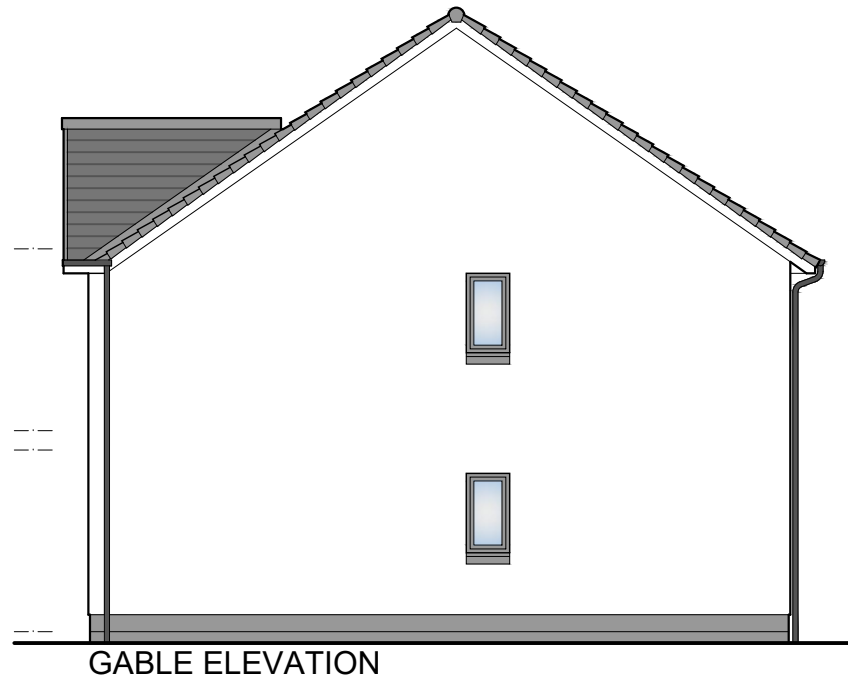
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PAPER SIZE:	A3	DATE:	Sep 2021
DWG No.	4400-01-101		REV.



**Calder**  
 2 storey detached house / 3 Bedrooms  
 Floor Area = 91m<sup>2</sup>



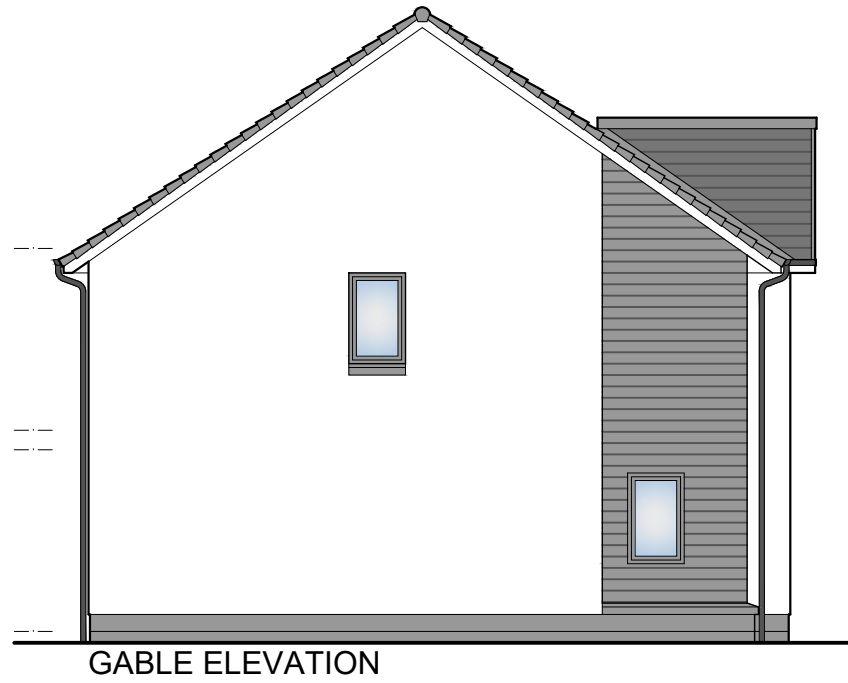
FRONT ELEVATION



GABLE ELEVATION



REAR ELEVATION



GABLE ELEVATION



- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule

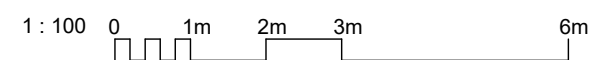
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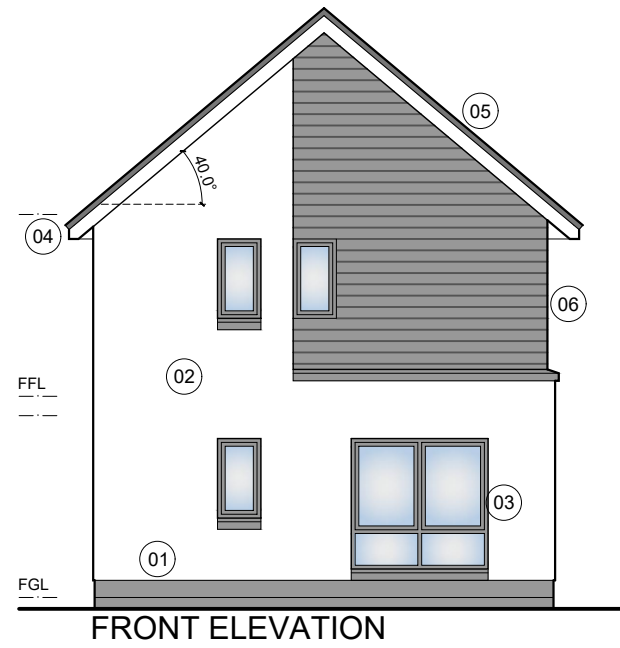
AREA F, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

