

Agenda Item	6.5
Report No	PLS-080-21

HIGHLAND COUNCIL

Committee: South Planning Applications Committee

Date: 14 December 2021

Report Title: 21/00915/FUL: Solarsanctuary Ltd
Easter Bunloit, Bunloit, Drumnadrochit, Inverness

Report By: Area Planning Manager – South

Purpose/Executive Summary

Description: Conversion and alteration of farm buildings to form maintenance, visitor and educational facilities

Ward: 12 – Aird and Loch Ness

Development category: Local

Reason referred to Committee: Community Council objection and 5 or more objections from the public.

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report.

1. PROPOSED DEVELOPMENT

- 1.1 The application is for the conversion and alteration of farm buildings to form maintenance, visitor and educational facilities at Bunloit Farmhouse.
- 1.2 The development will be used for maintenance, visitor and educational facilities consisting of: a workshop, office space, a multipurpose room, plant and tool store, garage and 2 toilets. There will also be storage for estate owned machinery. It is intended to provide shelter, toilets and a base for estate rangers who will look after the estate, and other members of the Bunloit rewilding team such as scientists. These are expected to be used by public visitors and school groups on a seasonal basis. Five parking spaces will be provided adjacent to the farm building.
- 1.3 There is a surfaced road leading to the site from the single track public road, which serves the Old Schoolhouse at Bunloit. An unsurfaced track leading off that road will be used to access the buildings, which also serves Easter Bunloit Farmhouse and a house at Wester Bunloit.
- 1.4 Foul water drainage will be by a treatment tank to the southeast corner of the steading building leading to a discharge to the Allt na h-Eireige to the east. Surface water drainage will utilise SuDS, also to the east of the steading, and also discharging to the burn. A detailed Drainage Statement has been submitted for the disposal of foul water and surface water drainage.
- 1.5 The proposed source of water is a borehole supply to the north of the steading. No investigations have been carried out to establish a borehole but a consultant has been used with experience in this field. With specific regard to the Bunloit area, HighWater has drilled or is aware of 13 boreholes. They are not aware of any unsuccessful boreholes in this area. The consultant is of the opinion that it will be possible to establish a borehole water supply to serve the proposed development.
- 1.6 Pre-Application Consultation: None
- 1.7 Supporting Information:
- Background Information
 - Design and Access Statement
 - Drainage Statement
 - Water Supply Assessment
 - Bat Survey Assessment
- 1.8 Variations: Revised Location and Site Layout Plan 03.03.2021

2. SITE DESCRIPTION

- 2.1 The site is located at Easter Bunloit to the west side and above Loch Ness, south of Drumnadrochit.

- 2.2 The existing buildings comprise farm steadings, which are in a good state of repair. They are constructed of natural stone with a slate roof. The existing building is single storey and has an 'L'-plan form. The steading is to the north of the farmhouse.
- 2.3 The adjacent farmhouse is owned by the applicant. There is another house to the southwest at Wester Bunloit, which takes access from another track. There is scrub woodland to the northwest and open fields to the east.
- 2.4 Refuse and recycling waste will be collected and stored at the existing collection point at the junction of the access track with the public road.

3. **PLANNING HISTORY**

- 3.1 09 March 2021 20/02160/FUL - Erection of replacement reception building, siting of 5 holiday pods, formation of car parking at Ancarraig Lodges Bunloit [site located approximately 1250m southwest of application site] Planning permission Granted

4. **PUBLIC PARTICIPATION**

- 4.1 Advertised: Schedule 3 Development and Unknown Neighbour

Date Advertised: 02.04.2021, and 07.05.2021

Representation deadline: 21.05.2021

Timeous representations: 9

Late representations: 0

- 4.2 Material considerations raised are summarised as follows:

- a) Traffic – number of visitors and volume of traffic on Bunloit Road, which is used by residents, visitors, walkers cyclists and horse-riders. Road is single track with difficult sightlines and requires improvement and is no longer safe. Great Glen Way shares road needs investment. Numbers and frequency of visitors to the estate has not been made clear nor what is proposed to encourage walking visitors and deter drivers. No guarantee that most visitors will be pedestrian. Mini-bus could potentially transport visitors from Drumnadrochit. Additional visitors and staff will add to traffic on a steep single-track road with many blind bends. Suggest limitations imposed as to the amount and frequency of visitors to keep vehicle numbers to absolute minimum.
- b) Protected Species - Original building is used as a nesting site by bats and swallows so appropriate features and/or nesting boxes should be retained/included and any work only carried out at times that will not impact on any wildlife in the vicinity.
- c) Foulwater Drainage – Effluent to be discharged from septic tank to a burn which is drinking water for 2 adjacent holiday cottages (Thorp)
- d) Water Supply – Increased demand for water generated by this

development and impact on water table.

- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

- 5.1 **Glenurquhart Community Council** object to the proposal. It acknowledges that this specific application is for the restoration and repurposing of existing agricultural buildings and understand that this is the first phase of a larger, multifaceted project which includes elements of re-wilding, housing, commercial and visitor attractions. This application, and the impact on associated surrounding infrastructure needs to be considered within the context of the overall project which represents a significant development on designated hinterland that does not conform with the Inner Moray Firth plan for this area.

Application could significantly increase the traffic on the Bunloit road, which is a steep single-track road, with very poor sight lines in some parts, too few passing places, and is currently in poor repair in areas. The road is shared with walkers (part of the Great Glen Way), cyclists and horses. It is not suitable for heavy goods traffic which this particular application will bring during the building phase and potentially in future phases when proposed commercial units and additional housing units are completed. As an 'all year' round facility, this development has potential to impact traffic levels year-round.

