

Agenda Item	6.11
Report No	PLS-39-22

HIGHLAND COUNCIL

Committee: South Planning Applications Committee
Date: 28 April 2022
Report Title: 21/05309/FUL: Robertson Homes Limited
Land 40m SW Of Gateside, 1A Leachkin Road, Inverness
Report By: Area Planning Manager – South

Purpose/Executive Summary

Description: Erection of 47 residential units and associated infrastructure
Ward: 13 – Inverness West
Development category: Local
Reason referred to Committee: Housing of 30 or more units

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

1.1 This application is for planning permission for a total of 47 residential units, open space roads and associated infrastructure comprising a mix of:

- 11 No. three bedroom houses; and
- 36 No. two bedroom flats.

1.2 The development is within the areas identified as Sites 7 and 8 of the Westercraigs Masterplan. The masterplan for Westercraigs envisaged the delivery of up to 550 residential units and was granted planning permission in principle (03/00676/OUTIN and modified by 12/01832/S42). This application seeks to complete the Westercraigs development and will form the final phases of development on the site. Any development on this site will be taken forward concurrently with the proposal for 30 residential units being considered under application 21/05305/MS. The phasing and delivery of the wider Westercraigs site is set out below:

Phase	Unit Numbers	Status	Running Total
2	107	Constructed and occupied	107
3	118	Constructed and occupied (conversion of listed building)	225
4	181	Constructed and occupied	406
5	51	Partially constructed and occupied	457
6	60	Partially constructed and occupied	517
7	30	No construction (application subject to this application)	547
8	47	No construction (application pending consideration)	594

1.3 This application would lead to a further units beyond the planning permission in principle being built out. Consideration of the impact of the additional 44 units is set out later in this report.

1.4 Applications have recently been submitted to convert the former chapel on the wider site into a community facility and a submission has been made seeking planning permission in principle for a retail unit. Both of these were requirements of the original masterplan for the site.

- 1.5 The access to the application sites would be via Leachkin Road. The applications also indicate active travel connections and path networks that cross and adjoin the application sites and link to the Great Glen Way beyond.
- 1.6 A separate application has been submitted in relation to the erection of 30 Residential Units and associated infrastructure adjacent to this site under reference 21/05305/MSC. This is subject to a separate report on the agenda of this committee.
- 1.7 Pre Application Consultation: 21/01099/PREMAJ major pre-application response to the proposed development of 66 residential properties provided in a mix of 3 storey flats (4 blocks) and 2 storey terraced houses across site 7 and 8 of the Westercraigs Masterplan area. The major pre-application response pack noted the proposal offered the opportunity to deliver a substantial quantity of housing, including affordable housing, and provided an opportunity to deliver a high quality development that expands on the existing phases of the Westercraigs mixed use development. However, it should be delivered through a holistic approach reflecting the existing development and land adjacent to the site which performs an important function as a green corridor for existing residents and those using the Great Glen Way. In addition, support for the development would be dependent on satisfactory resolution of a number issues and observations raised by consultees.
- 1.8 Supporting Information: Design and Access Statement, Drainage Impact Assessment, Ground Investigation Report, Transport Statement, Swept Path Analysis, Tree Constraints Plan, Tree Protection Plan, Arboricultural Impact Assessment, Outdoor Access Plan.
- 1.9 Variations: Since validation the following variations have been made:
- Modifications to the design, materials and layout of the proposal;
 - Amended access to the site moved from the Matters Specified in Conditions application to the associated detailed application;
 - Amended play park location moved from the Matters Specified in Conditions application to the associated detailed application;
 - Retention of further trees;
 - Further access/roads details regarding the visibility, traffic calming measures, widened service strip and rear footpaths, all abilities parking provision, residential and visitor cycle parking facilities, electric car provision and waste management details;
 - Modifications to the path construction and finish with further details submitted regarding the timetable, phasing, maintenance, drainage and associated signposting;
 - Submission of further information related to roads, drainage, flood risk, access and trees.

2. SITE DESCRIPTION

- 2.1 The site is an area of undeveloped grassland situated within the estate of the former Craig Dunain Hospital, an area identified for development under the Westercraigs Masterplan and within successive Development Plans.
- 2.2 Within both Sites 7 and 8 the ground rises up to the north with a step change in level to the west of Site 7. The sites are split with Gateside and Orcadia in the area of separation. The site is accessed from Leachkin Road, continuing on to Foresters Way, the main distributor road within the Westercraigs development. Land adjacent to the site performs an important function as a green corridor for existing residents and those using the Great Glen Way located beyond the site. There is a line of mature mixed broadleaves perpendicular to Leachkin Road towards the south eastern portion of site 7 with a line of mature broadleaves adjacent to the public road on the north side of the property Orcadia at Site 8. To accommodate development, three poplars and some smaller cherry, rowan and infected elm trees require to be removed. A compensatory planting scheme is proposed for elsewhere within the Westercraigs Masterplan area.

3. PLANNING HISTORY

3.1	13.05.2005	03/00676/OUTIN - Residential development and associated infrastructure based upon submitted Master Plan (as amended)	Outline Planning Permission Granted
3.2	04.05.2006	05/00645/REMIN - Erection of dwelling houses and associated roads, drainage, landscape etc. in accordance with 03/00676/OUTIN	Reserved Matters Approved
3.3	09.06.2008	05/00879/REMIN - Part demolition and refurbishment of former hospital building to form 118 residential apartments	Reserved Matters Approved
3.4	09.06.2008	05/00891/LBCIN - Listed building consent for part demolition and refurbishment of former hospital building to form 118 residential apartments	Listed Building Consent Granted
3.5	04.06.2008	07/01172/LBCIN - Refurbish hospital Phase 1 - Form 32 apartments	Listed Building Consent Granted
3.6	06.05.2008	07/01169/FULIN - Refurbish hospital Phase 1 to form 32 apartments	Planning Permission Granted
3.7	24.09.2008	08/00557/OUTIN - Proposed Nursing Home	Outline Planning Permission Granted

3.8	22.07.2009	08/00657/FULIN - Application to vary condition 14 of consent 03/00676/OUTIN	Planning Permission Granted
3.9	23.12.2008	08/00670/FULIN - Phase 2, Refurbish former hospital - 54 apartments	Planning Permission Granted
3.10	22.01.2009	08/00671/LBCIN - Phase 2, refurbish former hospital - 54 apartments	Listed Building Consent Granted
3.11	21.07.2009	09/00433/FULIN - Erect five houses	Planning Permission Granted
3.12	19.01.2010	09/00823/FULIN - Alterations	Planning Permission Granted
3.13	06.05.2010	10/00043/LBCIN - Removal of some existing roof elements	Listed Building Consent Granted
3.14	05.06.2018	12/01832/S42 - Application for non-compliance with Conditions 1, 6 and 14 of planning permission 03/00676/OUTIN	Planning Permission in Principle Granted
3.15	28.06.2013	13/01297/FUL - Construction of 94 semi-detached, terraced & flatted dwellings with all associated roads, parking, drainage infrastructure and bin/cycle stores etc	Planning Permission Granted
3.16	25.05.2016	15/03384/MSC - Erection of 51 houses and associated works	Matters Specified Approved
3.17	05.05.2016	15/03910/MSC - Change of use and renovation of former hospital to form 56 residential units	Matters Specified Approved
3.18	05.05.2016	15/03911/LBC - Renovation works required to accommodate the reuse the building including alterations and demolition.	Listed Building Consent Granted
3.19	06.10.2017	17/03471/S75D - Discharge of Section 75 Agreement recorded 04 May 2005 under Title Numbers INV20647, INV29488 and part INV34336 in respect of obligations on planning	Section Discharge 75 Granted

3.20	01.12.2017	17/04292/LBC - Amendments to 15/03911/LBC to take down sections of existing stone walls (that were to be rendered) and re-build in blockwork and render to Units 21, 22, 25 and 26	Listed Building Consent Granted
3.21	31.01.2018	17/05793/LBC - Removal of stairs in units 21 and 26, take down section of central wall to allow vehicle access and re-build on completion	Listed Building Consent Granted
3.22	19.04.2018	17/05518/FUL - Amendment to Site 5 layout to change house type on plots 1, 2, 5, 6, 8, 17 & 25 and changes to house designs on plots 4, 7, 10-14, 16, 18-20 and 27-32	Planning Permission Granted
3.23	20.04.2018	18/00397/FUL - Amendment of units 21 and 26 from 2 Townhouses to 6 Flats	Planning Permission Granted
3.24	20.04.2018	18/00399/LBC - Amendment of units 21 and 26 from 2 Townhouses to 6 Flats	Listed Building Consent Granted
3.25	18.03.2019	19/00316/LBC - Amended design (15/03911/LBC)	Listed Building Consent Granted
3.26	08.05.2019	19/01312/LBC - Removal of side gables within roof to units 22 and 25, modification to roof form and provision of external water taps to townhouse units	Listed Building Consent Granted
3.27	25.07.2019	19/01166/RCC - Site 6 house development at Westercraigs	Road Construction Consent Granted
3.28	10.12.2019	19/00524/MSC - Approval of Matters Specified in Conditions 2, 3, 6, 7, 10, 11, and 12 of Planning Permission 12/01832/S42 for the erection of 60 houses with associated roads, parking, drainage & infrastructure within Site 6 of the Westercraigs development	Matters Specified Approved
3.29	20.10.2020	20/03446/LBC - Change of external material panels from zinc to render (amended design to 15/03911/LBC)	Listed Building Consent Granted
3.30	28.03.2022	20/03555/MSC - Application for the approval of Matters Specified in Conditions 2c (access), 2e (play areas), 2f(landscaping) 2k (management and maintenance) and 9 (Open Space Strategy)	Matters Specified Approved

of Planning Permission in Principle 12/01832/S42 to deliver Adventure Play Area, Footpath Link from Site 4 to Great Glen Way and Footpath Link from Site 5 to Kilvean Cemetery.

3.31	02.06.2021	21/02443/SCRE - Erection of residential development comprising three storey flats and two storey terraced houses and associated infrastructure	EIA required	not
3.32		21/05065/RCC - Site 7 Westercraigs Housing Development	Pending consideration	
3.33		21/05305/MSC - Submission of Matters Specified in Condition 2 (Siting and Design), 3 (Design Statement), 6 (Flood Risk), 10 (Surface Water Drainage), 14 (Access Roads and Drainage), and 17 (Contaminated Land) of Planning Permission in Principle 12/01832/S42 - Erection of 30 Residential Units and associated infrastructure.	Pending consideration	
3.34		22/01554/FUL - Change of use from Church to mixed use Community Facility with associated internal alterations, single storey extension, access and parking.	Pending consideration	
3.35		22/01546/PIP – Erection and operation of retail shop, with associated access and parking	Pending consideration	

4. PUBLIC PARTICIPATION

4.1 Advertised: Unknown Neighbour

Date Advertised: 21.01.2022

Representation deadline: 04.02.2022

Timeous representations: 4 from 4 households

Late representations: None

4.2 Material considerations raised are summarised as follows:

- Inappropriate layout;
- Impact on amenity;
- Impact on the Great Glen Way and tourism;
- Lack of associated business/retail units and services as part of the wider development;
- Impact of further housing on existing schools and other services;
- Lack of traffic calming measures;
- Impact on trees;

- Impact on sunlight/daylight.

Non-material considerations raised in representations are summarised below:

- Impact on house prices.

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Access Officer** does not object to the application following confirmation of the geometry and specification of paths, provision of path drainage, details of signposting, timetable and phasing of paths along with a commitment to maintenance of the paths. Concern was raised that the culverts under the paths were of a size that may be used by children. The applicant has subsequently reduced the size of the culverts.

5.2 **Contaminated Land Team** noted a contaminated land investigation has been undertaken previously at the site as part of Screening application (21/02443/SCRE). Given the historic use as part of a former hospital the site has potential for land contamination. Whilst a site investigation has been carried out at the site a Remediation Strategy to deal with the land contamination issues identified is awaited followed by the Verification Reporting. This is controlled by condition.

5.3 **Development Plans Team** do not object to the application. No further developer contributions are being sought for the residential units that fall under parallel application 21/05305/MSC that relates to the wider Westercraigs Masterplan planning permission in principle for 550 homes. However, all 47 units proposed by application 21/05309/FUL do require to make developer contributions.

5.4 The Council's Developer Contribution Supplementary Guidance explains that contributions are generally sought on a per house basis regardless of size. School contributions are an exception to this however, as one bedroom homes do not contribute and two bedroom flats have a reduced rate. The application will provide a mix of terraced houses and blocks of flats, however there is no clear breakdown of the number houses and number and size of flats provided with the application. As such, a cost per house and two bedroomed flat is provided and expanded on below in paragraphs 8.57 to 8.60. Total contributions will need to be calculated when a detailed breakdown is provided.

5.5 The Development Plans Team noted the principle of development is supported by relevant policy and guidance even though the number of units proposed exceeds the allocation and the Masterplan permission. They noted that provision of a retail facility was identified for the Westercraigs Masterplan and welcome confirmation of the commitment to delivery of this with the recently submitted change of use planning application for the nearby former Chapel to a retail unit (22/01546/PIP).

5.6 **Environmental Health Team** do not object to the application subject to conditions controlling dust and construction noise mitigation measures. No construction noise assessment has been submitted therefore the assumption is that working hours will be restricted from 8am to 7pm Monday to Friday and 8am to 1pm on Saturdays. For

the avoidance of doubt this includes the use of on-site generators. However, planning conditions are not used to control construction noise as this Service has similar powers under the Control of Pollution Act 1974. As there are no commercial buildings proposed and the site is not going into an area with existing commercial development operational noise is unlikely to be an issue. The applicant is advised to give due consideration to the siting of lighting both permanent and temporary in order to prevent impact on existing and proposed housing.

- 5.7 **Transport Planning Team** do not object to the application following modifications to the road layout/specification, footpath layout/specification, waste management and cycle storage provision and subject to conditions controlling the appropriate waste management and cycle storage provision, traffic calming measures, repositioned bus stop with real time information display, financial contribution towards the continued operation of evening bus services, review of walking and cycling routes to school with appropriate mitigation measures delivered by the developer and a Construction Traffic Management Plan covering the construction phase of the development.
- 5.8 The Transport Statement submitted in support of the application considers the traffic impact of the additional units being promoted that are in excess of the 550 units in the consented Westercraigs Masterplan. Transport Planning note the traffic generated by the addition units will increase the traffic volume associated with the original Westercraigs Masterplan by an approximation of 8.5%. However, the Transport Statement has not considered the impact these additional vehicle movements will have on Leachkin Road in the vicinity of the junction with Kirkwall Braes. The Leachkin Road narrowing is designed as a priority give-way with traffic approaching from the west giving way to traffic approaching from the east. The purpose of the road narrowing is to create a safer crossing opportunity for children walking to school. Kirkwall Braes is to the west of the Leachkin Road give-way priority. Transport Planning note that drivers wishing to turn east on to Leachkin Road from Kirkwall Braes are experiencing bottlenecks, due to queues at the priority give-way, which means that motorists and cyclists are unable to turn out of Kirkwall Braes creating significant delays. The additional traffic from this development will worsen the current situation, therefore, Transport Planning recommend a review of the Leachkin Road traffic calming layout be undertaken by the Applicant. The review should identify and deliver a solution that will alleviate the traffic delays experienced by road users without impacting on Safer Routes to School provision. Specific detail of any traffic calming measures must be discussed with the Transport Planning and may require separate consent from them, prior to work commencing.
- 5.9 Whilst the Transport Statement shows the likely walking and cycling routes to local schools it does not consider the adequacy of those routes to support pupils from this development. Transport Planning recommend a review of the walking and cycling routes to school is undertaken by the developer identifying any shortfalls in provision and deliver improvements that will enhance walking and cycling routes to school. This is controlled by condition.
- 5.10 A Traffic Regulation Order for a 20mph speed limit will be required and be delivered by the developer at the applicant's cost.
- 5.11 **Flood Risk Management Team** do not object to the application following the submission of further information including detailed cross sections showing existing

and proposed ground levels, confirmation of control of attenuation, confirmation of the existing SUDS basin spill point and routing of any flooding which may occur from this source, and clarification of exceedance flows as the initial supporting information appeared to show the Great Glen Way used to store exceedance water and as a natural pooling point for other surface water. The applicant has subsequently provided details showing Finished Floor Levels 250mm above the highest road level which is accepted. The submitted information shows that the existing surface water drainage network has capacity to manage the additional flows from this phase of the development.

- 5.12 The updated Drainage Impact Assessment (submitted on 12.04.2022) notes the arrangements for the collection, treatment and discharge of the surface water run-off from the site and are accepted by the Flood Risk Management Team. Flooding in Site 7 of less than 26m³, shown by the calculations during the 1 in 200 year plus a 30% allowance for climate change (CC) storm event, would be routed to the park area which is accepted by the Flood Risk Management Team. Flooding in Site 8 of less than 3.5m³, shown by the calculations during the 1 in 200 year plus 30% CC, would travel to the extended wetlands detention basin area via the adjacent road which is accepted by the Flood Risk Management Team.
- 5.13 **Forestry Officer** does not object to the proposal following the amended access and layout retaining further trees within the site. Concerns were initially raised on the basis that the removal of trees did not promote significant protection to existing trees on the site and noted that whilst there is provision for additional landscaping within the site and off-site as compensation any new planting should be secondary to the retention and safeguarding of existing trees. The amended layout of the associated infrastructure is now considered to take sufficient consideration of the tree constraints within the site into consideration. The reconfigured site layout that retains additional trees adjacent to the new access and those within Site 8 fronting the public road is welcomed. In doing so the proposal will retain more of the highest value mature trees along with the reconfigured playpark and footpaths throughout the site whilst the location of the residential units remain unchanged. Conditions are attached protecting trees against construction damage and a suitably qualified arboricultural consultant and landscape consultant are to be employed by the applicant to ensure that the proposals are implemented to the agreed standard.
- 5.14 **Historic Environment Team** do not object to the application.
- 5.15 **Transport Scotland** do not object to the application.
- 5.16 **Scottish Water** do not object to the application. The proposed development will be fed from Inverness Water Treatment Works and connected to Allanfean Waste Water Treatment Works. Whilst there is sufficient capacity for the waste water connection they are unable to confirm capacity for water connection.
- 5.17 **Scottish Environmental Protection Agency** do not object to the application.
- 5.18 **Historic Environment Scotland** do not object to the application.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

- 28 - Sustainable Design
- 29 - Design Quality & Place-making
- 30 - Physical Constraints
- 34 - Settlement Development Areas
- 51 - Trees and Development
- 56 - Travel
- 57 - Natural, Built & Cultural Heritage
- 58 - Protected Species
- 59 - Other important Species
- 60 - Other Importance Habitats
- 61 - Landscape
- 63 - Water Environment
- 64 - Flood Risk
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage
- 74 - Green Networks
- 75 - Open Space
- 77 - Public Access
- 78 - Long Distance Routes

6.2 Inner Moray Firth Local Development Plan (2015)

Policy 2 – Delivering Development

Allocation IN20 – Westercraigs (370 Homes, Business, Retail)

6.3 Highland Council Supplementary Planning Policy Guidance

Construction Environmental Management Process for Large Scale Projects
(August 2010)

Flood Risk & Drainage Impact Assessment (January 2013)

Green Networks (January 2013)

Highland Historic Environment Strategy (January 2013)

Highland's Statutorily Protected Species (March 2013)

Managing Waste in New Developments (March 2013)

Open Space in New Residential Developments (January 2013)

Physical Constraints (March 2013)

Standards for Archaeological Work (March 2012)

Sustainable Design Guide (January 2013)

Public Art Strategy (March 2013)

Trees, Woodlands and Development (January 2013)

Developer Contributions (November 2018)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Inner Moray Firth 2 Proposed Local Development Plan

INW05 – Housing and Retail (indicative capacity of 66 units)

7.2 Scottish Government Planning Policy and Guidance

Scottish Planning Policy (June 2014)

National Planning Framework 3 (June 2014)

Designing Streets (June 2010)

Creating Places (June 2013)

8. PLANNING APPRAISAL

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.3 The principle of the development has been established through the original planning permission in principle granted on the site (03/00676/OUTIN) and subsequent permission granted for non-compliance with conditions (12/01832/S42).

- 8.4 The key considerations in this case are:

- a) Compliance with the development plan and other planning policy;
- b) Siting, design and external appearance;
- c) Sustainable design considerations;
- d) Access to the site;
- e) Layout of the site including roads, footways and parking areas;
- f) Play area;
- g) Landscaping;
- h) Existing trees, shrubs and hedgerows to be retained;
- i) Existing and proposed site levels;
- j) Flood risk;
- k) Surface water infrastructure;
- l) Domestic and commercial waste;

- m) Management and maintenance arrangements;
- n) Impact on infrastructure and services and proposed mitigation (developer contributions);
- o) any other material considerations.

Development plan/other planning policy

- 8.5 The Scottish Planning Policy (SPP, June 2014) gives an overview of the key components, aims and principles of the planning system. Planning Authorities should promote the efficient use of land, directing development towards sites within existing settlements where possible to make effective use of existing infrastructure and service capacity.
- 8.6 The adopted Development Plan policy has not changed since the determination of the application for non-compliance with conditions (12/01832/S42) in 2018; the most recent grant of planning permission in principle. The Proposed Inner Moray Firth Local Development Plan 2 was published on 25 March 2022. This allocates the area subject to this application, and an area to the south west of the application site, for a development comprising up to 66 residential units. It supports the development of the land in accordance with the previous planning permissions on the site. It sets out that if development which is not in accordance with the provisions of the planning permission in principle, then matters related to drainage, tree impact; protected species land contamination; built and cultural heritage impact, enhancement of active travel and recreational route connections and traffic impacts need to be considered. As it is the settled view of the Planning Authority, the Proposed Plan can be given weight in the decision making process.
- 8.7 The Inner Moray Firth Local Development Plan (IMFLDP) is the adopted area development plan for the site and allocates both phases (in addition to the wider Masterplan area) as part of “IN20 Westercraigs” with the allocation being for the development of 370 homes, business and retail uses. This 370 home indicative capacity was based on the remaining capacity of the site at the time of publication of the proposed IMFLDP in 2013.
- 8.8 The IMFLDP allocation “IN20 Westercraigs” is for the development of residential, business and retail uses, and states that the development should accord with 03/00676/OUTIN planning permission which gives approval for a Masterplan of 550 properties around this locale. As the current proposal is for the remaining phases of this Masterplan (7 and 8) the principle of developing the site is established, albeit not at the scale proposed.
- 8.9 The additional units would represent 44 units above the number of units granted through the planning permission in principle for the site. The Inner Moray Firth Local Development Plan sets out that proposals are expected to be generally consistent with the indicative capacities specified. It goes on to set out that a different capacity may be acceptable subject to detailed design that demonstrates the efficient use of land. It is considered that the proposal make efficient use of the land available to the development, without resulting in a substantial increase in housing numbers and/or causing a detrimental loss of amenity or privacy. Further, the proposal has addressed the developer requirements set out in the Proposed Inner Moray Firth

Local Development Plan 2 which allows alternative proposals to be brought forward from that set out in the planning permission in principle. The matters of design quality and impact of the development is considered elsewhere in this report.

- 8.10 Notwithstanding the above, allocation “IN20” refers to the inclusion of business and retail accommodation within the allocation, which given the number of units being delivered on site, coupled with the distance from other neighbourhood retail and business units the inclusion was seen as a priority to achieve an inclusive development. The requirement for a retail element is carried forward into the Proposed Inner Moray Firth Local Development Plan 2. The applicant has recently submitted applications for the delivery of community and retail facilities to the south east of the application site and located adjacent to the former Craig Dunain Hospital. The applications will be considered in due course but demonstrates the commitment of the applicant to deliver such facilities.
- 8.11 The Development Plan contains a number of further policy tests that must be taken into account in determining these applications, in particular matters related to layout, design, place-making and infrastructure provision. If there are no significant impacts arising from these matters then the applications would be seen to comply with the Development Plan.

Siting, Design and Materials

- 8.12 The originally submitted scheme has been improved through a number of design and material enhancements along with an amended access and internal layout which better safeguards and enhances tree cover within the site.
- 8.13 Policy 28 Sustainable Design in the HwLDP aims to ensure that development is sustainable and lists the criteria against which proposals shall be assessed. Of particular note to this proposal is the requirement that proposals are accessible and demonstrate sensitive siting and design.
- 8.14 Policy 29 Design Quality and Place-Making policy in the HwLDP requires new development to be designed to make a positive contribution to the architectural and visual quality of the area. Furthermore, development proposals must demonstrate sensitivity and respect towards the local distinctiveness of the landscape, architecture, design and layouts of their proposals. Both policies focus on achieving the six qualities of successful places: distinctive, safe and pleasant, easy to move around, welcoming, adaptable, and resource efficient.
- 8.15 The properties proposed, in terms of their elevational treatment, are in keeping with the other houses and flat blocks which have been developed by the applicant on the wider site. Site 7 is made up of a mix of 3 storey flats (L shaped Block 1 and rectangular Block 2 adjacent to Foresters Way/Leachkin Road) and 2 storey terraced houses making up Terrace 1 to 5. Site 8 is made up of the 3 storey L shaped Block 3 flats. The 2 sites are separated by 2 properties, Gateside and Orcadia. This detailed application comprises 11 terrace houses (Terrace 3, 4 and 5) and 36 apartments (Block 2 and 3) across site 7 and 8 of Westercraigs. The scheme comprises two storey houses, finished in white dry dash render, Anestone feature walling and concrete roof tiles.

- 8.16 Three storey flatted blocks are located adjacent to Forrester's Way and provide a sense of arrival into the development site and are of a scale and character suitable for the site. Two storey terraced housing is set back within the site. The terraced housing will have individual garden plots with the flats sharing communal space. The play park, extended footpath area surrounded by retained trees and additional planting are adjacent to the Block 1.
- 8.17 In terms of the design of the flatted blocks as originally submitted, it was considered the massing of the flat blocks required to be broken up further with an improved material mix. This was of particular concern on the side elevations where they fronted Foresters Way/Leachkin Road but it was also of concern on the front and rear elevations. These previously appeared stark and have been enhanced with a change in the composition of materials across the elevations, changes to the layout of the windows and modifications to the balconies which had been proposed.
- 8.18 Through a series of consultations with the relevant consultees, including the Transport Planning Team and Forestry Officer, a revised site layout was negotiated. In order to address the concerns related to the site access and the removal of trees, particularly the row of 4 mature trees adjacent to the SUDS basin, the applicant followed advice from the Forestry Officer and moved the site access further north west. This allowed the reconfiguration of the internal site layout to retain additional trees adjacent to the new access and those within Site 8 fronting the public road. In doing so the proposal will retain more of the highest value mature trees along with the reconfigured playpark and footpaths throughout the site whilst the location of the residential units remain unchanged.
- 8.19 Following further discussion and amendments during the consideration of the proposal the design, materials and layout noted within the Design Statement respect the local vernacular at Westercraigs with clean, uncluttered finishes. The materials proposed are to be a mix of white render, horizontal and vertical cedar fibre cement. A mixture of finishes and detailing is used to good effect on gable ends and principal elevations/doors. The mix of finishes, materials and use of uncluttered clean horizontal and vertical lines throughout Block 1 and Block 2 flats helps to break up the massing of the larger units. The elevations of Block 1 facing the public road are now more of a focal point with strong frontages and a multi aspect lookout achieved which creates an effective sense of place and enclosure from Foresters Way/Leachkin Road.
- 8.20 In addition to the changed layout, beneficial changes were agreed regarding design and materials. These included Buff stone to match materials used in Site 6 and Site 11 at Westercraigs. The perimeter of the ground floors of buildings will now be finished in stone down to ground level and the stonework will also be used to highlight bay window projections. Pre-cast string courses have been added at the head of the ground floor stonework where balconies are not a feature. Juliet balconies have been removed from the ground and first floors and only remain on the second floor to remove visual clutter from the buildings. South facing balconies have been extended the full width between the stonework projections and recessed between the bay window projections so they no longer project beyond the build line and require significant supporting steelwork which would have had a very industrial

appearance. These amendments have led to a neat and uncluttered finish to all elevations.

- 8.21 Given the location and multi aspect outlook close attention to design, materials and fenestration was required for the site to function effectively. The existing public road which is to be upgraded and extended into the site along with the highest value mature trees within the site largely dictated the layout. The sloping, multi levelled site presents a challenge in how to reinforce, reflect and link with surrounding residential development. The house designs in the wider scheme have a degree of uniformity to help create a sense of identity and place for the Westercraigs development. A limited variety in house types is proposed. The character of these house types, along with the wider site in general, are reinforced by the specification of external materials used, particularly on the flat Blocks 2 and 3. The short terraced blocks 3, 4 and 5 are cost effective, reduce energy costs, help to create shelter and urban form, while allowing permeability within the development.
- 8.22 The amended layout generally follows the principles set out in the Scottish Government's policy statement Designing Streets. The design and layout of the development is likely to create a pleasant and safe place to live in and walk around rather than being dominated by vehicular routes. The active travel connections within the site and to the wider area follow likely desire lines. A clear street hierarchy can be identified throughout the development, which is reinforced through changes in house type design with the larger flat blocks located on lower ground adjacent to Foresters Way/Leachkin Road and the smaller terraced houses further back on the higher ground. The layout has ensured that vehicle speeds are slowed by design, all roads have active frontages and natural surveillance of public spaces is provided.
- 8.23 Following amendment, the general layout of the development is one which takes advantage of the sites location and orientation whilst retaining a higher number of mature trees. The site layout follows the principles of the masterplan for Westercraigs and continues to deliver a strong frontage onto Forester's Way/Leachkin Road while utilising blocks of development based around a clear street hierarchy within the development parcel. Properties have frontages facing onto all streets and landscaped areas. Overall, the layout is considered acceptable.

Roads, Access, Parking and Servicing

- 8.24 Following the initial concerns raised in relation to the access to the site, provision of parking within the site, and ability to service the site, the applicant has worked with colleagues in Transport Planning to ensure that the site accords with the standards set out in the Roads and Transportation Guidelines for New Developments. The proposal has undergone a number of improvements following this dialogue which include modifications to the road layout/specification, footpath layout/specification, waste management and cycle storage provision. These enhancements will be controlled by conditions along with additional mitigation measures that include traffic calming measures, repositioned bus stop with real time information display, financial contribution towards the continued operation of evening bus services, review of walking and cycling routes to school with appropriate mitigation measures delivered by the developer and a Construction Traffic Management Plan covering the construction phase of the development.

- 8.25 In relation to Policy 56 Travel, the applicant has submitted a Transport Statement along with a Construction Traffic Management Plan for the proposed development. The statement includes an analysis of transport routes and active travel routes around the site.
- 8.26 Car parking is in accordance with Council standards. The larger areas of car parking have been broken up by the use of landscaping and parking has generally been provided within the enclosed central portions of both sites, this will lead to a reduced dominance of cars within the development. Tree planting adjacent to parking spaces has been set further back within the site to maintain driver visibility of pedestrians.
- 8.27 Taking the projected flows from this development, the development is predicted to increase traffic toward the town centre and then beyond to key centres of employment. Traffic flows toward community facilities and would also increase. The Transport Planning Team has sought and received more information to confirm the technical acceptability of the proposals for new and existing road junctions and the adequacy of the capacity of the wider road network to accommodate the development. Transport Scotland has reviewed the proposals in relation to impacts on the trunk road network and do not object to the application. However, mitigation is required to improve the capacity of Leachkin Road. There has been longstanding concern in the community over the traffic calming measure at the junction between Kirkwall Brae and Leachkin Road. Given the increase in traffic proposed by this development, it is considered appropriate to secure a revised scheme for traffic calming in this location which requires to be implemented prior to first occupation of any development within this application site. Further, given the need for relocation of the bus stop, provides the opportunity to secure a bus stop with Real Time Information Display. This can be secured by condition.
- 8.28 The road network is technically acceptable in terms of the adequate passage and where necessary turning of refuse collection vehicles. There are some matters of detailed road construction and design which are outstanding. These matters, primarily relate to road finishes and final details of traffic calming features. These matters are controlled by the Road Construction Consent process. There are no outstanding matters which will require any significant changes to the layout or design of the development. The approval of the layout included in the planning drawings will not prejudice the determination of the Road Construction Consent or any other technical approvals which may be required.
- 8.29 There is sufficient car parking (for both residents and visitors) within the development. Cycle parking is provided within the communal space associated with the terraced houses and flats. Sufficient visibility from the new accesses and driveways is achievable.
- 8.30 The applicant has identified areas for bin storage within each site and bin collection would be at the kerbside. The layout has designated bin collection and storage points. This has required modification following discussion with the Transport Planning Team to ensure it is easily accessed by the Council's waste management operatives. It is considered the proposed locations balance operational need with delivery of a sense of place to ensure that bin stores and collection points are not dominant features within the street. Neither the householder nor the waste

operatives will have to take a bin further than the recommended distances to the bin collection points. However, final design details require to be submitted to ensure the stores are appropriately sized and designed. Due to the design of the proposed development minimal reversing manoeuvres are required by the waste collection vehicle. It is envisaged that these and all other manoeuvres can be achieved within the road boundary. However, a final waste management strategy will be required by condition. This will detail waste vehicle collection routes, swept path drawings and finalised provision of bin collection points and stores.

- 8.31 A safe route to school plan will be required. This will be required to show all active travel links from the development toward Kinmylies Primary School and Charleston Academy. The plan will require to be informed by an assessment of adequacy of the existing routes and any mitigation required will require to be secured by condition which ensures delivery of mitigation in advance of occupation of the first residential development within the application site.
- 8.32 The applicant is proposing to use a Council approved street lighting design. This will ensure that LED Street Lights are used. Due to the type and design of streetlighting skyglow will be minimised.
- 8.33 An Access Management Plan has been submitted noting the full specification of all paths within the development. Details of the phasing and mitigation measures during construction, particularly the continued access to the Great Glen Way, ensures that access to and through the site is maintained during the construction and following completion of the development.

Trees, Open Space and Play Park Provision

- 8.34 Policy 51 Trees and Development of the Highland-wide Local Development Plan states that “the Council will support development which promotes significant protection to existing hedges, trees and woodlands on and around development sites”. The Forestry Officer initially considered the proposal did not take sufficient consideration of the tree constraints within the site into consideration.
- 8.35 Through a series of consultations with the Forestry Officer a revised site layout was negotiated in order to address the concerns related to the site access and the removal of trees, particularly the row of 4 mature trees (1611 category B, 1612 category A, 1613 category A and 1614 category A) adjacent to the SUDS basin within the Matters Specified in Conditions application (21/05305/MSC). This allowed the reconfiguration of the internal site layout to retain additional trees adjacent to the new access and those within Site 8 fronting the public road. In doing so the proposal will retain more of the highest value mature trees whilst the location of the residential units remain unchanged. Whilst the development requires removal of a number of trees the most valuable mature trees have been retained through the amended layout and there will also be a net gain in terms of planting.
- 8.36 A key feature of the revised layout, as now presented, is the provision of open space that will feature natural play features (covered by the associated Matters Specified in Conditions application 21/05305/MSC). The retention of further trees, particularly those adjacent to the new access into site 7 and those within site 8 fronting the public road, along with further planting will provide a green gateway into the development,

which is welcomed. The site layout proposed provides clear routes for pedestrians, cyclists and car users through the development.