ELEVATIONS - CALDER DETACHED

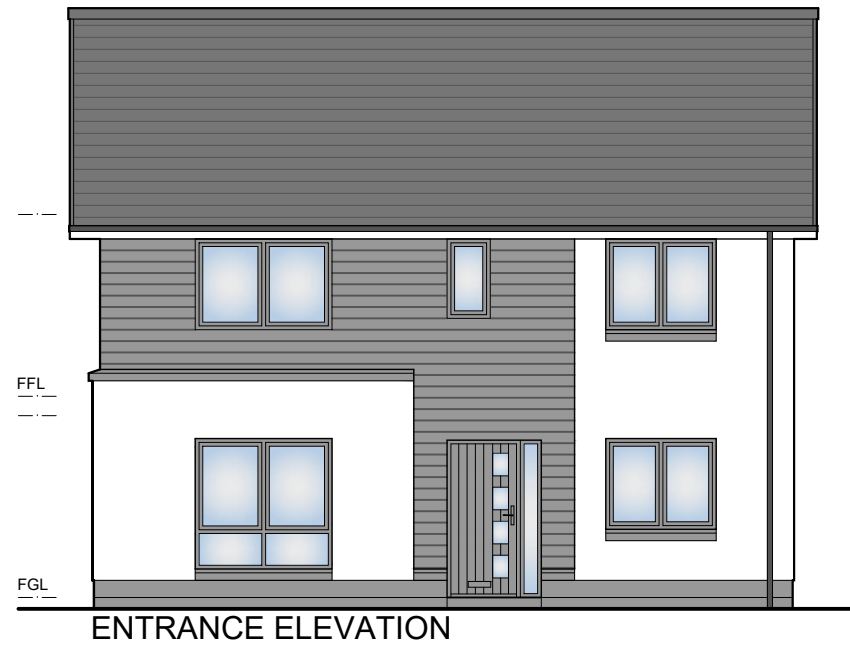


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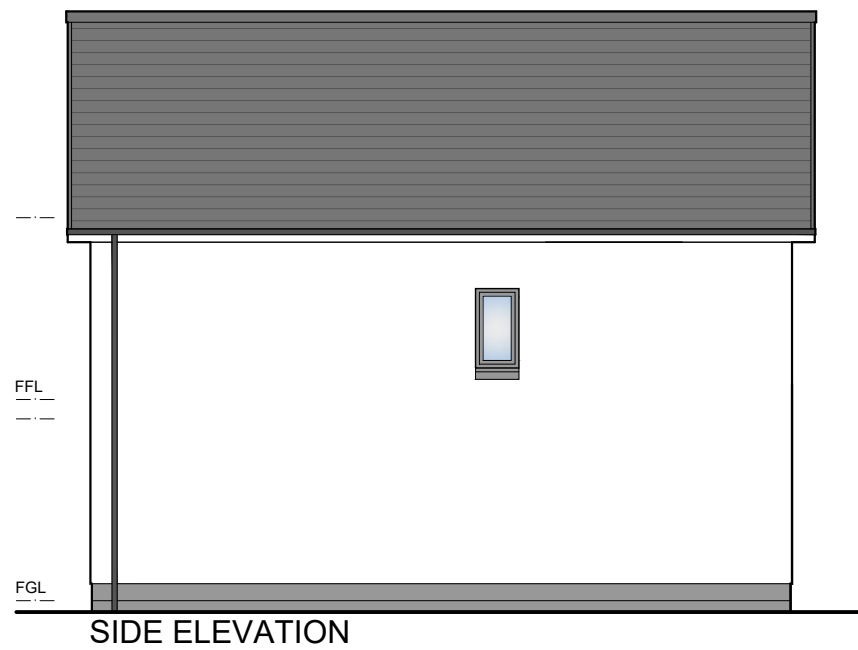
**Elm**  
 2 storey detached house / 3 Bedrooms  
 Floor Area = 96m<sup>2</sup>



