

Agenda Item	6.1
Report No	PLN/058/22

## HIGHLAND COUNCIL

**Committee:** North Planning Applications Committee  
**Date:** August 2022  
**Report Title:** 21/05997/FUL: The Highland Council - Housing  
Land 55M North of Towerview, South Argo Terrace, Golspie  
**Report By:** Area Planning Manager North

### Purpose/Executive Summary

**Description:** Erection of 17 dwellings & associated infrastructure  
**Ward:** 4 – East Sutherland and Edderton  
**Development category:** Local

**Reason referred to Committee:** Departure from Development Plan Allocation

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

### Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report.

## 1. PROPOSED DEVELOPMENT

- 1.1 The application seeks consent for the erection of 17 new units comprising 13 houses (1 detached, 6 semi-detached and 6 terraced) and 4 cottage flats. 3 of the homes would be accessed directly from South Argo Terrace which lies along the southwestern boundary of the site with the remaining units accessed from a new cul-de-sac which would be formed through the site, in part formalising an existing track which runs along the northern boundary currently. Surface water would be addressed by way of a SUDS basin to be installed close to the south-eastern boundary and a connection to the public sewer is proposed in terms of foul drainage.
- 1.2 5 proposed units comprising 2 blocks of semi-detached houses and 1 detached house will have a frontage onto South Argo Terrace with the remaining units facing into the new internal cul-de-sac with 2 blocks of 3 terraced units to its western side and 1 block of semi-detached units and 4 cottage flats within 1 block along its eastern side. A footpath link would be created from the proposed turning ahead providing pedestrian access from within the new development onto South Argo Terrace.
- 1.3 The proposed units range from 1 bedroom cottage flats to 4 bedroomed houses and are all of relatively simple vernacular form with rectangular footprints and porch/covered entrance features. The materials for all units comprise off-white render finish to external walls with areas of timber effect feature cladding particular around the upper storeys and around porches. The proposed roof tiles are dark grey concrete, and each unit would be serviced by an air source heat pump.
- 1.4 As part of the proposals an existing stone boundary wall along the boundary of the site with South Argo Terrace will be removed and re-built further east into the site allowing this existing road to be widened. Off-site improvements to the existing path network at Back Street are also proposed. Landscaping will be provided throughout the site through a mix of hedging and tree planting of native species within individual plots with two areas of landscaped open space to be provided one of which will contain cherry trees.
- 1.5 The site has an existing access from South Argo Terrace which runs along the north boundary leading to the rear of houses along Sibell Road; this is a relatively informal access. There is no other existing infrastructure within the site.
- 1.6 No pre-application advice was sought in advance of the submission of this application. It is understood that the applicant sought to engage with the community directly ahead prior to seeking prior permission with the overall number of houses proposed having been reduced from 30 to 17 as a result.
- 1.7 The application is supported by a Design Statement, Drainage Impact Assessment and Transport Statement.
- 1.8 The proposed layout has been amended to revise the position of house types in order to reduce the scale of car dominance on the South Argo Terrace boundary; elevations of the proposed houses have been amended to improve their fenestration. The road and drainage layout has also been amended following consultee comments

and the landscaping plan has also been amended to ensure a surfaced access to the rear of houses along Sibell Road is maintained.

## **2. SITE DESCRIPTION**

2.1 The site comprises 1.8 acres of grassy field, located to the east of South Argo Terrace towards the eastern extents of the village of Golspie. It is largely flat with less than 1m in fall from north to south and less than 0.5m fall from west to east, bounded to the north and north-east by 2 storey housing along Sibell Road and a single house known as Towerview to the south. The area to the east of the site would remain as a grassy field and the area immediately west, to the other side of South Argo Terrace, comprises the playing field area of the Golspie Primary School. A culverted watercourse traverses the site from north to south and there is a lane running along the northern boundary of the site which currently provides access to the rear elevation of houses along Sibell Road.

2.2 There are no natural, built or cultural heritage designations covering the site.

## **3. PLANNING HISTORY**

The site has no planning history since electronic records began in 1999.

## **4. PUBLIC PARTICIPATION**

4.1 Advertised: Unknown Neighbour

Date Advertised: 14<sup>th</sup> January 2022

Representation deadline: 28<sup>th</sup> January 2022

Timeous representations: 13:

4 objections from 3 households including 1 petition signed by 7 names from 3 households – one of which has also submitted an individual objection (NB a petition is counted as 1 comment)

5 support comments from 5 households

4 general comments from 4 households

4.2 Material considerations raised are summarised as follows:

### Support Comments

- a) The village is in need of new housing -a reverse parking sign would be helpful for the houses adjacent to the road
- b) The development will help encourage new families and a younger generation to stay in the village
- c) Good to see the site being put to use for housing
- d) Cost savings for the Council who currently mow the site
- e) There is no shortage of green space in Golspie however there is a shortage of affordable housing
- f) Alternative allocated sites are not council-owned

- g) Request that access to the rear of the houses on Sibell Road is maintained for residents

#### General Comments

- a) the site is designated green space and should be re-categorised to be considered for new uses
- b) the site should only be considered for alternate uses following public consultation and after all housing sites exhausted
- c) concern regarding the rear access to No. 15, 16 and 17 Sibell Road being cut off (required for parking) or grassed over

#### Objection Comments

- a) Lack of consultation on change of land designation
- b) Failure to consult on other possible housing development sites within Golspie such as at Drummuie
- c) Loss of green space – this should be retained to encourage sport or as an amenity area
- d) Increased danger to pedestrians and cyclists along South Argo Terrace
- e) No consideration of junctions of Argo Terrace South and Sibell Road with the A9
- f) Development will prevent access to existing hedges for maintenance (on Sibell Road)
- g) Concern regarding rear access to Sibell Road houses
- h) Concern regarding flooding and drainage

4.3 The following **non-material considerations** are also raised in representations:

- a) The inclusion of flats will attract an ‘undesirable element’ and will devalue the property prices of adjacent houses
- b) Local people should be offered the houses ahead of those outwith the county
- c) Tenants should be in employment

These comments relate to the future occupiers of the proposed houses which is a matter out with the planning regime therefore these points are not material considerations in the assessment of this application.

4.4 All letters of representation are available for inspection via the Council’s eplanning portal which can be accessed through the internet [www.wam.highland.gov.uk/wam](http://www.wam.highland.gov.uk/wam).

## **5. CONSULTATIONS**

5.1 **Golspie Community Council** have provided a comment neither objecting or supporting the application. It notes that its comment aims to reflect the fact there is a range of opinion in the community and whilst the need for more affordable housing in the village is undisputed there are also a number of valid concerns. The Community Council highlight the following:

- The site is designated open space with no re-designation having taken place;
- Other allocated housing sites have yet to be fully developed (Drummuie, Woodland Crescent and Sibell Road) – these should be fully developed before other sites are considered

- Risk of setting a precedent for development on school areas – if planning is granted it should be with the guarantee that no more school fields will be built on without extensive community consultation
- The site could be utilised for expansion of the cemetery; it would not be acceptable to use more school fields for burial plots. the CC would wish to see a cemetery extension plan included now

In summary the CC note that it is very supportive of more affordable council housing however is not persuaded that this site is the most suitable location at this time, unless and until previously designated housing area options have been fully developed or absolutely proved unfeasible.

5.2 **THC Flood Risk Management Team** have no objections following receipt of additional information. The FRM Team's final response notes the following:

#### Flood Risk

- a) We have reviewed the Drainage Impact Assessment (DIA) provided (Housing Development, South Argo Terrace, Golspie. DIA Issue 2. HGA. 15th March 2022), the revised Drainage Layout drawing (3751:105:B) and the further information provided on the existing culvert (email from consultant 11/05/2022)
- b) The route of the Tower Burn, that is culverted through the site, has been identified. It is proposed that the culvert will be redirected so that it will remain within the road and open areas of the development. The culvert outlet is located in garden ground to the south and we requested that this short downstream section of existing culvert is also replaced. Further investigation has shown that the replacement culvert will be connect into an existing 525mm culvert that runs from the burial ground carpark. The replacement culvert will be of the same diameter as the existing downstream culvert. We are content with this proposal and withdraw our objection to the application.
- c) The culvert will need to be assessed post-development to ensure that it is not damaged during construction works. Accessible inspection chambers should be provided at minimum 80m spacing or where the culvert changes direction.
- d) We request a condition that the final replacement culvert design is submitted for review and approval. A post development CCTV condition survey of the culvert, including the short downstream section, should also be provided, and any remedial works carried out as required.