- 8.37 Policy 77 Public Access and 78 Long Distance Routes of the Highland-wide Local Development Plan seek to safeguard and enhance the Core Path network and long distance routes, such as the Great Glen Way, and their settings. Routes within the Core Paths Plan shall be retained and enhanced. Highland Council has a statutory duty to protect access rights under the Land Reform (Scotland) Act 2003, any upgrade to the track/paths as part of a new access will be expected to be usable by the public during and after construction works.
- 8.38 The Great Glen Way runs alongside the site and beyond the associated Matters Specified in Conditions application (21/05305/MSC) adjacent. The Highland Council has a statutory duty to protect access rights under the Land Reform (Scotland) Act 2003. The Access Officer was generally satisfied the principle of the proposal complied with Policy 77 Public Access and Policy 78 Long Distance Routes of the Highland-wide Local Development Plan in relation to active travel but requested that a condition be included requiring an Access Management Plan that fully details the footpath link of the Great Glen Way Core Path adjacent to site 7 and 8.
- 8.39 The paths proposed through the sites will become an important recreational resource to facilitate access to the Great Glen Way and also for active travel. As a result, officers have negotiated with the applicant to secure improvements to the path design, geometry and width to ensure they are attractive to use. Active travel connectivity has been considered in relation to street design and active travel corridor with a permeable layout has largely been achieved.
- 8.40 The finish of the paths has also been subject to discussion, and it has been agreed with the applicant that the paths can be finished with retained turves and landscaping instead of heel kerbing. While heel kerbing was used in other phases of development, but the Access Officer considered it appears artificial and out of place for this phase of the Westercraigs development. Subject to a rigorous maintenance regime for the path, to ensure they remain accessible to all, the finish and construction of the paths is accepted.
- 8.41 The path link between the site and Foresters Way/Leachkin Road is welcomed as it ensures that a direct route is provided between the development and play park area. This will also link to the Great Glen Way providing a connection toward Inverness city centre. With the layout as presented locations where pedestrians are likely to cut across grassed areas has been minimised.
- 8.42 A representation raised concern regarding the loss of existing trees, green space and the impact on the green network given the popularity of the existing well used footpaths that link to the Great Glen Way beyond the sites. Although the proposals will lead to an overall net loss of green space and will remove a number of trees, the quality of that to be provided as mitigation and the pedestrian access to it will be improved.
- 8.43 Additionally, the representaiton raised concern that the new properties would have a detrimental impact on the Great Glen Way and tourism in the area more generally. Whilst there are visual and cumulative effects from this development to the Great

Glen Way, a popular long distance route attracting tourists all year round, this part of the route is already relatively built up and residential before continuing on beyond Craig Dunain. It is not considered to have a detrimental impact on the Great Glen Way given the existing surrounding uses and it is not possible to conclude that there will be a detrimental impact on tourism because of the development.

- 8.44 The original location of the play area initially raised concerns given the close proximity to the public road and access junction into the site. The amended location is in the southern portion of the site, set back from the public road amongst the retained mature trees. A variety of play equipment is proposed including climbing frames, zip lines, and slide. The play area promoted provides opportunities for imaginative play on natural features. This is in accordance with the open space strategy for the site.
- 8.45 A representation raised concern with regard to the size and standard of the play park provided. The amended play park location is considered to be of an appropriate scale and adds interest to the footpath routes from Foresters Way/Leachkin Road and the centre of the site. This would cater for a range of ages and abilities. The mature trees along with further planting and suitable landscaping will ensure that the playpark fits within the wider landscape setting of the site. The design and location of the play area generally reflects those in Site 4, Site 5 and Site 6 in the wider surrounding area which appear to be well used by those in the local area. When considered in combination with the recently approved adventure play park which will be located to the north west of the site, it is considered that an appropriate level of play facilities to serve the existing and future residents based upon the standards set out in the Open Space in New Residential Development Supplementary Guidance.

Impact on the water environment (including flood risk and drainage)

- 8.46 Policy 64 Flood Risk, Policy 65 Waste Water Treatment and 66 Surface Water Drainage of the HwLDP requires suitable mitigation measures to reduce the risk of flooding, waste water and drainage solutions for any new development.
- 8.47 Parts of the site are subject to surface water and pluvial and fluvial flood risk given the sloping nature of the site. As such, a comprehensive Flood Risk Assessment (FRA) has been undertaken and mitigation proposed. The proposal intends to discharge surface water from the site transport links and other hard landscaped civic areas via the existing SUDS basin to the south east of the site. This basin is considered to be of adequate size to accommodate existing and post development flows demonstrated by the supporting information provided. The location of the basin does achieve a good degree of natural surveillance and in general its location and principle of communal SUDS pond is welcomed, on the proviso that the long-term maintenance and servicing of these systems is and agreed at the outset.
- 8.48 Due to the ongoing iterative design process for the Westercraigs site, there has been a need to gain a clear understanding of the drainage solution on the site as it relates to current standards. The Council's Flood Risk Management Team reviewed the drainage strategy and capacity of the existing infrastructure. Following the submission of modelling work for the development overall and the development proposed within this application, the applicant has demonstrated to the satisfaction of the Flood Risk Management Team that there is sufficient capacity in the existing

drainage on the site to accommodate the proposed development. The Flood Risk Management Team has also reviewed the overland flood routing for the site. In doing so it is satisfied that the flood routing does not pose a significant risk of flooding to properties.

- 8.49 Following initial concerns raised by the Flood Risk Management Team further information was submitted in support of the application including detailed cross sections showing existing and proposed ground levels, confirmation of control of attenuation, confirmation of the existing SUDS basin spill point and routing of any flooding which may occur from this source and clarification of exceedance flows as the initial supporting information appeared to show the Great Glen Way used to store exceedance water and as a natural pooling point for other surface water. The applicant has subsequently provided details showing Finished Floor Levels 250mm above the highest road level which is accepted. The submitted information shows that the existing surface water drainage network has capacity to manage the additional flows from this phase of the development.
- 8.50 It should be noted that these arrangements will not resolve surface water catchment in their entirety given the sloping nature of the site. All surface water drainage devices require regular checking and maintenance to ensure they remain effective in managing water flows. The surface water on the site is currently unmanaged; this development will result in the surface water being managed and directed via a purpose designed system with an outflow at an acceptable rate. In implementing this mitigation there will be a lower risk of surface water flooding than the existing situation. This includes reducing the risk of surface water flooding that occurs downstream. The Flood Risk Management Team is content with the Flood Risk Assessment.
- 8.51 The management and maintenance of the sustainable drainage system will be required to remain the responsibility of the developer until such time as it is vested by a responsible drainage authority. In this instance the Council's preference is that it will be Scottish Water. Details of the management and maintenance of the system will however be required by the Council prior to commencement of development. For the avoidance of doubt, the Council will not be wholly liable for the maintenance of the surface water drainage system within this development. A Section 7 Agreement under the Sewerage (Scotland) Act 1968 (As Amended) will be required between the Council and Scottish Water. Full details of the basin, and its proposed maintenance, will require to be submitted via the Road Construction Consent process.
- 8.52 The final detail of the surface water drainage system for the site, in accordance with the provisions of Sewers for Scotland 4, will be secured by condition.

Neighbour Amenity

- 8.53 A representation raises the issue of impact upon neighbours' amenity including concern regarding overlooking. Although there is a difference in levels throughout the site that can create issues of overlooking, the higher proposed development will have a considerable setback from adjoining existing properties, Gateside and Orcadia, between Site 7 and 8. The general minimum separation distance between proposed and existing houses is 40m. The separation distance from Block 2 and Gateside is approximately 40m with the separation distance from Block 3 and

Orcadia is approximately 30m. Whilst the proposed layout of Site 8 does have closer proximity, it is set as within the site as possible with the location of parking, planting and boundary treatments considered to mitigate any impact potential detrimental impacts on neighbour amenity.

- 8.54 Additionally, the representation raised concerns regarding the potential loss of sunlight/daylight from adjacent properties. There is not considered to be a detrimental loss of sunlight or daylight at surrounding properties when using the using the 45/25 degree method as noted in *Site Layout Planning for Daylight and Sunlight*.

Contaminated Land

- 8.55 Policy 30 Physical Constraints of the Highland-wide Local Development Plan requires developers to consider whether their proposals would be located within areas of constraints as set out in the Physical Constraints Supplementary Guidance. Where a proposed development is affected by any of the constraints detailed within the guidance, in this instance contaminated land, flood risk areas and rights of way, developers must demonstrate compatibility with the constraint or outline appropriate mitigation measures. As such, development is only permitted if sufficient mitigation measures are in place.
- 8.56 Given the historic use as part of a former hospital the site has potential for land contamination. The Contaminated Land Team noted a contaminated land investigation has been undertaken previously at the site as part Screening application (21/02443/SCRE). Whilst a site investigation has been carried out at the site a Remediation Strategy to deal with the land contamination issues identified is awaited followed by the Verification Reporting. This can be secured by condition.

Matters to be secured by Legal Agreement/Upfront Payment

- 8.57 The Developer Contributions Supplementary Guidance sets out that when further applications are brought forward on a site which previously benefited from planning permission the requirement for developer contributions can be reassessed.
- 8.58 The Westercraigs Masterplan is subject to a legal agreement which secures: Affordable Housing; Contributions toward the provision of Inverness West Link; Contribution toward Sports Facility provision; Transfer of land to a Community Woodland; Feasibility work on a Community Shop; Contribution toward the delivery of a Community Facility; and Phasing of development. At the time of the masterplan for Westercraigs being approved, there was no requirement for developer contributions to mitigate the impacts of development on education provision. On review of the developer contributions supplementary guidance, the most recent school roll forecasts and the Inner Moray Firth Local Development Plan Delivery Programme, the following matters require mitigation in the form of developer contributions:
- a) Enhancement of primary education capacity within the Charleston Academy catchment area, in the first instance to be spent on a major school extension at Kinmylies Primary School (£7,359 per house and £4,171 per flat);

- b) Enhancement of secondary education capacity within the City of Inverness, in the first instance to be spent on a major school extension at Charleston Academy (£3,482 per house and £1,875 per flat);
- c) Enhancement of community facilities within the Charleston Academy catchment area (£1,019 per residential unit);
- d) Contribution toward payment for delivery of strategic road improvements, in the first instance toward the payment for delivery of the Inverness West Link Road (£2,500 per residential unit).

The base date for the costs set out above in points a) – c) is Q2 2018. For the costs set out in point d) is Q4 2013. All costs require to be index linked to today's prices using the BCIS All in Tender Price Index. These developer contributions will be applicable to all units within the application site.

- 8.59 The applicant has provided in excess of the 25% affordable housing requirement across the Westercraigs site through the delivery of Site 4 which was wholly affordable. As a result no further affordable housing is required through this phase of the development.
- 8.60 The above contributions will be secured via a new legal agreement covering this part of the Westercraigs site. The applicant has agreed to the above developer contributions and following determination of the application has committed to progressing the legal agreement timeously. With that said, the applicant has four months from the date that the Council's solicitor writes to the Applicant/Applicant's solicitor indicating the terms of the legal agreement or other appropriate mechanism to secure mitigation for the impacts of the development agreed by the Planning Service, to deliver to the Council a signed legal agreement. Should an agreement or other appropriate mechanism to secure the mitigation agreed by the Planning Service not be delivered within four months, the application may be refused under delegated powers for the following reason.

Other material considerations

- 8.61 To facilitate a move toward a low carbon society it is considered appropriate to facilitate the transition towards the phasing out of diesel and petrol cars. This would include the provision of electric car charging points. The details of the design and scale of this infrastructure can be secured by condition.
- 8.62 A community liaison group was established by the developer at the request of officers and local members in 2019. This has not been meeting through the coronavirus pandemic. Officers have been in communication with the applicant about re-establishing the group. A condition can be attached to this planning permission requiring the re-establishment of the Community Liaison Group to ensure that the community council and other stakeholders are kept up to date and consulted before and during the construction period.
- 8.63 There are no other material considerations.

Non-material considerations

- 8.62 The issue of potential detrimental impact on surrounding property values adjacent to the development is not a material planning consideration.

9. CONCLUSION

- 9.1 The proposed design and layout of the scheme is acceptable and does not bring this part of the scheme into conflict with the original masterplan in relation to layout and design but it does in terms of unit numbers. There have been a number of on-site constraints which have been managed through the processing of the application and the applicant has been receptive to modifying the scheme to deliver a better outcome, particularly with regards to the amended access, which will retain further trees throughout the site. The provision of the paths and play areas proposed by this application will provide welcome facilities within this development for existing and future residents and will provide links to the Great Glen Way.
- 9.2 Subject to the application of conditions to manage issues such as drainage, access, contamination and an appropriate level of developer contributions to mitigate the impact of the development, the development can be supported.
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued	Y	developer contributions
Notification to Scottish Ministers	N	
Conclusion of Section 75 Obligation	Y	
Revocation of previous permission	N	

Subject to the above actions, it is recommended to

GRANT the application subject to the following conditions and reasons

1. The planning permission is for a total of 47 residential units and associated infrastructure.

No development or works shall commence on any Phase or Sub-Phase until a Phasing Plan has been submitted to and agreed in writing by the Planning Authority. This shall detail each phase of the development, and any sub-phase and shall show the plot numbers and detail the mix and type of houses in line with the approved site layouts.

Thereafter, before work starts on each Phase of the development, an updated Master Plan and Phasing Plan showing the context of the detailed submissions to reflect intended house numbers, open space and site servicing arrangements shall be submitted to and approved in writing by the Planning Authority.

Thereafter, the development shall be undertaken in accordance with the agreed Phasing Plan or in Sub-Phases as may be approved in writing by the Planning Authority.

Reason: To ensure that the development proceeds in an appropriate manner and that the necessary elements of the development are provided at the appropriate stages.

2. No development shall commence on each Phase or Sub-Phase until the materials to be used in external finishes (including but not limited to finishes of walls, roofs, rainwater goods, windows and doors) of any and all built structures (inclusive of houses, flats, cycle stores and bin stores), have been submitted to and approved in writing by the Planning Authority.

Reason: To ensure that the development is sensitive to, and compatible with, its context and local architectural styles.

3. No development shall commence within each Phase, or sub-Phase, until a Construction Environmental Management Plan has been submitted to and approved in writing by the Planning Authority. The Plan shall include:

- i. A Schedule of Mitigation (SM) including all mitigation proposed in support of the planning application, other relevant agreed mitigation (e.g. as required by agencies) and set out in the relevant planning conditions
- ii. Processes to control/action changes from the agreed Schedule of Mitigation
- iii. The following specific Construction and Environmental Management Plans (CEMP):
- iv. Habitat and Species Protection Plan
- v. Pollution prevention plan
- vi. Dust management plan
- vii. Construction Noise, Vibration and Assessment and Mitigation Plan in accordance with BS5228 Code of practice for noise and vibration control on construction and open sites – Part 1: Noise

- viii. Site waste management plan;
- ix. Measures to protect private water supplies; including an emergency response plan;
- x. Details of the appointment of an appropriately qualified Environmental Clerk of Works with roles and responsibilities.
- xi. Methods of monitoring, auditing, reporting and communication of environmental management on site and with the client, Planning Authority and other relevant parties.
- xii. Statement of responsibility to “stop the job/activity” if in potential breach of a mitigation or legislation occurs.

The development shall proceed in accordance with the approved Construction Environmental Management Document.

Reason: To protect the environment and amenity from the construction and operation of the development.

- 4. No development shall commence within each Phase or Sub-Phase on site until a Construction Traffic Management Plan (including a routing plan for construction vehicles) has been submitted to, and approved in writing by, the Planning Authority. This shall ensure no Heavy Goods Vehicle traffic movements or deliveries to the site during school pick up or drop off times for Kinmylies Primary and Nursery. The approved Construction Traffic Management Plan shall be implemented prior to development commencing and remain in place until the development is complete.

Reason: In the interests of road safety, to limit the impacts on the local road network and to limit the amenity impacts of the construction phase of the development on local residents.

- 5. No development shall commence on each Phase or Sub-Phase until a scheme for the delivery of the following mitigation, in line with timescales for delivery set out in this condition, and detailed design of the mitigation has been submitted to and approved in writing by the Planning Authority:
 - i. a scheme for the relocation, design and installation of the repositioned bus stop and shelter adjacent to the entrance of Site 8. The new bus stop and shelter shall include real time information display and be constructed to the specifications and standards set out by The Highland Council.
 - ii. a scheme for the design and implementation of safe routes to school, showing all active travel links from the development toward Kinmylies Primary School and Charleston Academy. The agreed scheme shall be implemented in line with the timescales set out in the approved scheme;
 - iii. A scheme for the provision of additional and/or amended traffic calming measures on Leachkin Road. The additional and/or amended traffic calming measures shall not impact on safe routes to school provision.

The scheme shall be submitted prior to the erection any residential unit with the implementation of the agreed scheme prior to occupation of any residential unit.

Reason: In order to ensure the safety and free flow of traffic on the public road, reduce dependency on the private car and to encourage greater use of public transport

6. The development shall not be occupied until a detailed Travel Plan for the whole development, which sets out proposals for reducing dependency on the private car, has been submitted to, and approved in writing by, the Planning Authority.

The detailed Travel Plan shall include:

- i. Measures for extending and/or increasing the frequency of the existing local bus services(s), particularly evening services, and associated financial contributions;
- ii. Details for the management, monitoring, review and reporting of these measures; and
- iii. Measures for extending and/or increasing the active travel opportunities in the area;
- iv. Details for the management, monitoring, review and reporting of these measures;
- v. Details of Residential Travel Packs to be distributed to each property on first occupation; and
- vi. A system of management, monitoring, review, and reporting.

Thereafter, before work starts on each Phase of the development, an updated Travel Plan shall be submitted to and approved in writing by the Planning Authority, showing the context of the detailed submissions to reflect any development which has been built out and measures put in place to deliver the Travel Plan and any measures to be progressed in the next phase of the development.

The Travel Plan shall be submitted prior to the erection any residential unit with the implementation of the agreed scheme prior to occupation of any residential unit.

Reason: To ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity.

7. No development shall commence within each Phase or sub-Phase until full details of surface water drainage provision within the relevant Phase or sub-Phase and how that relates to the surface water drainage approach for the site as a whole (which should accord with the principles of Sustainable Urban Drainage Systems (SUDS) and be designed to the standards outlined in the CIRIA Manual and Sewers for Scotland Fourth Edition, or any superseding guidance prevailing at the time). This shall also detail updated greenfield run-off rates to reflect the details of the proposed development.

Thereafter, only the approved details shall be implemented and all surface water drainage provision for the relevant phase or sub-phase shall be completed prior to the occupation of the relevant phase or sub-phase.

Reason: In the interests of amenity, to protect and enhance the natural environment, protect the water environment and prevent pollution

8. No development shall commence within each Phase or sub-Phase until pre-commencement surveys to locate the presence or absence of protected species have been undertaken and copies submitted to both the Planning Authority. Should any of these species be found within or adjacent to an area likely to be affected by construction activities, appropriate mitigation measures shall be put in place by the developer prior to development commencing and be maintained for the duration of development, details of which shall first be submitted to, and approved in writing by, the Planning Authority.

Reason: To protect and enhance nature conservation from construction activities.

9. All plant, machinery and equipment associated with ventilation, air-conditioning, heating and refrigeration or similar mechanical services, including fans, ducting and external openings shall be installed, maintained and operated such that any operating noise complies with Noise Rating Curve 20 and details and a noise assessment of each installation will require to be submitted for the written approval of the planning authority.

Reason: In the interests of amenity.

10. No development shall commence within each Phase or Sub-Phase until a Waste Management Strategy has been submitted to and agreed by the Planning Authority. This shall detail the approach to sustainable waste management in the operational of all aspects of development with identification of bin stores, bin collection points, and refuse vehicle collection routes in each phase or sub-phase.

Reason: In the interests of amenity, to manage waste and prevent pollution.

11. No development shall commence within each Phase or sub-Phase until details of a scheme of hard and soft landscaping works related to that phase or sub-phase. Details of the scheme shall include:

- i. All earthworks and existing and finished ground levels in relation to an identified fixed datum point;
- ii. A plan showing existing landscaping features and vegetation to be retained;
- iii. The location and design, including materials, of any proposed walls, fences, gates, seating and other landscaping features, within each open space including 1:20 scale plans showing the detail of the feature;

- iv. The location, type and design, including materials product name and specification, of any proposed play equipment and associated safety features (if required), including 1:20 scale plans, within each open space;
- v. All soft landscaping and planting works, including plans and schedules showing the location, species and size of each individual tree and/or shrub and planting densities, with no fruit bearing trees; and
- vi. A programme for preparation, completion and subsequent on-going maintenance and protection of all landscaping works.

Landscaping works shall be carried out in accordance with the approved scheme. All planting, seeding or turfing as may be comprised in the approved details shall be carried out in the first planting and seeding seasons following the commencement of that phase of development to which the scheme relates.

Any trees or plants which within a period of five years from the completion of the phase of development to which they relate, die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

Reason: In order to ensure that a high standard of landscaping is achieved, appropriate to the location of the site.

12. No development shall commence within each Phase or sub-Phase until details, including full specifications, for the layout, design and construction of green spaces, outdoor sports and recreation facilities that comply with, or exceed, the Highland Council's adopted standards contained within 'Open Space in New residential Development' for that Phase shall be submitted to and agreed in writing by the Planning Authority. The agreed scheme shall be implemented thereafter to the satisfaction of the planning authority.

Reason: In the interests of amenity and to ensure that open space and recreational facilities are in accordance with Council standards.

13. No development shall commence within each Phase or Sub-Phase until full details of communal bin stores have been submitted to and approved in writing by the Planning Authority. For the avoidance of doubt, the bin stores shall be delivered in accordance with the standards set out in Roads and transportation Guidelines for New Development.

Reason: To ensure satisfactory level of waste and recycling bins are provided in the interests of amenity.

14. No development shall commence within each Phase or Sub-Phase until full details of the covered and secure communal bicycle storage/racking system for residents and visitors have been submitted to, and approved in writing by, the Planning Authority. Thereafter, the storage/racking system shall be installed in accordance with these approved details prior to the first occupation of the development hereby approved.

Reason: In order to facilitate the use of a variety of modes of transport.

15. The development shall not be occupied until details of the relevant person or party responsible for the maintenance of the play area, paths and on-site surface water drainage system have been provided to the Planning Authority. For the avoidance of doubt any part of the development not adopted by The Highland Council or another responsible authority shall remain the responsibility of the developer and maintained in line with the scheme to be approved under condition 3 of this planning permission.

Reason: To ensure that the development is maintained by an appropriate party and that the party responsible for maintenance can be easily identified should any issue arise.

16. Prior to first occupation of any residential unit within the development, a scheme for the maintenance in perpetuity of all on-site green spaces, play areas and paths within the development that are not the exclusive property, and those elements of surface water drainage regimes not maintained either by the Highland Council or Scottish Water for that Phase or Sub-Phase, shall be submitted to and agreed in writing by the planning Authority. The agreed scheme, which shall accord with the Highland Council's adopted standards contained within 'Open Space in Residential Development' and 'Roads and Transportation Guidelines for New Developments', shall be implemented thereafter to the satisfaction of the Planning Authority.

Reason: In the interests of amenity and to ensure that communal infrastructure on the site is maintained in accordance with the Council's standards.

17. No development shall commence on each Phase or Sub-Phase until a scheme detailing the boundary treatments (inclusive of walls, hedges, wall/fence arrangements and fences) of each residential dwelling within the relevant phase or sub-phase of the development in so far as it relates to that phase or sub phase has been submitted to and approved in writing by the Authority. Thereafter the approved scheme shall be implemented prior to the occupation of each residential dwelling to which the scheme related

Reason: In order to ensure that the approved landscaping works are properly undertaken on site.

18. No development shall commence within each Phase or Sub-Phase of the until a scheme has been submitted detailing the provision of electric car charging points within the development serving the associated phase or sub-phase. This shall include the location and design of each charging point and a timescale for implementation. The approved scheme shall be implemented in line with the approved timescales.

Reason: To facilitate the move toward the reduction in reliance of petrol and diesel cars.

19. All footways within the site shall be 2m in width, which shall be constructed in full prior to the first occupation of the development hereby approved. The footways shall be designed and constructed in accordance with The Highland Council's Road Guidelines for New Developments standards and, where necessary, shall adjoin the footway fronting neighbouring properties.

Reason: To ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity.

20. No trees within the application site, other than those which are specifically identified for removal on the approved plans, shall be cut down, uprooted, topped, lopped (including roots) or wilfully damaged in any way, without the prior written permission of the Planning Authority.

Reason: In order to ensure the protection of retained trees, which are important amenity assets, during construction.

21. Prior to any site excavation or groundworks, all retained trees are to be protected against construction damage using protective barriers located as per the Approved Tree Protection Plan and in accordance with BS 5837:2012 Trees in Relation to Design, Demolition & Construction. Barriers are to remain in place throughout the construction period and must not be moved or removed without the prior written approval of the Planning Authority.

Reason: To ensure the protection of retained trees throughout the construction period.

22. A suitably qualified Arboricultural consultant must be employed by the applicant to produce an updated Arboricultural Method Statement (AMS) which details how the trees on site are to be protected and also to ensure that the Approved Tree Protection Plans are implemented to the agreed standard. Stages requiring supervision are to be set out in the updated AMS for the written agreement of the planning authority and certificates of compliance for each stage are to be submitted for approval.

Reason: To ensure the protection of retained trees throughout the construction period.

23. The Landscape Plan drawings shall be implemented in full during the first planting season following commencement of development or as otherwise agreed in writing by the planning authority.

Reason: In the interests of amenity.

24. A suitably qualified landscape consultant must be employed by the applicant to ensure that the Landscape Proposals are implemented to the agreed standard. Stages requiring supervision are to be agreed with the planning authority and certificates of compliance for each stage are to be submitted for approval.

Reason: In the interests of amenity

25. No development shall commence within each Phase or Sub-Phase of the site until a detailed Outdoor Access Plan of public access across the site (as existing, during construction and following completion) has been submitted to, and approved in writing by, the Planning Authority. The plan shall include details showing:
- i. All existing access points, paths, core paths, tracks, rights of way and other routes (whether on land or inland water), and any areas currently outwith or excluded from statutory access rights under Part One of the Land Reform (Scotland) Act 2003, within and adjacent to the application site;
 - ii. Any areas proposed for exclusion from statutory access rights, for reasons of privacy, disturbance or effect on curtilage related to proposed buildings or structures;
 - iii. All proposed paths, tracks and other routes for use by walkers, riders, cyclists, canoeists, all-abilities users, etc. and any other relevant outdoor access enhancement (including construction specifications, signage, information leaflets, proposals for on-going maintenance etc.);
 - iv. Any diversion of paths, tracks or other routes (whether on land or inland water), temporary or permanent, proposed as part of the development (including details of mitigation measures, diversion works, duration and signage).

The approved Outdoor Access Plan, and any associated works, shall be implemented in full prior to the first occupation of the development or as otherwise may be agreed within the approved plan.

Reason: In order to safeguard public access both during and after the construction phase of the development.

26. No development shall commence within each Phase or Sub-Phase of the site until such time as an assessment of the potential for ground contamination of each site is undertaken. Such an assessment shall be carried out by a suitably qualified person, and include, as appropriate:
- i. A desk study consideration of the historical uses of the site, hydro geological and geological characteristics of the area and the likely nature, location and extent of any contamination;
 - ii. A site investigation, including the taking and analysis of any necessary samples;
 - iii. A site specific assessment of the risks posed to the development arising from the presence and nature of contaminants at the site.

- iv. A Site Remediation Plan detailing the works to be carried out in order to achieve site conditions suitable for the proposed development, including measures to remove unacceptable levels of risk from identified contamination. This Plan shall detail the validation measures necessary to demonstrate that remedial targets have been successfully achieved.

The site investigation should be carried out in accordance with BS 10175 and be based on the Conceptual Site Model derived from the desk study.

The assessment shall be submitted to the Planning Authority in the form of a complete authorised Report for consideration and consultation. No works or development other than site investigation shall commence in advance of the written approval of the Remediation Plan.

On completion of the approved Remediation Plan the applicant shall submit a Remediation Completion Certificate demonstrating implementation of this Plan for the written approval of the Planning Authority. Development works should not commence prior to this approval unless written permission is given by the Planning Authority.

Reason: Reason: To ensure that the land is remediated before the commencement of any new use, in the interest of public health, environmental protection and the protection of property.

27. No development shall commence within each Phase or Sub-Phase until a community liaison group is established by the developer, in collaboration with The Highland Council and affected Community Councils unless otherwise agreed in writing by the Planning Authority. The group shall act as a vehicle for the community to be kept informed of project progress and, in particular, should allow advanced dialogue on the provision of all transport-related mitigation measures and to keep under review the timing and type of development within future development phases. The liaison group, or element of any combined liaison group relating to this development, shall be maintained until the development has been completed and is occupied.

Reason: To assist project implementation, ensuring community dialogue and the delivery of appropriate mitigation measures throughout the construction period.

28. No part of the development shall be occupied until Traffic Regulation Order(s), limiting the speed of traffic on all roads to no more than 20mph, have been submitted to and approved in writing by the Roads Authority. For the avoidance of doubt any Traffic Regulation Order(s) and any required signage and road markings shall be at the expense of the developer.

Reason: In the interests of road safety.

29. No development shall commence within each Phase or Sub-Phase on site until a scheme for the inclusion of public art within the development, including types and locations of artworks and the management, maintenance thereof, and a timescale for implementation has been submitted to, and approved in

writing by, the Planning Authority. The approved scheme shall be implemented in accordance with the timescales contained in the approved scheme and maintained in perpetuity.

Reason: In the interests of amenity.

REASON FOR DECISION

TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature: David Mudie
Designation: Area Planning Manager - South
Author: Roddy Dowell
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 - Site Layout Plan 1107-8-PSL-02 REV E
Plan 2 - Site Layout Plan 107-8-EXF-02 REV C
Plan 3 - Elevation Plan 18-AL-B-12 (ET)
Plan 4 - Elevation Plan 18-AL-B-12 (MT)
Plan 5 - Elevation Plan 18-BR-B-12
Plan 6 - Terrace 3 Floor Elevation Plan WC7-BLK2-001
Plan 7 - Terrace 4 Floor Elevation Plan WC7-BLK4-001
Plan 8 - Terrace 5 Floor Elevation Plan WC7-BLK5-001
Plan 9 - Block 1 and 3 Elevations WC78-400-001 REV C
Plan 10 - Block 2 Elevations WC78-400-003 REV B
Plan 11 – Road Layout Plan 136476-1101-E
Plan 12 – Road Layout Plan 136476-1501-E
Plan 13 – Road Adoption Plan 136476-1102-D
Plan 14 – Road Adoption Plan 136476-1502-C
Plan 15 – Swept Path Plan 136476-1105-C
Plan 16 – Visibility Splays Plan 136476-1110-D
Plan 17 – Visibility Splays Plan 136476-1510-D
Plan 18 - Car parking Appraisal Site Plan 1107-8-CAR-02 REV D
Plan 19 - Drainage Layout Plan – Site 7 136476-2100 REV H
Plan 20 - Drainage Layout Plan – Site 8 136476-2500 REV G

Plan 21 - Exceedance Flows Plan – Site 7 136476-2101 REV E
Plan 22 - Exceedance Flows Plan – Site 8 136476-2501 REV C
Plan 23 - Cycle Store Site Plan 1107-8-CYC-02 REV D
Plan 24 - Waste Strategy Site plan1107-8-BIN-02 REV D
Plan 25 - Outdoor Access Plan 1107-8-OAP-02 REV E
Plan 26 - Tree Protection Plan 000002 REV B
Plan 27 – Tree Constraints Plan 000001
Plan 28 - Landscaping Plan 334-08-01 REV C

Appendix 2

	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
Type	Contribution	Rate (per house)	Rate (per flat)	Total Amount*1	Index Linked ¹	Base Date*2	Payment Trigger*3	Accounting Dates*4	Clawback Period*5
Schools²									
Primary – Build Costs	Kinmylies Primary (Major Extension Rate (as required by the IMF Delivery Programme March 2022))	£7359	£4171	231,105	BCIS	Q2 2018	CC	Apr/Oct	20
Secondary – Build Costs	Charleston Academy ((Major Extension Rate (as required by the IMF Delivery Programme March 2022))	£3482	1875	£105,802	BCIS	Q2 2018	CC	Apr/Oct	20
Community Facilities	Contribution towards enhanced community facilities	£1019	£1019	£47,893	BCIS	Q2 2018	CC	Apr/Oct	15 or 20
Affordable Housing									
On-site provision ³	A minimum of 25% required (the applicant has provided in excess of the 25% affordable housing requirement across the Westercraigs site through the delivery of Site 4 which was wholly affordable. As a result no further affordable housing is required through this phase of the development).	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Off-site provision ⁴	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

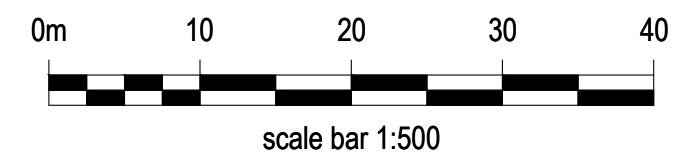
¹ If the contribution is to be used towards infrastructure projects involving building e.g. new school, new cycle route etc BCIS ALL IN TENDER will be the index, if it doesn't involve building then another appropriate index may need to be chosen with the agreement of Team Leader

² Indicate whether or not 1 bed houses/flats are exempt

³ Indicate whether a penalty payment due for late delivery (and, if so, what it is based upon).