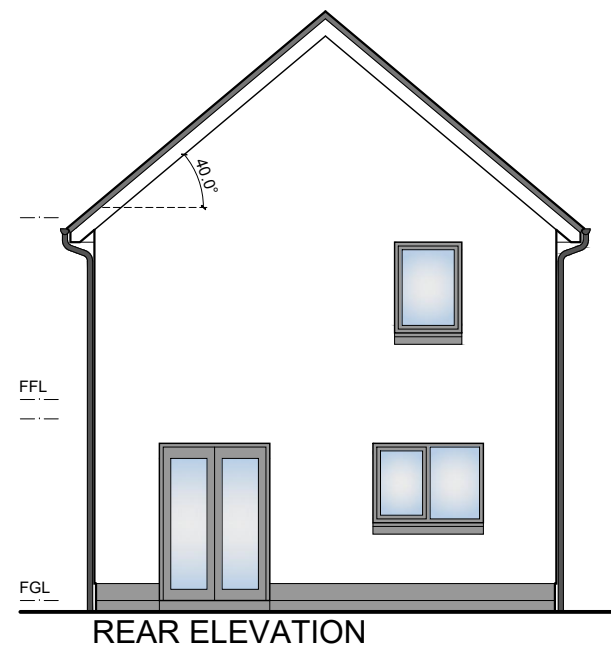
FRONT ELEVATION



ENTRANCE ELEVATION



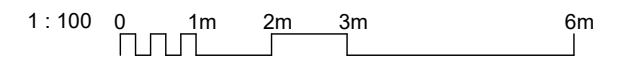
SIDE ELEVATION



REAR ELEVATION



- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
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  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN

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AREA F, SLACKBUIE  
 INVERNESS  
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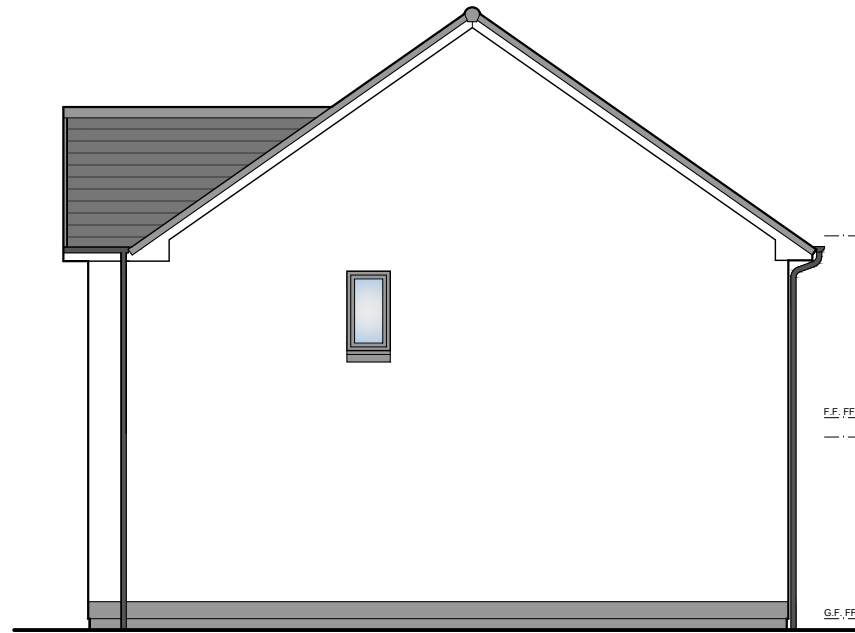
ELEVATIONS - ELM DETACHED

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DWG No.	4400-01-121		REV.

**Tweed**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 105m<sup>2</sup>



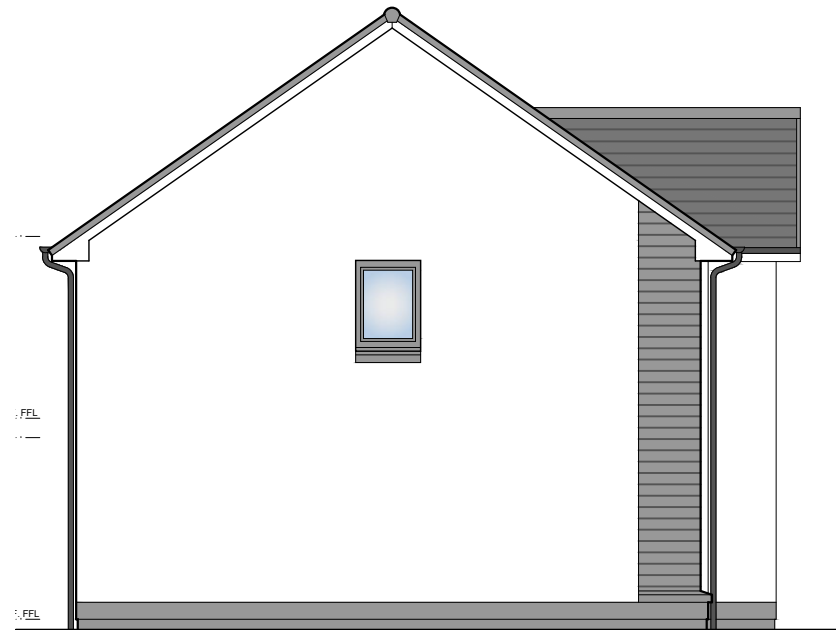
FRONT ELEVATION



GABLE ELEVATION



REAR ELEVATION



GABLE ELEVATION



- 01 Precast basecourse and cills
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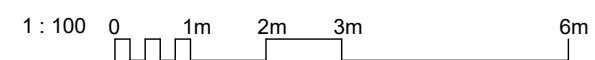
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AREA F, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