#### Drainage

- a) It is proposed that surface water will be directed to a SUDS basin in the southern part of the site designed in accordance with Sewers for Scotland. That is put forward for adoption by Scottish Water. We previously requested that all discharge to the Tower Burn be limited to the pre-development 2 year rate for all storm up to and including the 1 in 200 year plus climate change event. It is argued that because of the very slow rate of 0.5 l/s the half drain time of the basing will be too long (4.5 days). In order to achieve a half drain time of under 24 hours a discharge rate of 1.1 l/s is required. As this remains a very slow discharge rate we accept the proposed maximum proposed discharge rate of 1.1 l/s for all storms up to and including the 1 in 200 year plus climate change event.

b) We request a condition that the final drainage design is submitted for review and approval. This shall demonstrate that the discharge rate from the site will be limited to a maximum rate of 1.1 l/s for all storms up to and including the 1 in 200 year plus climate change storm event

5.3 **THC Transport Planning** confirm no objections. The proposed layout and roads layout has evolved through consultation with Transport Planning and now addresses the Roads and Guidelines for New Developments document. In addition, Transport Planning have confirmed the proposed off site footpath improvement works are acceptable. New or enhanced street lighting will be required, and a Construction Traffic Management Plan will be required prior to works commencing.

5.4 **THC Archaeology** have no objections however note that the site is considered to have archaeological potential. A condition is therefore requested to require submission of a programme of work for the survey, evaluation, preservation and recording of any archaeological and historic features affected by the development.

5.5 **THC Development Plans** have provided advice on the applicable policy context including Green Space allocation and associated Highland-wide Local Development Plan. Developer Contribution requirements are also noted as being:

#### Developer Contributions

This assessment is made against the Highland-wide Local Development Plan Policy 31: Developer Contributions and our Developer Contributions Supplementary Guidance. There may be additional obligations that arise during the planning process. Planning obligations are sought to mitigate the impact of any development which cannot be mitigated through the planning process or through the use of planning conditions. Any planning obligations sought must accord with Scottish Government Planning Circular 3/2012 Planning Obligations and Good Neighbour Agreements. For the purposes of calculating developer contributions the following is noted for this proposal:

4 x 1-bed flats

13 x houses

One-bedroom homes do not make education contributions.

**Total Per house £1,019**

**Total per 1-bedroom Flat £1,019**

**Development Total £17,323**

**All costs (excluding land costs) are subject to indexation and reflect Q2 2018**

#### Affordable Housing

Policy 31: Affordable Housing of the HwLDP and our Developer Contributions Supplementary Guidance states that all developments of 4 or more dwellings will be required to contribute 25% equivalent of affordable housing in areas of need. The Supplementary Guidance identifies that in this area, affordable housing requirements will be assessed on a case-by-case basis informed by local housing needs.

## Education

This response is based on the 2020/21 School Roll Forecasts (SRF). Contributions are sought where it is anticipated that the school capacity threshold will be at or above 90% capacity for at least 5 years of the 15-year forecast.

### Primary

The application falls within the catchment for Golspie Primary School which is currently sitting at 65% capacity and is not expected to go above 90% over the 15 years of the forecast period. No education contributions are therefore required.

### Secondary

The site lies within the catchment area for Golspie High School which is currently sitting at 39% capacity and is not expected to go above 90% over the 15 years of the forecast period. No education contributions are therefore required.

### Transport and Active Travel

Whilst these apply to all types of development, this site falls outwith any identified contribution zone or Development Brief area. Advice on any contributions should be sought from Transport Planning.

### Open Space

Open space provision is required in line with the Council's Open Space in Residential Development Supplementary Guidance. This requires 40sqm of open space per person for developments of 4 or more units. On-site provision is preferred however developments of 4 or more homes are required to contribute towards the provision of new/improved off-site open space and/or play areas where on-site provision is not possible.

### Community Facilities

As per the CaSPlan Delivery Programme (March 2021) all housing development within Golspie Primary School catchment are required to contribute to the provision of over roof for existing facilities to provide 'indoor/covered' multi-use games area at land north of Golspie Primary School. All housing development within Golspie High School catchment are required to contribute towards the creation of a studio and free weights area at Sutherland Swimming Pool. Contributions of £1,019 per home are sought (this reflects Q2 2018 published indices and eventual costs would be subject to indexation)

- 5.6 **THC Access Officer** has no objections however requests the addition of fencing in order to restrict vehicular access eastwards from the site into the remainder of the field.
- 5.7 **Sportscotland** note no objections. Its response notes that the site has not been used for sports use for over twenty years. Historic aerial imagery shows no obvious evidence of use as a pitch on the site. As such no further consultation with Sportscotland is required.
- 5.8 **Scottish Water** note no objections. Its response notes that there is capacity in both its water treatment works and wastewater treatment works for the proposed development however this should be confirmed by a pre-development enquiry.

5.9 **Transport Scotland** note no objections.

## **6. DEVELOPMENT PLAN POLICY**

The following policies are relevant to the assessment of the application

### **6.1 Highland Wide Local Development Plan 2012**

28 - Sustainable Design  
29 - Design Quality & Place-making  
30 - Physical Constraints  
31 - Developer Contributions  
32 - Affordable Housing  
34 - Settlement Development Areas  
56 - Travel  
64 - Flood Risk  
65 - Waste Water Treatment  
66 - Surface Water Drainage  
74 - Green Networks  
75 - Open Space  
76 - Playing Fields and Sports Pitches

### **6.2 Caithness and Sutherland Local Development Plan 2018**

The site is allocated as 'Green Space' and is within the Golspie Settlement Development Area boundary.

### **6.5 Highland Council Supplementary Planning Policy Guidance**

Developer Contributions (March 2018)  
Flood Risk and Drainage Impact Assessment (Jan 2013)  
Green Networks (Jan 2013)  
Managing Waste in New Developments (March 2013)  
Open Space in New Residential Developments (Jan 2013)  
Sustainable Design Guide (Jan 2013)

## **7. OTHER MATERIAL POLICY CONSIDERATIONS**

### **7.1 Scottish Government Planning Policy and Guidance**

Scottish Planning Policy (June 2014)  
National Planning Framework 3 (Jun 2014) & Draft National Planning Framework 4 (November 2021)  
Designing Streets (2010)  
Creating Places (2013)  
Planning 1/2011 – Planning and Noise (Mar 2011)  
PAN 61 – Sustainable Drainage Systems (Jul 2001)  
PAN 68 – Design Statements (Aug 2003)



PAN 75 – Planning for Transport (Aug 2005)

PAN 77 – Designing for Safer Places (Mar 2006)

PAN 83 – Master Planning (Sept 2008)

## **8. PLANNING APPRAISAL**

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

### **Determining Issues**

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

### **Planning Considerations**

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy
  - b) layout (including landscaping and open space) and design;
  - c) amenity impacts including construction
  - d) roads, access and parking
  - e) water, flooding and drainage
  - f) impact on council infrastructures, services and proposed mitigation (development contributions)
  - g) any other material considerations

### **Development plan/other planning policy**

- 8.4 The site lies within the boundaries of the Golspie Settlement Development Area as defined by the adopted Caithness and Sutherland Local Development Plan (CASPlan) however it is covered by a 'Green Space' designation which also extends beyond the site itself across the whole field within which the site sits. CASPlan notes that there are important green spaces in and around the settlements within the Plan area and that the Highland-wide Local Development Plan policies safeguard these networks from inappropriate development where required. This is detailed in Policy 75 which aims to ensure the creation of sustainable networks of open space which are of high quality, fit for purpose and accessible by foot. The policy goes onto to note that existing areas of high quality, access and fit for purpose open space will be safeguarded from inappropriate development unless it can be suitably demonstrated that the open space is not fit for purpose, substitute provision can be provided or that the development of the open space would significantly contribute to the spatial strategy. In this instance, the aforementioned policy context forms the principal consideration in the assessment of the application.