⁴ As above

SITE 7 & 8, WESTERCRAIGS

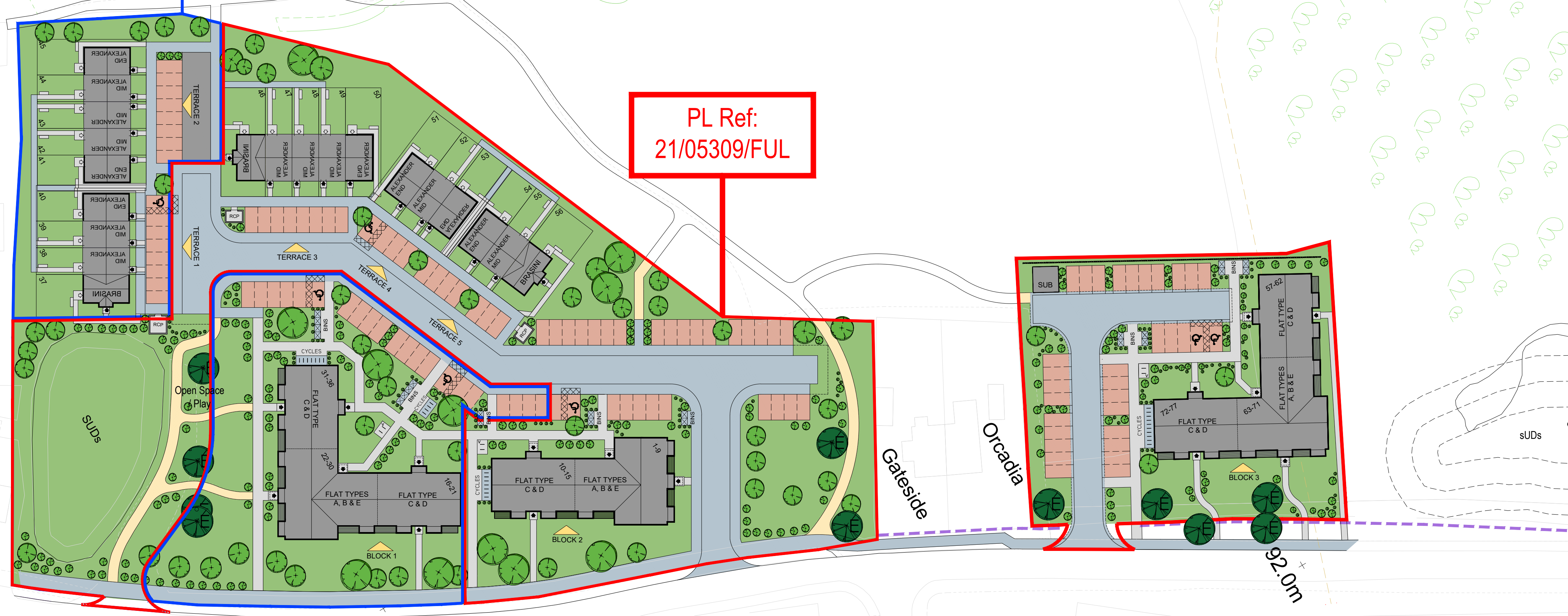


PL Ref:
21/05305/MSC

PL Ref:
21/05309/FUL

Key:

- Site boundary
- Existing natural stone wall
- Hedge (Laurel)
- Existing 600mm Ø Culvert
- New 600mm Ø Culvert
- Surface water
- Foul water
- BT/Fibre
- Undevelopable Area
- Private Grass
- Public Open Space
- Primary Street
- Road Novel
- Node
- Footpath



No.	Revision	Date	By
E	Various updates to suit R&TP comments.	Apr 22	AM
D	Various updates to suit R&TP comments.	Apr 22	AM
C	Various updates to suit R&TP comments.	Apr 22	AM
B	Layout revised to suit PL comments.	Mar 22	JM
A	Various updates to suit R&TP comments.	Mar 22	JM

ROBERTSON HOMES

Robertson House, Castle Business Park, Stirling FK9 4TZ
Tel: 01786 431650 Fax: 01786 431650
Email: info@robertson.co.uk
www.robertsonhomes.co.uk

Project Title:
**SITE 7 & 8
WESTERCRAIGS
INVERNESS**

Drawing Title:
PLANNING LAYOUT

Scale at A1: 1:500	Date: JAN 2021
Drawn: LB	Checked: SP

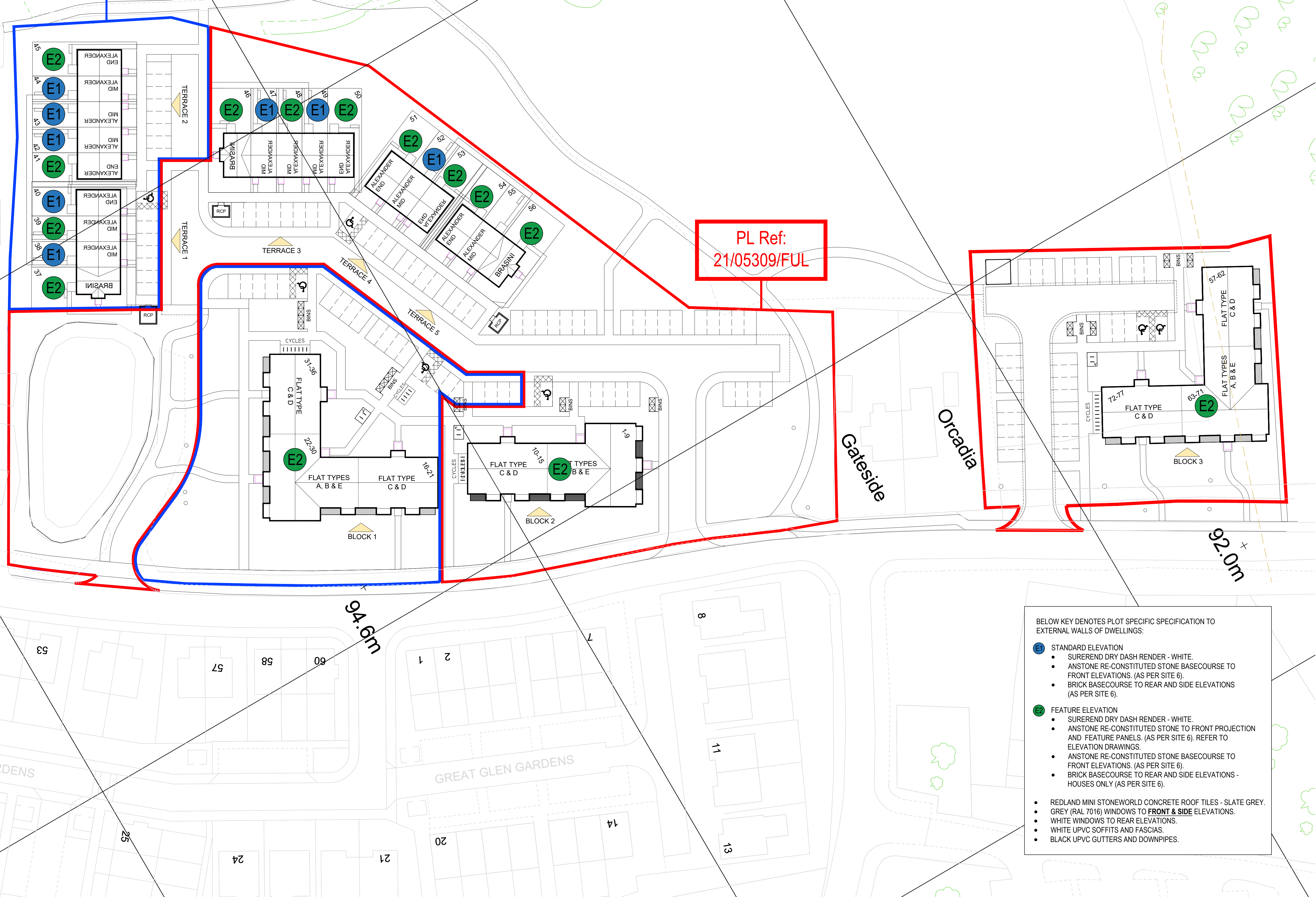
Drawing No. 1107-8 - PSL-02	Rev. E
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SITE 7 & 8, WESTERCRAIGS



PL Ref:
21/05305/MSC

PL Ref:
21/05309/FUL



- BELOW KEY DENOTES PLOT SPECIFIC SPECIFICATION TO EXTERNAL WALLS OF DWELLINGS:
- E1** STANDARD ELEVATION
 - SUREREND DRY DASH RENDER - WHITE.
 - ANSTONE RE-CONSTITUTED STONE BASECOURSE TO FRONT ELEVATIONS. (AS PER SITE 6).
 - BRICK BASECOURSE TO REAR AND SIDE ELEVATIONS (AS PER SITE 6).
 - E2** FEATURE ELEVATION
 - SUREREND DRY DASH RENDER - WHITE.
 - ANSTONE RE-CONSTITUTED STONE TO FRONT PROJECTION AND FEATURE PANELS. (AS PER SITE 6). REFER TO ELEVATION DRAWINGS.
 - ANSTONE RE-CONSTITUTED STONE BASECOURSE TO FRONT ELEVATIONS. (AS PER SITE 6).
 - BRICK BASECOURSE TO REAR AND SIDE ELEVATIONS - HOUSES ONLY (AS PER SITE 6).
 - REDLAND MINI STONeworld CONCRETE ROOF TILES - SLATE GREY.
 - GREY (RAL 7016) WINDOWS TO **FRONT & SIDE** ELEVATIONS.
 - WHITE WINDOWS TO REAR ELEVATIONS.
 - WHITE UPVC SOFFITS AND FASCIAS.
 - BLACK UPVC GUTTERS AND DOWNPIPES.

No.	Revision	Date	By
C	Various updates to suit R&TP comments.	Apr 22	AM
B	Various updates to suit R&TP comments.	Apr 22	AM
A	Information revised to suit site layout	Mar 22	AM

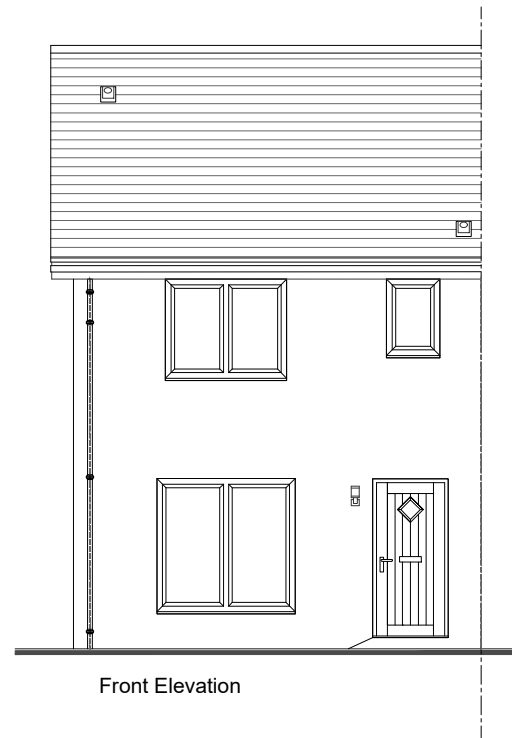
Robertson House, Castle Business Park, Stirling FK9 4TZ
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Project Title:
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INVERNESS**

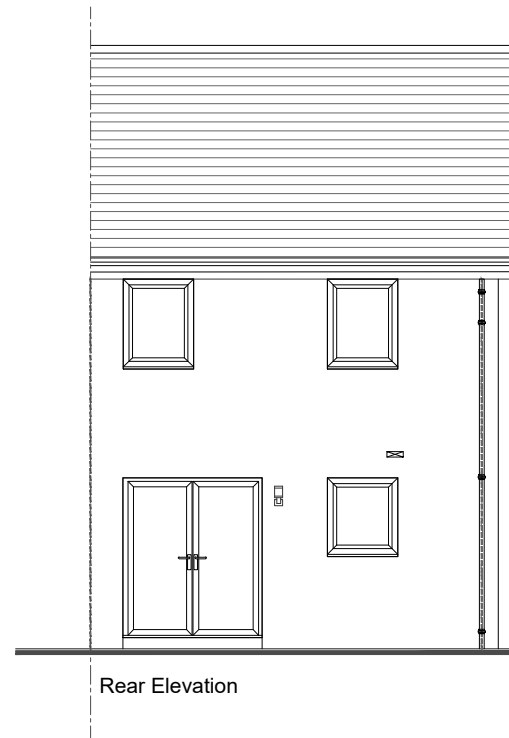
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EXTERNAL FINISHES PLAN

Scale: NTS@A1	Date: NOV 2021
Drawn: JM	Checked: AS

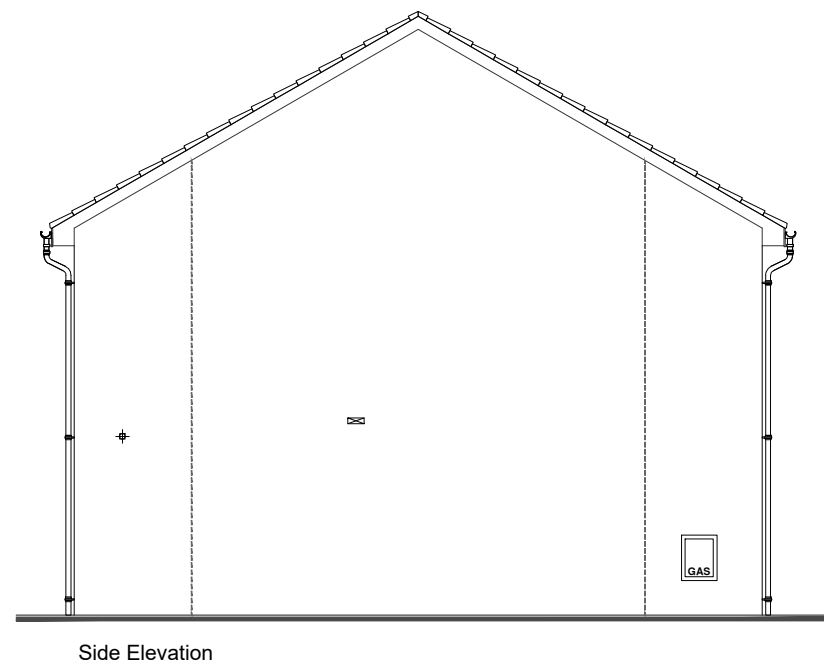
Drawing No. 1107-8 - EXF-02	Rev. C
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Front Elevation



Rear Elevation



Side Elevation

GENERAL NOTES:

All works to be constructed accordance with the Building (Scotland) Act 2003 and subsequent amendments.

All works to be carried out in accordance with the Construction, Design and Management Regulations 2015.

All drainage to be installed and tested to the satisfaction of the Local Authority.

All electrical work to comply with the latest edition of the IEE Regulations and BS 7671 current edition.

Gross area of the dwelling is calculated to finished face of external walls including the stair to both ground and first floor plans, but excluding any other voids/mezzanines (where present).

Drawings to be read in conjunction with all relevant contract drawings, specification and details.

All foundation and below ground drainage shown are indicative of standard ground conditions. Refer to site investigation report and structural/civil engineers information for individual plot design and specification.

No.	Revision	Date	By



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www.robertsonhomes.co.uk

Drawing Title:

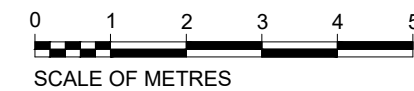
Planning Elevations
 All Divisions

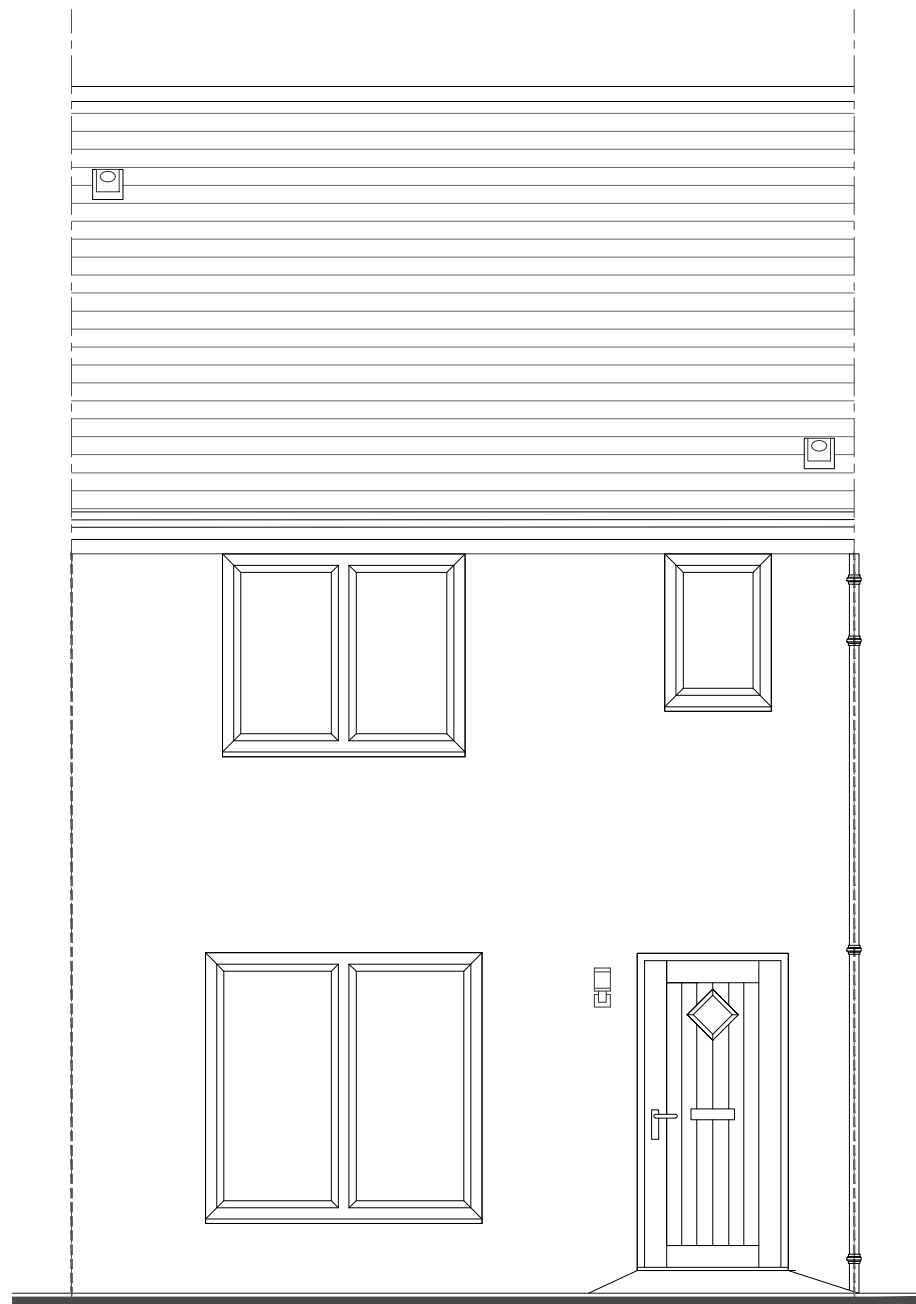
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House Name:
ALEXANDER 18 (ET)

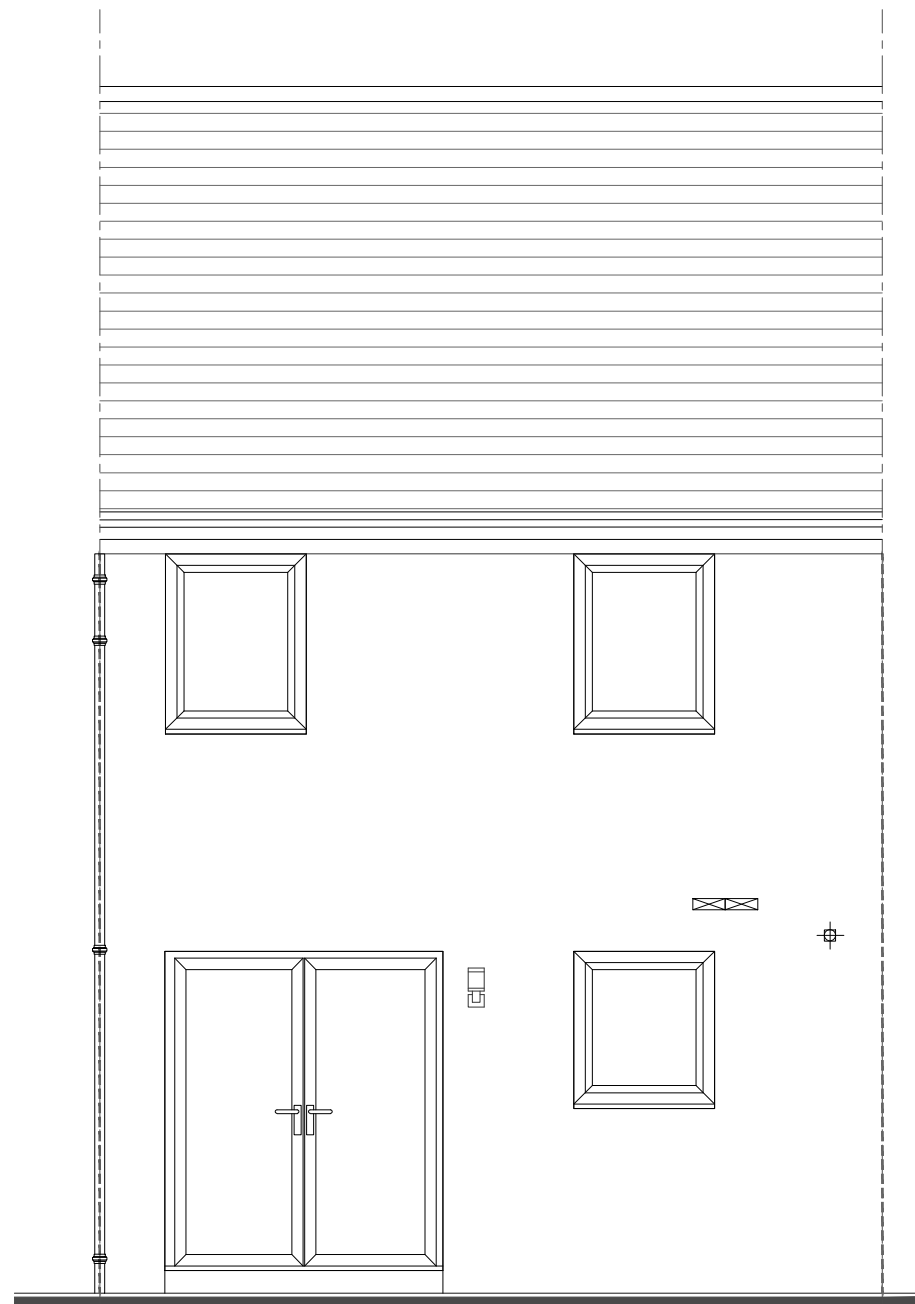
APPROVED ARTISTRY RANGE 18

Drawing No: 18-AL-B-12 (ET)	Rev:
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Front Elevation



Rear Elevation

GENERAL NOTES:

All works to be constructed accordance with the Building (Scotland) Act 2003 and subsequent amendments.

All works to be carried out in accordance with the Construction, Design and Management Regulations 2015.

All drainage to be installed and tested to the satisfaction of the Local Authority.

All electrical work to comply with the latest edition of the IEE Regulations and BS 7671 current edition.

Gross area of the dwelling is calculated to finished face of external walls including the stair to both ground and first floor plans, but excluding any other voids/mezzanines (where present).

Drawings to be read in conjunction with all relevant contract drawings, specification and details.

All foundation and below ground drainage shown are indicative of standard ground conditions. Refer to site investigation report and structural/civil engineers information for individual plot design and specification.

No.	Revision	Date	By



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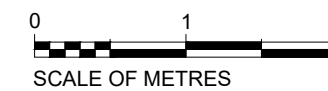
Drawing Title:
Planning Elevations
 All Divisions

Scale: 1:50	Date: Sept 18	Drawn: GBR
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House Name:
ALEXANDER 18 (MT)

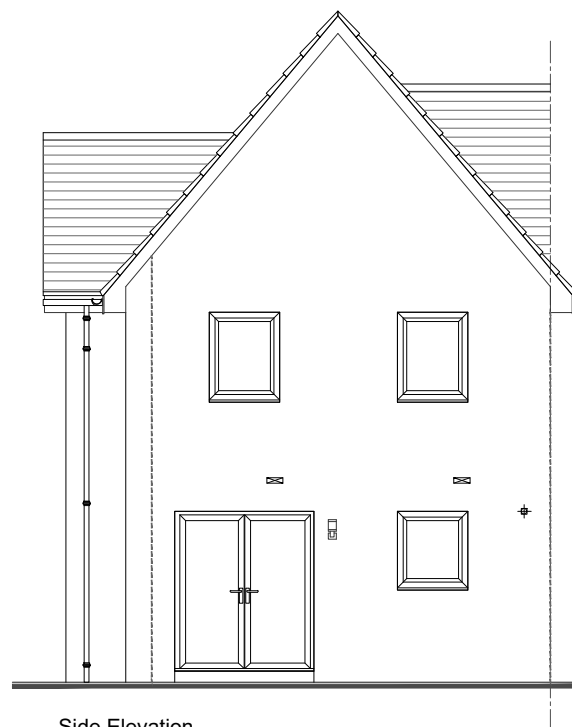
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Drawing No: 18-AL-B-12 (MT)	Rev: -
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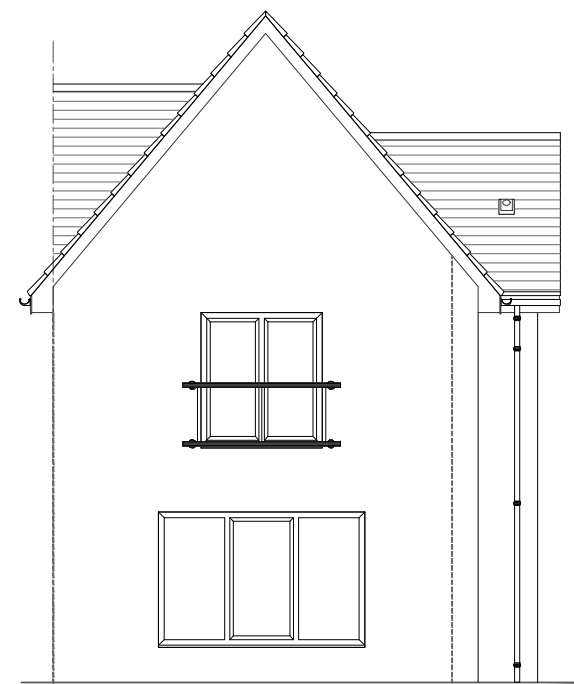




Front Elevation



Side Elevation



Side Elevation

GENERAL NOTES:

All works to be constructed accordance with the Building (Scotland) Act 2003 and subsequent amendments.

All works to be carried out in accordance with the Construction, Design and Management Regulations 2015.

All drainage to be installed and tested to the satisfaction of the Local Authority.

All electrical work to comply with the latest edition of the IEE Regulations and BS 7671 current edition.

Gross area of the dwelling is calculated to finished face of external walls including the stair to both ground and first floor plans, but excluding any other voids/mezzanines (where present).

Drawings to be read in conjunction with all relevant contract drawings, specification and details.

All foundation and below ground drainage shown are indicative of standard ground conditions. Refer to site investigation report and structural/civil engineers information for individual plot design and specification.

No.	Revision	Date	By



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Drawing Title:

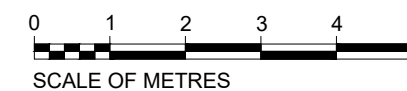
Planning Elevations
 All Divisions

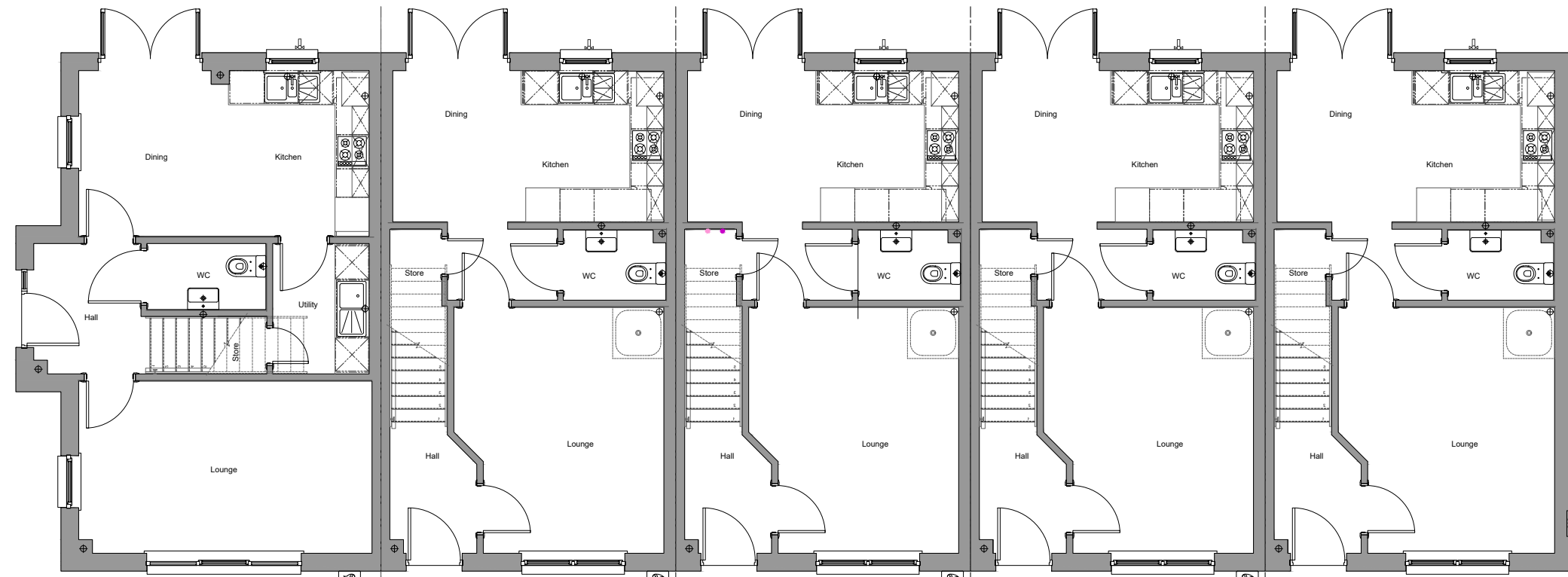
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House Name:
BRASINI BASE 18

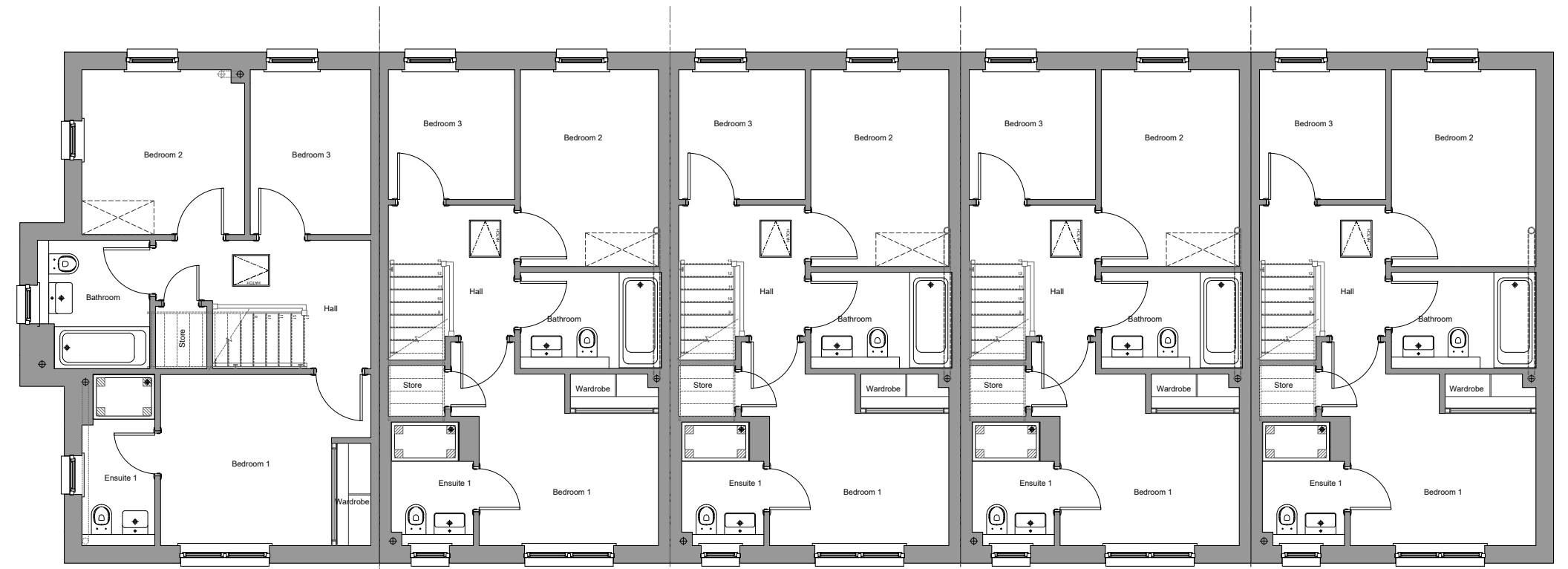
APPROVED ARTISTRY RANGE 18

Drawing No: 18-BR-B-12	Rev: -
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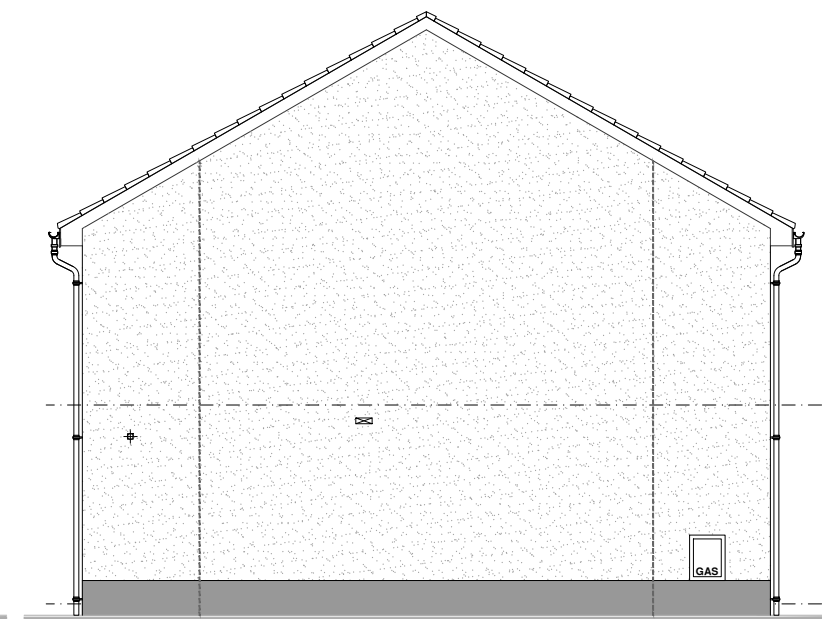
Ground Floor



First Floor



Front Elevation



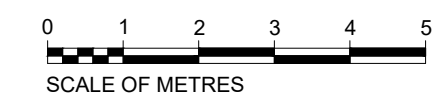
Side Elevation



Rear Elevation



Side Elevation



No.	Revision	Date	By

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Email: info@robertson.co.uk
www.robertsonhomes.co.uk