ELEVATIONS - TWEED DETACHED

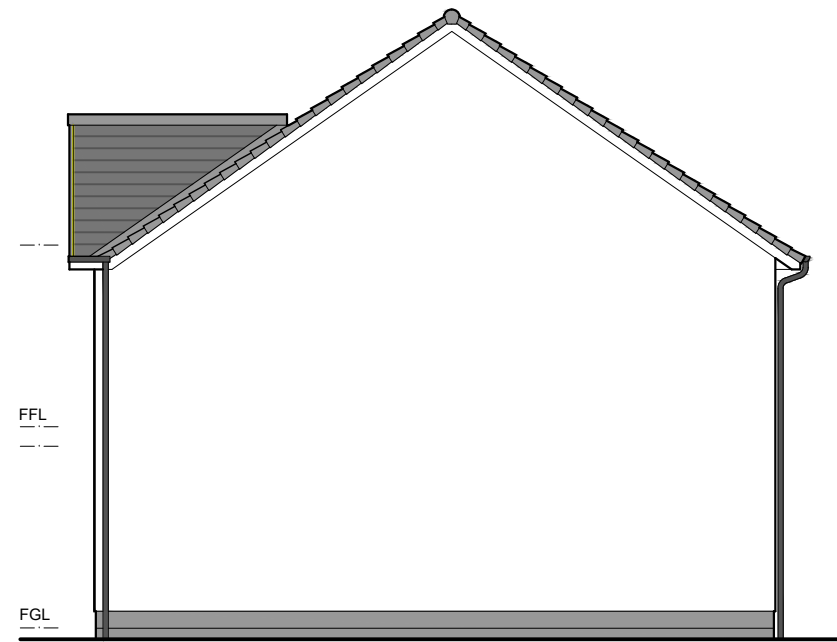


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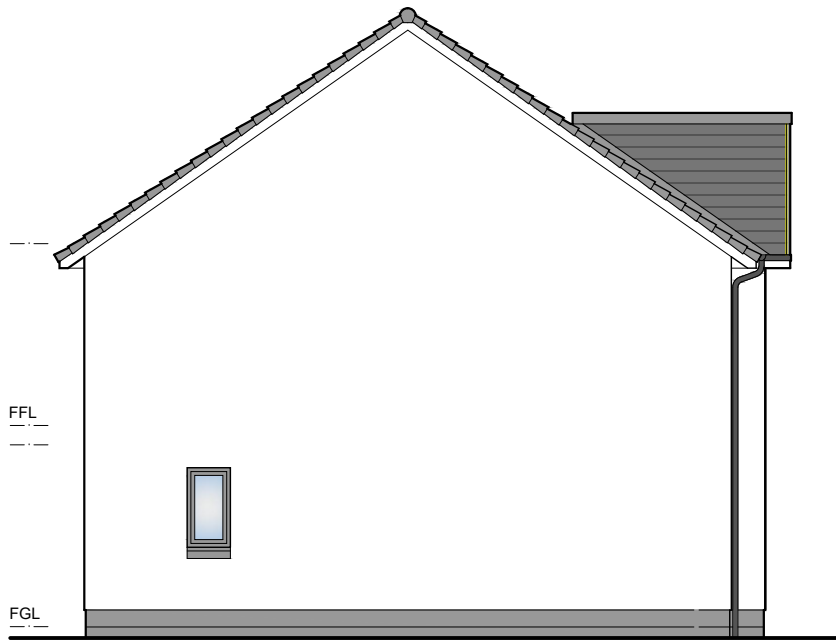
**Etive**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 118m<sup>2</sup>



FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION



REAR ELEVATION

- 01 Precast basecourse and cills
- 02 Dry dash roughcast
- 03 uPVC windows
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All colours as External Finishes Schedule



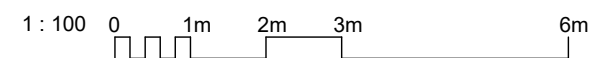
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AREA F, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