- 8.5 The supporting information submitted by the agent notes that the site traditionally formed part of the school grounds having previously been used for provision of hockey. Such sporting uses however ceased at least twenty years ago as confirmed through historic aerial photography. As such the proposed site no longer has a specific function and its development would not represent the specific loss of any sporting facility. Highland Council's Education Team confirm no objection to the development of this former pitch and SportsScotland, the national agency for sport in Scotland, also confirm no objection reiterating the site does not currently provide any outdoor sports facility. As such, given the historic use of the site, it is noted that it no longer provides its original function as a school playing field however it remains in Council ownership. That being said, the site remains an amenity area available for use for walking as well as providing a useful green buffer between existing housing at Towerview/Old Bank Road and higher density development at Sibell Road.
- 8.6 There are however large areas of the village also covered by Green Space designations in the Plan including the remainder of this particular field which would remain accessible on foot on completion of the development, the remainder of the school grounds (primary and secondary), areas of green space associated with the hospital, Golspie Football Club and pockets around the seafront and adjacent to the A9 on the approach to the village from the south. As such the village is well served in terms of both functional and amenity green areas for recreation, sporting and visual amenity purposes. In this instance, key to the assessment of the application, is that the site no longer functions as its original use, that was to provide a school sporting facility and as such, is no longer fit for purpose and can be considered for alternative uses as allowed for under Policy 75 detailed above.
- 8.7 Whilst it is not a requirement of Policy 75; it is prudent to establish whether the applicant has examined alternative sites for the proposed development which are allocated specifically for housing use in the CASPlan before considering the proposed former hockey field. In this regard the supporting information notes that two allocated sites were examined for their potential to accommodate the development. The site at Sibell Road (allocation ref: GP02) however proved problematic due to drainage constraints. Indeed, this is a long-standing allocated site having previously been designated for development as part of the Sutherland Local Plan, adopted in 2010, with no development proposals being realised since then which infers issues around its viability and effectiveness. The site at Drummie (allocated as mixed-use site GP03) is noted in the applicant's supporting information as being car dependent. Undoubtedly this does not preclude its development, but it is acknowledged that there is a desire in all aspects of planning to deliver sites which are both accessible on foot and served by public transport, both in terms of sustainability but also increasing the housing options which are available to existing and future Council tenants.
- 8.8 Taking the above factors into account, whilst it is desirable for green space areas to be retained whenever possible, in this instance development of the site is not considered to result in an unacceptable loss of any functional green space while adequate green space and networks would remain available within the village. The principle of development is therefore not considered to be significantly contrary to the terms of Policy 75 and acceptable subject to an assessment of detailed

considerations against the general policies of the Highland-wide Local Development Plan as outlined below.

- 8.9 The site is also within the Golspie Settlement Development Area (SDA) defined by the adopted Caithness and Sutherland Local Development Plan, therefore the principal general policies against which the application requires to be assessed are Highland-wide Local Development Plan Policies 34 for Settlement Development Areas, 28 for Sustainable Design, and 29 for Design Quality and Placemaking.
- 8.10 These Policies set out the Council's support for development within SDAs that promote and enhance the social, economic, and environmental wellbeing of the people of Highland. As such, the design for sustainability criteria of Policy 28 for the assessment of all applications are key determining issues. Of particular relevance to this application are criteria relating to sensitive siting and high-quality design in keeping with local character while conforming with existing and approved adjacent land uses; impacts on community and residential amenity; impacts on community and residential amenity; compatibility with public service provision; accessibility; maximise energy efficiency; and, reduce waste. These considerations are reinforced through Policy 29, which emphasises good design by requiring developments to be judged according to their contribution to the visual and architectural quality of the place they are located, as well as to Council place-making objectives by being an integral part of the settlement while housing developments within SDAs should focus on pedestrian movements. In this instance the following Placemaking Priorities are also identified for Golspie:
- Assist and promote economic development;
  - Assist and promote tourism and tourist facilities;
  - Phased development at Drummie;
  - Safeguard the settlement setting, including the wooded and open seaboard approaches.
  - Maintain access to Core Paths.
- 8.11 In addition to the above, HwLDP Policy 56 for Travel requires proposals that are likely to generate increased travel activity at the location should include sufficient information in order that the impact of this, both on- and off- site, may be assessed. Key considerations include, availability of public transport modes, opportunities for walking and cycling, safety and convenience of potential users, access, and parking.
- 8.12 Finally, Policies 64 (Flood Risk), 65 (Waste Water Treatment), and 66 (Surface Water Drainage) seek to ensure that sites are not at risk of flooding or causing flooding elsewhere by avoiding areas of known flood risk in the first instance and including appropriate mitigation where required. Developments must meet standards to minimise the risks of flooding and pollution by being properly drained either through connection to the public sewer and / or being drained through appropriate SUDS arrangements. The above matters are considered below:

### **Layout, Siting and Design**

- 8.13 The layout broadly follows the principles detailed in Designing Streets with all units possessing an active street frontage and through the formalisation and continuation of the existing track to the northern boundary of the site. The proposed development

would see 3 units accessed directly off the existing South Argo Terrace with the existing track to the northern boundary formalised and extended into a new cul-de-sac from which a further 14 units would be served culminating in a turning head at the south-eastern boundary of the site. Each of the proposed units would however have a principal elevation facing onto either the existing (South Argo Terrace) or proposed road as encouraged by national design guidance to achieve an attractive and welcoming streetscape. 5 of the proposed houses will have a frontage directly onto South Argo Terrace which mirrors the existing street pattern established directly north of the site. The layout has also been amended through discussion with the agent to show parking provided along the side curtilage of these houses rather than the front in order to reduce the feeling of car dominance along this boundary of the site.

- 8.14 The remaining houses would be accessed from the new cul-de-sac intended to run north-south through the site; this is some conflict with the established pattern north and northwest of the site whereby houses are sited with an east-west horizontal axis. The layout does however minimise the requirement for new road surfacing with associated visual benefit as well as maximising the site's development capacity which is encouraged by Scottish Planning Policy. The plot ratios and development density are both considered to be commensurate with the site's village location with a good level of amenity space per unit, and its overall location and design are not considered to conflict with any of the Placemaking Priorities identified for Golspie as listed in para 8.10.
- 8.15 The proposal will see the introduction of a development of traditionally proportioned houses with a relatively contemporary appearance and with a degree of uniformity to their overall visual appearance through the use of a consistent material palette across all units with the proposed mix also aiding in breaking up the mass particularly along the two blocks of terraced units. Interest and variation are instead created through the development through the variety of house types, heights and addition of porches/canopy entrances. The proposed window fenestration has also been amended through discussion with the agent to present a simpler form.
- 8.16 The development incorporates active travel links which will ensure pedestrian access from within the site onto South Argo Terrace. From here it is possible for pedestrians to continue onto the existing path network at Park Street to the north west of the site which leads through the school grounds and onto Back Street and into the village centre. The applicant has agreed to undertake improvement works to the existing path including the clearing of vegetation and subsequent re-surfacing works. A new dropped kerb crossing with tactile paving will be installed on the corner of South Argo Terrace and Sibell Road opposite Park Street. These measures have been noted as acceptable to Transport Planning and are secured by condition to be completed prior to first occupation of any of the proposed houses.
- 8.17 Landscaping will be an integral part of the proposal with proposals in this regard detailed on the submitted Landscaping Plan and further elaborated in the Design Statement. This notes that the landscape framework aims to provide a well-designed and well-connected neighbourhood that makes a positive contribution to the village environment creating an appropriate sense of place and identity. In particular the inclusion of lower fence heights at semi-public / private areas will enhance a community feel to the development. Two areas of communal open space are

proposed to address the requirements of the Open Space in New Developments Supplementary Guidance, one adjacent to the turning head to be planted with cherry trees and a larger landscaped area to the south of the development, also incorporating the SUDS basin, which would include areas of native planting within mown grass while the basin area would be planted with a wildflower mix. In addition the remainder of the field in which the site is located will remain available for use and can be accessed on foot from the development. A condition is added with respect to public art which could take the form of benches located through this area.

- 8.18 A condition to agree a finalised landscape plan is also attached to address the comments of the Access Officer to ensure vehicular access to the remainder of the field to the east will be restricted. The condition also notes a requirement for more of the existing stone wall along the South Argo Terrace frontage to be retained within the front curtilages of those proposed houses. The applicant has indicated their agreement with both requirements.

### **Amenity impacts including construction**

- 8.19 The siting and orientation of the proposed houses ensures the amenity of existing surrounding housing is maintained. In particular the majority of houses along Sibell Road, which have their rear elevations backing onto the site, will largely look onto the side gables of the proposed development which are left blank. Numbers 13 and 14 Sibell Road which are a semi-detached block are however set further back from the road and adjoin the site on its north-eastern boundary, orientated with their principal elevations facing southwest rather than onto Sibell Road. The nearest houses within the development would be 25m distance and are orientated to avoid direct overlooking of windows. It is however acknowledged that there will be a degree of overlooking from the proposed development across the garden areas of these existing houses however this will be limited to an oblique angle. The existing property at Towerview to the south of the site will also be adjacent to side gables left blank of windows. As such the proposal is not considered to result in any significantly adverse amenity impact with the layout having addressed the orientation of adjacent properties as far as practicable.
- 8.20 Additionally, developers must comply with reasonable operational practices with regard to construction noise so as not to cause nuisance. Section 60 of the Control of Pollution Act 1974 sets restrictions in terms of hours of operation, plant and equipment used and noise levels, amongst other factors, which is enforceable via Environmental Health, whereby working hours would usually be restricted to be 07.00 – 19.00 Monday to Friday, 08.00 – 13.00 on Saturday with no Sunday or Bank Holiday working. Developers and contractors are expected to employ the best practicable means to reduce the impact of noise from construction activities at all times. As further detailed in section 8.22 below, details of the proposed site compound(s) are sought by condition to order to ensure impacts on existing housing during the construction phase can be mitigated.