Water Supply and foul water drainage are an ongoing challenge in Bunloit. Properties either have boreholes or water sources filtering down to holding tanks. This application does not adequately address impact on overall water supply for existing residents, and raises concern about waste water potentially impacting neighbouring water supplies. Waste water has also been noted to flood the road in several areas during increased rainfall. The impact on water and waste water from this development (and potential future phases) should be considered as part of this application.

- 5.2 **Transport Planning Team** has no objection. Additional information submitted by the applicant appears to demonstrate that the vehicle movements generated by the development will not be significant. Nevertheless, the single-track public road serving the site is generally of a poor standard in terms of its geometry, construction, and the availability of suitable passing places. Some minor road improvements will, therefore, be required to mitigate the impact of development traffic. It is recommended that the following works are completed to the satisfaction of the Planning Authority in consultation with the Roads Authority prior to first occupation of the development.

- localised carriageway widening at 2 no. agreed locations; OR
- provision of 2 no. passing places at agreed locations.

The impact on the road network during the construction phase will also require to be properly managed.

Construction Traffic Management Plan (CTMP) is required to control and minimise

the impact of construction activities on the local road network.

Given the substandard nature of the Bunloit public road, together with the fact that the road forms part of the Great Glen Way, it is likely that substantial mitigation measures will be needed to allow the road to safely serve any significant traffic generating future development.

5.3 Environmental Health has no objection.

Water - The proposed development will include the use of a private water supply. The proposal is for a borehole which has yet to be sunk although an initial yield assessment has been undertaken. Further information on the supply will require to be submitted.

Noise - The proposed development includes a workshop and small plant room which could have the potential for noise. The property at Wester Bunloit is about 50m from the development.

5.4 Contaminated Land Team has no objections. There is an indication within the application that the site has had a previous use as an agricultural building. A condition is recommended to ensure that the development is suitable for its proposed use.

5.5 Historic Environment Team (Archaeology): This application impacts a range of buildings that are considered to be of historic importance. Recommend that the buildings are subject to detailed photographic recording prior to any consented impacts to provide a record of its current condition and setting. Condition recommended.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

- 28 - Sustainable Design
- 29 - Design Quality & Place-making
- 31 - Developer Contributions
- 36 - Development in the Wider Countryside
- 43 - Tourism
- 57 - Natural, Built & Cultural Heritage
- 58 - Protected Species
- 59 - Other important Species
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage

6.2 Inner Moray Firth Local Development Plan 2015

The site falls within the Loch Ness and Duntelchaig Special Landscape Area (SLA)

6.3 Highland Council Supplementary Planning Policy Guidance

Developer Contributions (March 2018)

Flood Risk and Drainage Impact Assessment (Jan 2013)

Highland's Statutorily Protected Species (March 2013)

Managing Waste in New Developments (March 2013)

Special Landscape Area Citations (June 2011)

Standards for Archaeological Work (March 2012)

7. OTHER MATERIAL CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

Scottish Planning Policy (as amended December 2020)

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

8.3 The key considerations in this case are:

- a) compliance with the development plan and other planning policy
- b) siting and design, including effect on natural and built heritage features
- c) traffic
- d) drainage
- e) water supply
- f) protected species
- g) any other material considerations

Development plan/other planning policy

8.4 The site lies outwith the Settlement Development Area of Drumnadrochit although just within the defined Hinterland Area. Highland wide Local Development Plan Policy 43 (Tourism) supports proposals for tourist facilities provided

- the scale of the proposal is proportionate to its location
- the proposal will safeguard, promote responsible access, interpretation and effective management or enhancement of natural, built and cultural heritage features

8.5 In addition, outwith Settlement Development Areas, Policy 36 (Development in the

Wider Countryside) identifies that development proposals will be assessed on the extent to which they are:

- acceptable in terms of siting and design;
- are sympathetic to existing patterns of development in the area;
- would address drainage constraints and can otherwise be adequately serviced, particularly in terms of foul drainage, road access and water supply, without involving undue public expenditure or infrastructure that would be out of keeping with the rural character of the area.

8.6 In addition, the other policies contained within the Highland wide Local Development Plan that must be given due consideration seek to ensure that new development is designed to make a positive contribution to the architectural and visual quality of the place in which it is located, be accessible and have no significant detrimental impact upon protected species and/or habitats or individual and community residential amenity. As the development is located within the Loch Ness and Duntelchaig Special Landscape Area (SLA) it is a requirement that any development will not have an unacceptable impact on the natural environment, amenity and heritage resource. Providing that the proposal can demonstrate this to be the case then it would comply with the Development Plan.

Siting and Design

8.7 The steading building already exists in the landscape. The proposal involves its re-use to provide maintenance, visitor and educational facilities, retaining the existing stone walls and the natural slate clad roof. The proposal would introduce very limited visual change and there is therefore no wider impact on the Special Landscape Area.

Traffic

8.8 Vehicular access is taken from the existing access track which connects with the public road at Bunloit. The section of the access track from the junction with the public road is surfaced in bitmac until the junction with the access track leading down to the site, which is unsurfaced.

8.9 Representations heavily focus on access matters, in particular to the nature of the existing single track public road at Bunloit, including its structure, fragility and limited passing opportunities; and the additional levels of traffic potentially generated by the development.