ELEVATIONS - ETIVE DETACHED

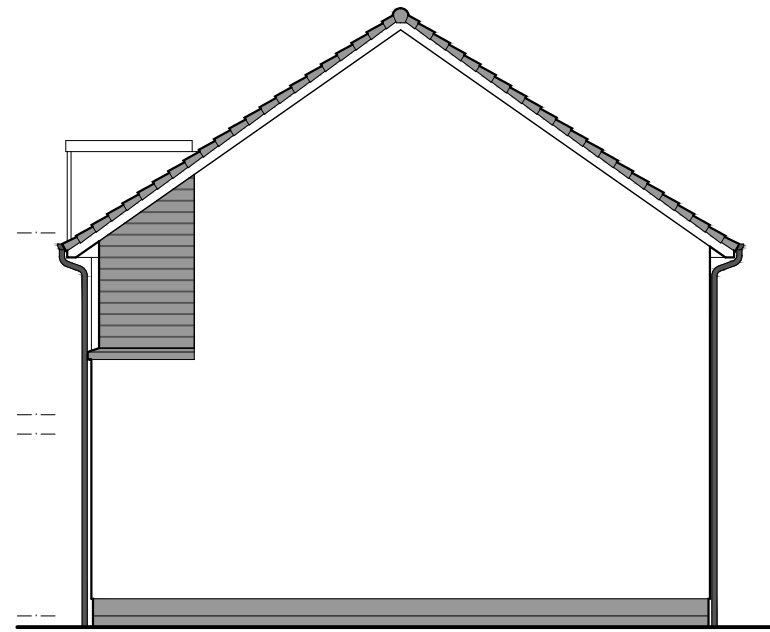


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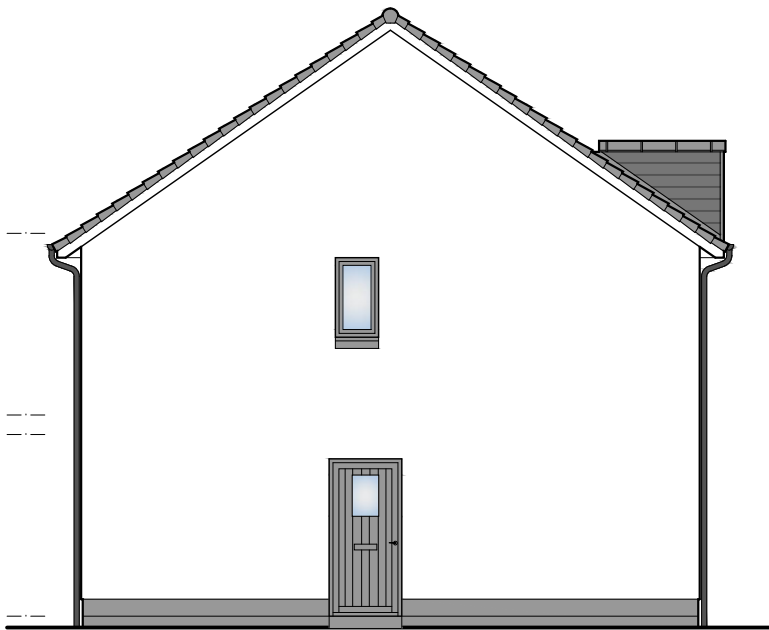
**Tarvie**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 124m<sup>2</sup>



FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION



REAR ELEVATION

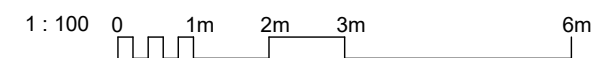
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REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
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AREA F, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD  
 ELEVATIONS - TARVIE DETACHED



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PAPER SIZE:	A3	DATE:	Sep 2021
DWG No.	4400-01-151		REV.



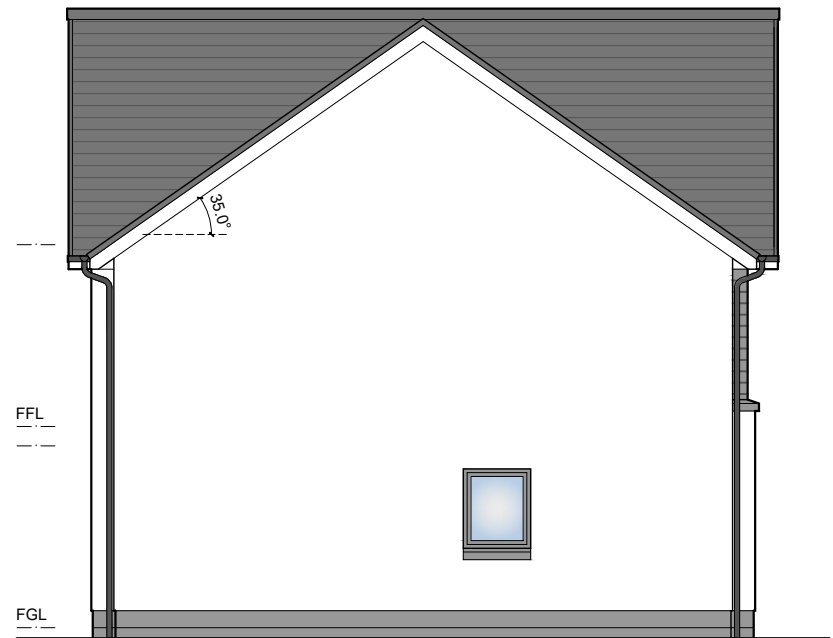
**Willow**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 131m<sup>2</sup>



FRONT ELEVATION



ENTRANCE ELEVATION

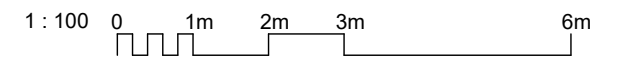


SIDE ELEVATION



REAR ELEVATION

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA F, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