### **Access and Parking**

- 8.21 The site will be accessed by vehicular traffic from South Argo Terrace; this roadway extends south from Sibell Road. Whilst objectors have noted concern with junctions onto the A9 trunk road, the application requires to be assessed solely in terms of its

access onto the public road i.e. South Argo terrace itself noting however that Transport Scotland, who manage the trunk road network, have raised no objection to the development. The two-way section of South Argo Terrace along the frontage of the site is, although sufficient to allow passing of cars, is measured as being single carriageway width and will be widened to 5.5m as part of the proposed development thereby increasing road safety. This will involve the taking down of the stone wall along the site frontage and its rebuilding further within the site to create additional space to facilitate the proposed road widening.

- 8.22 Representations have raised concern that access to the rear of houses along Sibell Road which adjoin the site to the north would be impeded or no longer available. This current informal access track would be surfaced as part of the development would form the main access into the site. The section of track which bounds the rear of numbers 17-20 was noted originally as being reinstated and grass seeded; however through discussion with the agent an amended plan has been received showing this track has being surfaced in order that it will remain suitable for vehicular access to all houses on Sibell Road backing onto the site; it is considered that this adequately addresses concerns which have been expressed in this regard. Access to the rear of these properties will however remain available over this grassed surface.
- 8.23 Bin collection points have been identified throughout the site and the technical specification of the new road including its geometry and width addresses the requirements of the Roads and Transport Guidelines for New Developments. Given the proximity of the site to existing housing, a Construction Traffic Management Plan is sought by condition in order to ensure measures are in place to mitigate the impact of construction vehicles, that site compounds are sited appropriately and to ensure no impact on peak school times.
- 8.24 Each house would have two parking spaces either to the front or the side of the property with an additional two visitor spaces adjacent to Plot 12 in the north-eastern corner of the site. It is expected that each home would be provided with the ability to install electric car charging with three communal charging points also provided for the cottage flats. These measures are secured by condition.
- 8.25 In terms of active travel it is proposed that pedestrian access will be via extended existing and new footpaths to/from South Argo Terrace as detailed in Section 8.16 above to allow linkages connecting the site to the village centre and the school. A communal bike storage facility will also be provided to the front of the cottage flats.

### **Drainage and Flood Risk**

- 8.26 The application proposes the formation of large surface water (SUDS) basin in the southern portion of the site in order to address surface water run-off within the site. The design and specification of the basin has been amended following advice from the Council's Flood Risk Management Team to ensure it meets the requirements of the Sewers for Scotland document such that it can be adopted by Scottish Water for long term maintenance purposes. A condition is added to ensure the finalised, detailed drainage is agreed by FRM to order to ensure it is capable of

accommodating their required discharge rate including allowance for climate change storm events.

- 8.27 As noted in the site description a culverted watercourse, the Golspie Tower Burn, runs through the site in a north-south direction through the centre of the proposed development. Further information has been provided by the applicant which determines its exact route and demonstrates that the proposed development will redirect the culvert so that it will remain within the road and open areas of the development i.e. outwith any individual property boundary. A condition is added to ensure that the final replacement culvert design is agreed by the FRM Team. A post development CCTV condition survey of the culvert, including the short downstream section, should also be provided, and any remedial works carried out as required.
- 8.28 The above measures have allowed the FRM Team to withdraw its objection to the application subject to the aforementioned conditions being attached to any consent. As such the proposed development is now considered to comply with Policies 64 and 66 of the Highland-wide Local Development Plan. As per Policy 65, it is proposed to connect to the public sewer to accommodate foul drainage with capacity having been confirmed by Scottish Water in its consultation response.

#### **Impact on Council Infrastructure and Services and Proposed Mitigation (Developer Contributions)**

- 8.29 Planning obligations are sought to mitigate the impact of the development that cannot be mitigated through the planning process or through the use of planning conditions and is subject to the of the Scottish Government Planning Circular 3/2012 Planning Obligations and Good Neighbour Agreements.
- 8.30 In this instance, contributions are required towards community facilities in order to contribute to the upgrading of the existing sports facilities north of Golspie Primary School and towards the provision of a studio/weights area at the Sutherland Swimming Pool. These contributions are at a rate of £1,160.44 per house giving a total figure of £19,727,48.

#### **Matters to be secured by Legal Agreement / Upfront Payment**

- 8.31 In order to mitigate the impact of the development on infrastructure and services the following matters require to be secured prior to planning permission being issued:
- a) Developer Contributions towards Community Facilities
- 8.32 The applicant has four months from the date that the Council's solicitor writes to the Applicant/Applicant's solicitor indicating the terms of the legal agreement or other appropriate mechanism to secure mitigation for the impacts of the development agreed by the Planning Service, to deliver to the Council a signed legal agreement. Should an agreement or other appropriate mechanism to secure the mitigation agreed by the Planning Service not be delivered within four months, the application may be refused under delegated powers for the following reason:

*The proposed application has failed to conclude a legal agreement required to secure reasonable and proportionate contributions to secure mitigation for the impacts of the proposed development. As such the application is contrary to the*

*provisions of Policy 31 of the Highland-wide Local Development Plan (Developer Contributions) and related Developer Contributions Supplementary Guidance.*

### **Minor Departure Justification**

- 8.33 As noted at the outset the proposed site lies within an area covered by a Green Space allocation within the adopted Local Development Plan. This application proposes an alternative use which is considered an acceptable departure from this position for the following reasons:
- The applicant has demonstrated there are a lack of suitable alternative sites for the proposed development;
  - The applicant has set out a need for the proposed development and their desire to provide housing within a village location – a condition is added for the avoidance of doubt to reflect that the development shall be used as *affordable* housing;
  - The proposed site has ceased to function as its original use for provision of hockey and is no longer fit for purpose as allowed for under Policy 76 of the HwLDP
  - The proposal conforms with adjacent land uses in line with HwLDP Policies 28 and 34
  - The proposal conforms with the Local Development Plan in all other aspects and any impacts of the development have been suitably mitigated through the design and suggest conditions.

## **9. CONCLUSION**

- 9.1 The application proposes the erection of 17 new Council homes; the need for such development is undisputed however in this instance the development sits somewhat uncomfortably with the development plan context and specifically the Green Space designation within which the site lies. In such areas however the Highland-wide Local Development Plan acknowledges that development may be acceptable where the Green Space in question can be considered no longer fit for purpose. In this instance, whilst the site provides a useful general amenity area, it has evidently moved away from its original sporting use which ceased over two decades ago. Given this position it is considered that it can therefore reasonably contribute to the provision of Council homes within the village on a site with good pedestrian and active travel links thereby addressing key sustainability requirements.
- 9.2 The concerns of objectors with regard the development plan position are noted and understood however, and whilst not a material consideration, it is not considered the development of the site would result in any undesirable precedent being set largely as all applications require to be assessed on their own respective merits but also due to the very specific circumstances governing this particular site i.e. its original use having now ceased as detailed above.
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal does not accord with the Green Space allocation detailed in the Caithness and Sutherland Local Development however it accords with the principles and policies contained within the Highland-wide Local Development Plan and is acceptable in terms of all other applicable material considerations.



## 10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

## 11. RECOMMENDATION

Action required before decision issued	Y	Payment of developer contributions
Notification to Scottish Ministers	N	
Conclusion of Section 75 Obligation	N	
Revocation of previous permission	N	

**Subject to the above actions**, it is recommended to **GRANT** the application subject to the following conditions and reasons

1. No development shall commence until a Construction Traffic Management Plan (CTMP) has been submitted to and approved in writing by the Planning Authority in consultation with the Roads Authority. The CTMP shall include measures to minimise the impact of construction traffic. Depending on the level of traffic to be generated, consultation with stakeholders, including local community representatives, may be necessary. As a minimum the CTMP should include the following:
  - A road construction programme in relation to house building.
  - An estimate of the number and type of vehicle movements that will be generated during the construction period.
  - Details of arrangements for the delivery and storage of plant and materials.
  - Proposed measures to mitigate the impact of construction traffic on the routes to the site following assessment of the affected roads.
  - Measures to avoid conflict with school opening/closing times and any planned local events.

- Details of appropriate traffic management measures to be established and maintained for the duration of the construction period.
- Measures to ensure that all affected public roads are kept free of mud and debris arising from construction traffic.
- Details of a site compound, including welfare facilities.
- Details of car parking arrangements for staff and visitors.

The approved CTMP shall thereafter be implemented for the duration of the construction phase.

**Reason:** To minimise the impact of the construction phase on road safety and amenity.

2. No development shall commence until the final replacement culvert design is submitted to and approved in writing by the Planning Authority. The development shall thereafter progress in accordance with the approved details. On completion of the development, a post development CCTV condition survey of the culvert, including the short downstream section, shall also be provided, and any remedial works carried out as required.