8.10 Transport Planning has recommended upgrading works to the public road to the site from Drumnadrochit. It has identified localised carriageway widening at 2No. agreed locations, or, the provision of 2 No. passing places at agreed locations. The necessary, relevant, and proportionate works are considered to be suitable mitigation to address the impact of the development on the community and road network. As the works would be contained within the road verge, where the Council has a control of the land, these matters can be secured by condition. Members will note that this condition was imposed on a planning application for camping pods at Ancarraig Lodges (20/02160/FUL) to the southwest of the proposed development site and given the pressures on this road are likely to be

sought for future development along this route.

Drainage

- 8.11 A Drainage Statement has been submitted for the disposal of foul water and surface water. The ground is unsuitable for the disposal of foul and surface water run-off by infiltration and the use of traditional soakaways. As a result, discharge to the watercourse is necessary. Foul water will be treated by a wastewater treatment plant before discharge of the outflow to the Allt na h-Eireige watercourse. Roof water run-off will be collected and the flow will then discharge into a stone filled filter trench and then into the same watercourse. This arrangement requires authorisation from SEPA. It is understood that the 2 holiday cottages at Easter and Wester Bunloit are owned by the applicant. A borehole water supply has recently been installed to serve these cottages and the old water supply from the burn has been removed. No other buildings use the burn as a private water supply and there is no possibility of cross contamination.

Water Supply

- 8.12 No Hydrological Assessment has been submitted as to the source of borehole for the private water supply – although the submitted plans show this as north of the steading. With specific regard to the Bunloit area, HighWater has drilled or is aware of 13 boreholes. The applicant's drainage consultant is of the opinion that it will be possible to establish a borehole water supply of sufficient capacity to serve the proposed development. Environmental Health will need to review the Hydrological Assessment and seek a condition relating to water quality. A condition will be attached to ensure this is carried out before the start of works on the site. Matters relating to water quality are controlled by Environmental Health testing.

Protected Species

- 8.13 A Bat Survey Assessment was carried out and during the preliminary survey of the structure, a number of features with the potential to support bat roosts were identified. As the structure has high suitability for summer roosting of bats, the survey identifies summertime stage 2 survey work should be undertaken (generally between May and August) to determine the presence of or absence of bats, and the roost status and the numbers and species of bats. The structure has low suitability for winter roosting and so no further winter survey of this structure is recommended at this stage.
- 8.14 In considering developments where bats will be affected, the Planning Authority must take account of the Habitats Regulations 1994, particularly the "three tests":
- 1) the activity must preserve public health or public safety or there must be other imperative reasons of overriding public interest;
 - 2) there must be no satisfactory alternative; and
 - 3) favourable conservation status of the species must be maintained.

8.15 In this regard, the following points are made:

1) Public Interest

- There is an element of public interest in that the access to the public road will be improved with better visibility, which will increase safety for drivers and pedestrians.
- An existing building will continue to be used and be available for future generations.

2) Satisfactory Alternative

To do nothing – this would result in no road safety gain and the existing steading (including the roost) might fall into disrepair at some point in the future given its condition with a consequent loss of the roost.

- 3) Favourable Conservation Status - The building is in good condition and has the potential to support bat roosts in the summer but has low suitability for winter roosting. If bats are present, then this will require bat mitigation measures as proposed by the applicant's Consultant which could involve the erection of a bat box outside the building or other measures such that the development will not impact on favourable conservation status.

8.16 Given the nature of the issues involved and the non-prescriptive nature of the three tests it is not possible to give an absolutely definitive answer either to the impact on the bats or whether the three tests can be met. However, taking into account the applicant's Consultant advice, the prospective increase in public safety through the road improvement, the lack of alternatives that would achieve the same end result, the potential for mitigation and the potential for the roost to be lost in the future through loss of the property it is considered, on balance, that the three tests can be met, and that planning permission can be granted.

8.17 During the survey of accessible parts of the structure, signs of barn owl presence were noted. There is no evidence that the site is a breeding site or that it has been used in the past for nesting however it is considered that the location is a Potential Nest Site (PNS). The site has no confirmed nesting in the past, but the applicant's Consultant has advised that to avoid the enforced cessation of development work, should an active breeding site be discovered that would be directly or indirectly damaged or disturbed through continuance of the work, mitigation measures must be put in place.

Other material considerations

8.18 There are no other material considerations.

Non-material considerations

8.19 The Community Council sets out in its consultation response that it understands this proposal to be the first phase of a larger, multifaceted project which includes elements of re-wilding, housing, commercial and visitor attractions. While this may be the case, no Proposal of Application Notice has been submitted to the Council and/or no pre-application advice has been sought in respect of such development. The proposal that is the subject of this application must therefore be considered

on its own individual merits.

Developer Contributions

- 8.20 The proposed conversion is not suitable for permanent residential occupancy and therefore no developer contributions are necessary.

Matters to be secured by Section 75 Agreement

- 8.21 None.