ELEVATIONS - WILLOW DETACHED

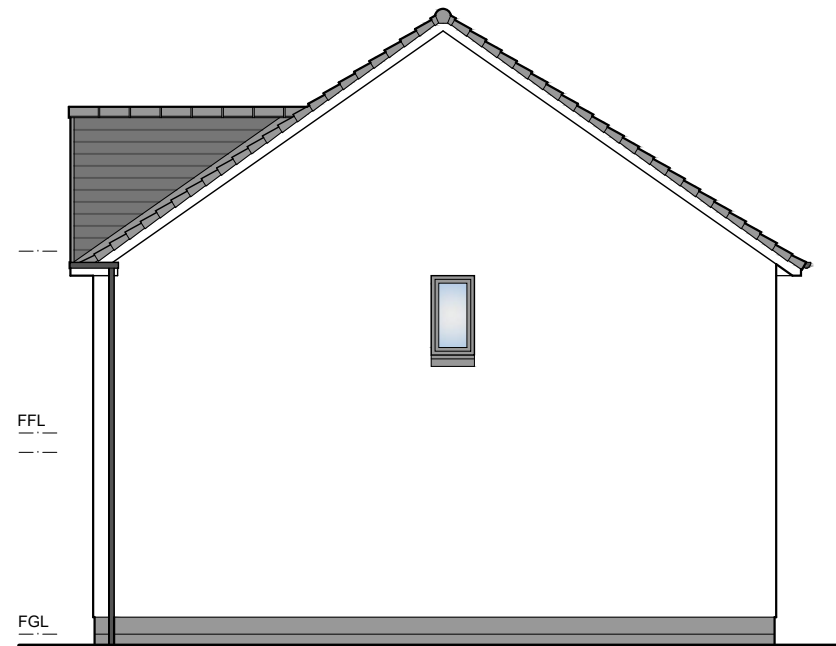
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DWG No.	4400-01-161		REV.



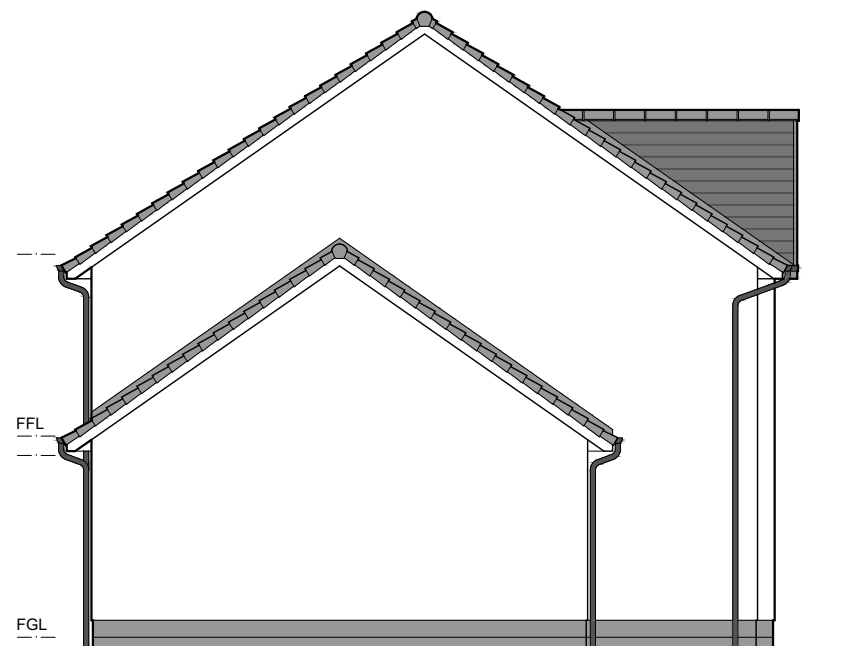
**Lochalsh**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 139m<sup>2</sup>



FRONT ELEVATION



GABLE ELEVATION

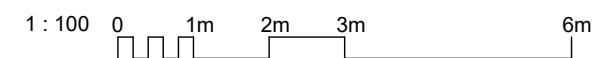


GABLE ELEVATION



REAR ELEVATION

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN

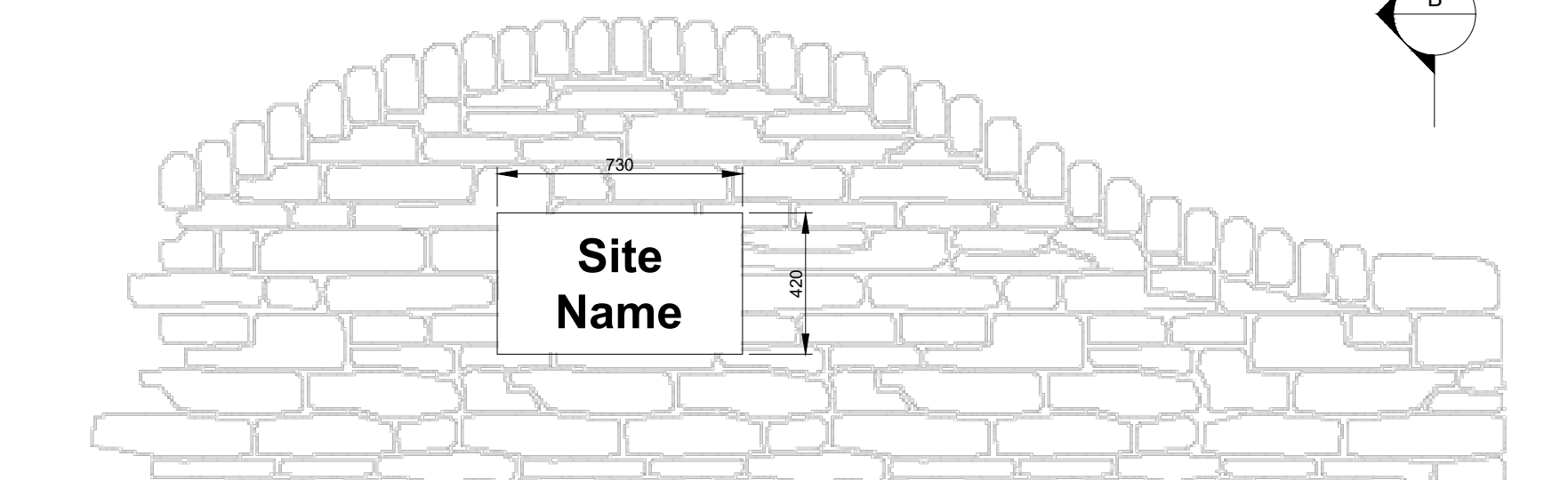
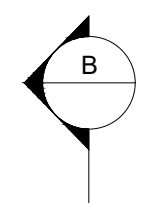
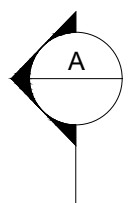
**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