**Reason:** To ensure that all flood mitigation infrastructure, required in order to reduce the risk of flooding occurring both within and outwith the application site, is provided timeously.

3. No development shall commence until the final drainage design is submitted to and approved in writing by the Planning Authority. This shall demonstrate that the discharge rate from the site shall be limited to a maximum rate of 1.1 l/s for all storms up to and including the 1 in 200 year plus climate change storm event. The development shall thereafter progress in accordance with the approved details with the agreed drainage measures fully installed prior to the completion of the development.

**Reason:** To ensure that surface water drainage is provided timeously and complies with the principles of SUDS and Sewers for Scotland.

4. No development or work (including site clearance) shall commence until a programme of work for the evaluation, preservation and recording of any archaeological and historic features affected by the proposed development/work, including a timetable for investigation, has been submitted to, and approved in writing by, the Planning Authority. The approved programme shall be implemented in accordance with the agreed timetable for investigation.

**Reason:** In order to protect the archaeological and historic interest of the site

5. No development shall commence until a scheme detailing electric vehicle charging points, has been submitted to and approved in writing by the planning authority. This shall include:

- i. identification of locations for communal electric vehicle charging points in the communal parking and these charging point locations are to be made available to The Highland Council or other public body for the installation of the charging point infrastructure;
- ii. the provision of infrastructure, defined as the provision of cabling from the consumer unit within the property to an external point, to allow the charging of electric vehicles within the curtilage of each house where the house has in-curtilage car parking provision;
- iii. a timescale for implementation for infrastructure; and
- iv. outline details of a communication pack to be provided to each household on first occupation explaining how they can access electric vehicle charging infrastructure.

The approved scheme shall be implemented in line with the approved timescales.

**Reason:** To facilitate the move toward the reduction in reliance of petrol and diesel cars.

6. No development shall commence until a scheme for the provision of public art within the site, through measures such as the gateway features and the provision of benches within the public open space has been submitted to and approved in writing by the Planning Authority. Thereafter, the approved scheme shall be implemented in full and in accordance with the timescales contained therein.

**Reason:** In the interests of visual amenity, and to promote a sense of place.

7. No development shall commence until a finalised Landscape Plan has been submitted to and approved in writing by the Planning Authority. The Plan shall be based on approved Landscape Plan ref: DIHD21027-C0017-02-00-DR-A-0401-D1-2 REV 2 with the inclusion of:

- Re-building of the existing stone wall along the South Argo Terrace frontage in between individual property driveways for the extent of this frontage;
- Inclusion of fencing to restrict vehicular access to the east of the proposed turning head
- A programme for preparation, completion and subsequent on-going maintenance and protection of all landscaping works.

Landscaping works shall be carried out in accordance with the approved scheme. All planting, seeding or turfing as may be comprised in the approved details shall be carried out in the first planting and seeding seasons following the commencement of development, unless otherwise stated in the approved scheme.

Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

In order to ensure that a high standard of landscaping is achieved, appropriate to the location of the site.

8. Prior to the first occupation of the development hereby approved a scheme for the maintenance, in perpetuity, of all on-site green spaces and other spaces, facilities, features or parts of the development that are not the exclusive property of any identifiable individual home owner (such as communal parking areas, the common entrances to flatted developments and estate lighting, and those elements of surface water drainage regimes not maintained either by the Council or Scottish Water), have been submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented in full and in accordance with the timescales contained therein.

**Reason:** To ensure that all communal spaces, facilities and landscaping areas are properly managed and maintained.

9. Prior to the first occupation of the development hereby approved the improvement works to pedestrian footways shown an approved plan ref: 3751:204 shall have been provided and made available for use. Thereafter the paths shall be maintained as such in perpetuity. For the avoidance of doubt the following shall be provided:

- o Provision of dropped kerbs crossing at the junction of South Argo Terrace and Park Street

- o Resurfacing of the existing path west of Park Street as detailed on site plan 3751:204

**Reason:** In the interests of improving pedestrian linkages.

10. Prior to the first occupation of the development hereby approved, the car parking (including visitor parking) detailed on approved plan ref. DIHD21027-C0017-ZZ-00-DR-A-0201-D3 REV 06 shall be completed in full and made available for use. Thereafter, all car parking spaces shall be maintained for this use in perpetuity.

**Reason:** In order to ensure that the level of off-street parking is adequate.

11. All landscaping works shall be carried out in accordance with the scheme and plans approved as part of this permission. All planting, seeding or turfing as may be comprised in the approved scheme and plans shall be carried out in the first planting and seeding seasons following the commencement of the development, unless otherwise stated in the approved scheme. Any trees or plants which within a period of five years from the completion of the

development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

Reason: In order to ensure that the approved landscaping works are properly undertaken on site.

12. No development shall commence on site until a scheme for the provision of 17 on site affordable housing units (which meets the definition of affordable housing outlined in The Highland Council's Developer Contribution Supplementary Guidance (as amended, revoked or replaced; with or without modification)) as part of the development plan hereby approved has been submitted to, and approved in writing by, by the Planning Authority. The scheme shall include:
- I. The numbers, type, tenure and location of the affordable housing provision to be made, within the application site;
  - II. The timing of the construction of the affordable housing,
  - III. The arrangements for the management of the affordable housing; and
  - IV. The occupancy criteria to be used for determining the identity of occupiers of the affordable housing and the means by which such occupancy criteria shall be enforced.
  - V. Thereafter the affordable housing shall be provided in accordance with the approved scheme.

**Reason:** To ensure that affordable housing is provided as part of the development, in accordance with development applied for and the need for affordable housing within the area, which has been established through the Council's Developer Contribution Supplementary Guidance .

## **REASON FOR DECISION**

All relevant matters have been taken into account when appraising this application. It is considered that the proposal does not accord with the Green Space allocation detailed in the Caithness and Sutherland Local Development however it accords with the principles and policies contained within the Highland-wide Local Development Plan and is acceptable in terms of all other applicable material considerations.

## **TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION**

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

## **INFORMATIVES**

### **Initiation and Completion Notices**

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

### **Flood Risk**

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

### **Scottish Water**

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

### **Local Roads Authority Consent**

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

[http://www.highland.gov.uk/info/20005/roads\\_and\\_pavements/101/permits\\_for\\_working\\_on\\_public\\_roads/2](http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2)

### **Mud & Debris on Road**

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

### **Construction Hours and Noise-Generating Activities**

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact [env.health@highland.gov.uk](mailto:env.health@highland.gov.uk) for more information.

### **Protected Species – Halting of Work**

You are advised that work on site must stop immediately, and Scottish Natural Heritage must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from SNH: [www.snh.gov.uk/protecting-scotlands-nature/protected-species](http://www.snh.gov.uk/protecting-scotlands-nature/protected-species)

Signature:

Designation: Area Planning Manager North

Author: Gillian Pearson

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

- Plan 1 - Location Plan DIHD21027-C0017-ZZ-00-DR-A-0204-D4 REV 02
- Plan 2 - Site Layout Plan DIHD21027-C0017-ZZ-00-DR-A-0201-D3 REV 06
- Plan 3 - Road Layout 3751 101 REV B
- Plan 4 - Drainage Layout 3751 105 REV B
- Plan 5 - House Type 1 DIHD21027-C0017-01-ZZ-DR-A-0201-D3 REV 2
  
- Plan 6 - House Type 2 DIHD21027-C0017-02-ZZ-DR-A-0201-D3 REV 3
- Plan 7 - House Type 3 DIHD21027-C0017-03-ZZ-DR-A-0201-D3 REV 4
- Plan 8 - House Type 4 DIHD21027-C0017-04-ZZ-DR-A-0201-D3 REV 3
- Plan 9 - House Type 5 DIHD21027-C0017-05-ZZ-DR-A-0201-D3 REV 2
- Plan 10 - House Type 6 DIHD21027-C0017-06-ZZ-DR-A-0201-D3 REV 5
- Plan 11 - Landscaping Plan DIHD21027-C0017-02-00-DR-A-0401-D1-2 REV 2
- Plan 12 - Road Adoption Plan 3751 104
- Plan 13 – Path Improvement Works 3751:204



Appendix 2

	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
Type	Contribution	Rate (per house)	Rate (per flat)	Total Amount* <sup>1</sup>	Index Linked <sup>1</sup>	Base Date* <sup>2</sup>	Payment Trigger* <sup>3</sup>	Accounting Dates* <sup>4</sup>	Clawback Period* <sup>5</sup>
<b>Schools<sup>2</sup></b>									
Primary – Build Costs	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Primary – Land Costs	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Secondary – Build Costs	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Secondary – Land Costs	Insert what contribution is for	£0.00	£0.00	£0.00	No		TOC/CC	Apr/Oct	15 or 20
<b>Community Facilities</b>	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
<b>Affordable Housing</b>									
On-site provision <sup>3</sup>	X units. Insert details of unit size and timescale for delivery if agreed	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Off-site provision <sup>4</sup>	X units. Insert details of location, unit size and timescale for delivery if agreed	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Commuted Sum <sup>5</sup>	£0.00 per affordable unit not delivered on/off site. Insert expected timescale for payment - can be in installments	N/A	N/A	£0.00	N/A	N/A	Insert specific payment date	N/A	5 Years
Agreement for Delivery Needed	Y/N. If delivery for affordable housing has not yet been agreed, enter Y and specify the date/timescale that the scheme for delivery is to be submitted for approval	N/A	N/A	N/A	N/A	N/A	Insert date for submission to Planning Authority	N/A	N/A

<sup>1</sup> If the contribution is to be used towards infrastructure projects involving building e.g. new school, new cycle route etc BCIS ALL IN TENDER will be the index, if it doesn't involve building then another appropriate index may need to be chosen with the agreement of Team Leader

<sup>2</sup> Indicate whether or not 1 bed houses/flats are exempt

<sup>3</sup> Indicate whether a penalty payment due for late delivery (and, if so, what it is based upon).