Project Title:
**SITE 7
WESTERCRAIGS
INVERNESS**

Drawing Title:
**TERRACE 3 - PLOTS 46-50
COMPOSITE FLOOR PLANS
AND ELEVATIONS**

Scale: 1:100@A2	Date: JULY 21
Drawn: AS	Checked: AS

Drawing No. WC7-BLK2-001	Rev: ~
------------------------------------	-----------

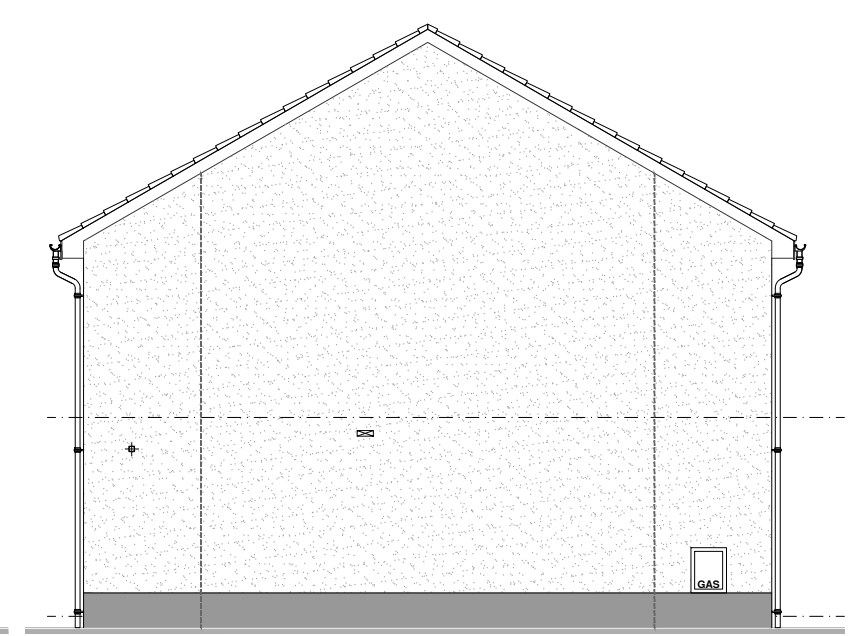
Alexander MT (AS)

Alexander MT (AS)

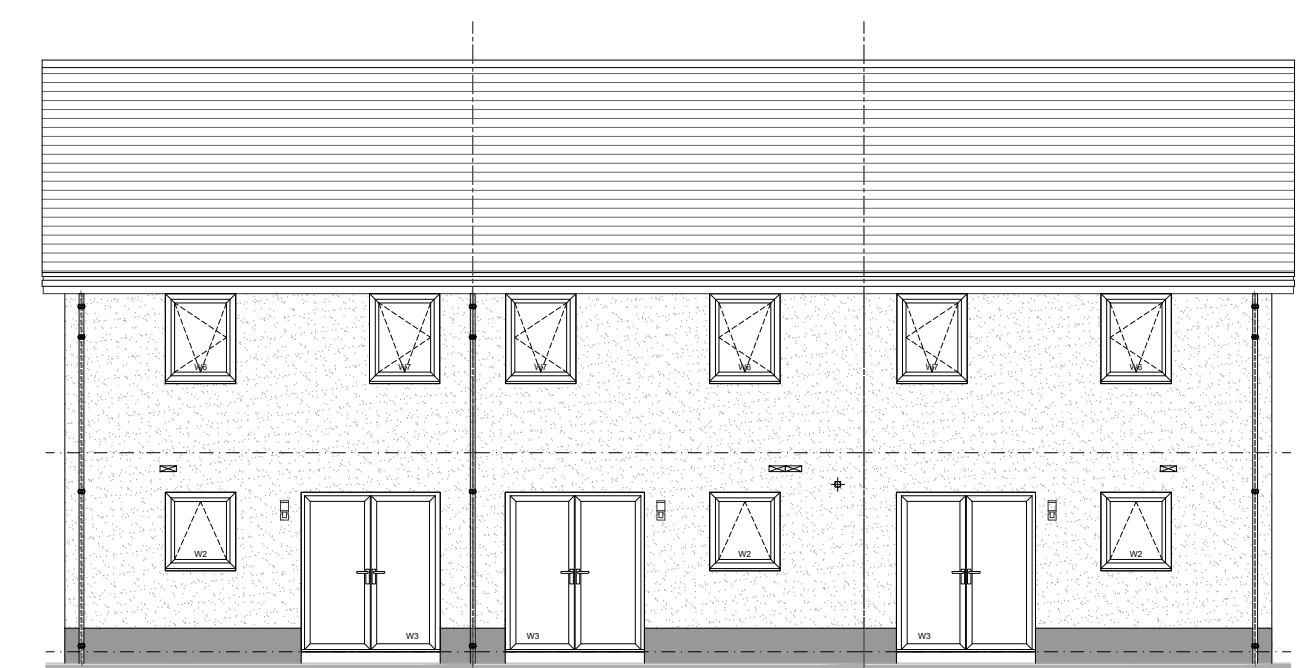
Alexander ET (OPP)



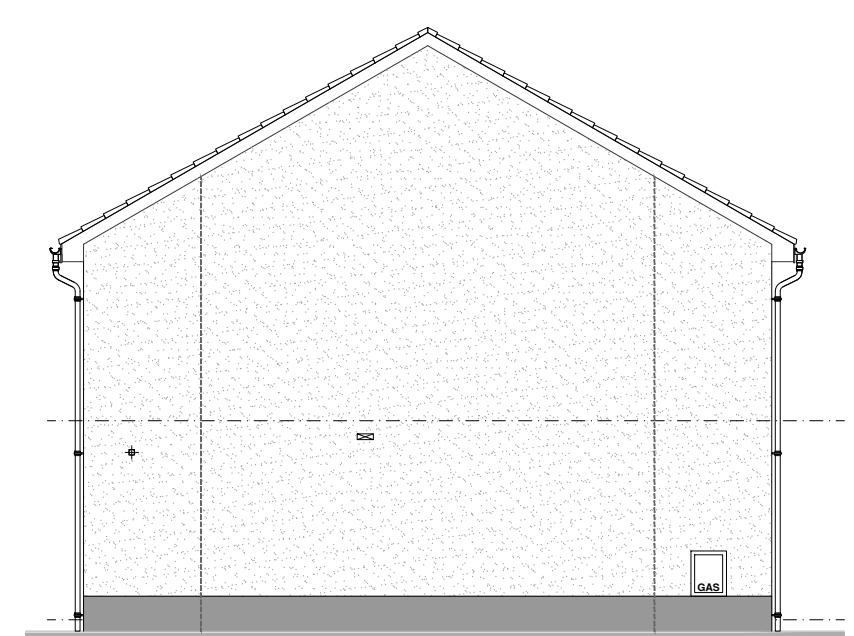
Front Elevation



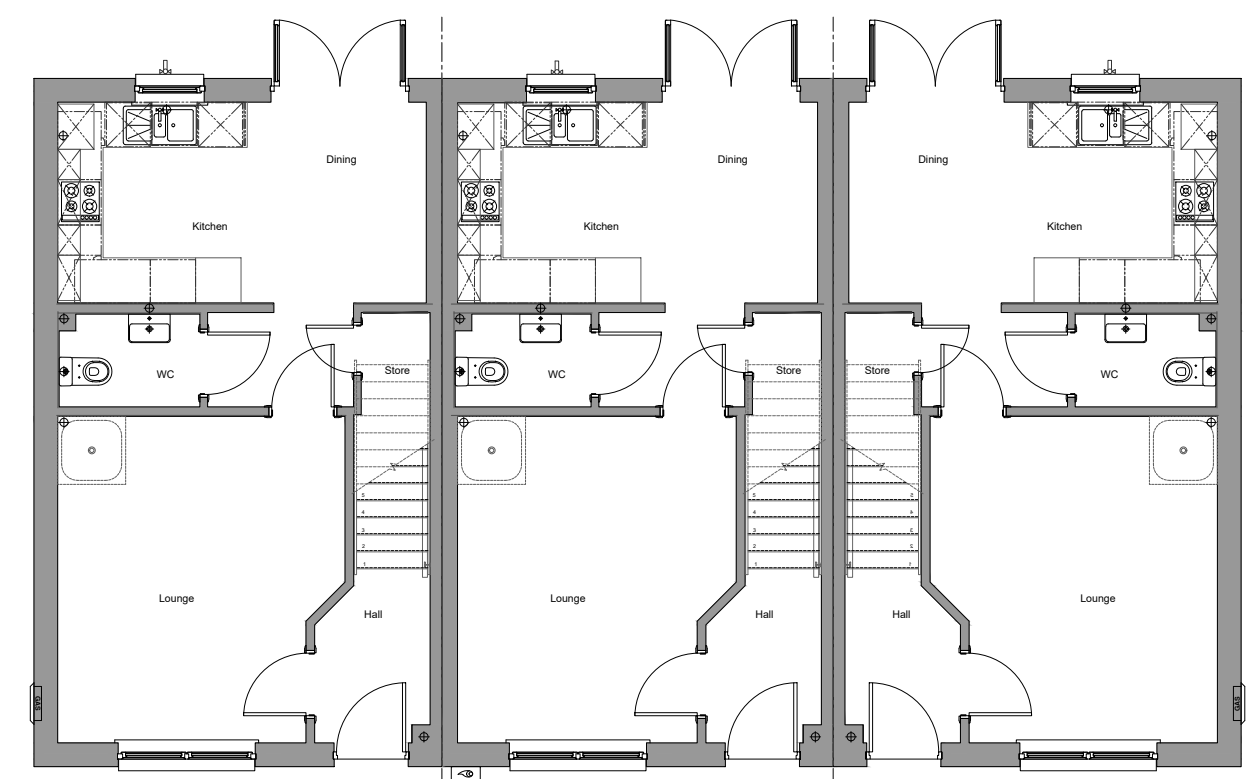
Side Elevation



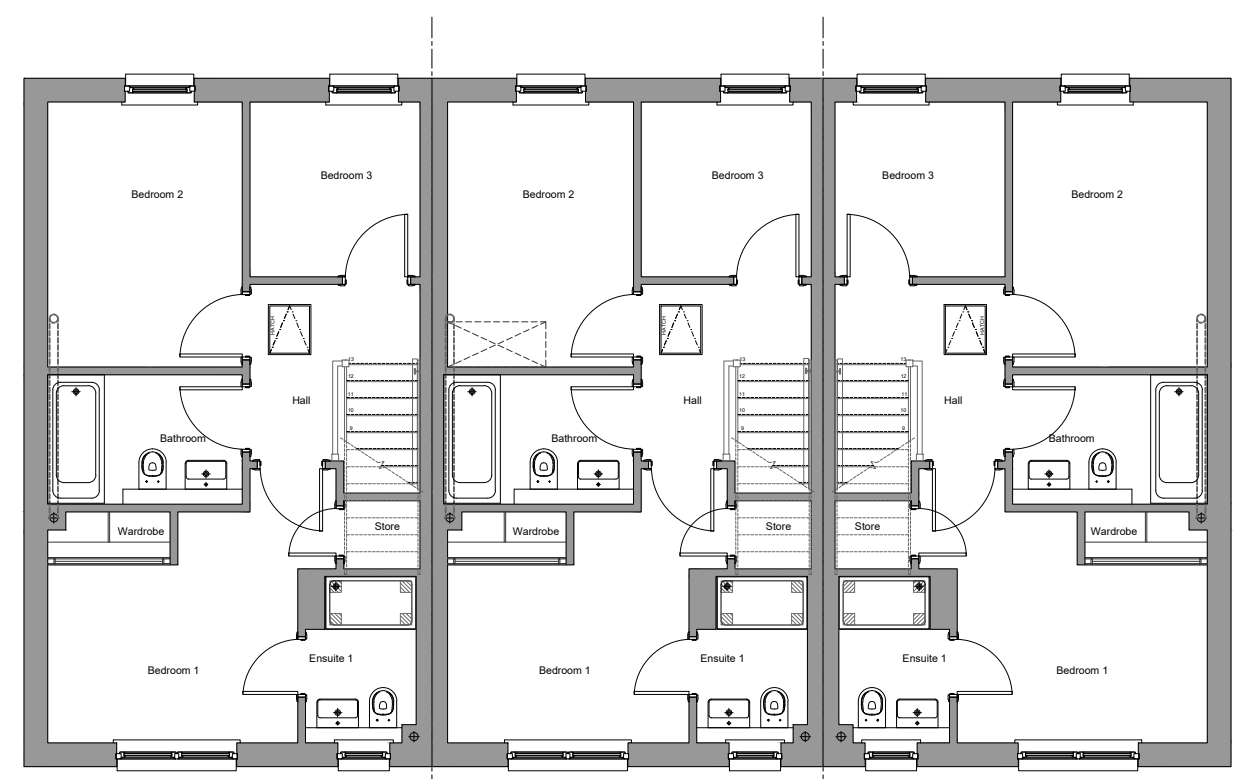
Rear Elevation



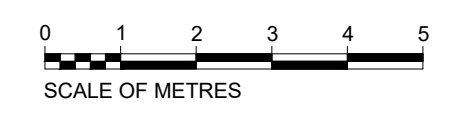
Side Elevation



Ground Floor



First Floor



No.	Revision	Date	By

ROBERTSON
HOMES

Robertson House, Castle Business Park, Stirling FK9 4TZ
Tel: 01786 431600 Fax: 01786 431650
Email: info@robertson.co.uk
www.robertsonhomes.co.uk

Project Title:
**SITE 7
WESTERCRAIGS
INVERNESS**

Drawing Title:
**TERRACE 4 - PLOTS 51-53
COMPOSITE FLOOR PLANS
AND ELEVATIONS**

Scale: 1:100@A2	Date: JULY 21
Drawn: AS	Checked: AS

Drawing No. WC7-BLK4-001	Rev: ~
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Alexander ET (AS)

Alexander MT (AS)

Brasini ET (AS)



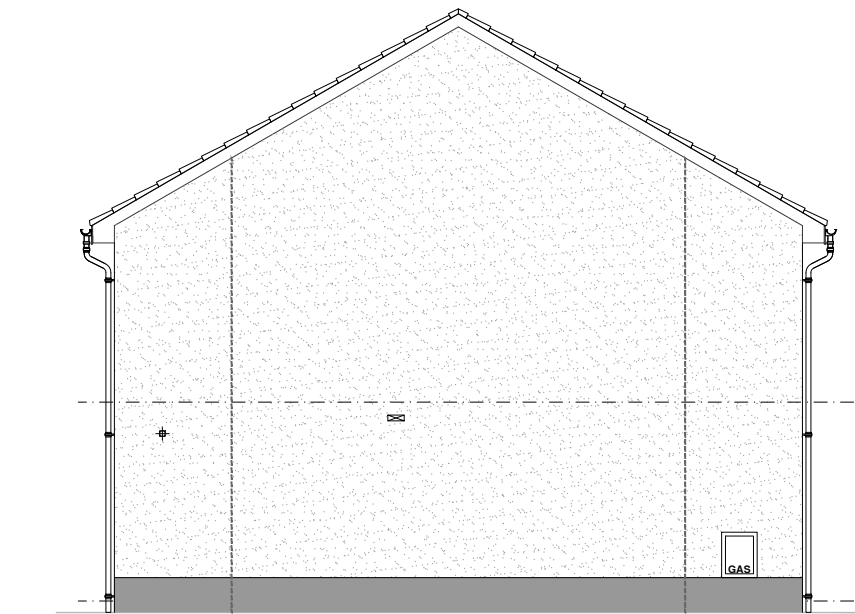
Front Elevation



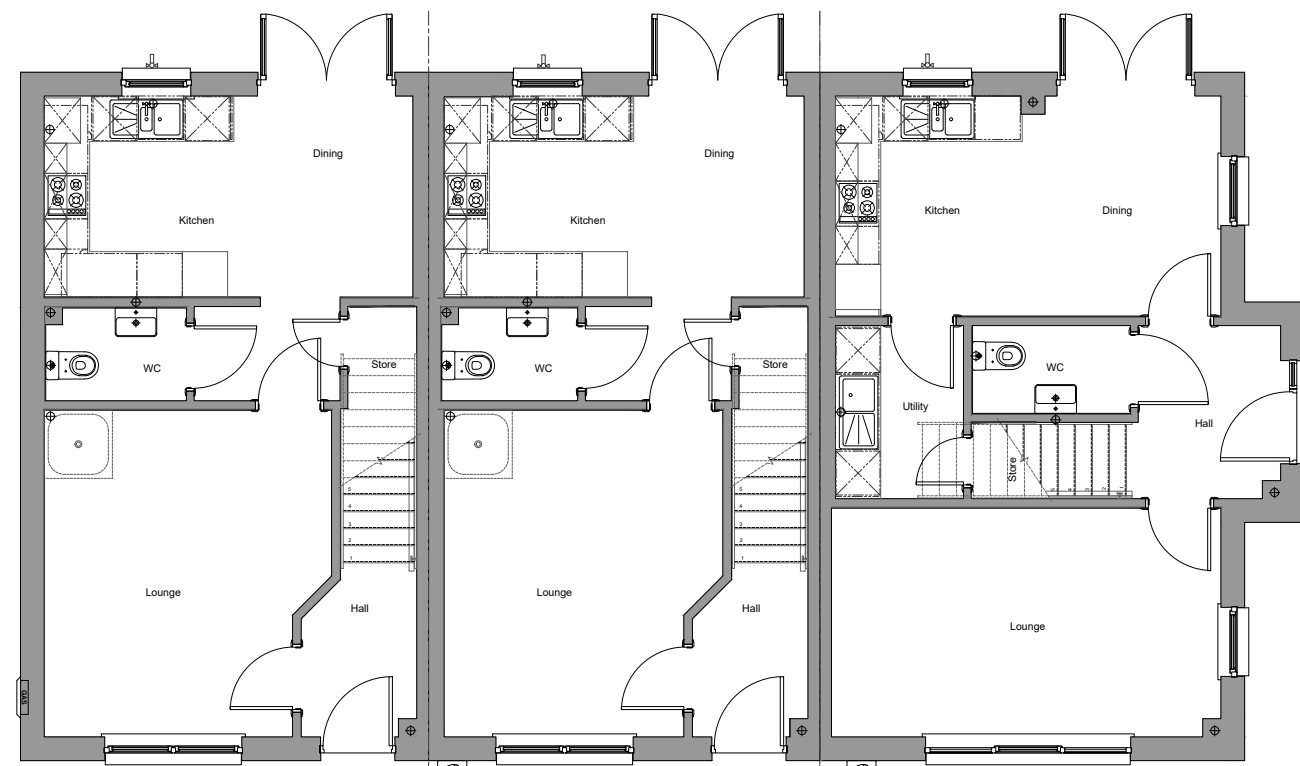
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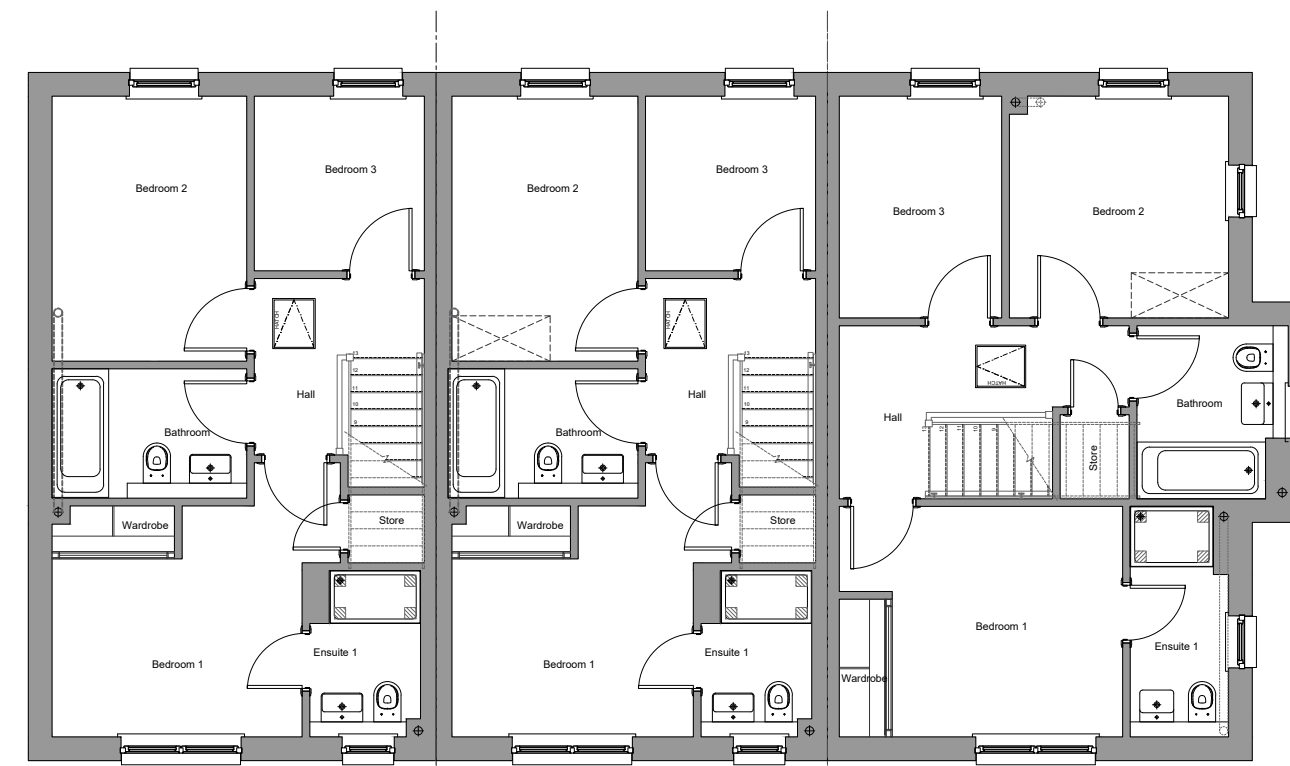
Rear Elevation



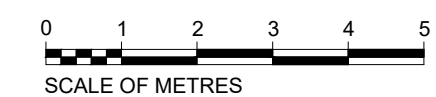
Side Elevation



Ground Floor



First Floor



No.	Revision	Date	By



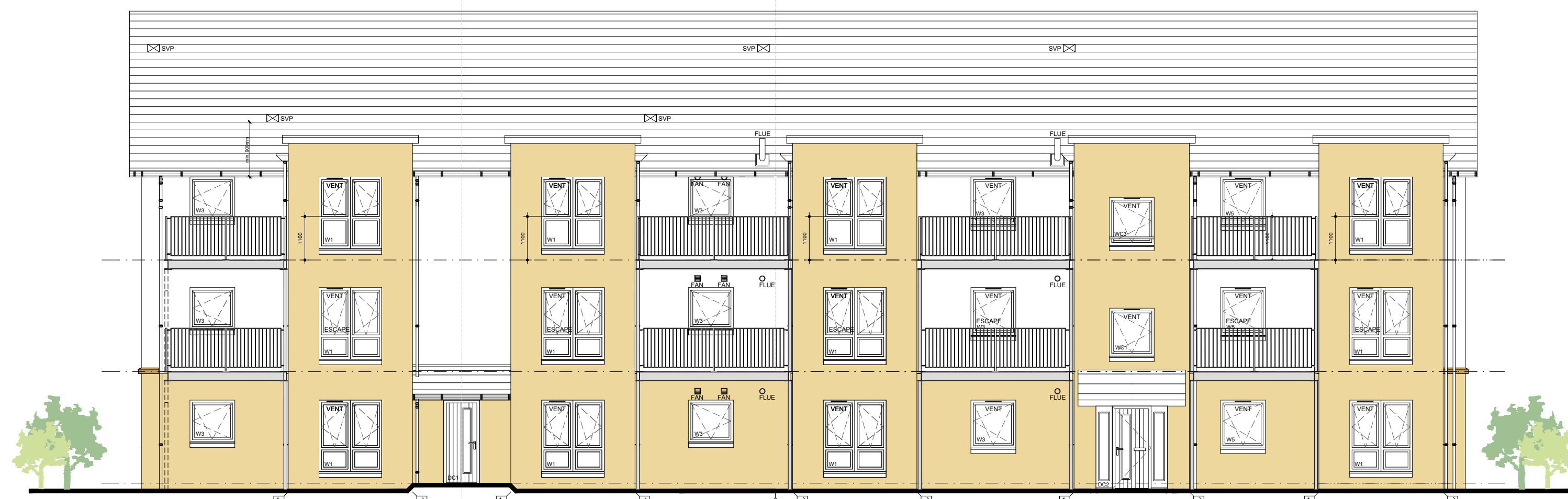
Robertson House, Castle Business Park, Stirling FK9 4TZ
Tel: 01786 431600 Fax: 01786 431650
Email: info@robertson.co.uk
www.robertsonhomes.co.uk

Project Title:
**SITE 7
WESTERCRAIGS
INVERNESS**

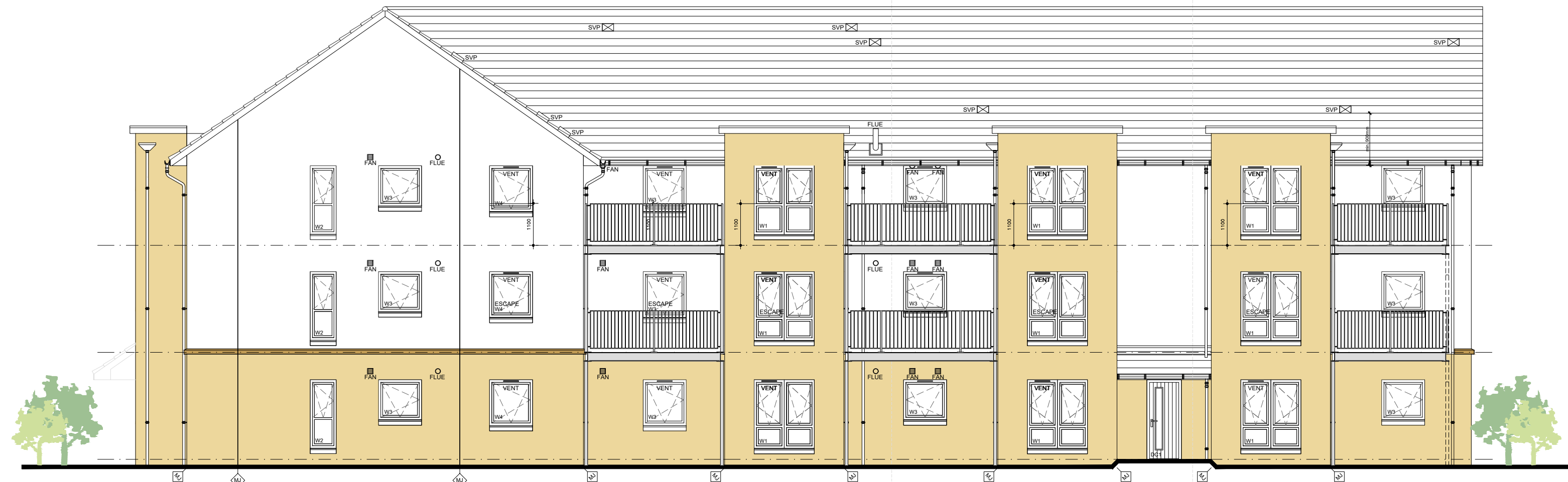
Drawing Title:
**TERRACE 5 - PLOTS 54-56
COMPOSITE FLOOR PLANS
AND ELEVATIONS**

Scale: 1:100@A2	Date: JULY 21
Drawn: AS	Checked: AS

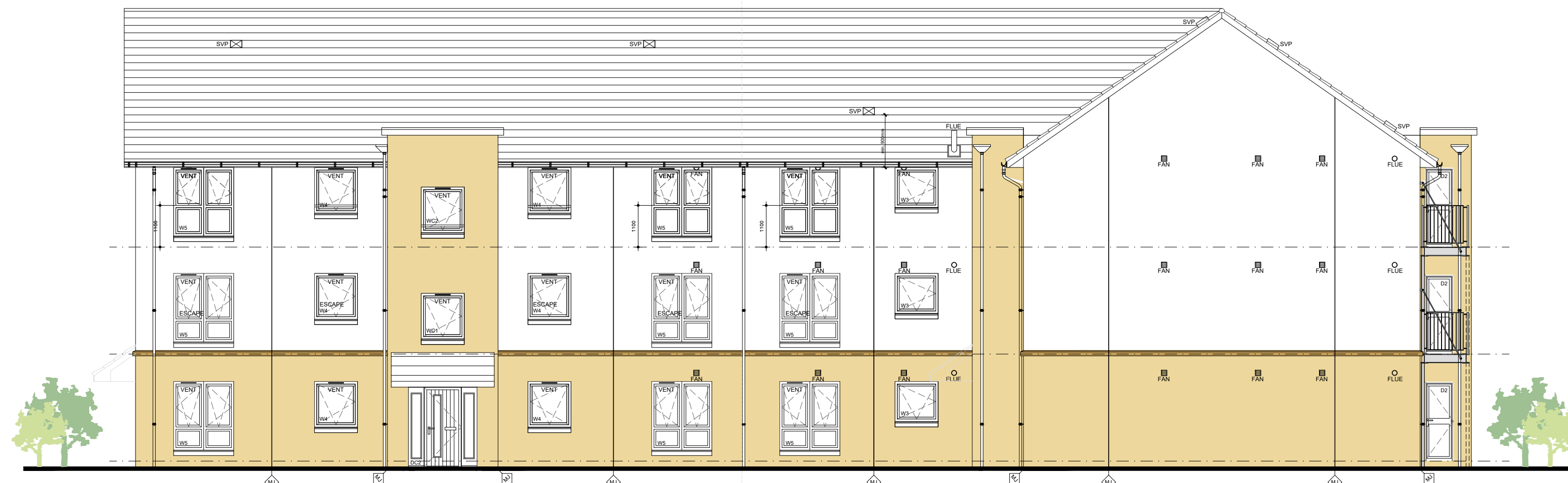
Drawing No. WC7-BLK5-001	Rev: ~
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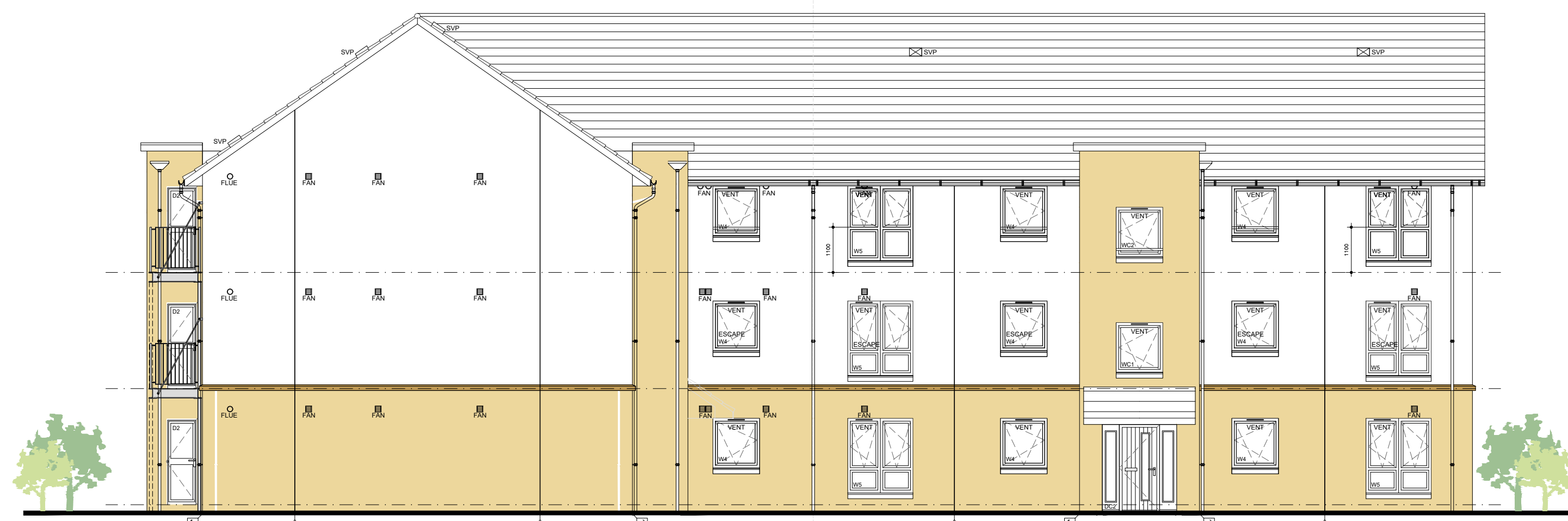
Elevation 1



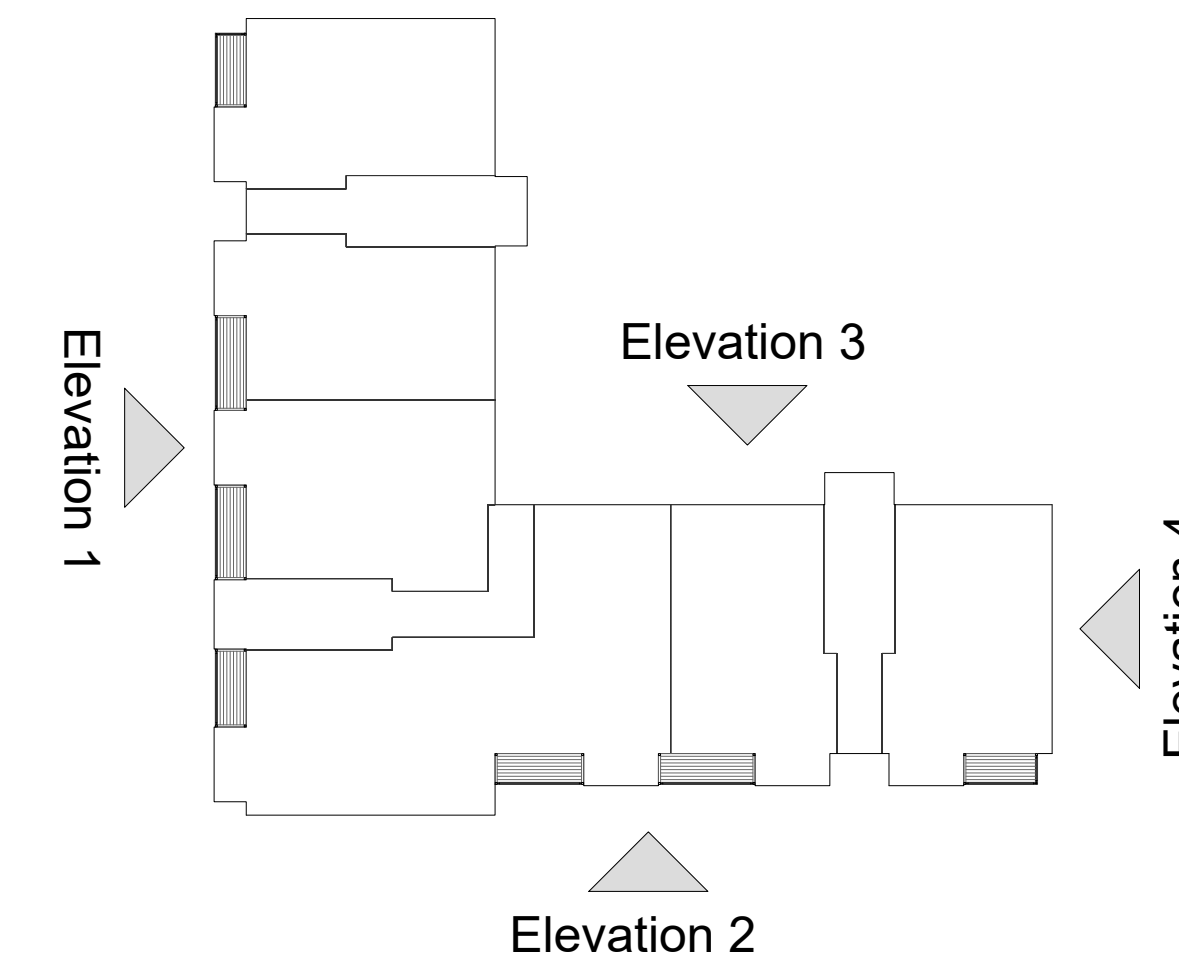
Elevation 2



Elevation 3



Elevation 4



GENERAL NOTES:

- All works to be constructed accordance with the Building (Scotland) Act 2003 and subsequent amendments.
- All works to be carried out in accordance with the Construction, Design and Management Regulations 2015.
- All drainage to be installed and tested to the satisfaction of the Local Authority.
- All electrical work to comply with the latest edition of the IEE Regulations and BS 7671 current edition.
- Gross area of the dwelling is calculated to finished face of external walls including the stair to both ground and first floor plans, but excluding any other voids/mezzanines (where present).
- Drawings to be read in conjunction with all relevant contract drawings, specification and details.
- All foundation and below ground drainage shown are indicative of standard ground conditions. Refer to site investigation report and structural/civil engineers information for individual plot design and specification.