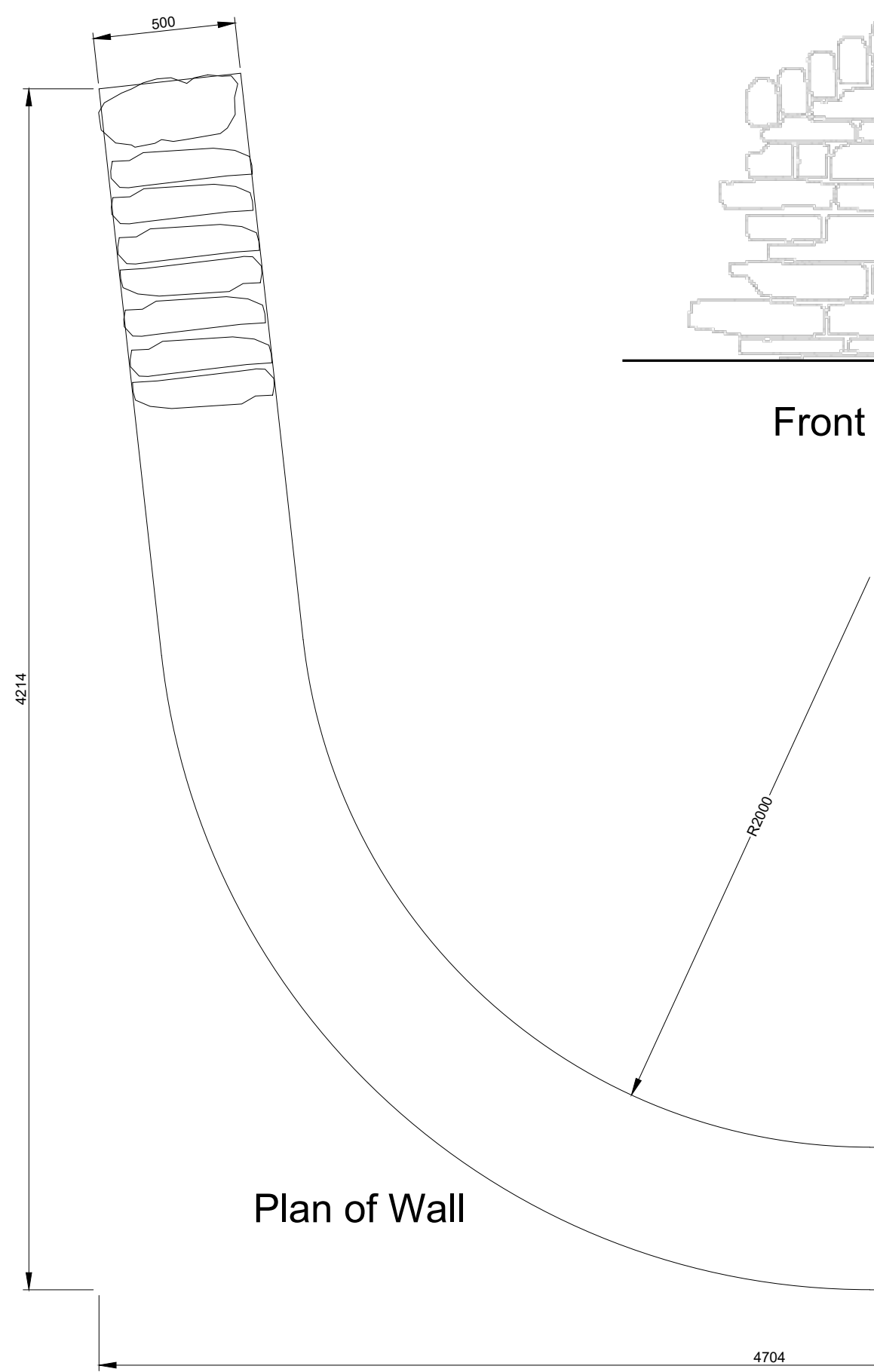
AREA F, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