<sup>4</sup> As above

<sup>5</sup> Indicate whether a penalty payment is due for late payment of commuted sum (and, if so, what it is based upon)

<b>Transport</b>									
Active Travel	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Safer Routes to Schools	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Public Realm	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Wayfinding	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Public Transport	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
School Transport	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Road Improvements	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Parking	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
EV Charging	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Traffic Signals	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Lighting	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Road Traffic Orders	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Cumulative Transport Contributions	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
<b>Green Infrastructure</b>									
Open Space	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Green Network	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Built/Natural Heritage	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
<b>Water and Waste</b>									
Catchment Improvement Works	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Strategic Flood Scheme	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Maintenance of SuDs	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Off Street Waste Storage	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Recycling Point Provision	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Glass Banks	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
		£0.00	£0.00	£0.00					
<b>Public Art</b>	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
<b>Other (Please Specify)</b>	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20

\*1 Adjust total to take account of flat exemptions

\*2 Base Date – Set out in Supplementary Guidance on Developer Contributions

\*3 TOC/CC – The earlier of the issue of either a temporary occupation certificate or a completion certificate – or specify alternative time if appropriate

\*4 Accounting dates - 1 April & 1 October each year of development (if the contribution is to be paid on a basis other than related to units completed in the preceding 6 months (e.g. lump sum on a specific date) then indicate this instead of the Apr/Oct payment dates)

\*5 Clawback – 15 years for Major development; 20 years for Local development

## Other Legal Agreement requirements

Type	Details
Bond	1. Describe the purpose of the Bond
	2. Specify the amount to be secured
	3. Restriction on Bond provider
	4. Set the review date and mechanism for review
	5. Describe the call on circumstances
	6. Any other relevant details
Habitat Management Plan	1. Describe what the Plan is to cover
	2. Describe the area the Plan is to cover (and provide a plan)
	3. Set the timetable for submission of the Plan
	4. Set the timescale for implementation of the Plan
	5. Describe requirements to consult third parties
	6. Specify the financial contribution (if any)
	7. Specify the clawback period (if any)
	8. Any other relevant details
Road Survey	1. Specify the timescale for the initial survey
	2. Describe which roads are to be surveyed (provide a plan)
	3. Specify an interim survey date (if required)
	4. Specify the final survey requirements and timescale
	5. Any other relevant details
Land and Asset Transfer	1. Describe the area of land / asset to be transferred (provide a plan)
	2. Describe the use of the land / asset
	3. Specify the cost of transfer
	4. Any other relevant details



**DRAINAGE LEGEND**

	EXISTING COMBINED SEWER
	EXISTING COMBINED SEWER MANHOLE
	EXISTING COMBINED SEWER TO BE ABANDONED
	DIVERTED COMBINED SEWER
	DIVERTED COMBINED SEWER MANHOLE
	PROPOSED STORM SEWER
	PROPOSED STORM MANHOLE
	PROPOSED PERMEABLE PAVING
	EXISTING CULVERT
	EXISTING CULVERT TO BE ABANDONED
	PROPOSED CULVERT DIVERSION
	PROPOSED CULVERT DIVERSION MANHOLE

- NOTES**
- ALL FINISHED FLOOR LEVELS ARE MINIMUM LEVEL TO ENSURE CONNECTION TO PROPOSED SEWERS.
  - LEVELS ARE RELATIVE TO OS DATUM.
  - ALL DRAINAGE TO BE CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND.
  - ALL EXISTING DRAINAGE LINES AND LEVELS TO BE CONFIRMED ON SITE AND ANY DISCREPANCY REPORTED TO HGA.
  - ALL PIPEWORK 150mm Ø TO 450mm Ø TO BE STRUCTURED WALL uPVC TO WIS 4-35-01 UNLESS NOTED OTHERWISE.
  - BEDDING TO PIPEWORK TO BE IN ACCORDANCE WITH WIS 4-05-02.
  - TYPE 'A' AND TYPE 'B' MANHOLES TO BE PRE CAST CONCRETE WITH 675x675 DI COVERS TO BS EN 124 CLASS D400. ALL IN ACCORDANCE WITH SCOTTISH WATER STANDARDS DETAILS. FOR MANHOLES TYPES SEE LONG SECTION DRAWINGS.
  - FOR ALL OTHER MANHOLE TYPES REFER TO SPECIFIC NOTES ON LONG SECTIONS.
  - DISCONNECTING CHAMBERS TO BE 450mm DIA PP WITH PROPRIETARY COVER AND FRAME. WHERE DEPTH EXCEEDS 1.2m, DIAMETER OF OPENING TO BE REDUCED TO 350mm DIA WITH SCREW DOWN COVER.
  - ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE AS BUILT SURVEY TO INCLUDE ALL MANHOLE LOCATIONS, COVER AND INVERT LEVELS AND PIPE SIZES.
  - ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE CCTV SURVEY AND REPORT IN A FORMAT SUITABLE FOR SUBMISSION TO SCOTTISH WATER.
  - ALL WORKS TO BE INSPECTED AND APPROVED BY SCOTTISH WATER.

Drawing No. <b>3751:105</b>		Revision <b>B</b>
Revisions	Date	Drm.
A DRAINAGE REVISED. EXISTING CULVERT SHOWN WITH DIVERSION.	16.03.22	PJ
B DRAINAGE REVISED. EXISTING CULVERT NOTES ADDED.	14.04.22	PJ

**APPROVAL  
DRAWING**

**THE HIGHLAND COUNCIL**

SOUTH ARGO TERRACE,  
GOLSPIE

**DRAINAGE LAYOUT**

Drawn: PJ	Ck'd: PJ	Scale: 1:250 (A1)
Date: NOV 2021	Date:	DO NOT SCALE

consulting engineers

HGA(UK) Ltd  
Darach House  
Stoneyfield Business Park  
Inverness IV2 7PA  
T: 01463 221717  
F: 01463 224275  
email: hga@hgagroup.co.uk

Drawing No. <b>3751:105</b>		Revision <b>B</b>
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Figured dimensions only are to be taken from this drawing. All dimensions are to be checked on site before any work is put in hand. IF IN DOUBT ASK.

CDM: Hazard Elimination & Risk Reduction has been undertaken and recorded where appropriate, in accordance with the requirements of "The Construction (Design and Management) Regulations 2015" and the associated "Industry Guidance for Designers"