9. CONCLUSION

- 9.1 The application is in detail for the conversion and alteration of a traditional steading building to form maintenance, visitor and educational facilities at Bunloit Farmhouse.
- 9.2 The re-use of the steading for this is generally considered to accord with Highland wide Local Development Plan Policy 43 (Tourism) as it would provide for a tourist facility outwith a settlement; and within the Hinterland area it complies with the siting and design elements of HwLDP Policy 35 (Housing the Countryside (Hinterland Areas)).
- 9.3 The development will help to meet the aims of the applicant to implement land use and management changes through the provision of a building for scientific and educational purposes. The proposal is considered to be acceptable in terms of siting and design and is sympathetic to existing patterns of development in the area. The proposal therefore demonstrates compatibility with Policy 36.
- 9.4 There is not considered to be any significant impact on natural heritage in relation to protected species and visual amenity in relation to views from longer distances.
- 9.5 There are concerns regarding public road infrastructure in the area and the potential impact that the development could have on this. Following assessment by the Council's Transport Planning Team it is considered that such impacts can be mitigated in a proportionate manner with carriageway widening or passing places along parts of the road. The detail of the location of these works is yet to be formally agreed and accordingly, it is considered appropriate to attach a condition to any permission in this regard.
- 9.6 Following the agreed mitigation measures being implemented, the level of traffic that is likely to be generated is considered to be acceptable in road safety terms.
- 9.7 The site can be adequately serviced, with foul drainage designed for the site. The development will have no significant detrimental impact on individual and/or community residential amenity.

9.8 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

10.1 Resource: Not applicable

10.2 Legal: Not applicable

10.3 Community (Equality, Poverty and Rural): Not applicable

10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued

Notification to Scottish Ministers N

Conclusion of Section 75 N
Obligation

Revocation of previous permission N

Subject to the above actions, it is recommended to **GRANT** the application subject to the following conditions and reasons:

1. All foul water and surface water drainage provision within the application site shall be implemented in accordance with the approved plans and shall be completed prior to the first occupation of the development.

Reason: In order to ensure that the site is adequately drained; that surface water drainage is provided timeously and complies with the principles of SUDS; and in order to protect the water environment.

2. No development shall commence until a plan, and specification for, improvement works to the Bunloit Road, has been submitted to, and approved in writing by, the Planning Authority in consultation with the Roads Authority. For the avoidance of doubt, the improvement works shall include:

- i. localised carriageway widening at 2 locations; OR
- ii. the installation of 2No. passing places

The approved works shall be implemented in full by the developer prior to the first

occupation of the development hereby approved.

Reason: In the interests of road traffic safety.

3. Prior to the start of any works the developer shall, in consultation and agreement with the local Roads Operations Manager, establish a Construction Traffic Management Plan (CTMP) aimed at controlling and minimising the impact of construction activities on the local road network. As a minimum the CTMP shall include the following.
 - i. Details of the number and type of vehicle movements that will be generated during the construction phase.
 - ii. Proposed traffic management measures on the access route to the site.
 - iii. A procedure for the regular monitoring of road conditions and the implementation of any remedial works required during the construction period.
 - iv. Measures to ensure that all affected public roads are kept free of mud and debris arising from the development.

Reason: In the interests of road traffic safety

4. No development shall commence until a scheme for the storage of refuse and recycling within the application site has been submitted to, and approved in writing by, the Planning Authority. The approved scheme shall thereafter be implemented prior to the first use of the development and thereafter maintained in perpetuity.

Reason: To ensure that further suitable provision is made for the storage of communal waste and recycling bins.

5. Notwithstanding the provisions of Article 3 and Class 14 of the Town & Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended, revoked or re-enacted; with or without modification), no development shall commence until full details of any temporary site compounds and storage areas (including their location, scale and means of enclosure) shall be submitted to, and approved in writing by, the Planning Authority. Thereafter, the site compounds and storage areas shall be formed in accordance with these approved details. Furthermore, all site compounds shall be maintained in a tidy, safe and secure fashion and be removed from the application site within one month of the development being completed.

Reason: In order to safeguard the amenity of neighbouring properties and occupants.

6. No development, including any demolition works, shall commence until a Construction Method Statement has been submitted to, and approved in writing by, the Planning Authority. The statement shall provide for:

- i. the parking of vehicles of site operatives and visitors;
- ii. loading and unloading of plant and materials;
- iii. storage of plant and materials used in constructing the development;
- iv. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;
- v. wheel washing facilities;
- vi. measures to control the emission of dust and dirt during construction;
- vii. a scheme for recycling/disposing of waste resulting from demolition and construction works.

The approved Construction Method Statement shall be adhered to throughout the construction period.

Reason: In order to safeguard the amenity of neighbouring properties and occupants.

7. No development or work (including site clearance) shall commence until a photographic record has been made of the building and/or other features affected by the development/work, in accordance with the attached specification, and the photographic record has been submitted to, and approved in writing by, the Planning Authority.

Reason: In order to protect the archaeological and historic interest of the site.

8. No development shall commence until an appraisal to demonstrate that a sufficient private water supply can serve the development has been submitted to, and approved in writing by, the Planning Authority. This appraisal shall be carried out by an appropriately qualified person(s) and shall specify the means by which a water supply shall be provided and thereafter maintained to the development. Such appraisal shall also demonstrate that the sufficiency of any other supply in the vicinity of the development, or any other person utilising the same source or supply, will not be compromised by the proposed development. The development itself shall not be occupied until the supply has been installed in accordance with the approved specification to the satisfaction of the Planning Authority in consultation with the Environmental Health Authority.

Reason: To ensure that an adequate private water supply can be provided to meet the requirements of the proposed development and without compromising the interests of other users of the same or nearby private water supplies.