B	Juliet balconies removed. Projecting balconies extended full width at recesses. Precast string course added at 1st Floor.	Mar 22	JM
A	Extract fan termination points reduced.	Nov 21	JM

No.	Revision	Date	By
-----	----------	------	----



Robertson House, Castle Business Park, Stirling FK9 4TZ
 Tel: 01786 431600 Fax: 01786 431650
 Email: info@robertson.co.uk

www.robertsonhomes.co.uk

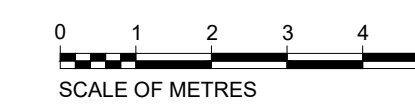
Drawing Title:
ELEVATIONS - BLOCK 1&3

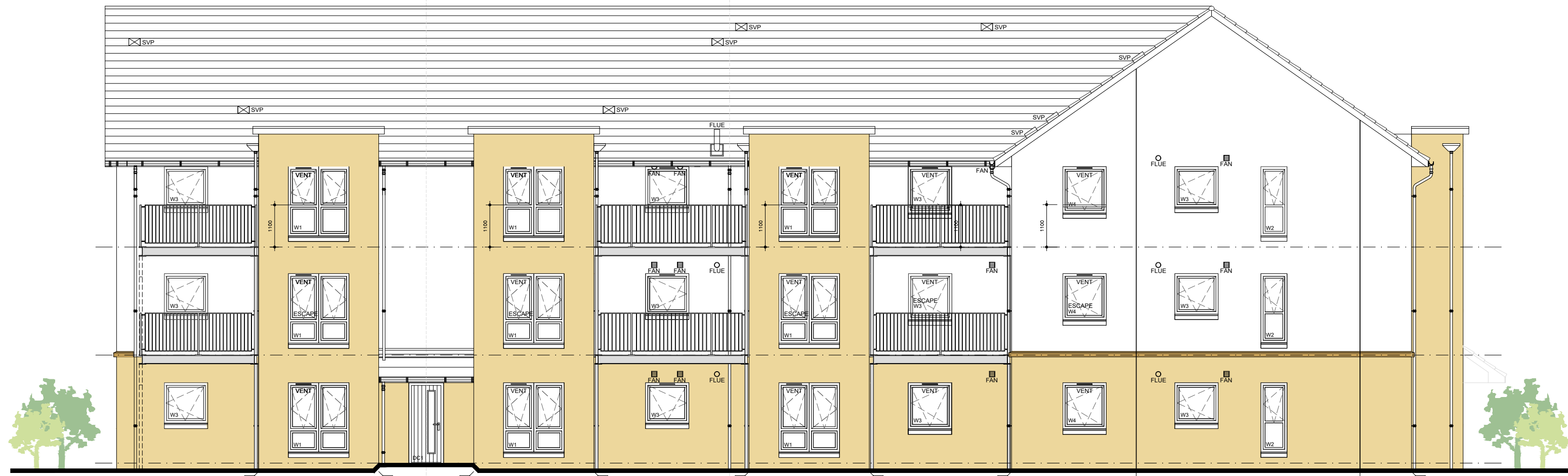
Scale: 1:100@A1	Date: Jul 21	Drawn: GBR
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House Name:
WESTERCRAIGS FLATS

TYPES A, B, C, D & E

Drawing No: WC78/400/001	Rev: B
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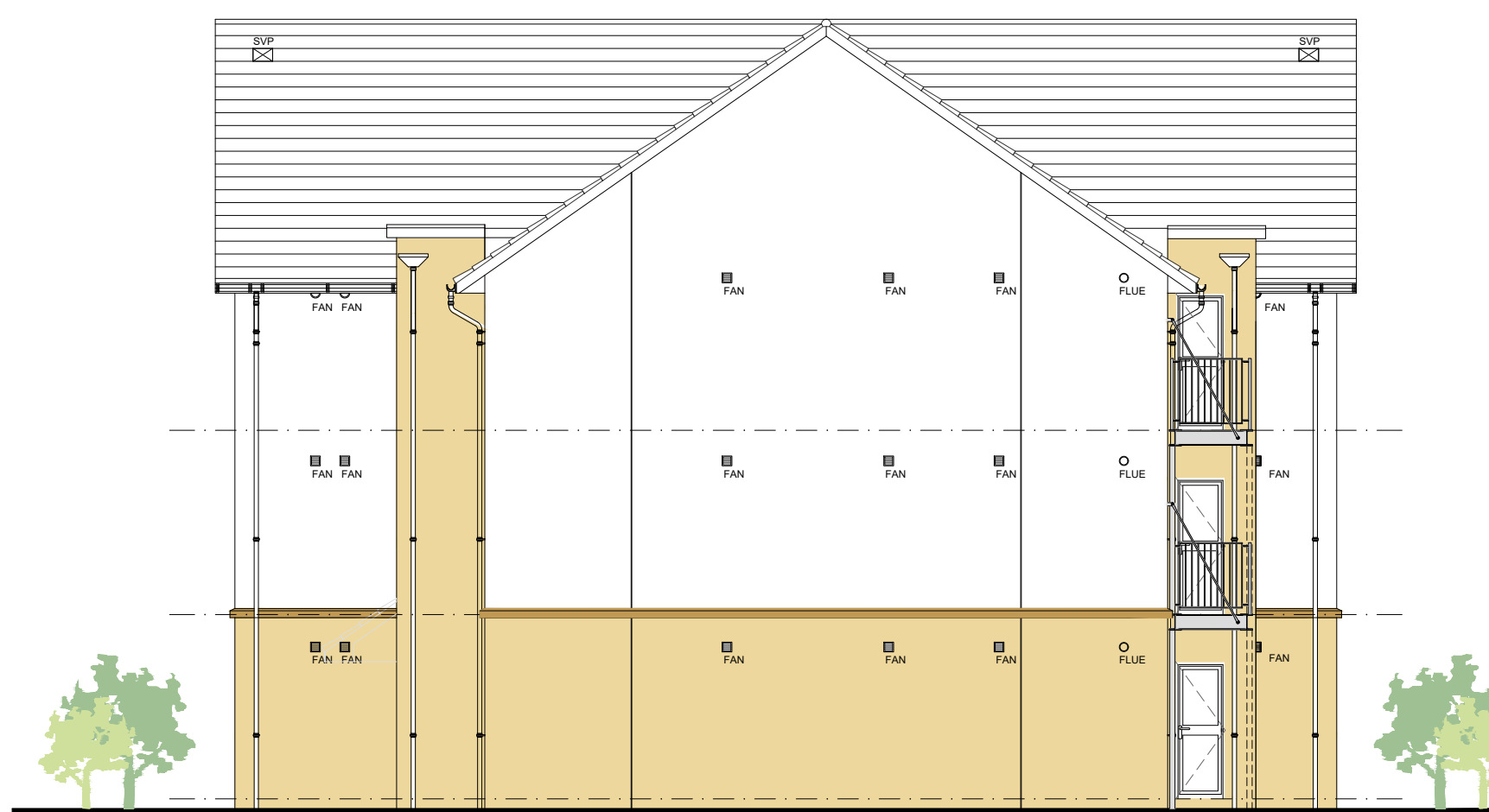




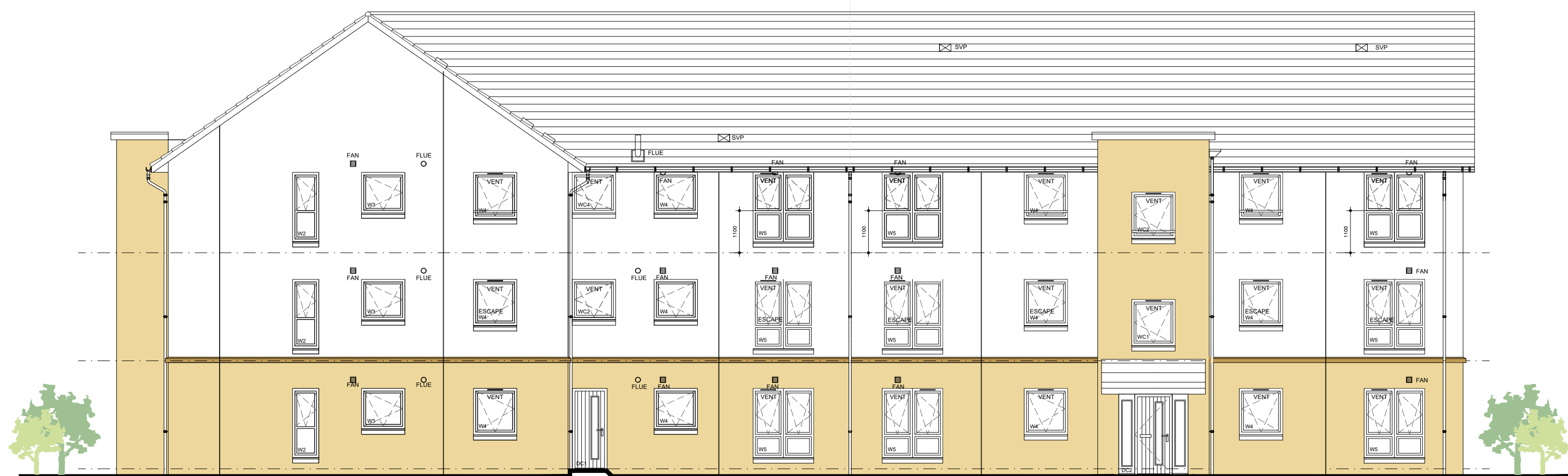
Elevation 1 - to Foresters Way



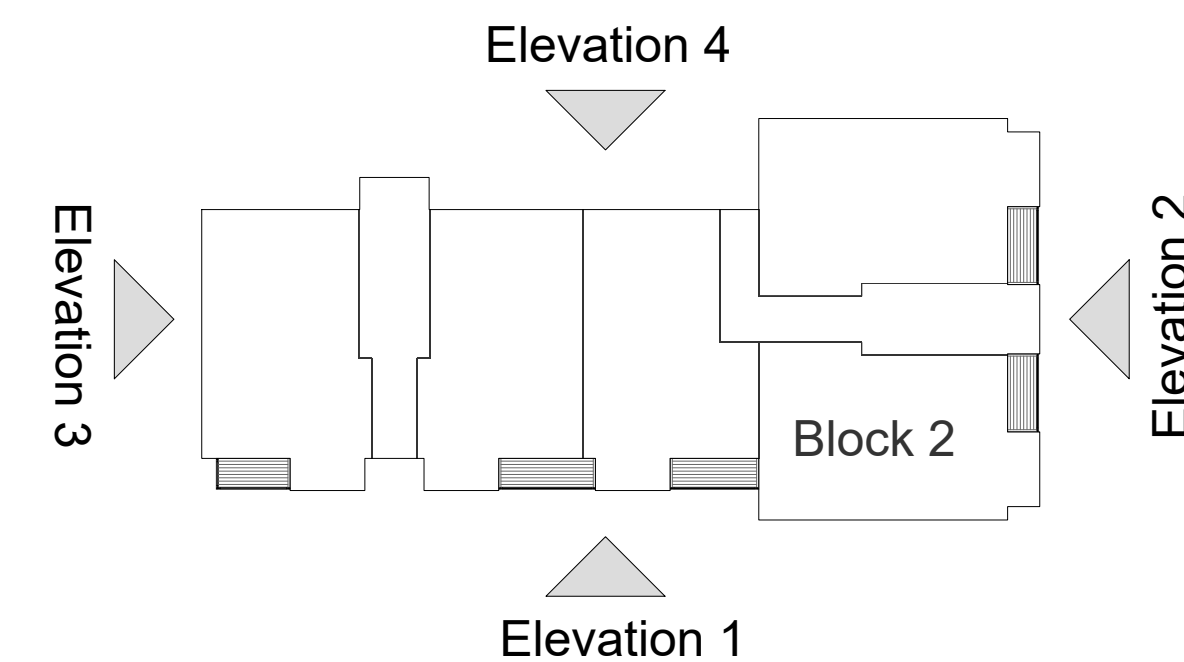
Elevation 2 - to Open Space / Playpark



Elevation 3 - Facing Block 1



Elevation 4 - to Rear Parking Court



GENERAL NOTES:

All works to be constructed accordance with the Building (Scotland) Act 2003 and subsequent amendments.

All works to be carried out in accordance with the Construction, Design and Management Regulations 2015.

All drainage to be installed and tested to the satisfaction of the Local Authority.

All electrical work to comply with the latest edition of the IEE Regulations and BS 7671 current edition.

Gross area of the dwelling is calculated to finished face of external walls including the stair to both ground and first floor plans, but excluding any other voids/mezzanines (where present).

Drawings to be read in conjunction with all relevant contract drawings, specification and details.

All foundation and below ground drainage shown are indicative of standard ground conditions. Refer to site investigation report and structural/civil engineers information for individual plot design and specification.

B	Juliet balconies removed. Projecting balconies extended full width at recesses. Precast string course added at 1st Floor.	Mar 22	JM
A	Extract fan termination points reduced.	Nov 21	JM

No.	Revision	Date	By
-----	----------	------	----



Robertson House, Castle Business Park, Stirling FK9 4TZ
 Tel: 01786 431600 Fax: 01786 431650
 Email: info@robertson.co.uk

www.robertsonhomes.co.uk

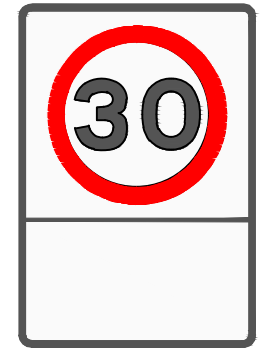
Drawing Title:
ELEVATIONS - BLOCK 2

Scale: 1:100@A1	Date: Jul 21	Drawn: GBR
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House Name:
WESTERCRAIGS FLATS

TYPES A, B, C & D

Drawing No: WC78/400/003	Rev: B
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Scheme Reference: RS1		
Sign Reference	674	
Height	780mm	
Width	600mm	
Area *	0.468sq.m	
Material	Class RA2	
Mount Height	2300	
* Area reduced for rounded corners.		

Scheme Reference: RS2		
Sign Reference	675 A	
Height	870mm	
Width	600mm	
Area *	0.529sq.m	
Material	Class Ref 2 RA2	
Mount Height	2300mm	
* Area reduced for rounded corners.		

POST(S) & FOUNDATIONS			
Mounting Height	2300mm	Bases	Individual
Number	1	Base Width	1250mm
Size	76.1x3.2CHS	Base Length	1250mm
Length	3830mm	Base Depth	600mm
Centres	N/A	Base Vol. o/a	0.94cu.m
Illumination	No	Earth Cover	150mm

POST(S) & FOUNDATIONS			
Mounting Height	2300mm	Bases	Individual
Number	1	Base Width	1250mm
Size	76.1x3.2CHS	Base Length	1250mm
Length	3920mm	Base Depth	600mm
Centres	N/A	Base Vol. o/a	0.94cu.m
Illumination	No	Earth Cover	150mm

Proposed Lining Schedule				
Diagram	Length of Line	Length of Gap	Width of Line	Colour
1003	600	300	200	White
1004	4000	2000	100	White
1008	2000	4000	100	White
1009	600	300	100	White
1023	3750	N/A	N/A	White
1062	1500	N/A	750	White
1032	600	600	50	White

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

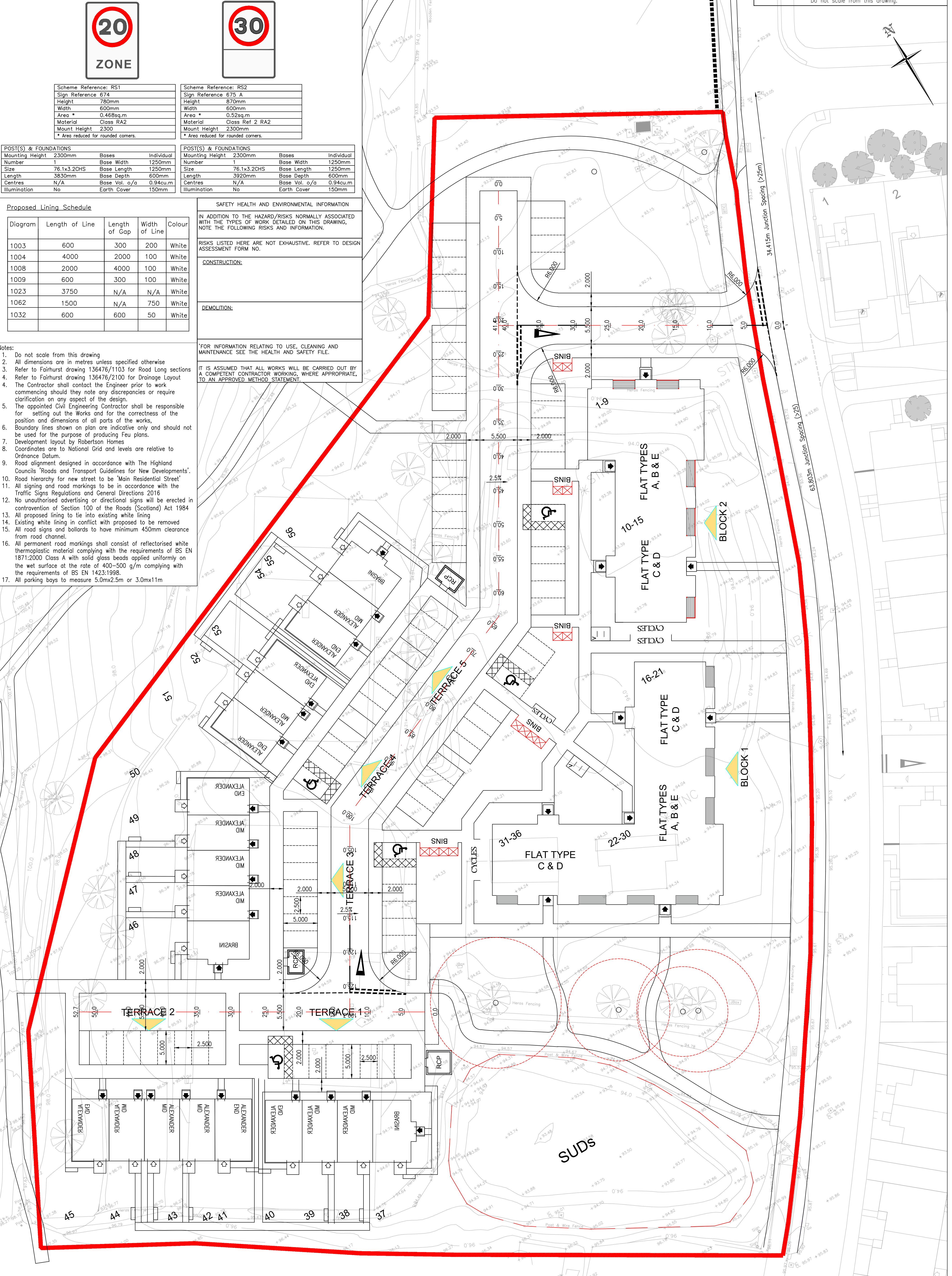
CONSTRUCTION:

DEMOLITION:

*FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

- Notes:**
1. Do not scale from this drawing
 2. All dimensions are in metres unless specified otherwise
 3. Refer to Fairhurst drawing 136476/1103 for Road Long sections
 4. Refer to Fairhurst drawing 136476/2100 for Drainage Layout
 5. The Contractor shall contact the Engineer prior to work commencing should they note any discrepancies or require clarification on any aspect of the design.
 6. The appointed Civil Engineering Contractor shall be responsible for setting out the works and for the correctness of the position and dimensions of all parts of the works.
 7. Boundary lines shown on plan are indicative only and should not be used for the purpose of producing Fea plans.
 8. Development layout by Robertson Homes
 9. Coordinates are to National Grid and levels are relative to Ordnance Datum.
 10. Road alignment designed in accordance with The Highland Councils' Roads and Transport Guidelines for New Developments'.
 11. Road hierarchy for new street to be 'Main Residential Street'
 12. All signing and road markings to be in accordance with the Traffic Signs Regulations and General Directions 2016
 13. No unauthorised advertising or directional signs will be erected in contravention of Section 100 of the Roads (Scotland) Act 1984
 14. All proposed lining to tie into existing white lining
 15. Existing white lining in conflict with proposed to be removed
 16. All road signs and bollards to have minimum 450mm clearance from road channel.
 17. All permanent road markings shall consist of reflectorised white thermoplastic material complying with the requirements of BS EN 1871:2000 Class A with solid glass beads applied uniformly on the wet surface at the rate of 400-500 g/m complying with the requirements of BS EN 1423:1998.
 18. All parking bays to measure 5.0mx2.5m or 3.0mx11m



Rev.	Date	Description	Drawn	Checked	Approved
E	12/04/22	ARCHITECTS LAYOUT AMENDED	SWM	JP	ARM
D	29/03/22	ARCHITECTS LAYOUT REVISED	JP	DE	DE
C	23/09/21	MC03 TEXT ADDED TO LAYOUT & RELOCATED BUS SHELTER ADDED	RMS	JP	DE
B	10/09/21	DRAWING AMENDED TO TENDER	RMS	JP	DE
A	16/07/21	DRAWING UPDATED	RMS	JP	DE

Notes:

Key:

- Site Boundary
- Proposed Road Sign
- Proposed Street Name Plate
- Proposed Tactile Paving



Client: WESTERCRAIGS SITE 7&8

Project Title: ROAD LAYOUT

Scale at A1: 1:250

Drawn: JP

Date: 01/07/21

Drawing No.: 136476/1101

FAIRHURST

Elvie House,
Beechwood Business Park, INVERNESS, IV2 3BW
Tel: 01463 724 544 Fax: 0844 381 4412

Scale at A1: 1:250

Status: For Approval

Drawn: JP

Date: 01/07/21

Checked: DE

Date: 01/07/2021

Approved: DE

Date: 01/07/2021

Revision: E



Scheme Reference: RS1		
Sign Reference	674	
Height	780mm	
Width	600mm	
Area *	0.468sq.m	
Material	Class RA2	
Mount Height	2300	
* Area reduced for rounded corners.		

Scheme Reference: RS2		
Sign Reference	675 A	
Height	870mm	
Width	600mm	
Area *	0.52sq.m	
Material	Class Ref 2 RA2	
Mount Height	2300mm	
* Area reduced for rounded corners.		

POST(S) & FOUNDATIONS		
Mounting Height	Bases	Individual
Number	Base Width	1250mm
Size	Base Length	1250mm
Length	Base Depth	600mm
Centres	Base Vol. o/a	0.94cu.m
Illumination	Earth Cover	150mm

POST(S) & FOUNDATIONS		
Mounting Height	Bases	Individual
Number	Base Width	1250mm
Size	Base Length	1250mm
Length	Base Depth	600mm
Centres	Base Vol. o/a	0.94cu.m
Illumination	Earth Cover	150mm

Proposed Lining Schedule

Diagram	Length of Line	Length of Gap	Width of Line	Colour
1003	600	300	200	White
1004	4000	2000	100	White
1008	2000	4000	100	White
1009	600	300	100	White
1023	3750	N/A	N/A	White
1062	1500	N/A	750	White
1032	600	600	50	White

Notes:

- Do not scale from this drawing
- All dimensions are in metres unless specified otherwise
- Refer to Fairhurst drawing 136476/1503 for Road Long sections
- Refer to Fairhurst drawing 136476/2500 for Drainage Layout
- The Contractor shall contact the Engineer prior to work commencing should they note any discrepancies or require clarification on any aspect of the design.
- The appointed Civil Engineering Contractor shall be responsible for setting out the Works and for the correctness of the position and dimensions of all parts of the works,
- Boundary lines shown on plan are indicative only and should not be used for the purpose of producing Fev plans.
- Development layout by Robertson Homes
- Coordinates are to National Grid and levels are relative to Ordnance Datum.
- Road alignment designed in accordance with The Highland Councils 'Roads and Transport Guidelines for New Developments'.
- Road hierarchy for new street to be 'Main Residential Street'
- All signing and road markings to be in accordance with the Traffic Signs Regulations and General Directions 2016
- No unauthorised advertising or directional signs will be erected in contravention of Section 100 of the Roads (Scotland) Act 1984
- All proposed lining to tie into existing white lining
- Existing white lining in conflict with proposed to be removed
- All road signs and bollards to have minimum 450mm clearance from road channel.
- All permanent road markings shall consist of reflectorised white thermoplastic material complying with the requirements of BS EN 1871:2000 Class A with solid glass beads applied uniformly on the wet surface at the rate of 400-500 g/m complying with the requirements of BS EN 1423:1998.
- All parking bays to measure 5.0m x 2.5m or 3.0m x 11m

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION:

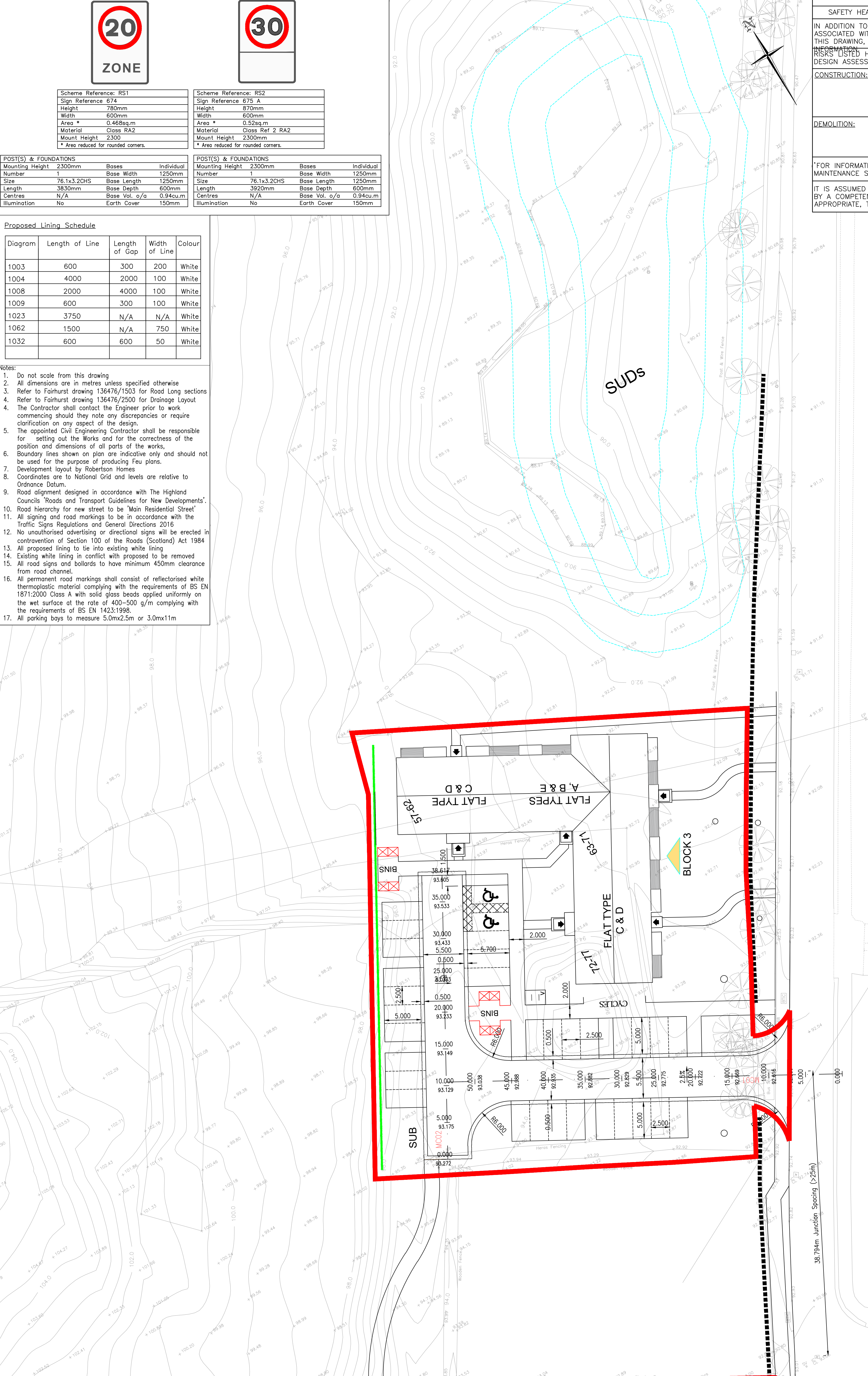
RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION:

DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.



Rev.	Date	Description	Drawn	Checked	Approved
E	12/04/22	ARCHITECTS LAYOUT AMENDED	SWM	JP	ARM
D	04/04/22	AMENDED TO SUIT UPDATED ARCHITECTS LAYOUT	JP	DE	DE
C	12/10/21	BUS STOP RELOCATION NOTE ADDED	RMS	JP	DE
B	10/09/21	DRAWING STATUS AMENDED TO TENDER	SWM	JP	DE
A	20/07/21	DRAWING UPDATED	RMS	JP	DE

- Notes:
- All dimensions are in metres unless specified otherwise
 - Do not scale from this drawing

Key:
 Site Boundary

Client:

Project Title:
WESTERCRAIGS SITE 7&8
 ROAD LAYOUT

FAIRHURST

Elvie House,
 Beechwood Business Park, INVERNESS, IV2 3BW
 Tel: 01463 724 544 Fax: 0844 381 4412

Scale at A1: 1:250
 Status: For Approval

Drawn: JP
 Checked: DE
 Date: 01/07/21

Approved: DE
 Date: 01/07/21

Drawing No: 136476/1501
 Revision: E

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

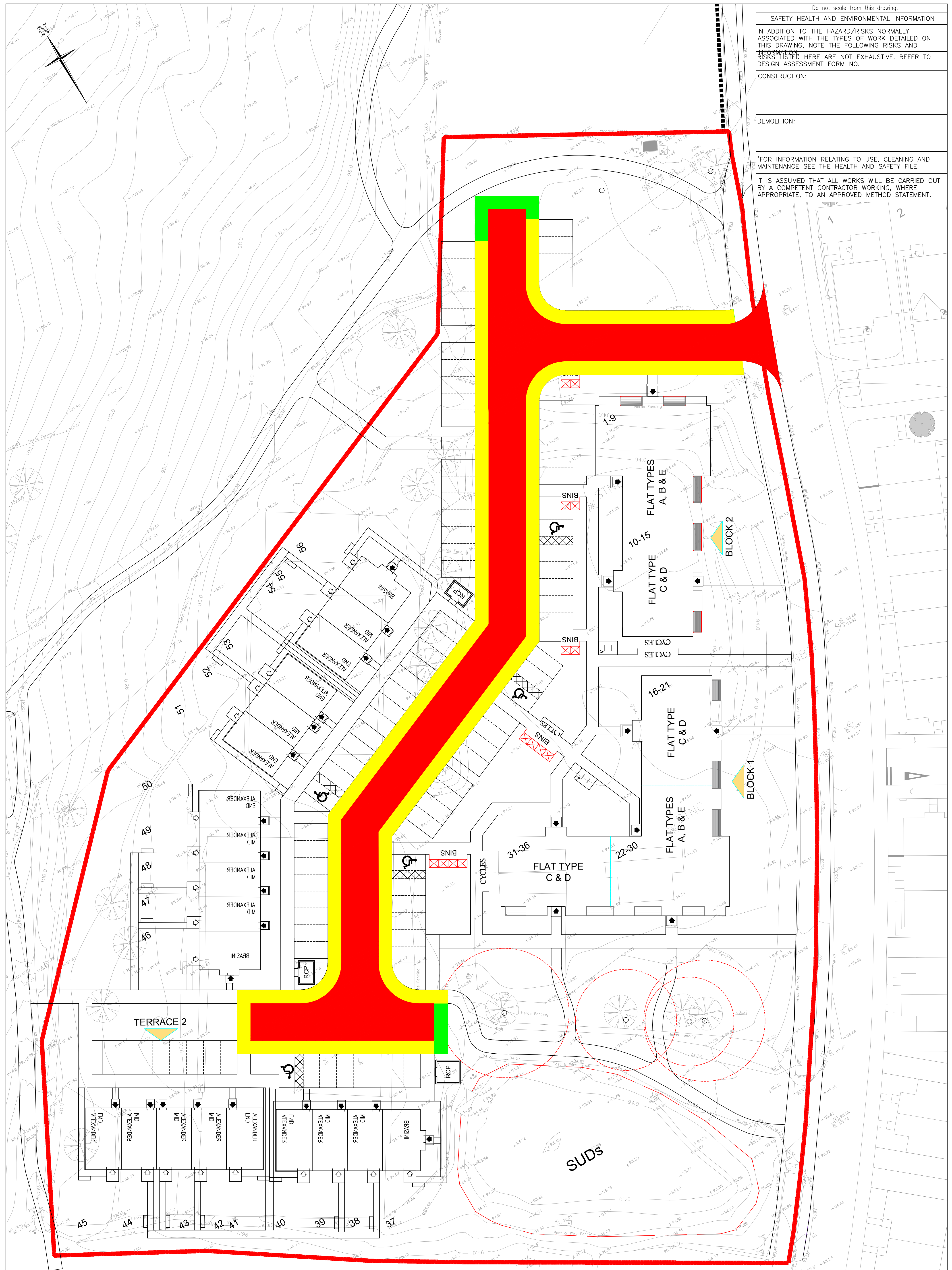
IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION:
RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION:

DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.