**SUGGESTED EXTERNAL MATERIALS**

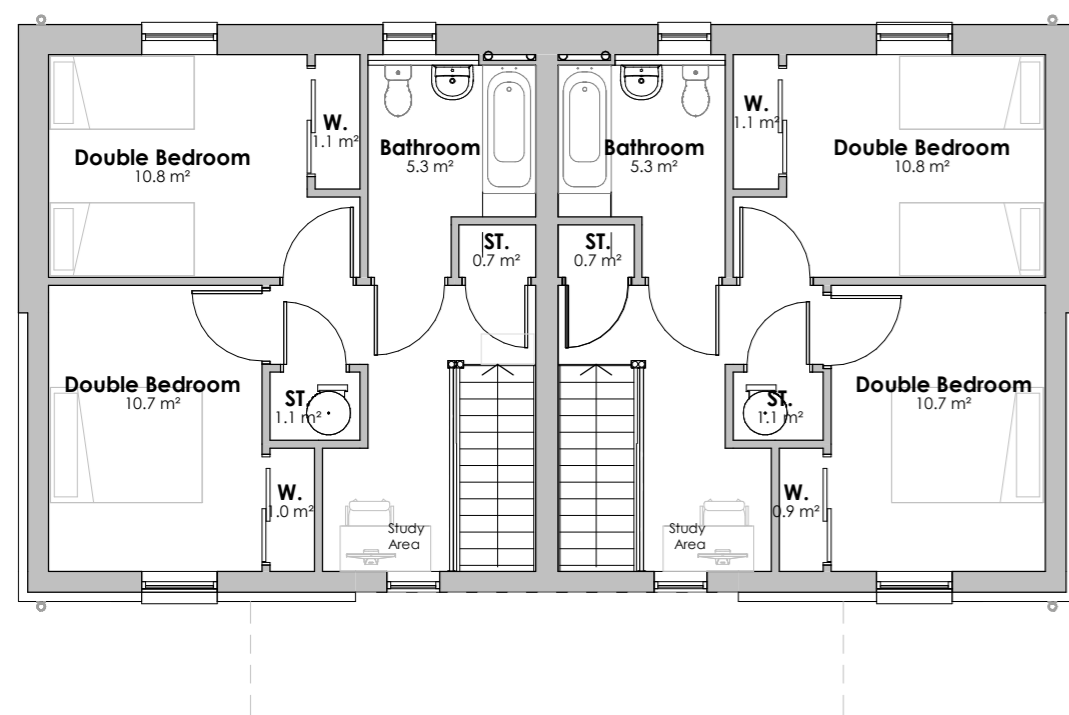
- Dark grey concrete roof tiles
- Wood effect composite wall cladding (vertical/horizontal)
- White colour render finish to external walls
- Dark grey colour Alu-clad timber windows/screens/doors
- Dark grey uPVC fascias/soffits/rainwater goods



**Front Elevation**  
Scale - 1 : 100



**Rear Elevation**  
Scale - 1 : 100



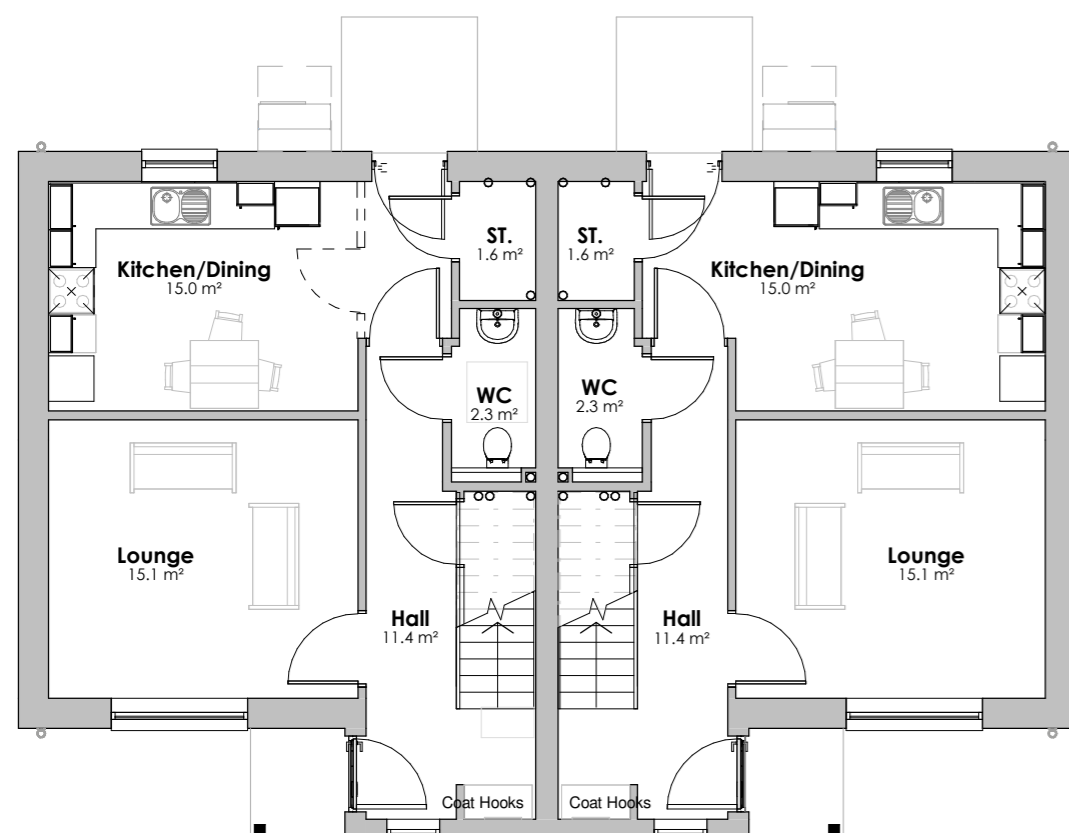
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Scale - 1 : 100



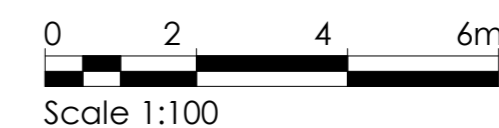
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Scale - 1 : 100



**RHS Elevation**  
Scale - 1 : 100



**Ground Floor - Planning**  
Scale - 1 : 100



Rev	Description	Date
02	Window arrangement revised	29/03/22
01	Original - First Issue	-



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Inverness IV2 6AA

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Client  
The Highland Council