9. No development shall commence until a Noise Impact Assessment has been submitted to, and approved in writing by, the Planning Authority. The assessment shall be carried out by a suitably qualified and competent person and shall assess the likely impact of noise emanating from the development on neighbouring properties. Furthermore, the following should comprise part of the assessment:-

- i. A description of the proposed development in terms of noise sources and the proposed locations and operating times of the same;
- ii. A description of any noise mitigation methods that will be employed. The effect of mitigation methods on the predicted levels should be reported where appropriate;
- iii. A detailed plan showing the location of noise sources, noise sensitive premises and survey measurement locations;
- iv. A survey of current ambient (LAeq) and background (LA90) noise levels at appropriate locations neighbouring the proposed site;
- v. A prediction of noise levels resultant at neighbouring noise sensitive premises, for the operational phase of the proposed development. The raw data and equations used in the calculations should be provided; and
- vi. An assessment of the predicted noise levels in comparison with relevant standards.

Development shall progress in accordance with the approved Noise Impact Assessment and all approved mitigation measures shall be implemented prior to the first occupation/use of the development, or as otherwise may be agreed in writing by the Planning Authority.

Reason In order to protect the amenity of the occupants of the development.

10. No development shall commence until evidence that the site is suitable for its proposed use, by way of an assessment of potential contamination, has been submitted to, and approved in writing by, the Planning Authority. The assessment shall be consistent with the approach to land contamination contained in Planning Advice Note 33 and the British Standard BS 10175:2011 +A2:2017 Investigation of Potentially Contaminated Sites - Code of Practice. In the event that contamination is found, details of the measures required to treat/remove contamination (a remedial strategy) to ensure that the site is fit for the uses proposed shall be submitted to, and approved in writing by, the Planning Authority. The approved remedial strategy shall be implemented prior to development commencing.

Reason: In order to ensure that the site is suitable for redevelopment given the nature of previous uses/processes on the site.

11. No development shall commence until a bat and owl pre-commencement survey has been undertaken and a report of survey has been submitted to, and approved in writing by, the Planning Authority. The survey, which shall be a summertime stage 2 survey, undertaken generally between May and August, shall determine the presence of or absence of bats, and the roost status and the numbers and species of bats. The survey report shall include mitigation measures where any impact, or potential impact, on protected species or their habitat has been identified. Development and work shall progress in accordance with any mitigation measures contained within the approved report of survey and the timescales

contain therein.

Reason: To minimise disturbance to nature conservation interests within the application site and ensure the protection of protected species and habitats.

12. Should statutorily protected species be found within the application site at any time during the construction stage, then all work shall cease immediately, and written notification shall be sent by the developer to both the Planning Authority and NatureScot. Development shall only recommence once written approval for recommencement has been issued in writing by the Planning Authority and any mitigation measures required as conditions of such approval shall be implemented in full and in accordance with the approved timescales.

Reason To minimise disturbance to nature conservation interests within the application site and ensure the protection of protected species and habitats.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks & Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud & Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Road Works Permit

No works within or alongside the public road network shall commence until appropriate permission from the roads authority has been granted. The detailed requirements of all works affecting the public road shall be agreed through the permit application process.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

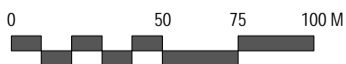
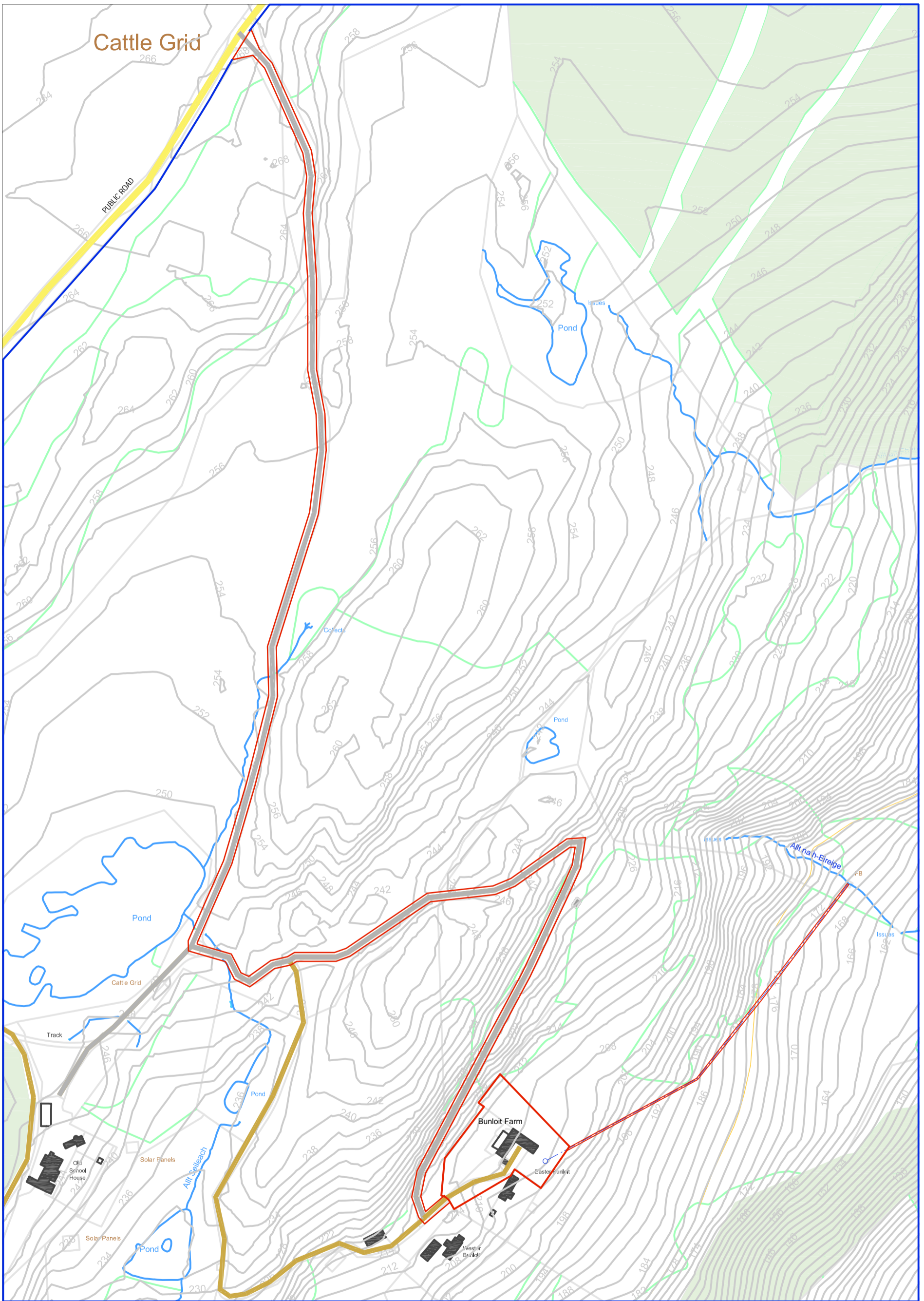
Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Private Water Supply