- Notes:
- All dimensions are in metres unless specified otherwise
 - Do not scale from this drawing

- Key:
- Roads to be Adopted
 - Footpaths to be Adopted
 - Verges to be Adopted

Client:

Project Title:
**WESTERCRAIGS
SITE 7&8**

Drawing Title:
ADOPTION AREAS

FAIRHURST

Elvie House,
Beechwood Business Park, INVERNESS, IV2 3BW
Tel: 01463 724 544 Fax: 0844 381 4412

Scale at A1:
1:250

Status:
For Approval

Drawn: JP	Checked: DE	Approved: DE
Date: 01/07/21	Date: 01/07/21	Date: 01/07/21
Drawing No: 136476/1102	Revision: D	

Rev.	Date	Description	Drawn	Checked	Approved
D	12/04/22	ARCHITECTS LAYOUT AMENDED	SWM	JP	ARM
C	29/03/22	ARCHITECTS LAYOUT AMENDED	JP	DE	DE
B	16/02/22	SERVICE STRIP ADDED	JP	DE	DE
A	29/07/21	ARCHITECTS LAYOUT UPDATED, AREAS AMENDED TO SUIT	RMS	JP	DE

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

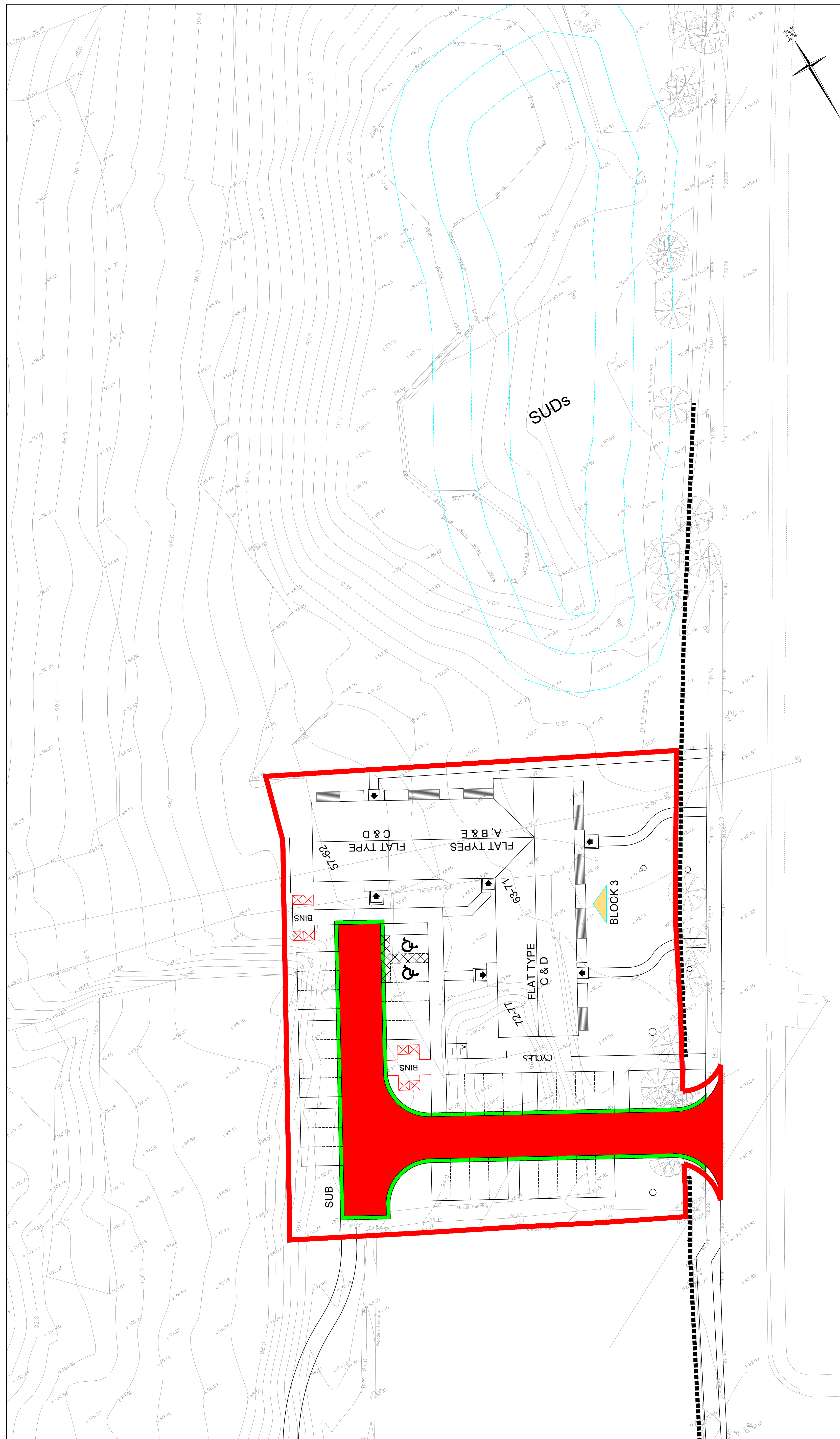
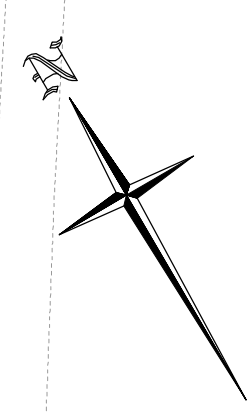
IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION:
RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION:

DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.



- Notes:**
- All dimensions are in metres unless specified otherwise
 - Do not scale from this drawing

- Key:**
- Roads to be Adopted
 - Verge to be Adopted



Project Title:
**WESTERCRAIGS
SITE 7&8**

Drawing Title:
ADOPTION AREAS



Scale at A1: 1:250	Status: For Approval
Drawn: JP	Checked: DE
Date: 01/07/21	Date: 01/07/21
Approved: DE	Date: 01/07/21
Drawing No: 136476/1502	Revision: C

Rev.	Date	Description	Drawn	Checked	Approved
C	12/04/22	ARCHITECTS LAYOUT AMENDED	SWM	JP	ARM
B	04/04/22	ARCHITECTS LAYOUT REVISED	JP	DE	DE
A	29/07/21	ARCHITECTS LAYOUT AMENDED	RMS	JP	DE

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

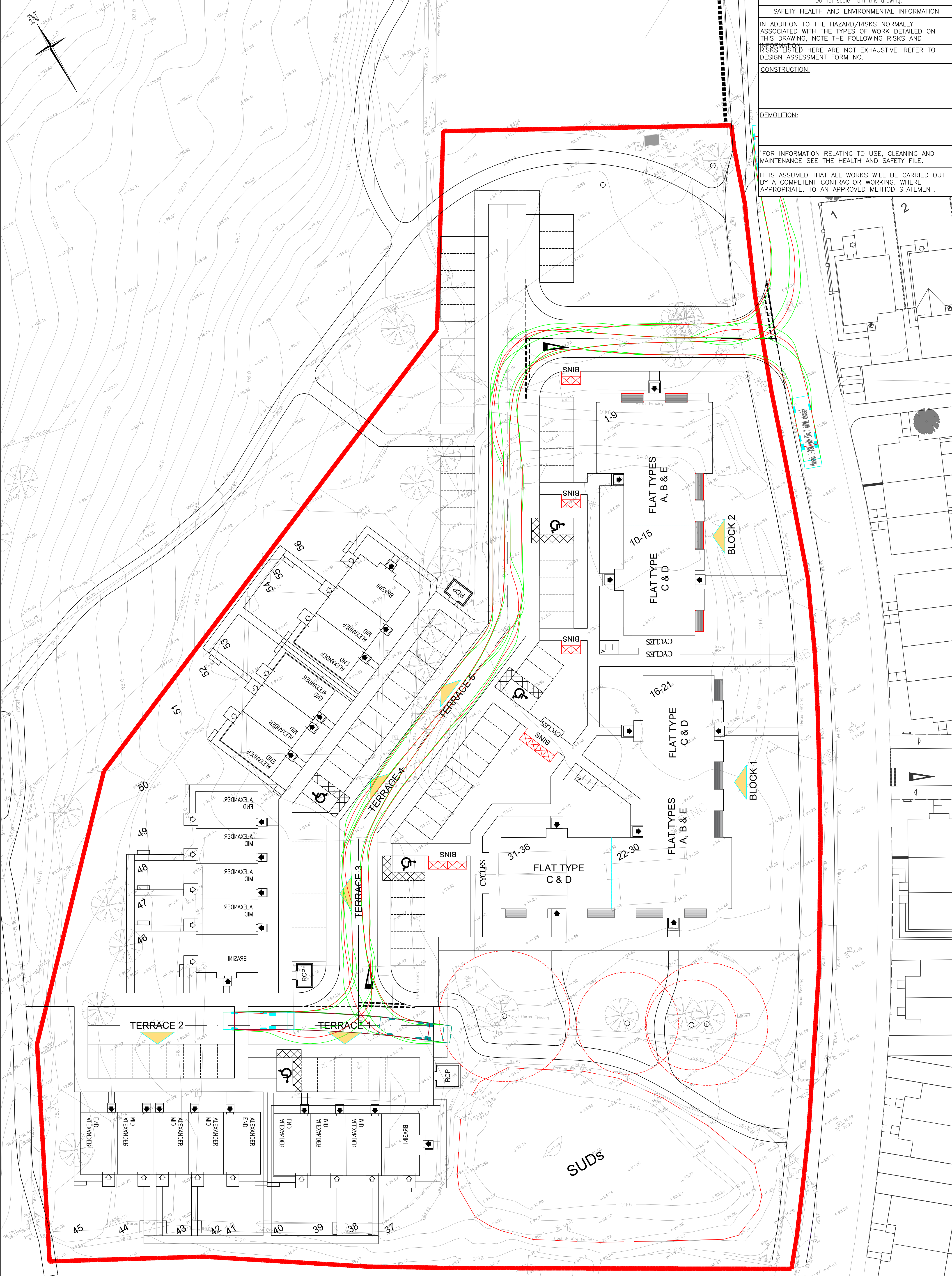
IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION:
RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION:

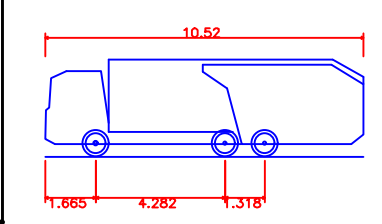
DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

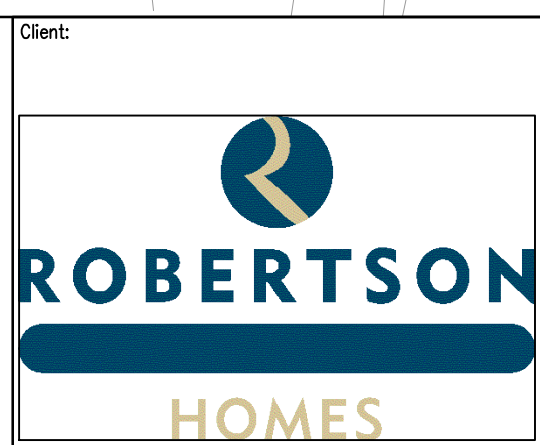
IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.



- Notes:
- 1. All dimensions are in metres unless specified otherwise
- 2. Do not scale from this drawing



Phoenix 2-23W (with Elite 2 6x2ML chassis)
 Overall Length 10.520m
 Overall Width 2.550m
 Overall Height 2.551m
 Min. Body Ground Clearance 1.000m
 Track Width 2.550m
 Lock to lock time 1.000s
 Kerb to Kerb Turning Radius 10.250m



Client:
**WESTERCRAIGS
 SITE 7&8**

Drawing Title:
AUTO TACKS



Elvie House,
 Beechwood Business Park, INVERNESS, IV2 3BW
 Tel: 01463 724 544 Fax: 0844 381 4412

Scale at A1: 1:250 Status: For Approval

Drawn: JP Checked: DE Approved: DE

Date: 01/07/21 Date: 01/07/21 Date: 01/07/21

Drawing No: 136476/1105 Revision: C

Rev.	Date	Description	Drawn	Checked	Approved
B	29/03/22	ARCHITECTS LAYOUT AMENDED	JP	DE	DE
A	16/02/22	ARCHITECTS LAYOUT UPDATED, TRACKS AMENDED	JP	DE	DE

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

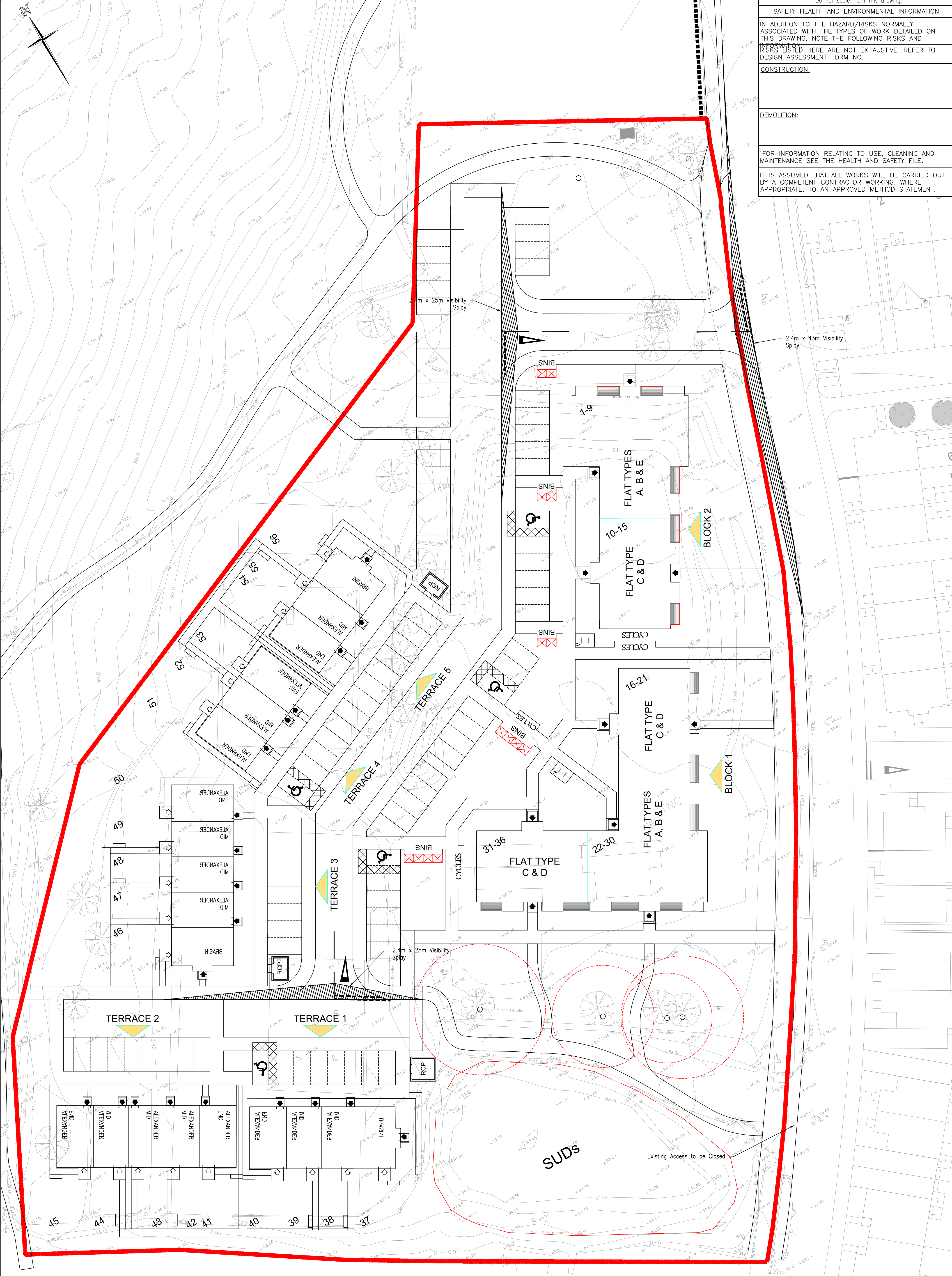
IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION:
RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION:

DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

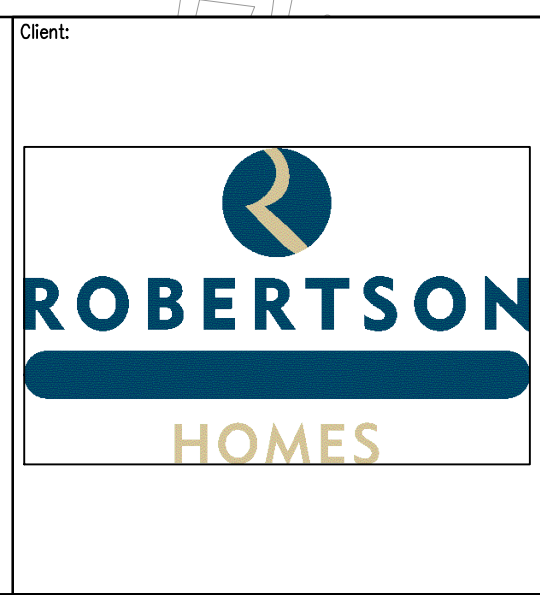
IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.



Rev.	Date	Description	Drawn	Checked	Approved
D	12/04/22	ARCHITECTS LAYOUT AMENDED	SWM	JP	ARM
C	29/03/22	ARCHITECTS LAYOUT UPDATED	JP	DE	DE
B	16/02/22	ARCHITECTS LAYOUT UPDATED. VISI SPLAYS AMENDED AS PER THC COMMENTS	JP	DE	DE
A	12/10/21	TREES REMOVED FROM WITHIN VIS-SPLAY	RMS	JP	DE

Notes:
 1. All dimensions are in metres unless specified otherwise
 2. Do not scale from this drawing

Key:
 — Site Boundary



Client: WESTERCRAIGS SITE 7&8
 Project Title: WESTERCRAIGS SITE 7&8
 Drawing Title: VISIBILITY SPLAYS

FAIRHURST
 Etive House,
 Beechwood Business Park, INVERNESS, IV2 3BW
 Tel: 01463 724 544 Fax: 0844 381 4412

Scale at A1: 1:250
 Status: For Approval

Drawn: RMS
 Checked: DE
 Approved: DE

Date: 16/07/21
 Date: 16/07/21
 Date: 16/07/21

Drawing No.: 136476/1110
 Revision: D

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION:

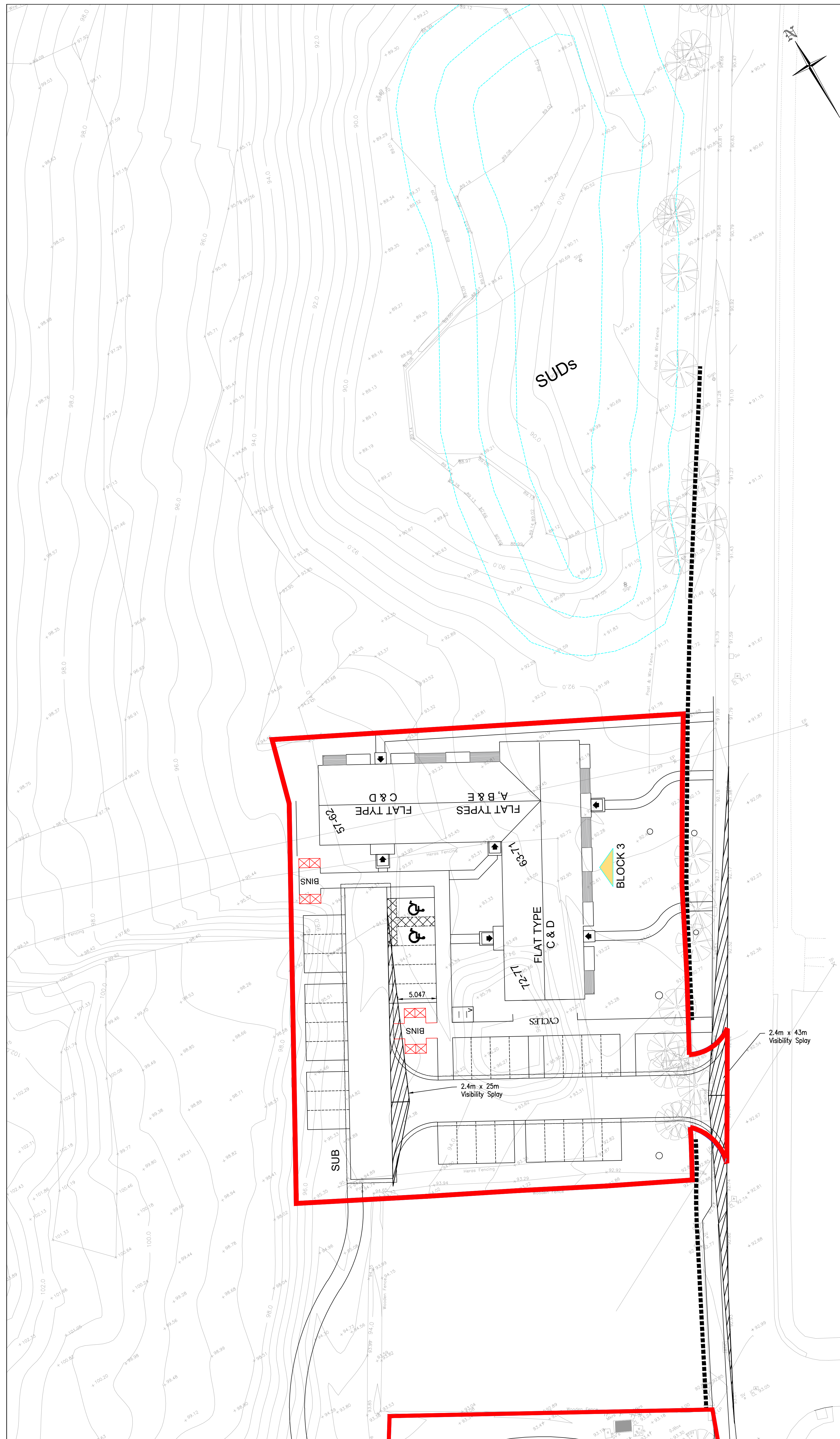
RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION:

DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.



- Notes:**
- All dimensions are in metres unless specified otherwise
 - Do not scale from this drawing



Client: WESTERCRAIGS SITE 7&8

Project Title: VISIBILITY SPLAY

Rev.	Date	Description	Drawn	Checked	Approved
D	12/04/22	ARCHITECTS LAYOUT AMENDED	SWM	JP	ARM
C	04/04/22	ARCHITECTS LAYOUT UPDATED	JP	DE	DE
B	16/02/22	ARCHITECTS LAYOUT UPDATED. VISI SPLAY AMENDED AS PER THC COMMENTS	JP	DE	DE
A	27/10/21	ARCHITECTS LAYOUT AMENDED	RMS	DE	DE

FAIRHURST

Elvie House,
Beechwood Business Park, INVERNESS, IV2 3BW
Tel: 01463 724 544 Fax: 0844 381 4412

Scale at A1: 1:250	Status: For Approval
Drawn: RMS	Checked: DE
Date: 20/07/21	Date: 13/09/2021
Approved: DE	Date: 13/09/2021
Drawing No: 136476/1510	Revision: D

SITE 7 & 8, WESTERCRAIGS

PL Ref:
21/05305/MSC

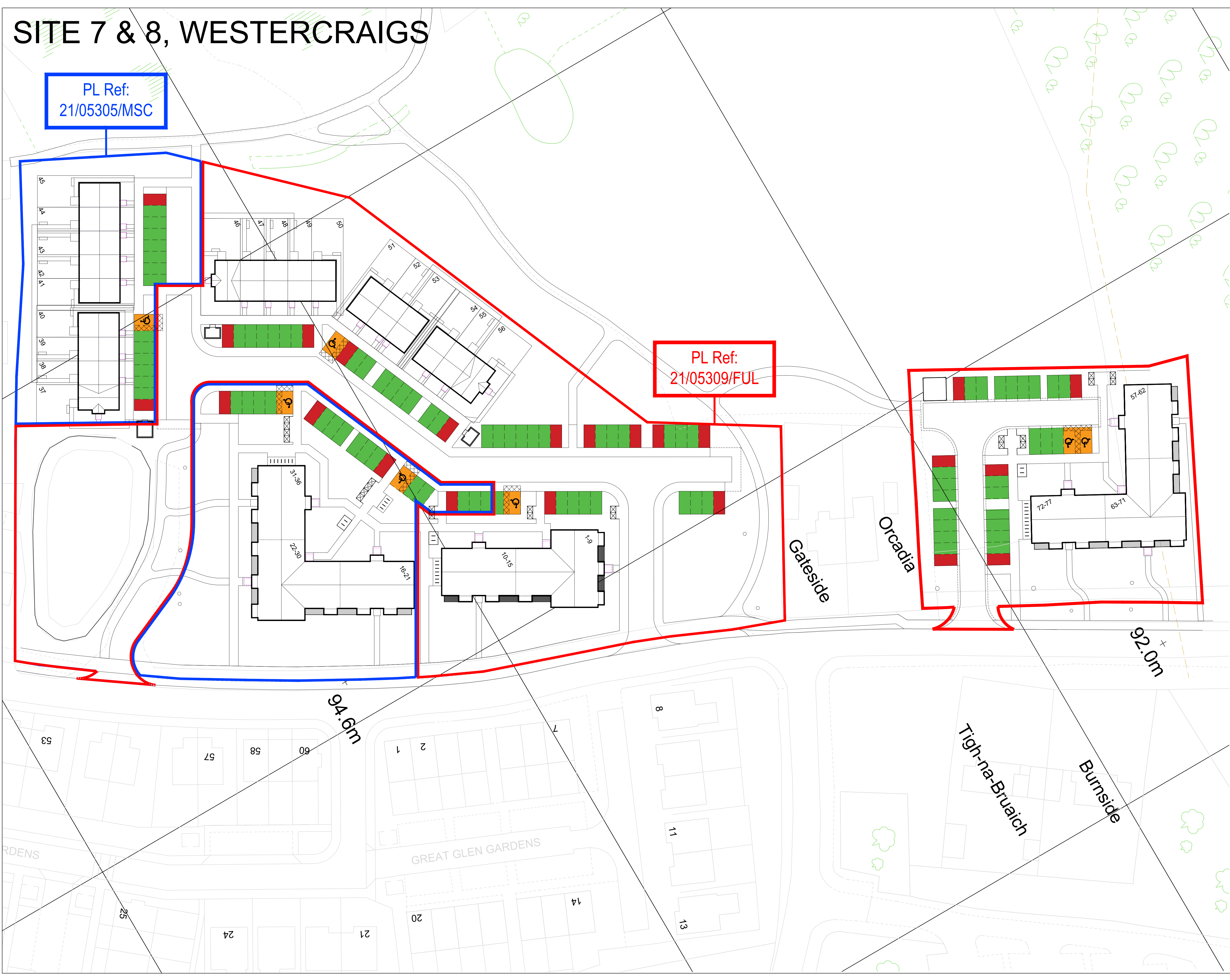
PL Ref:
21/05309/FUL



- Legend**
- Application boundary
 - Ownership boundary
 - Communal residents parking
 - Communal disabled parking
 - Communal visitor parking

Site 7
 Required: 36 flats + 20 houses = 67.2 + 16.8 visitor = 84no
 Provided: 84no
 5% disabled (inclusive) = 4.2no
 Provided: 5no

Site 8
 Required: 21 flats = 25.2 + 6.3 visitor = 31.5no
 Provided: 32no
 5% disabled (inclusive) = 1.7no
 Provided: 2no



No.	Revision	Date	By
D	Various updates to suit R&TP comments.	Apr 22	AM
C	Various updates to suit R&TP comments.	Apr 22	AM
B	Information revised to suit site layout	Mar 22	AM
A	Information revised to suit site layout	Mar 22	AM

ROBERTSON HOMES

Robertson House, Castle Business Park, Stirling FK9 4TZ
 Tel: 01786 431650 Fax: 01786 431650
 Email: info@robertson.co.uk
 www.robertsonhomes.co.uk

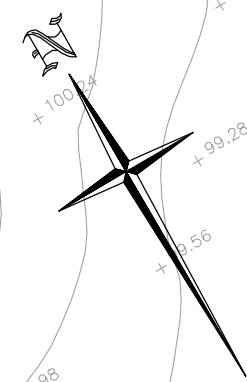
Project Title:
**SITE 7 & 8
WESTERCRAIGS
INVERNESS**

Drawing Title:
**CAR PARKING APPRAISAL
SITE PLAN**

Scale at A1: NTS	Date: FEB 2022
Drawn: AM	Checked: JM

Drawing No. 1107-8 - CAR-02	Rev. D
---------------------------------------	-----------

- Key:**
- Proposed Surface Water System
 - Proposed Foul Water System
 - Proposed Surface Water Manhole
 - Proposed Foul Water Manhole
 - Proposed Porous Paving
 - Proposed Surface Disconnection Chambers
 - Proposed Foul Disconnection Chambers
 - Proposed Surface Inspection Chambers
 - Proposed Foul Inspection Chambers
 - Existing Culvert
 - Existing Catchpit
 - Existing SWS
 - Existing SW MH
 - Existing FWS
 - Existing FW MH



Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION:

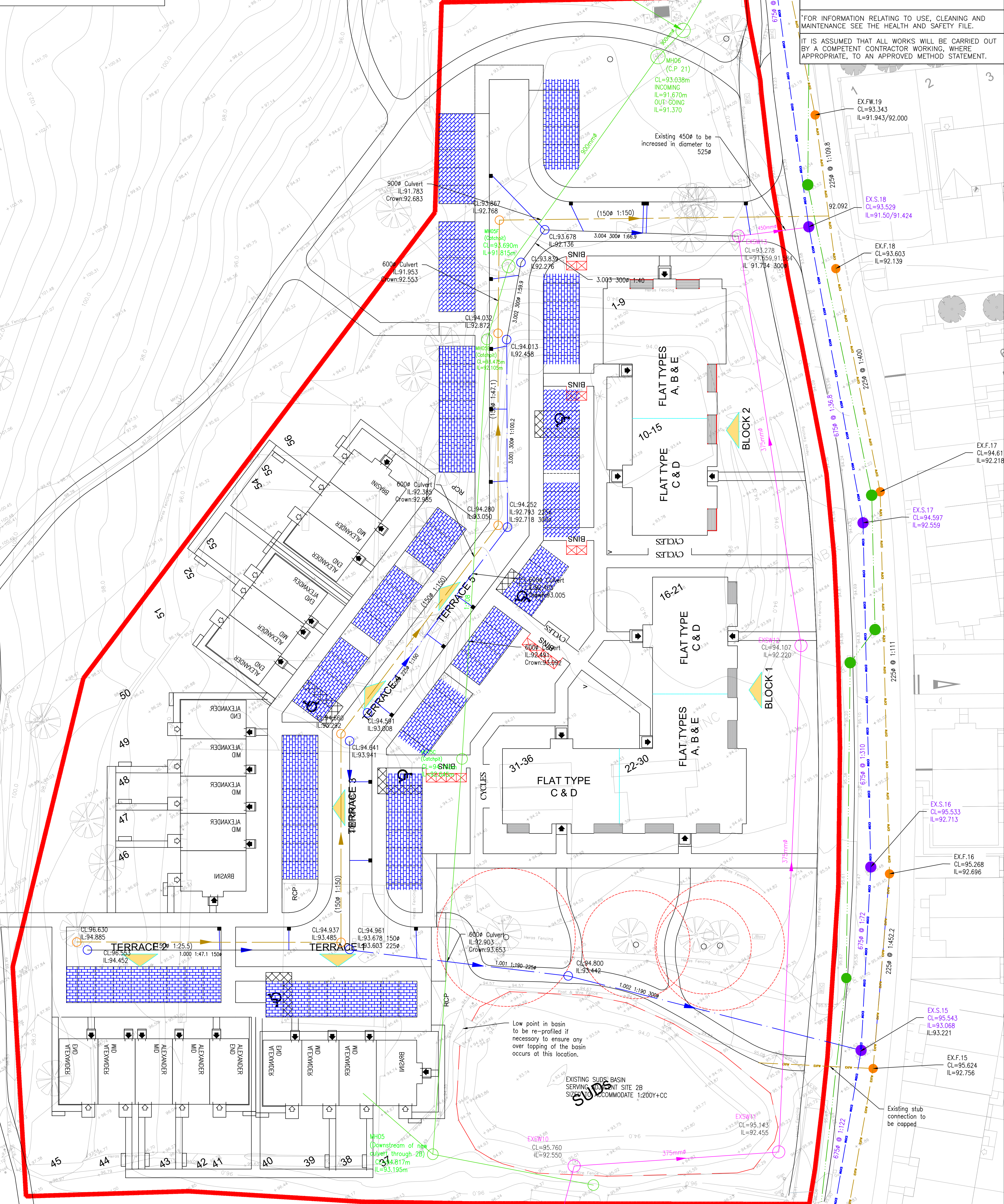
RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION:

DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.