ELEVATIONS - LOCHALSH DETACHED

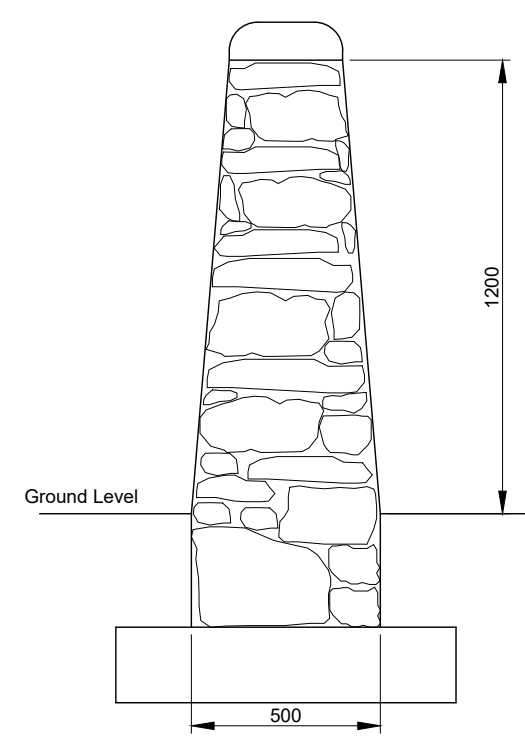
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DWG No.	4400-01-171		REV.



Front Elevation

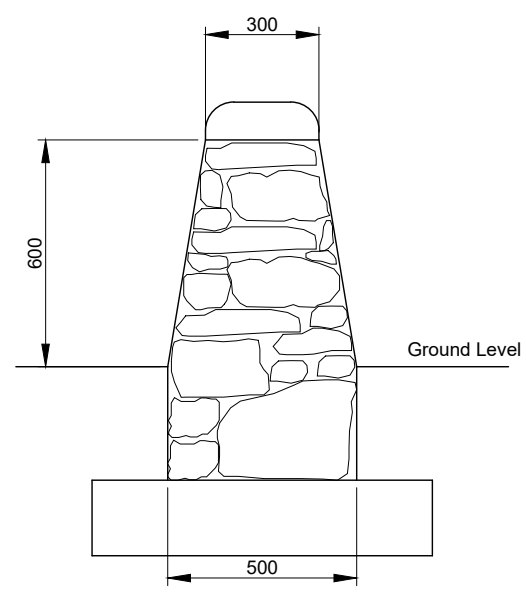


Plan of Wall

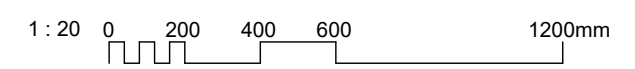


Section A

600mm to 1200mm high natural stone wall with 500mm base width and 300mm cope width. Natural stone with recessed NHL 3.5 lime mortar joints, half moon stone cope all on concrete foundation to engineer detail.



Section B



REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA F, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

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ENTRANCE FEATURE WALL

SCALE:	1:20	DRAWN:	--
PAPER SIZE:	A3	DATE:	Sep 2021
DWG No.	4400-01-200	REV.	













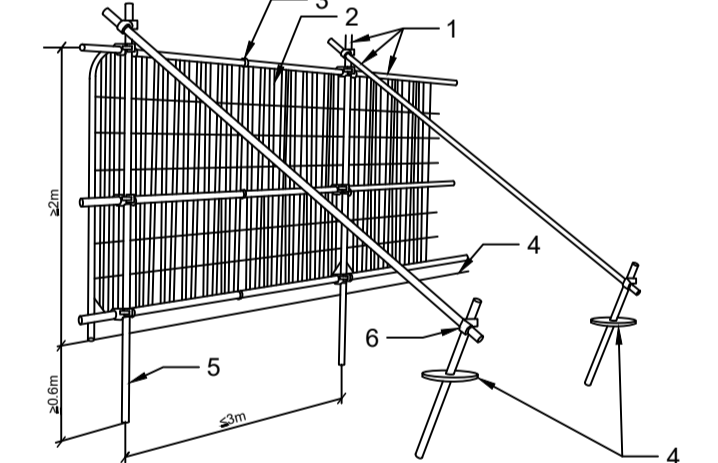


Tree Protection Plan showing tree categories and root protection zones.

BS5837:2012 Tree Categories

-  BS 5837:2012 Root Protection Area RPA, or Construction Exclusion Zone
-  **Category A**  
Trees of high quality with an estimated remaining life expectancy of at least 40 years.
-  **Category B**  
Trees of moderate quality with an estimated remaining life expectancy of at least 20 years.
-  **Category C**  
Trees of low quality with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150 mm.
-  **Category U**  
Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
-  **Group**  
Showing canopy extents and category colour which will also represent RPA unless detailed separately
-  Tree for Removal
-  Tree protection Fencing

DEFAULT TREE PROTECTION FENCING AS RECOMMENDED BY BS 5837:2012 SEE PLAN FOR POSITIONING



1. Standard scaffold poles
2. Heavy gauge 2m tall galvanised tube and welded mesh infill panels
3. Panels secured to uprights and crossed with wire ties
4. Ground level
5. Uprights driven into the ground until secure (minimum depth 0.6m)
6. Standard scaffold clamps

Development Site  
Area F  
Slackbuie  
Tree Protection Plan

Client: Tulloch Homes Ltd Stoneyfield Business Park Inverness IV2 7TA	Drawing No: <b>1267-TPP</b>
Scale: <b>1:500</b>	Surveyed by: LCM
Date: 10th November 2021	Checked by: RW
ACAD File No: 1267-TPP.DWG	Sheet: 1 of 1
Grid Used: Local Based on OS	Level Datum Used: Ordnance (GPS)