The applicant should be aware that as the premises are to be used for commercial purpose, under the requirements of The Water Intended for Human Consumption (Private Supplies) (Scotland) Regulations 2017, The Highland Council must add it to the register of private water supplies. The supply will require to be risk assessed and tested on an annual basis to ensure it meets regulatory standards.

Signature: David Mudie
Designation: Area Planning Manager – South
Author: Keith Gibson
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 - Location Plan - 755.L01.A
Plan 2 - Site Layout Plan - 755.S01.A
Plan 3 - Proposed Elevation Plan - 755-P02
Plan 4 - Proposed Floor Plan - 755-P01



CHRIS DAVENPORT ARCHITECTURE

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Tel : 0(44)1456 450004 Email: chris@nessie.ndonnet.com

Client **Solarsanctuary Ltd**

Scale **1:2,500 @ A3**

Date **02.02.21**

Status

Project **Conversion of Bunloit Farm**

Drawing **Location Plan**

Drawing No **755.L01.A**

Revisions **A 04.02.21 include access road**



do not scale dimensions from drawings, if in doubt seek clarification from architect

Revisions
A 03.03.21 amend application site boundary

CHRIS DAVENPORT ARCHITECTURE
 Tynaherrick, Drumadrochit, Inverness-shire IV63 6XG
 Tel : 0(44)1456 450004 Email: chris@nessie.ndonet.com

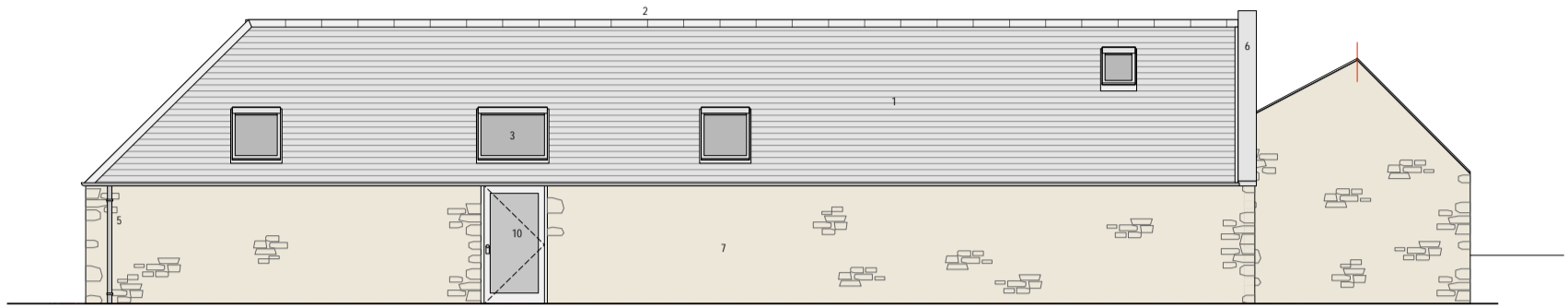
Client
Solarsanctuary Ltd
 Scale
1:250 @ A2