Rev.	Date	Description	Drawn	Checked	Approved
H	12/04/22	ARCHITECTS LAYOUT AMENDED	SWM	JP	ARM
G	31/03/22	DRAINAGE AMENDED TO SUIT REVISED ARCHITECTS LAYOUT	JP	DE	DE
F	09/03/22	DISCONNECTING CHAMBERS MOVED TO HEEL KERB	JP	DE	DE
E	16/02/22	ARCHITECTS LAYOUT AMENDED, DRAINAGE COVER LEVELS AMENDED	JP	DE	DE
D	14/12/21	DRAINAGE LAYOUT UPDATED AS PER CLIENTS COMMENTS, CULVERT IL AND CROWN TEXT ERROR AMENDED	RMS	JP	DE
C	24/09/21	DRAINAGE LAYOUT UPDATED TO REFLECT AMENDED ROAD LEVELS AND AVOID CLASH WITH EXISTING CULVERT	RMS	JP	DE
B	12/09/21	DRAWING STATUS AMENDED TO TENDER	SWM	JP	DE
A	03/08/21	UPDATED FOR REVISED ARCHITECTS LAYOUT	RMS	JP	DE

Notes:
 1. All dimensions are in metres unless specified otherwise
 2. Do not scale from this drawing

Client:

Project Title:
WESTERCRAIGS SITE 7&8

Drawing Title:
DRAINAGE LAYOUT PLAN

FAIRHURST

Elvie House,
 Beechwood Business Park, INVERNESS, IV2 3BW
 Tel: 01463 724 544 Fax: 0844 381 4412

Scale at A1: 1:250
 Status: For Approval

Drawn: RMS
 Checked: JP
 Date: 01/07/2021

Approved: DE
 Date: 01/07/2021

Drawing No.: 136476/2100
 Revision: H

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION:
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CONSTRUCTION:

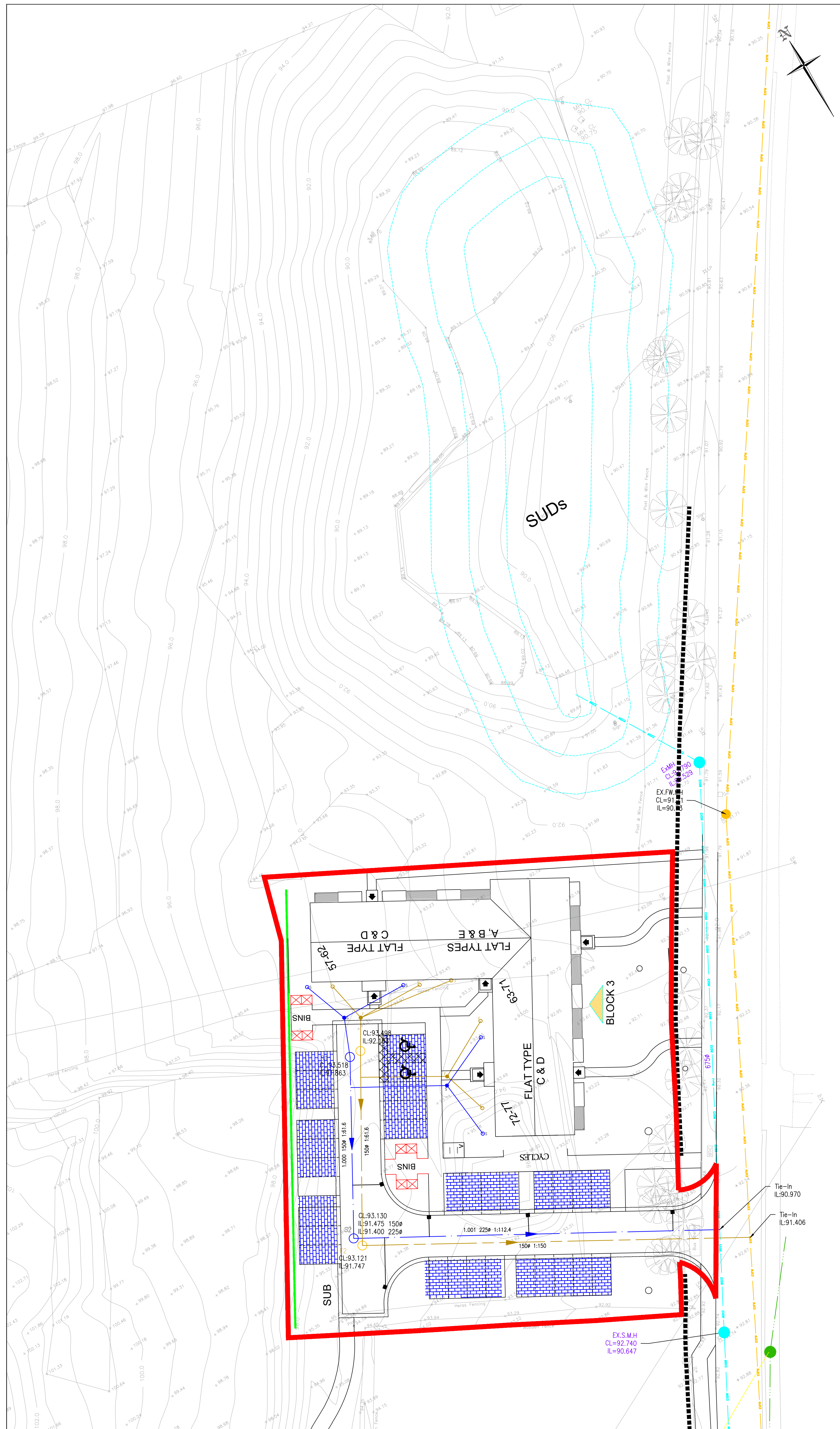
DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

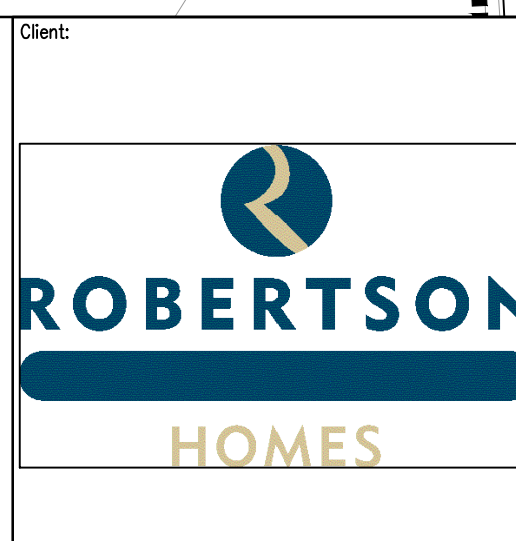
IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

Key:

- Proposed Surface Water System
- Proposed Foul Water System
- Proposed Foul Water Manhole
- Proposed Surface Water Manhole
- Proposed Surface Inspection Chambers
- Proposed Foul Inspection Chambers
- Proposed Surface Disconnection Chambers
- Proposed Foul Disconnection Chambers
- Proposed Porous Paving
- Existing Culvert
- Existing Catchpit
- Existing SWS
- Existing SW MH
- Existing FWS
- Existing FW MH



Notes:
 1. All dimensions are in metres unless specified otherwise
 2. Do not scale from this drawing



Project Title:
**WESTERCRAIGS
 SITE 7&8**
 Drawing Title:
DRAINAGE LAYOUT PLAN

FAIRHURST	
Elvie House, Beechwood Business Park, INVERNESS, IV2 3BW Tel: 01463 724 544 Fax: 0844 381 4412	
Scale at A1: 1:250	Status: For Approval
Drawn: RMS	Checked: JP
Date: 01/07/2021	Date: 01/07/2021
Approved: DE	Date: 01/07/2021
Drawing No: 136476/2500	Revision: G

Rev.	Date	Description	Drawn	Checked	Approved
G	12/04/22	ARCHITECTS LAYOUT AMENDED	SWM	JP	ARM
F	05/04/22	UPDATED IN LINE WITH REVISED ARCHITECTS LAYOUT	JP	DE	DE
E	09/03/22	UPDATED IN LINE WITH SCOTTISH WATER COMMENTS	JP	DE	DE
D	16/02/22	ARCHITECTS LAYOUT AMENDED, FFL RAISED.	JP	DE	DE
C	19/01/22	DRAINAGE LAYOUT AMENDED IN LINE WITH REVISED ARCHITECTS LAYOUT	RMS	JP	DE
B	11/10/21	EXISTING DRAINAGE COLOURS AMENDED	RMS	JP	DE
A	06/07/21	LAYOUT AMENDED DRAWING STATUS AMENDED TO TENDER	RMS	JP	DE

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SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

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CONSTRUCTION:

DEMOLITION:

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Rev.	Date	Description	Drawn	Checked	Approved
E	12/04/22	ARCHITECTS LAYOUT AMENDED	SWM	JP	ARM
D	31/03/22	UPDATED TO REFLECT NEW ARCHITACTS LAYOUT	JP	DE	DE
C	09/03/22	UPDATED IN LINE WITH THIC FLOOD TEAM COMMENTS	JP	DE	DE
B	07/03/22	ARCHITECTS LAYOUT UPDATED	JP	DE	DE
A	03/08/21	ARCHITECTS LAYOUT UPDATED	RMS	JP	DE

- Notes:**
- All dimensions are in metres unless specified otherwise
 - Do not scale from this drawing

Key:
 - Flow Arrow

Client:

Project Title:
WESTERCRAIGS SITE 7&8

Drawing Title:
EXCEEDANCE FLOWS

FAIRHURST

Elvie House,
 Beechwood Business Park, INVERNESS, IV2 3BW
 Tel: 01463 724 544 Fax: 0844 381 4412

Scale at A1:
 1:250

Status:
For Approval

Drawn:
 JP

Checked:
 JP

Date:
 01/07/2021

Approved:
 DE

Date:
 01/07/2021

Drawing No.:
 136476/2101

Revision:
 E

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

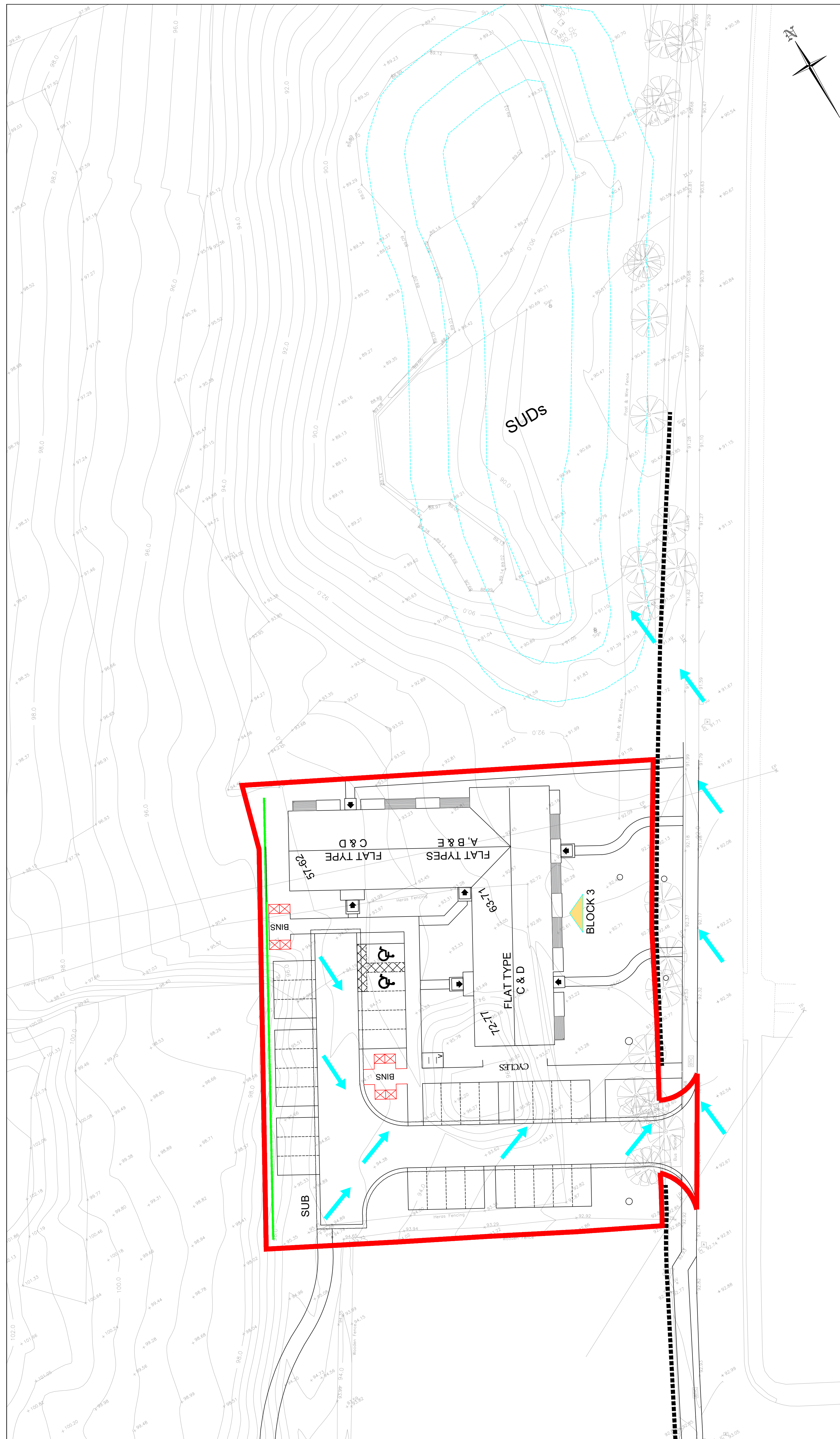
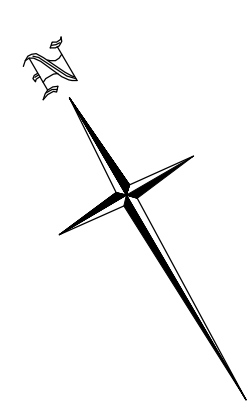
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CONSTRUCTION:


DEMOLITION:

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- Notes:
- All dimensions are in metres unless specified otherwise
 - Do not scale from this drawing

Key:
 - Flow Arrow



Project Title:
**WESTERCRAIGS
 SITE 7&8**

Drawing Title:
EXCEEDANCE FLOWS



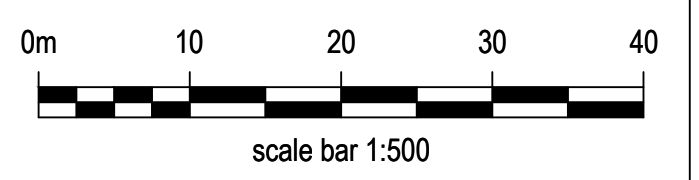
Scale at A1: 1:250		Status: For Approval	
Drawn: JP	Checked: JP	Approved: DE	Date: 01/07/2021
Date: 01/07/21	Date: 01/07/2021	Date: 01/07/2021	Revision: C
Drawing No: 136476/2501			

Rev.	Date	Description	Drawn	Checked	Approved
C	12/04/22	ARCHITECTS LAYOUT AMENDED	SWM	JP	ARM
B	05/04/22	ARCHITECTS LAYOUT REVISED	JP	DE	DE
A	09/03/22	ARCHITECTS LAYOUT AMENDED	JP	DE	DE

SITE 7 & 8, WESTERCRAIGS

PL Ref:
21/05305/MSC

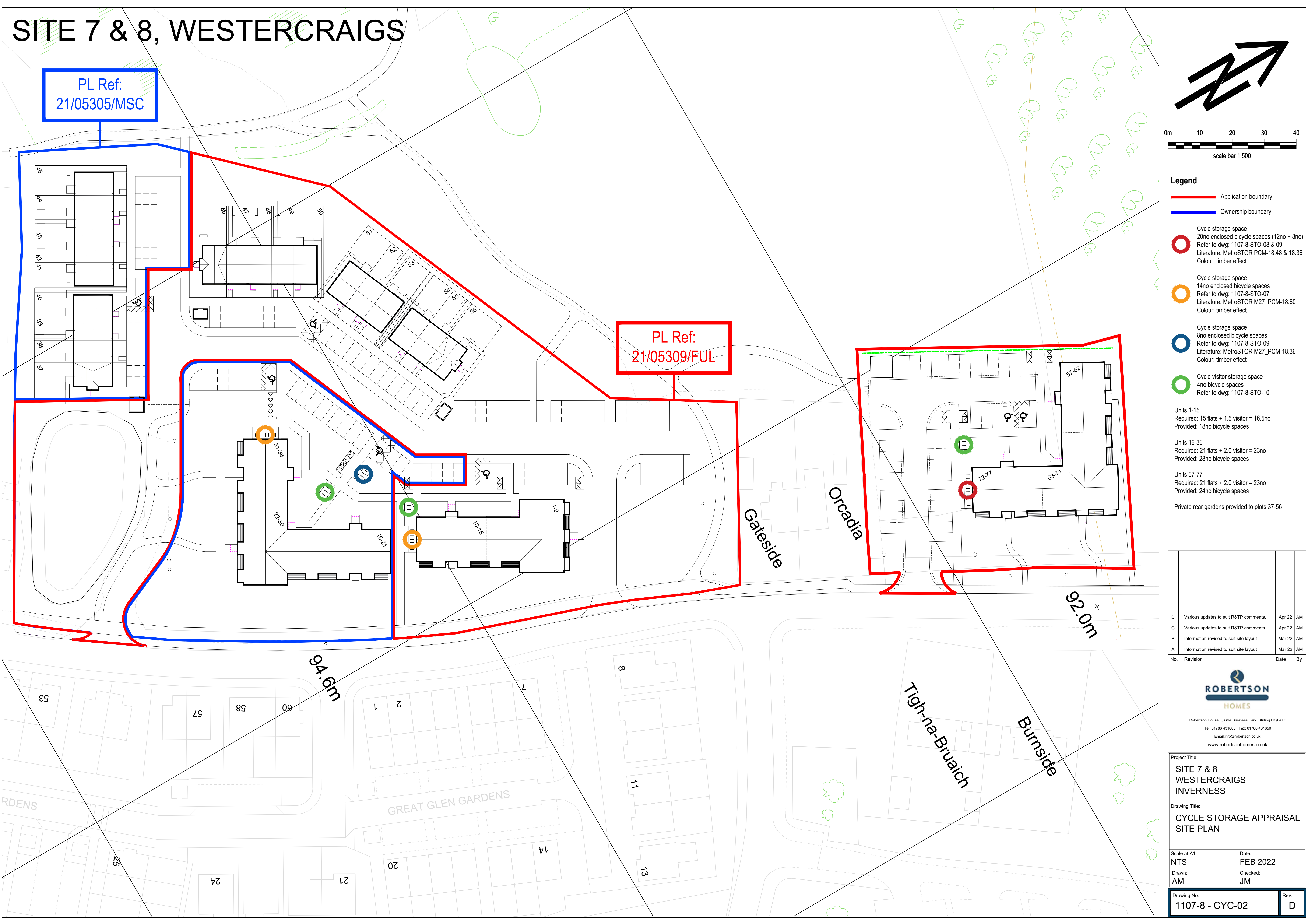
PL Ref:
21/05309/FUL



Legend

- Application boundary
- Ownership boundary
- Cycle storage space
20no enclosed bicycle spaces (12no + 8no)
Refer to dwg: 1107-8-STO-08 & 09
Literature: MetroSTOR PCM-18.48 & 18.36
Colour: timber effect
- Cycle storage space
14no enclosed bicycle spaces
Refer to dwg: 1107-8-STO-07
Literature: MetroSTOR M27_PCM-18.60
Colour: timber effect
- Cycle storage space
8no enclosed bicycle spaces
Refer to dwg: 1107-8-STO-09
Literature: MetroSTOR M27_PCM-18.36
Colour: timber effect
- Cycle visitor storage space
4no bicycle spaces
Refer to dwg: 1107-8-STO-10

- Units 1-15
Required: 15 flats + 1.5 visitor = 16.5no
Provided: 18no bicycle spaces
- Units 16-36
Required: 21 flats + 2.0 visitor = 23no
Provided: 28no bicycle spaces
- Units 57-77
Required: 21 flats + 2.0 visitor = 23no
Provided: 24no bicycle spaces
- Private rear gardens provided to plots 37-56



No.	Revision	Date	By
D	Various updates to suit R&TP comments.	Apr 22	AM
C	Various updates to suit R&TP comments.	Apr 22	AM
B	Information revised to suit site layout	Mar 22	AM
A	Information revised to suit site layout	Mar 22	AM

ROBERTSON HOMES

Robertson House, Castle Business Park, Stirling FK9 4TZ
Tel: 01786 431650 Fax: 01786 431650
Email: info@robertson.co.uk
www.robertsonhomes.co.uk

Project Title:
**SITE 7 & 8
WESTERCRAIGS
INVERNESS**

Drawing Title:
**CYCLE STORAGE APPRAISAL
SITE PLAN**

Scale at A1: NTS	Date: FEB 2022
Drawn: AM	Checked: JM

Drawing No. 1107-8 - CYC-02	Rev. D
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SITE 7 & 8, WESTERCRAIGS

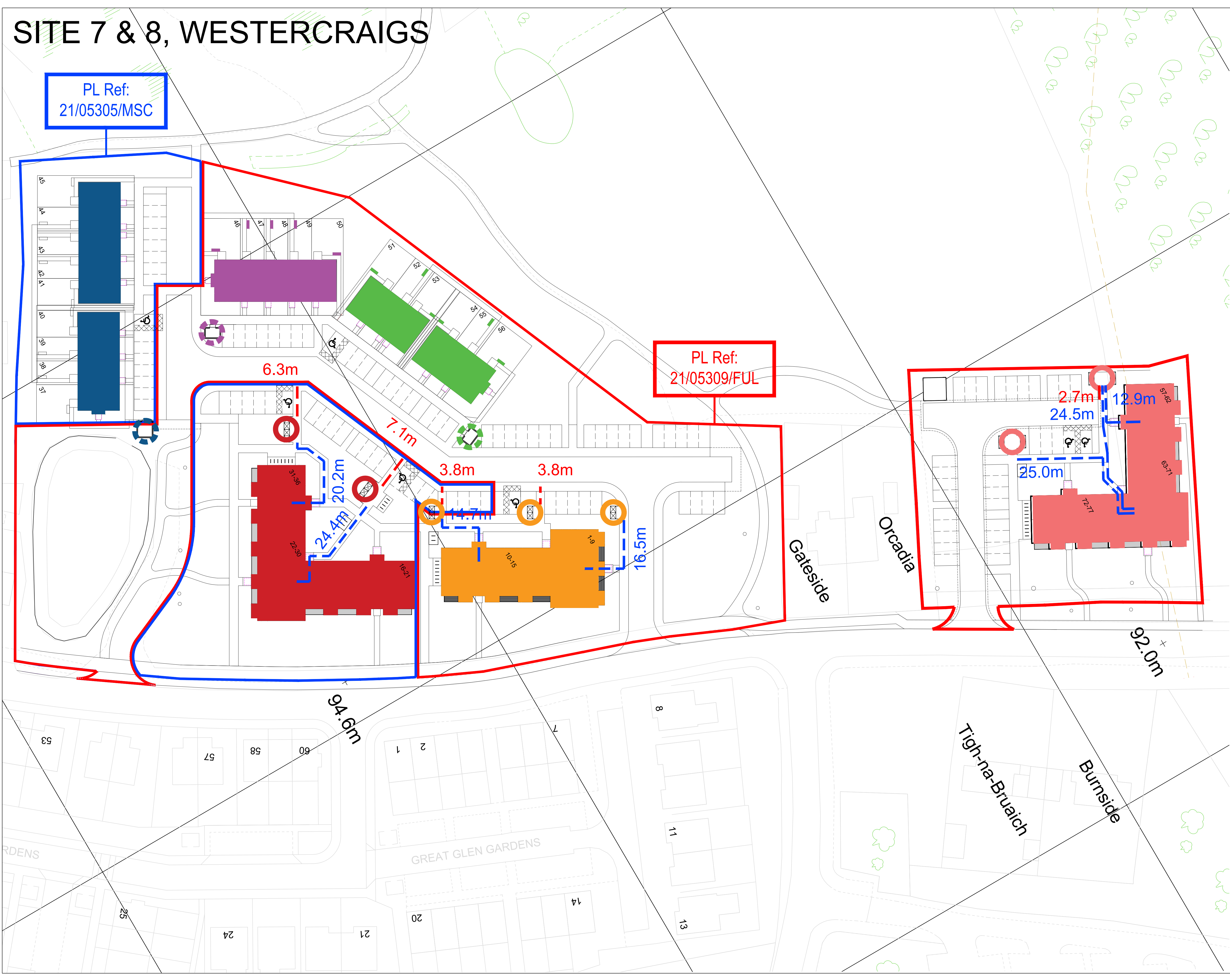
PL Ref:
21/05305/MSC

PL Ref:
21/05309/FUL



Legend

- Application boundary
 - Ownership boundary
 - - - Refuse collection distance
 - - - Waste carry distance
 - Bin store / refuse collect point 1-15 (15no)
Required: 3 sets of 2x1100L bins (6no)
Provided: 3 sets of 2x1100L bins (6no)
Refer to dwg: 1107-8-STO-03
Literature: MetroSTOR M06_PBMT-2
Colour: timber effect
 - Bin store / refuse collect point 16-36 (21no)
Required: 4 sets of 2x1100L bins (8no)
Provided: 4 sets of 2x1100L bins (8no)
Refer to dwg: 1107-8-STO-01
Literature: MetroSTOR M06_PBMT-4
Colour: timber effect
 - ⊙ Refuse collection point 37-45 (9no)
Required: Space for 9no 240L bins
Provided: Space for 10no 240L bins
Refer to dwg: 1107-8-STO-04
 - ⊙ Refuse collection point 46-50 (5no)
Required: Space for 5no 240L bins
Provided: Space for 6no 240L bins
Refer to dwg: 1107-8-STO-05
 - ⊙ Refuse collection point 51-56 (6no)
Required: Space for 6no 240L bins
Provided: Space for 6no 240L bins
Refer to dwg: 1107-8-STO-05
 - Bin store 57-77 (21no)
Required: 4 sets of 2x1100L bins (8no)
Provided: 4 sets of 2x1100L bins (8no)
Refer to dwg: 1107-8-STO-03
Literature: MetroSTOR M06_PBMT-2
Colour: timber effect
- The private rear garden areas to plots 37-56 include a paved area to store 3no 240 litre bins.



No.	Revision	Date	By
D	Various updates to suit R&TP comments.	Apr 22	AM
C	Various updates to suit R&TP comments.	Apr 22	AM
B	Information revised to suit site layout	Mar 22	AM
A	Information revised to suit site layout	Mar 22	AM

ROBERTSON HOMES

Robertson House, Castle Business Park, Stirling FK9 4TZ
Tel: 01786 431650 Fax: 01786 431650
Email: info@robertson.co.uk
www.robertsonhomes.co.uk

Project Title:
**SITE 7 & 8
WESTERCRAIGS
INVERNESS**

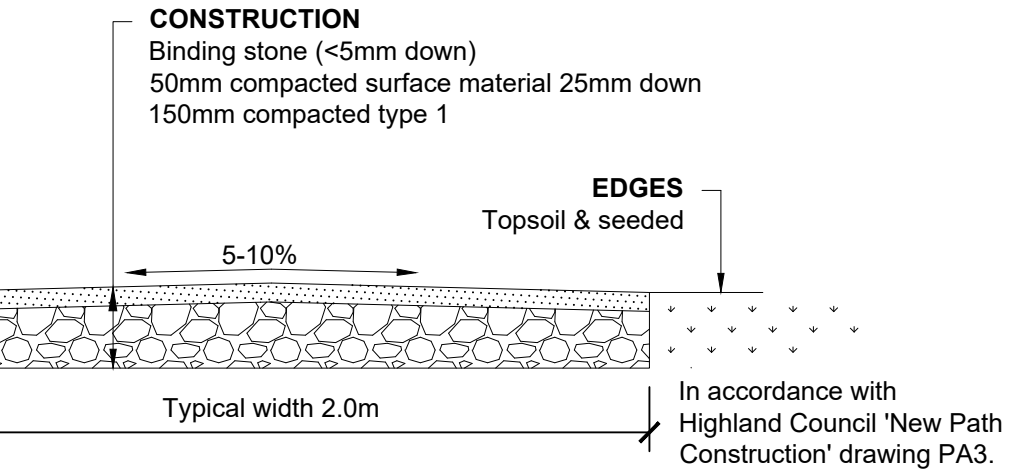
Drawing Title:
**WASTE STRATEGY
SITE PLAN**

Scale at A1: NTS	Date: FEB 2022
Drawn: AM	Checked: JM

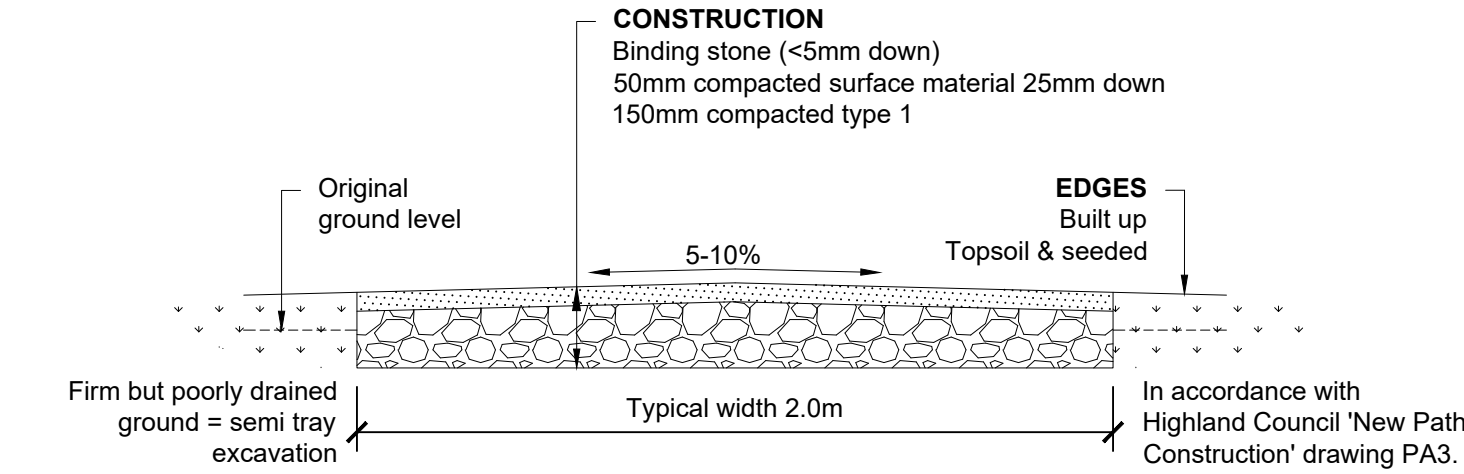
Drawing No. 1107-8 - BIN-02	Rev. D
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SITE 7 & 8, WESTERCRAIGS

PL Ref:
21/05305/MSC

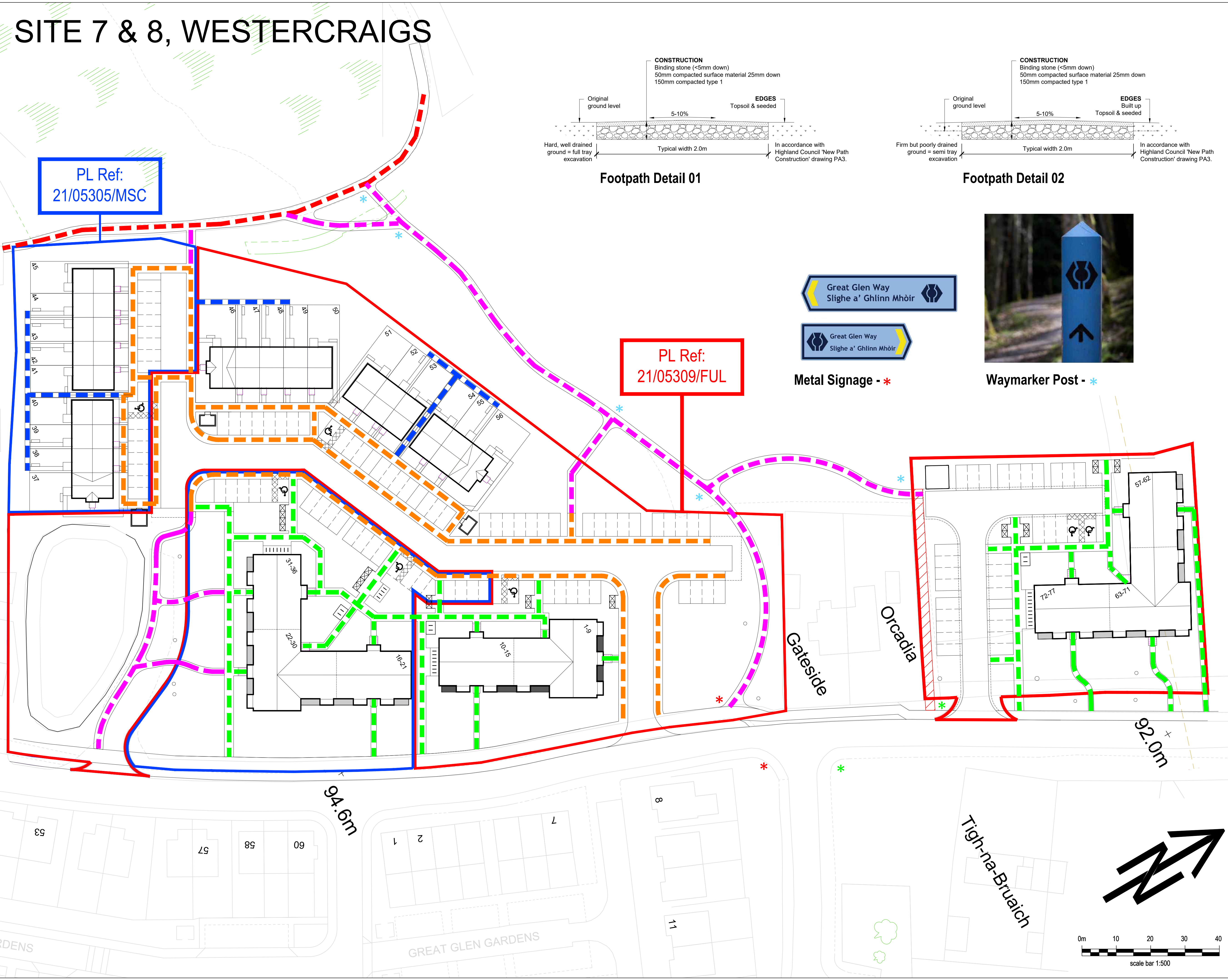


Footpath Detail 01



Footpath Detail 02

- Legend**
- Existing Great Glen Way (Gravel finish)
 - Internal Resident Footpath Network (Tarmac finish)
 - Footpath Network Serving Flats (Tarmac finish)
 - Footpath Serving Rear of Houses (Tarmac finish)
 - Recreational Footpath Network (Gravel finish - Footpath Detail 01/02)
 - Existing / temporary Great Glen Way footpath upgraded during construction works as per Footpath Detail 01/02 to ensure an acceptable standard is provided. Upgrade work to the existing route to commence prior to site start with public access maintained until the recreational footpath route is complete within Site 7.



PL Ref:
21/05309/FUL



Metal Signage - *



Waymarker Post - *

- * Existing Way Finding Signage for Great Glen Way associated with the existing temporary route. Signage to be retained until the new Recreational footpath route is complete within Site 7 and the path can be safely diverted.
- * Proposed directional metal plate way finding signage for Great Glen Way. Signs & Waymarkers to be designed and manufactured in accordance with Great Glen Interpretation Style Guide.
- * Proposed directional timber Waymarker Posts for Great Glen Way. Signs & Waymarkers to be designed and manufactured in accordance with Great Glen Interpretation Style Guide.

Existing great glen way footpath finished in gravel to the west of the development.

New foot path connections from the development to the great glen way are proposed to the west of the development, subject to agreement with the highland council outwith the redline boundary of the site. Proposed footpaths are to be constructed as per Footpath Detail 01/02 (depending on ground condition).