Date
16.02.21

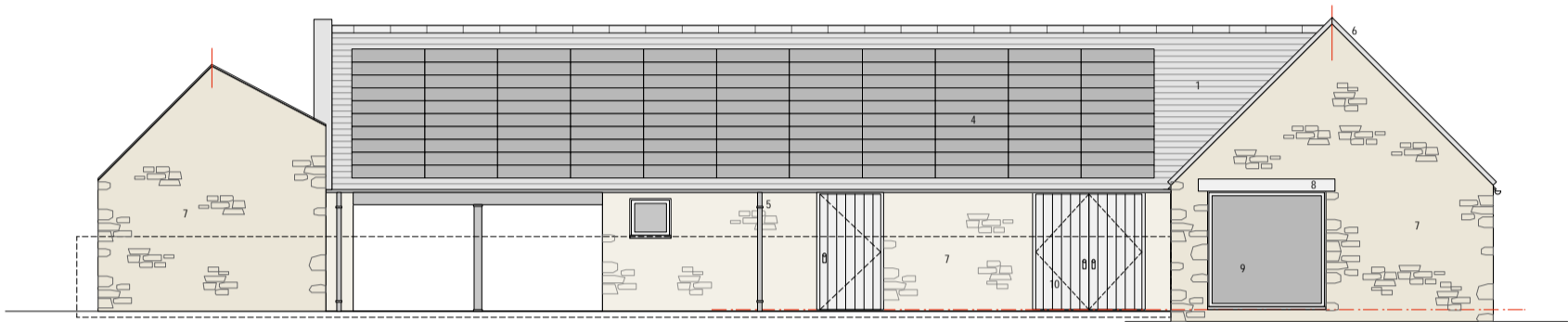
Status
planning application

Project
Conversion of Steading at Bunloit Farm
 Drawing
Site Plan as proposed

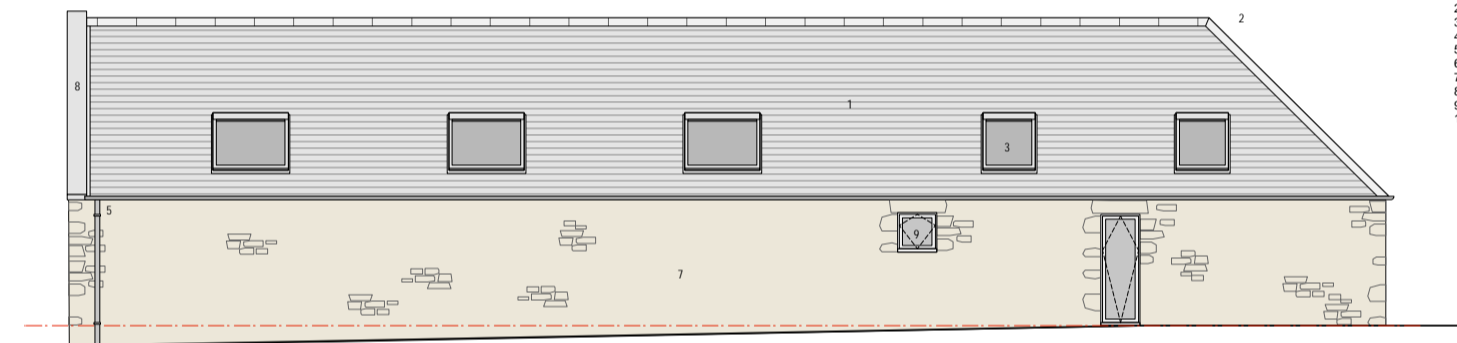
Drg No
755.S01.A



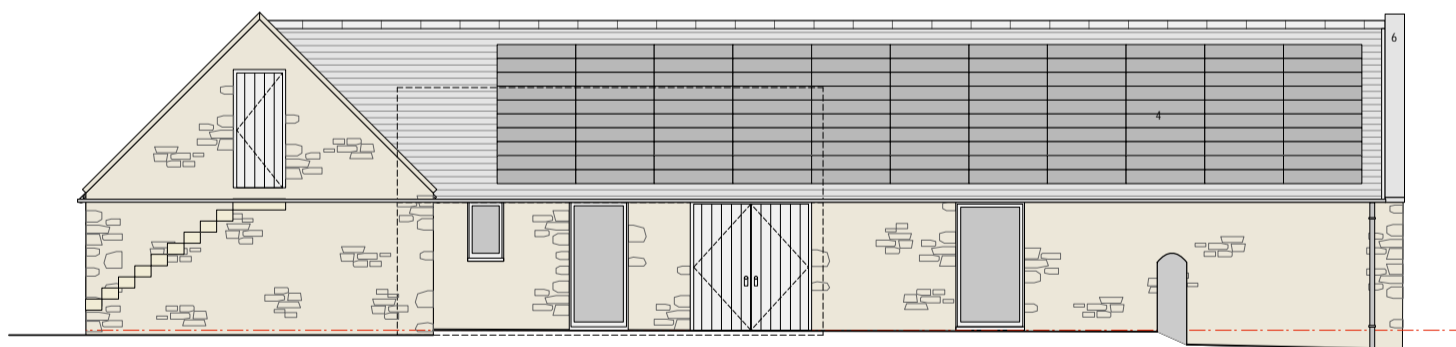
NW Elevation



SE Elevation

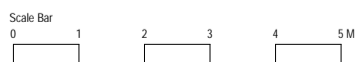


NE Elevation



SW Elevation

- KEY
1. existing slates, refixed on new roof structure
 2. code 5 lead ridge and flashing
 3. velux rooflights
 4. photovoltaic panels
 5. cast iron rainwater goods, black
 6. concrete skew coping made good
 7. rubble stone walls, picked and repointed
 8. precast concrete lintel
 9. timber framed windows, RAL 7016
 10. timber framed doors, RAL 7016



do not scale dimensions from drawings, if in doubt seek clarification from architect
copyright Chris Davenport Architecture

Revisions

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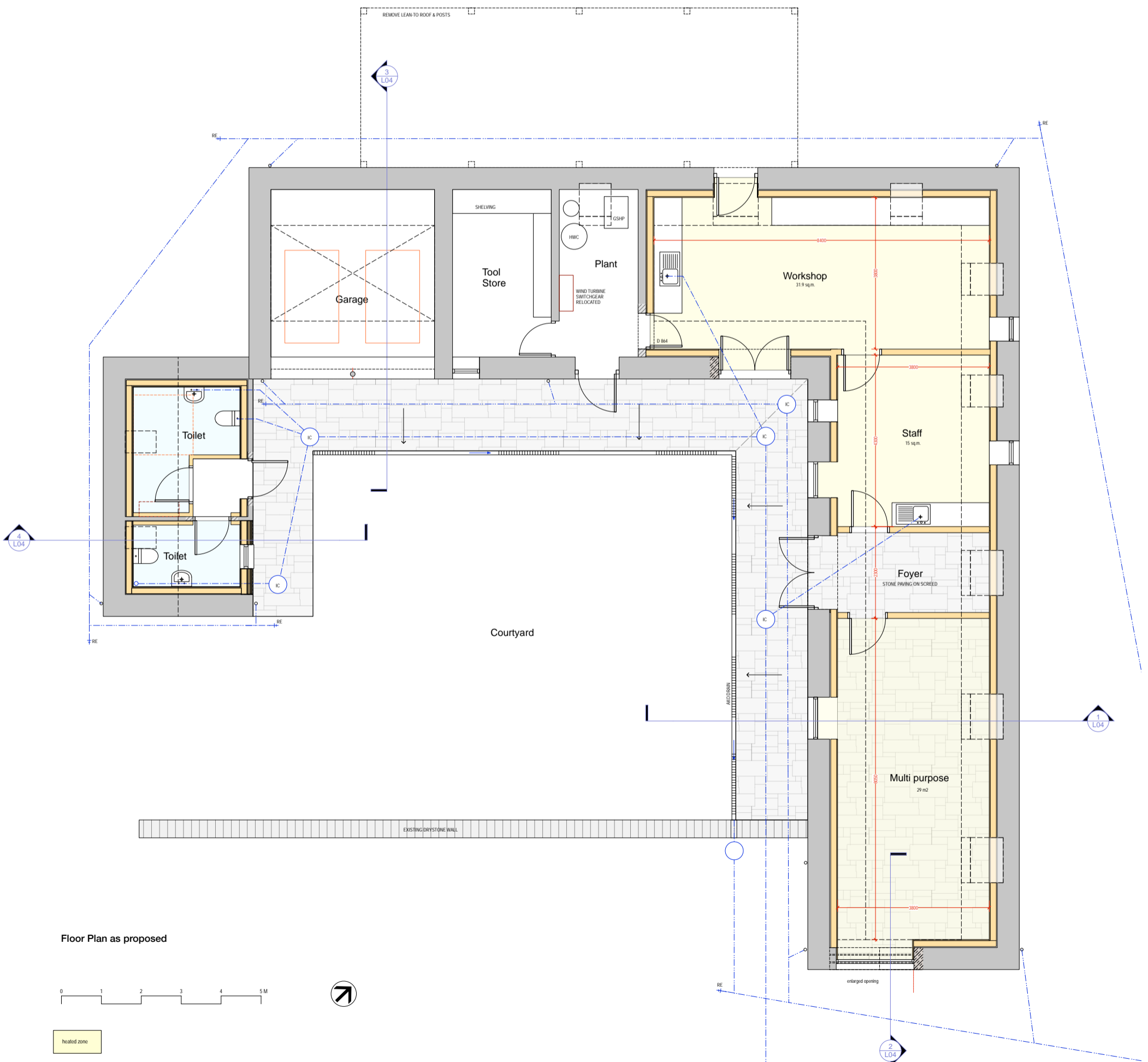
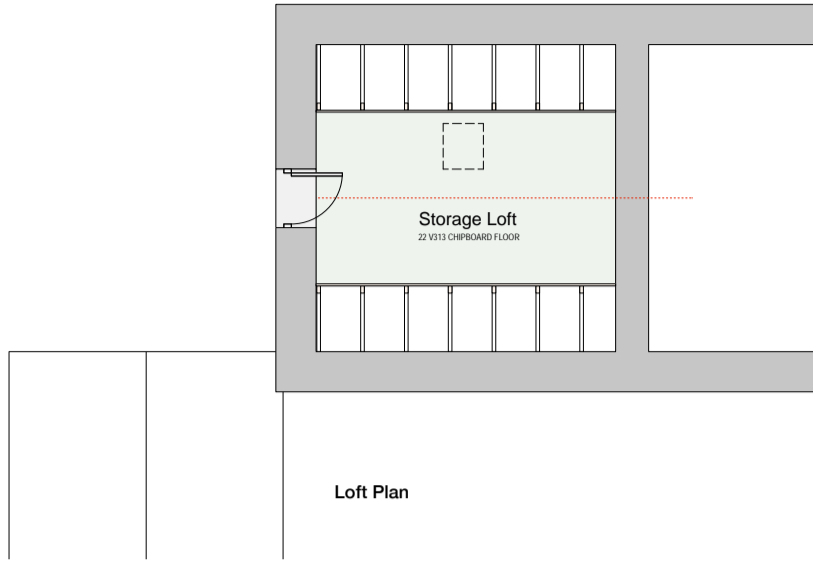
Client **Solarsanctuary Ltd**
Scale **1:75 @ A2**

Date **23.02.21**

Status **planning application**

Project **Conversion of Steading at Bunloit Farm**
Drawing **Elevations as proposed**

Dwg No **755.P02**



Floor Plan as proposed



heated zone

do not scale dimensions from drawings. If in doubt seek clarification from architect