All new paths within red line boundary to be adoptable standard finished in either tar or monoblock surface as applicable.

All individual paths to be installed as soon as practical and safe to do so, without inviting pedestrians into a construction site. As plots adjacent are occupied, paths to be installed.

No.	Revision	Date	By
E	Various updates to suit R&TP comments.	Apr 22	AM
D	Various updates to suit R&TP comments.	Apr 22	AM
C	Information revised to suit site layout	Mar 22	AM
B	Information revised to suit site layout	Mar 22	AM
A	Additional notes referring to signage added.	Feb 22	JM

ROBERTSON HOMES

Robertson House, Castle Business Park, Stirling FK9 4TZ
Tel: 01786 431600 Fax: 01786 431650
Email: info@robertson.co.uk
www.robertsonhomes.co.uk

Project Title:
SITE 7 & 8 WESTERCRAIGS INVERNESS

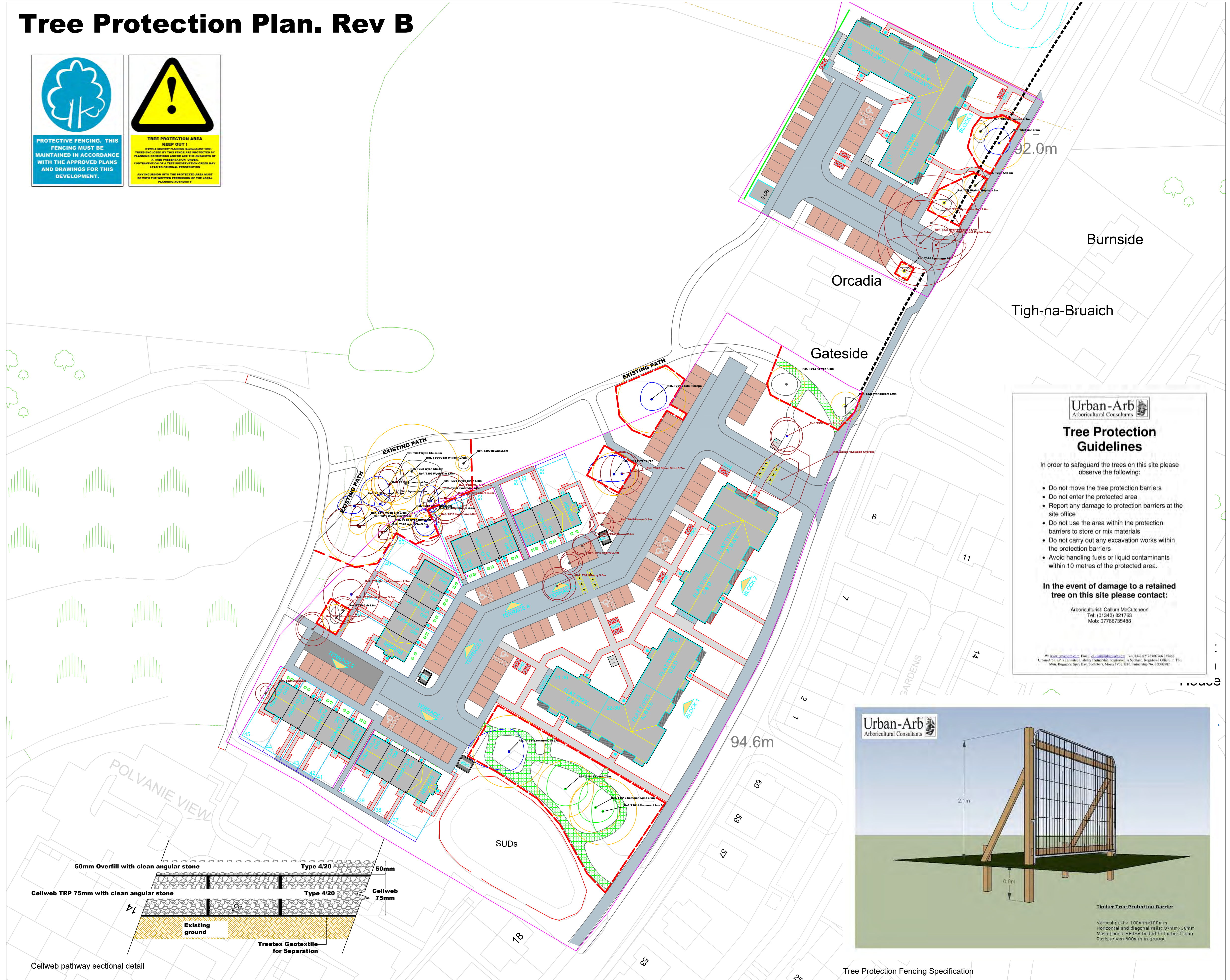
Drawing Title:
OUTDOOR ACCESS PLAN

Scale at A1: NTS	Date: FEB 2022
Drawn: JM	Checked: JM

Drawing No:
1107-8 - OAP-02

Rev:
E

Tree Protection Plan. Rev B



Urban-Arb
Arboricultural Consultants

Tree Protection Guidelines

In order to safeguard the trees on this site please observe the following:

- Do not move the tree protection barriers
- Do not enter the protected area
- Report any damage to protection barriers at the site office
- Do not use the area within the protection barriers to store or mix materials
- Do not carry out any excavation works within the protection barriers
- Avoid handling fuels or liquid contaminants within 10 metres of the protected area.

In the event of damage to a retained tree on this site please contact:

Arboricultural: Callum McCutcheon
 Tel: 01343 821763
 Mob: 07766735488

W: www.urbanarb.com Email: callum@urbanarb.com Tel: 01343 821763/07766 735488
 Urban-Arb LLP is a Limited Liability Partnership, Registered in Scotland, Registered Office: 11 The Muir, Bogmoor, Spey Bay, Fochabers, Moray IV32 7PN, Tayside, Scotland, DD9 2NY

General Notes

KEY

- Tree Reference, Common Name and Root Protection Area radius
- Ref: T001 Silver Birch 2.3m
- Stem
- Tree Canopy
- Root Protection Area (RPA)

Colours are in accordance with BS5837:2012 quality grading:

- Red: Unsuitable for retention
- Grey: Low quality
- Blue: Moderate quality
- Green: High quality

Root Protection Area (RPA): The minimum area around a tree deemed to contain sufficient roots and rooting volume to maintain the tree's viability, and where the protection of the roots and soil structure is treated as a priority (BS5837:2012)

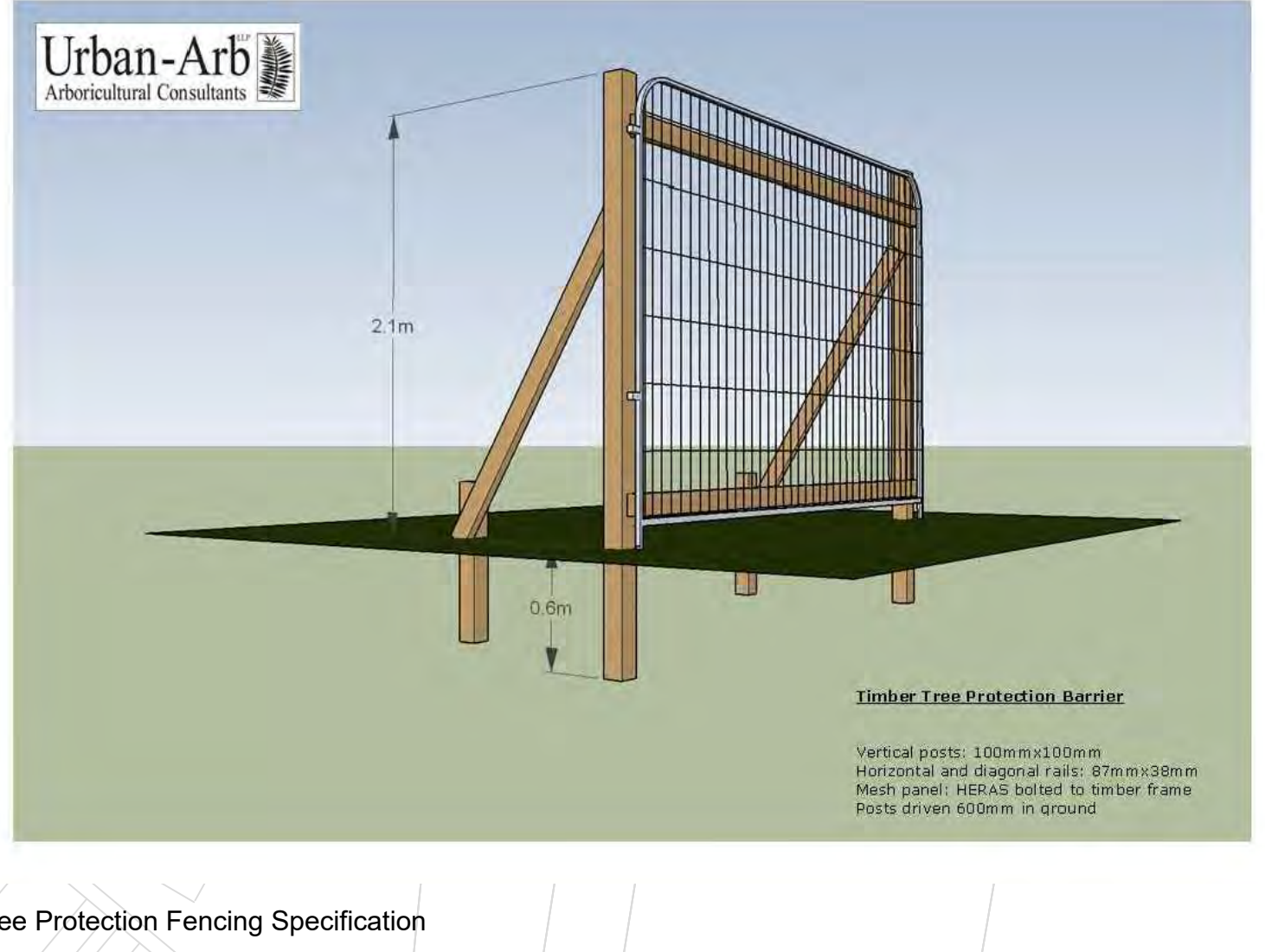
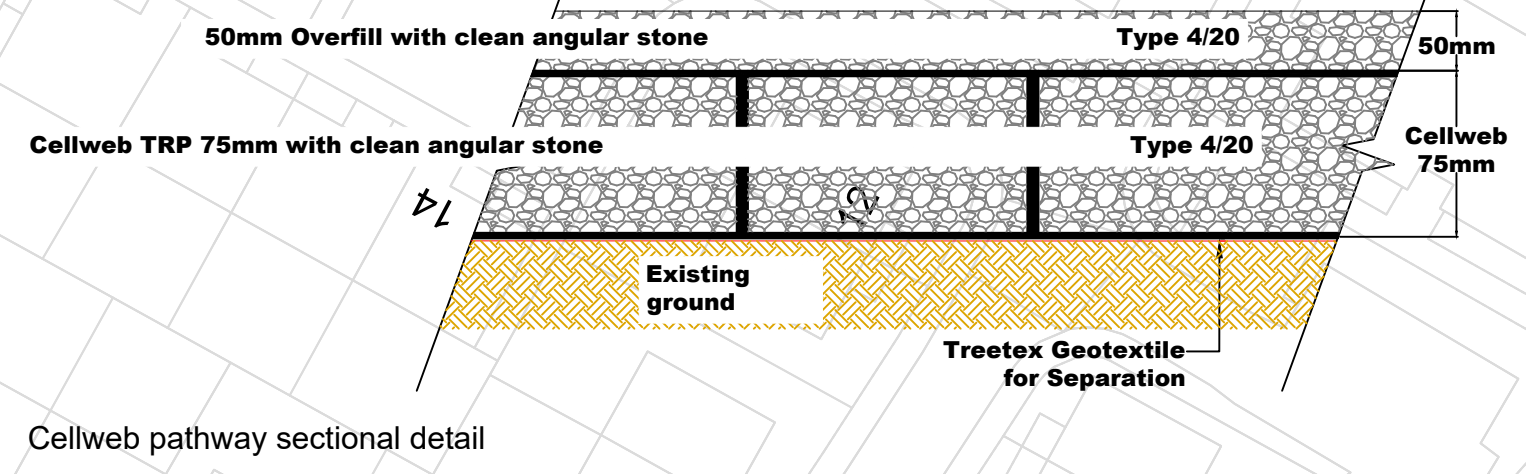
Site Boundary

TREE TO BE REMOVED

- Ref: T001 Silver Birch 2.7m

Tree Protection Fencing

75mm Cellweb ground protection panels.



Tree survey performed by Callum McCutcheon BSc (Hons) M.Arbor.A on 31.10.2019

Urban-Arb
Arboricultural Consultants

No.	Revision/Issue	Date

Firm Name and Address

Urban-Arb LLP
 Dolphin Cottage
 11 The Muir
 Bogmoor
 Spey Bay
 Fochabers
 Moray IV32 7PN
 www.urban-arb.com

Project Name and Address

Sites 7 & 8
Westercraigs
Inverness

Project	TREE PROTECTION PLAN	Sheet
Date	25.03.2022	002
Scale	1:500@A1	

Tree Constraints Plan. Rev A

Tree Survey Schedule

Reference	Common Name	Species	Category	Height	Stem Diameter	Canopy	NESW	Crown Clearance	Height Age Class	Physiological Condition	Structural Condition	Est. Remaining Contribution	Notes	Recommendations
Ref: T300	Rowan	Sorbus aucuparia	U	4m	0.1m	1.1m	2 N 116.5 E 13.5 W	1.5m	2m	Young	Good	>20 Years	None	None
Ref: T301	Wych Elm	Ulmus glabra	U	9m	0.34m	0.22m	2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Poor	<10 Years	Dutch elm disease	Remove tree
Ref: T302	Wych Elm	Ulmus glabra	U	19m	0.51m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Poor	<10 Years	Dutch elm disease	Remove tree
Ref: T303	Wych Elm	Ulmus glabra	U	17m	0.2m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	Highly likely that tree will become infected with Dutch Elm Disease in the next year or two	Monitor
Ref: T304	Goat Willow	Salix caprea	C	13m	7.0m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Fair	>20 Years	A number of dead stems within crown	Reduce dead stems if targets are introduced
Ref: T305	Sycamore	Ulmus glabra	U	18m	0.49m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	Earth piled against stem	Remove tree
Ref: T306	Sycamore	Acer pseudoplatanus	B1	18m	0.4m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	Small crown, slender	Monitor
Ref: T307	Silver Birch	Betula pendula	B1	15m	0.19m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Fair	>20 Years	None	None
Ref: T308	Sycamore	Acer pseudoplatanus	B1	18m	0.4m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	None	None
Ref: T309	Sycamore	Acer pseudoplatanus	B1	18m	0.3m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	None	None
Ref: T310	Sycamore	Acer pseudoplatanus	B1	18m	0.3m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	None	None
Ref: T311	Sycamore	Acer pseudoplatanus	B1	18m	0.3m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	None	None
Ref: T312	Wych Elm	Ulmus glabra	U	9m	0.2m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	None	None
Ref: T313	Sycamore	Acer pseudoplatanus	B1	9m	0.2m	0.2m, 0.22m	2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	None	None
Ref: T314	Sycamore	Acer pseudoplatanus	B1	9m	0.3m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	None	None
Ref: T315	Sycamore	Acer pseudoplatanus	B1	8m	0.3m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	None	None
Ref: T316	Wych Elm	Ulmus glabra	U	9m	0.2m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	None	None
Ref: T317	Wych Elm	Ulmus glabra	U	18m	0.5m	0.7m	2 N 116.5 E 13.5 W	1.5m	4m	Mature	Dead	<10 Years	Dutch Elm Disease	Remove tree
Ref: T318	Wych Elm	Ulmus glabra	U	9m	0.2m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	None	None
Ref: T319	Ash	Fraxinus excelsior	C	8m	0.31m		2 N 116.5 E 13.5 W	1.5m	4m	Young	Good	>20 Years	None	None
Ref: T320	Wych Elm	Ulmus glabra	U	9m	0.2m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	None	None
Ref: T321	Soft Laburnum	Laburnum alpinum	B1	8m	0.33m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T322	Goat Willow	Salix caprea	C	9m	0.24m	0.19m	2 N 116.5 E 13.5 W	1.5m	4m	Young	Good	>20 Years	None	None
Ref: T323	Goat Willow	Salix caprea	C	8m	0.24m	0.19m, 0.2m, 0.17m	2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T324	Ash	Fraxinus excelsior	C	8m	0.2m		2 N 116.5 E 13.5 W	1.5m	4m	Young	Good	>20 Years	None	None
Ref: T325	Whitebeam	Scirpus eria	C	2m	0.25m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	>20 Years	None	None
Ref: T326	Sycamore	Acer pseudoplatanus	B1	24m	0.66m	0.09m, 0.1m	2 N 116.5 E 13.5 W	1.5m	4m	Mature	Fair	>20 Years	Based towards road	None
Ref: T327	Hybrid Poplar	Populus x canadensis	C1	24m	0.36m	0.25m, 0.42m, 0.6m, 0.37m	2 N 116.5 E 13.5 W	1.5m	4m	Mature	Fair	>20 Years	Bacterial canker infection. Included bark between stems.	Remove tree
Ref: T328	Hybrid Poplar	Populus x canadensis	C1	20m	0.2m	0.4m	2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Poor	>20 Years	Bacterial canker infection	Remove tree
Ref: T329	Hybrid Poplar	Populus x canadensis	C1	24m	0.55m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Fair	>20 Years	Bacterial canker infection. Small cavity in stem at 1m	Monitor
Ref: T330	Hybrid Poplar	Populus x canadensis	C1	20m	0.2m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Fair	>20 Years	Bacterial canker infection	Remove tree
Ref: T331	Hybrid Poplar	Populus x canadensis	C1	24m	0.2m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Fair	>20 Years	Previous abrm damage	Monitor or remove tree
Ref: T332	Ash	Fraxinus excelsior	C	13m	0.25m	0.12m	2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	>20 Years	None	None
Ref: T333	Sycamore	Acer pseudoplatanus	B1	18m	0.3m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	None	None
Ref: T334	Ash	Fraxinus excelsior	C	10m	0.2m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Fair	>20 Years	Heavy ivy growth prevents full evaluation of tree	Remove tree
Ref: T335	Sycamore	Acer pseudoplatanus	B1	18m	0.3m		2 N 116.5 E 13.5 W	1.5m	4m	Early-Mature	Good	<10 Years	None	None
Ref: T336	Cherry	Prunus avium	C	9m	0.1m		2 N 116.5 E 13.5 W	1.5m	4m	Young	Good	>20 Years	None	None
Ref: T337	Cherry	Prunus avium	C	9m	0.1m		2 N 116.5 E 13.5 W	1.5m	4m	Young	Good	>20 Years	None	None
Ref: T338	Rowan	Sorbus aucuparia	U	9m	0.1m		2 N 116.5 E 13.5 W	1.5m	4m	Young	Good	>20 Years	None	None
Ref: T339	Rowan	Sorbus aucuparia	U	9m	0.1m		2 N 116.5 E 13.5 W	1.5m	4m	Young	Good	>20 Years	None	None
Ref: T340	Silver Birch	Betula pendula	B1	18m	0.4m	0.44m	2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T341	Silver Birch	Betula pendula	B1	18m	0.4m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T342	Silver Birch	Betula pendula	B1	18m	0.4m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T343	Silver Birch	Betula pendula	B1	18m	0.4m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T344	Silver Birch	Betula pendula	B1	18m	0.4m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T345	Silver Birch	Betula pendula	B1	18m	0.4m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T346	Silver Birch	Betula pendula	B1	18m	0.4m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T347	Silver Birch	Betula pendula	B1	18m	0.4m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T348	Silver Birch	Betula pendula	B1	18m	0.4m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T349	Silver Birch	Betula pendula	B1	18m	0.4m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T350	Silver Birch	Betula pendula	B1	18m	0.4m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T351	Silver Birch	Betula pendula	B1	18m	0.4m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T352	Rowan	Sorbus aucuparia	U	9m	0.41m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T353	Common Oak	Quercus robur	A1	20m	0.3m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T354	Common Oak	Quercus robur	A1	20m	0.3m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T355	Beech	Fagus sylvatica	A1	20m	0.3m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T356	Common Lime	Tilia x europaea	A1	17m	0.44m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None
Ref: T357	Common Lime	Tilia x europaea	A1	17m	0.44m		2 N 116.5 E 13.5 W	1.5m	4m	Mature	Good	>20 Years	None	None

General Notes

KEY

- Tree Reference, Common Name and Root Protection Area radius
- Stem
- Tree Canopy
- Root Protection Area (RPA)

Colours are in accordance with BS5837:2012 quality grading:

- Red: Unsuitable for retention
- Grey: Low quality
- Blue: Moderate quality
- Green: High quality

Root Protection Area (RPA): The minimum area around a tree deemed to contain sufficient roots and rooting volume to maintain the tree's viability, and where the protection of the roots and soil structure is treated as a priority (BS5837:2012)

Tree survey performed by Callum McCutcheon BSc (Hons) M.Arbor.A on 31.10.2019

Urban-Arb LLP
Arboricultural Consultants

No.	Revision/Issue	Date

Firm Name and Address

Urban-Arb LLP
Dolphin Cottage
11 The Muir
Bogmoor
Spey By
Fochabers
Moray IV32 7PN
www.urban-arb.co.uk



Project Name and Address

Site 7 & 8
Westercaigs
Inverness

Project: **TREE CONSTRAINTS PLAN**

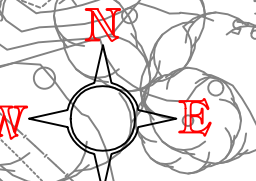
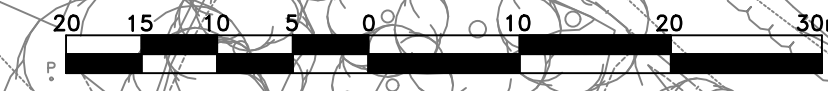
Date: **26.07.2021**

Scale: **1:500@A1**

Sheet: **1 OF 1**

BS5837:2012 Cascade chart for tree quality assessment

Category & Definition	Criteria (including subcategories where appropriate)	Identification on plan
Trees unsuitable for retention		
Category U	<ul style="list-style-type: none"> Trees in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years Trees that have a serious, irremediable, structural defect, such that their early loss is expected due to collapse including those that will become unstable after removal of other category U trees (e.g. where, for whatever reason, the loss of companion shelter is anticipated) Trees that are dead or are showing signs of significant, immediate, and irreversible overall decline Trees infected with pathogens of significance to the health and/or safety of other trees category U, or very low quality trees suppressing adjacent trees of better quality 	Red on plan RGB 127,0,0
Trees to be considered for retention		
Category A	<ul style="list-style-type: none"> Trees that are particularly good examples of their species, especially if rare or unusual, or those that are characteristic components of groups or formal or semi-formal arboricultural features (e.g. the dominant and/or principal trees within an avenue) Trees, groups or woodlands of particular visual importance as arboricultural and/or landscape features Trees, groups or woodlands of significant conservation, historical, commemorative or other value (e.g. veteran trees or wood-pasture) 	Light Green RGB 0,255,0
Category B	<ul style="list-style-type: none"> Trees that might be included in category A, but are downgraded because of unusual or impaired condition (e.g. presence of significant though remediable defects including unsympathetic past management and storm damage), such that they are unlikely to be suitable for retention for beyond 40 years; or trees lacking the special quality necessary to merit the category A designation Trees present in numbers, usually growing as groups or woodlands, such that they attract a higher collective rating than they might as individuals; or trees occurring as objectives but situated so as to make little visual contribution to the wider locality Trees with material conservation or other cultural value 	Mid blue RGB 0,0,255
Category C	<ul style="list-style-type: none"> Unremarkable trees of very limited merit or such impaired condition that they do not qualify in higher categories Trees present in groups or woodlands, but without this conferring on them significantly greater collective landscape value; and/or trees offering low or only temporary/transient landscape benefits Trees with no material conservation or other cultural value 	Grey RGB 091,091,091





PLANTING SCHEDULE

CARE SHOULD BE TAKEN TO ENSURE THAT ALL TREES ARE PLANTED A MINIMUM OF 1M AWAY FROM ALL FOOTPATHS AND SERVICE STRIPS.

These plants have been chosen taking into account the recommendations of the RHS Plant Selector. Where possible, plants which are particularly attractive to bees have been used.

PROPOSED TREES

Ag	Acer griseum (Paperbark Maple)	3no
Ag	Alnus glutinosa (Common Alder)	6no
Bp	Betula pendula (Silverbirch)	3no
Sc	Sorbus commata	6no
SaSS	Sorbus aucuparia 'Sheerwater Seeding' (Rowan)	3no

All of the above trees to be Standard (10-12cm girth) Single short-staked and root balled. Where trees are planted into turf, an area 1m dia, at the base of the tree, should be mounded and kept clear of weeds and grass and other deleterious material.

AhB	Aesculus hippocastanum 'Baumani'	4no
ApCK	Acer platanoides 'Crimson King' (Purple Maple)	4no
Ar	Acer rubrum (Red Maple)	5no
BuJ	Betula utilis 'Jacquemontii' (White Birch)	5no
CbF	Carpinus betulus 'Frans Fontaine' (Fastigate Hornbeam)	9no
Sal	Sorbus aria 'Lutescens' (Whitebeam)	3no
Te	Tilia x euchlora (Lime aphid free)	6no

All of the above trees to be Extra Heavy Standard size (16 to 18cm girth) root balled and double short-staked.

PROPOSED SHRUBS

Ct	Choisya ternata 'Sundance'	30 to 40cm 3L	3/m ²	30no
CtR	Ceanothus thyrsiflorus 'Repens'	30 to 40cm 3L	4/m ²	21no
HEG	Hebe 'Emerald Green'	30 to 40cm 3L	4/m ²	30no
Hm	Hydrangea macrophylla sp	40 to 60cm 3L	3/m ²	84no

PROPOSED HERBACEOUS PERENNIALS

GJB	Geranium 'Johnstons Blue'	3L pot as spec.	75no
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PROPOSED SPECIMEN SHRUBS

Hp	Hydrangea paniculata	10L as spec.	2no
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MIXED BEECH HEDGE (1199no TOTAL)

Fagus sylvatica	60 to 80cm 1+2	600no
Fagus sylvatica 'Atropurpurea'	60 to 80cm 1+2	599no

Mixed Beech hedge is to be planted in two alternate rows at 300mm centres either side of a 900mm high post and wire fence, in alternating groups of 12 plants.

ESCALLONIA HEDGE

Escallonia 'CF Ball'	40 to 60cm 3L	317no
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Escallonia hedge is to be planted in one row, evenly spaced, at 300mm centres.

PROPOSED AMENITY GRASS MIX

British Seed Houses A19 (Lawns and Landscaping) available from: <http://www.bshamenity.com>

PLANTING SPECIFICATION

GRASS MIX

- The grassed area is to be carefully checked to ensure that the soil is appropriate and free from rubble, stones, weeds and other deleterious material. If not appropriate, it should be replaced with quality material or the Landscape Architect should be advised.

(Note: It is the responsibility of the contractor to ensure that he is planting into the correct quality of material)
- Where topsoil is to be added the subsoil should be fully broken up to ensure adequate drainage and a layer not less than 150mm deep applied.
- The topsoil should be cultivated to a fine, even till with no undulations or bumps.
- All grass areas are to be turfed or seeded in accordance with guide-lines set out in BS 4428: Code of Practice for general landscape operations: 1989.
- Front gardens are to be turfed with approved, good quality turves (unless otherwise specified). The soil shall be of loam texture and free from stones over 15mm in any one direction. Open spaces are to be either turfed or seeded, as specified, with an approved proprietary mix applicable to the location.

MEADOW GRASS

- The areas for seeding are to be cleared of invasive weeds by hand, mechanical or chemical means. Herbicide pre-treatment with approved Glyphosate only.
- Areas to be free from rubble, stones and other deleterious material. Subsoil is to be broken up to ensure adequate drainage, with surface then prepared by raking or harrowing.
- NO APPLICATION OF TOPSOIL OR FERTILISER.
- Seed to be sown to supplier recommendations.
- Areas to be gently harrowed or rolled after sowing.

SHRUBS

- The whole planting bed is to be carefully set out and the soil checked to ensure that it meets the standards set out in BS 3882: 2015 Specification for Topsoil. If it does not it should be replaced with the appropriate quality material or the Landscape Architect must be advised.

(Note: It is the responsibility of the contractor to ensure that he is planting into the correct quality of material)
- If new topsoil is required the subsoil base should be fully broken up to ensure adequate drainage.
- The bed should be inspected after the subsoil base is broken up and before topsoil cultivation for any signs of flooding. If there are signs and these cannot be resolved the Landscape Architect should be advised.

(Note: It is the responsibility of the contractor to ensure that he is not planting into a waterlogged bed)
- Planting should not be undertaken below 2 degrees centigrade, or when the ground is snow covered or frozen.
- The topsoil should be cultivated throughout the bed to a depth of 300mm. It should be left with a central ridge 150mm above the edges of the bed.
- When the bed has been fully cultivated and formed, planting holes shall be dug 150mm wider than the root spread. Bare-root plants shall have the roots carefully teased out and pot-grown plants shall have the roots carefully loosened from the soil. 2 to 2.5litres, depending on the size of the plant, of Fison's Peat-Free Planting Compost, or similar approved, shall be worked into the backfill. The plants shall be planted so that the finished topsoil level is at the nursery level on the stem of the plant.
- The plants shall be well firmed in and, after planting, a slow acting fertiliser shall be carefully worked into the top 50mm of soil round each plant taking care to avoid contact with the stem.
- Immediately after planting the whole bed shall be well watered in.
- All work shall be carried out in accordance with best horticultural practice.

TREES

- Trees shall be planted at the appropriate season depending on root-grown or bare-root, and in line with BS 8545:2014 Trees: from nursery to independence in the landscape.
- Tree pits are to be dug not less than 1m cube and not smaller than 250mm larger than the overall root spread. Care is to be taken to ensure that all sides are permeable and have not been "polished", and that all pits are free draining with 50mm of washed round pea gravel to the base of the tree pits.
- A pressure-treated timber stake 75 x 75mm shall be used. It shall extend 500mm above the finished soil level, with a proprietary tie set 100mm below the top of the stake.
- One tie shall be used on standard and feathered trees up to 2m high. Two will be required for Heavy and Extra-Heavy Standard trees up to 18cm girth. Above this three will be required unless an underground guying system is specified.
- Backfill for the tree pits is to be 20% Peat-free Compost, Fison's or similar approved.
- The backfill is to be a raised mound at the top with the centre 150mm above the edges. Care is to be taken to ensure that the finished backfill level is at the nursery level on the tree and that level is at the centre of the mound 150mm above the edges of the pit when the tree has been well firmed in.
- On completion of the planting the tree shall be well watered in with not less than 10gallons of water. Thereafter it should be watered as required, following periods of any more than three consecutive hot, dry days, until the tree is fully established.

HEDGES

- Hedge planting should be as for the shrubs, set out above. However, the planting bed should be established by using the line of the hedge as the length. The width will be the planted line of the hedge plus 300mm either side. (ie a single line of hedge will be 600mm wide and a double, 500mm apart, will be 1100mm wide).
- After achieving the correct quality topsoil and, with the base broken up, if topsoil is imported, the soil shall be cultivated to ensure a ridge, into which the hedge is planted, set 150mm above the edge of the bed.
- Thereafter all of the above, fertiliser shall be applied and the hedge well watered in.
- After planting the hedge should be trimmed back to an even line, to encourage growth, with the amount of trimming dependent on species.

MAINTENANCE

The developer will ensure, within the missives, that purchasers are responsible for common areas. On completion of the site, a Factor will be appointed who will assist in the establishment of a Residents' Association. The Residents' Association will thereafter ensure that the Factor organises the following maintenance regime:

- Grass:
- Fine grass cut 16 times per year.
 - All cuttings to be raked and removed from the site.
- Meadow Grass:
- Areas of Meadow and Wetland Meadow are to be maintained as per suppliers' seed merchant recommendations and guidelines, or:
 - Early meadow cut in the first year ONLY if unwanted annual weeds appear and grow rapidly. Cut material should be removed. Cutting annual weeds may not be necessary if there is little growth, few weed plants or the appearance is acceptable. Annual weeds should disappear once the meadow is established.
 - Meadows should be cut and the cuttings removed once a year at the end of the growing season (normally September). This should be the only management required.

Shrubs:

The objective is to provide a full even cover and prevent overcrowding. To that end the site should be inspected once per year by a suitably qualified horticulturalist and the following regime followed:

- The shrub beds shall be kept clear of weeds, either mechanically or by using an approved herbicide.
- Shrubs shall be pruned up to twice per year, in Spring and Autumn depending on the species, to maintain their natural shape and habit. Any damaged, diseased or broken branches should be removed.
- In the first five years all dead and dying shrubs should be replaced by shrubs of similar size and species to those originally planted.
- From the second year beds should be inspected and thinned out where appropriate. Where suitable, these shrubs can be used to fill gaps in the planting area. Otherwise gaps should be in-filled with appropriate new plants as for 'e' above.
- After 10 years a systematic programme of replacement should be established.

Trees:

Trees have been chosen for their appropriateness to their individual location. Pruning, other than for health and safety reasons, should not be necessary. They should, however, be inspected by a suitably qualified arboriculturalist annually.

- An area 1m diameter at the base of the trees shall be kept clear of weed and grass either mechanically or by using an approved herbicide.
- Tree stakes and ties should be inspected 3 times per year (Autumn, Winter and Spring).
- All dead and diseased branches, or those broken due to malicious action or wind damage should be clearly removed and the scar cleaned up.
- All trees which have been removed or which are found to be dying, severely diseased or damaged will be replaced by trees of similar size and species to those originally planted. These should be replaced as soon as seasonal weather conditions allow.

Beech, Escallonia and Photinia hedges:

The objective is to produce a thick, healthy, impenetrable hedge. Pruning should be undertaken where necessary to achieve a neat and compact finish.

- All hedge is to be pruned back to an even hedge line to encourage thickening twice within the first growing season after planting and twice a year thereafter.

Hardsurface:

- Six visits per year to remove weeds from shrub beds and between pavours and within other hard standing areas. All weeds are to be removed from the site. Where herbicides are used extreme care should be taken to avoid damage to surrounding grass, avoiding spray drift.

KCVISION

As Per New Layout	AM Apr 22
As Per New Layout	AM Apr 22
As Per New Layout	RSI Mar 22

Drawing: **LANDSCAPE PROPOSAL (Sheet 1 of 3)**

Job: **WESTERCRAIGS SITE 788**

Client: **ROBERTSON HOMES NORTH**

No: **334.08.01c**

Date: Jul 2021 Scale: 1:500 Drawn: JS Checked:

DWA
Landscape Architects Ltd