Project  
Housing Development  
South Argo Terrace  
Golspie

Project No. 2085

Drawing No.  
DIHD21027\_C0017\_01\_ZZ\_DR\_A\_0201\_D3

Revision 02

HOUSE TYPE 01 - 2B4P SEMI-D.  
PLANNING  
Proposed General Arrangement

Status  
PLANNING

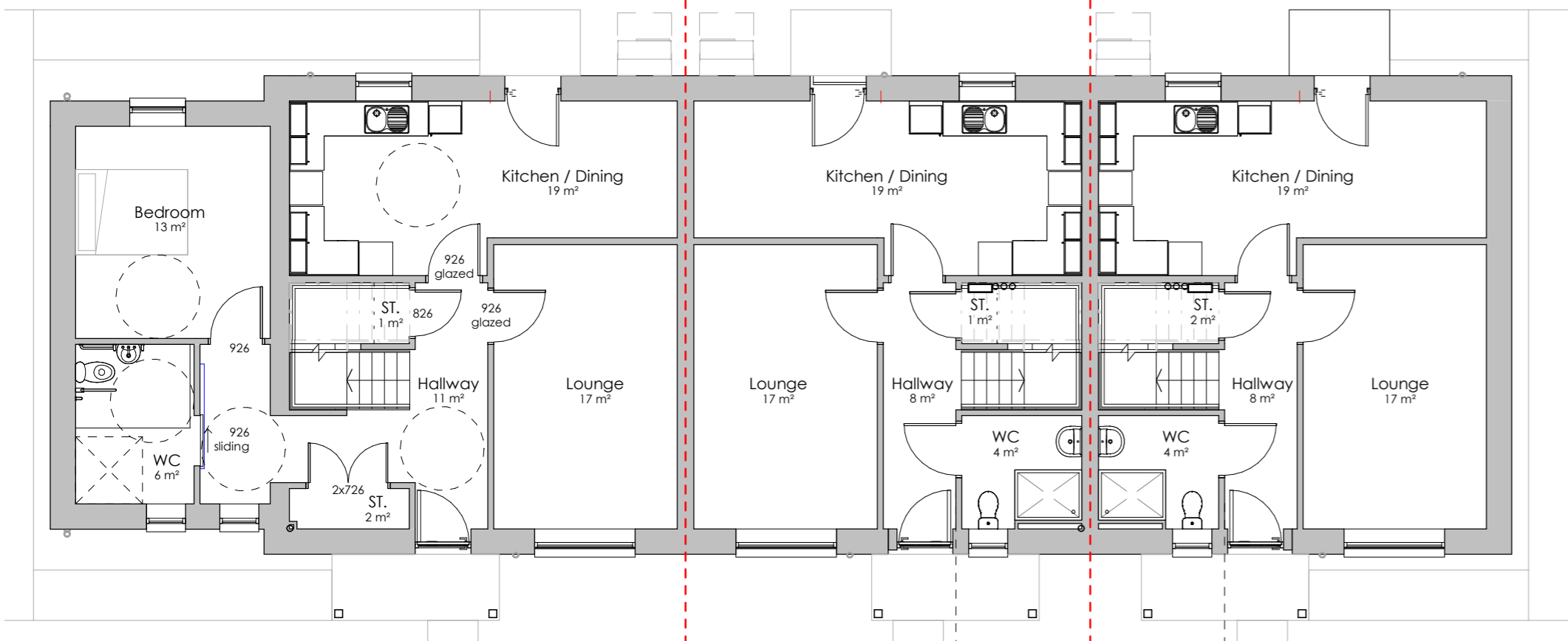
Date Created Sept. '21 Drawn by DJC

Scale 1 : 100 Sheet @ A2

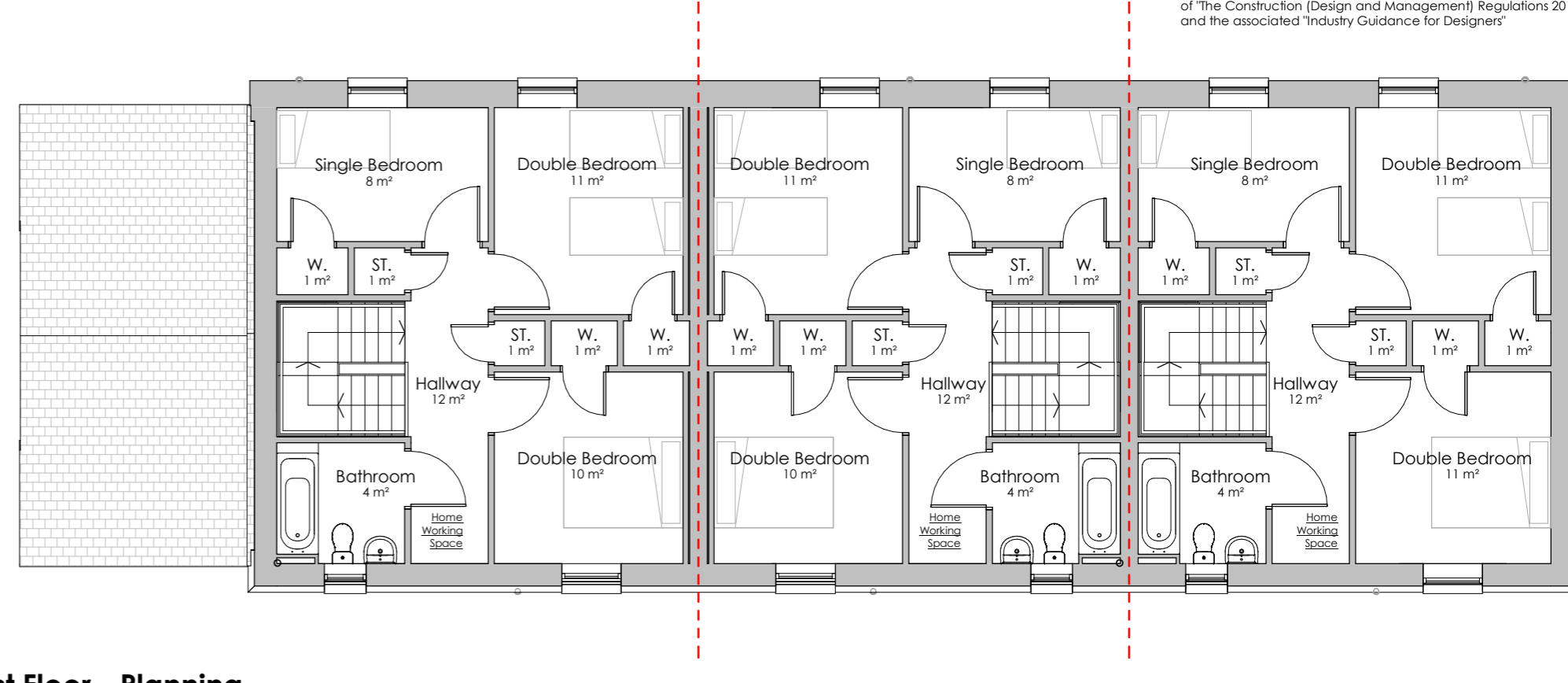
From file : X:\Documents\2085 - 24 New Housing Units, Golspie\02 - WORK IN PROGRESS\2.1 BIM Models\HOUSE TYPES\2085\_CAA\_HTL\_R102\_2B4P\_Semi - Warrant.rvt  
Printed on : 29/03/2022 14:05:26

Figured dimensions only are to be taken from this drawing. All dimensions are to be checked on site before any work is put in hand. IF IN DOUBT ASK.

CDM: Hazard Elimination & Risk Reduction has been undertaken and recorded where appropriate, in accordance with the requirements of "The Construction (Design and Management) Regulations 2015" and the associated "Industry Guidance for Designers"



**Ground Floor Plan - Planning**  
Scale - 1 : 100

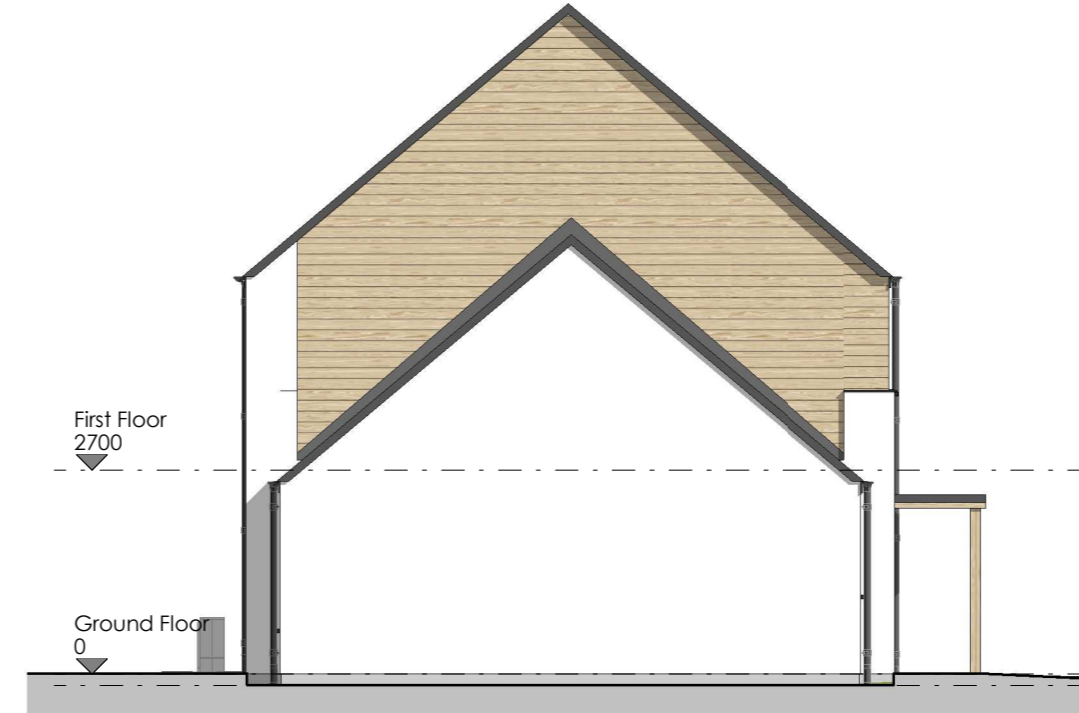


**First Floor - Planning**  
Scale - 1 : 100

- SUGGESTED EXTERNAL MATERIALS**
- Dark grey concrete roof tiles
  - Wood effect composite wall cladding (vertical/horizontal)
  - White colour render finish to external walls
  - Dark grey colour Alu-clad timber windows/screens/doors
  - Dark grey uPVC fascias/soffits/rainwater goods



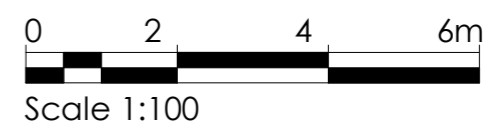
**Front Elevation**  
Scale - 1 : 100



**RHS Elevation**  
Scale - 1 : 100



**Rear Elevation**  
Scale - 1 : 100



Rev	Description	Date
03	Window arrangement revised	29/03/22
02	Project mirrored to suit site plan	17/02/22
01	Original - First Issue	-

**COLIN ARMSTRONG ARCHITECTS**

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Client	The Highland Council	
Project	Housing Development South Argo Terrace Golspie	
Project No.	2085	
Drawing No.	DIHD21027_C0017_02_ZZ_DR_A_0201_D3	
Revision	03	
HOUSE TYPE 02 - 3B5P + 4B7P Access.	PLANNING	
Proposed General Arrangement		
Status	PLANNING	
Date Created	Sept. '21	Drawn by WM
Scale	1 : 100	Sheet @ A2

From file : X:\Documents\2085 - 24 New Housing Units - Golspie\02 - WORK IN PROGRESS\2.1 BIM Models\HOUSE TYPES\2085\_CAA\_FT2\_FT02\_3B5P+4B7P Terrace - Planning.rvt  
Printed on : 29/03/2022 14:40:28

Figured dimensions only are to be taken from this drawing. All dimensions are to be checked on site before any work is put in hand. IF IN DOUBT ASK.

CDM: Hazard Elimination & Risk Reduction has been undertaken and recorded where appropriate, in accordance with the requirements of "The Construction (Design and Management) Regulations 2015" and the associated "Industry Guidance for Designers"

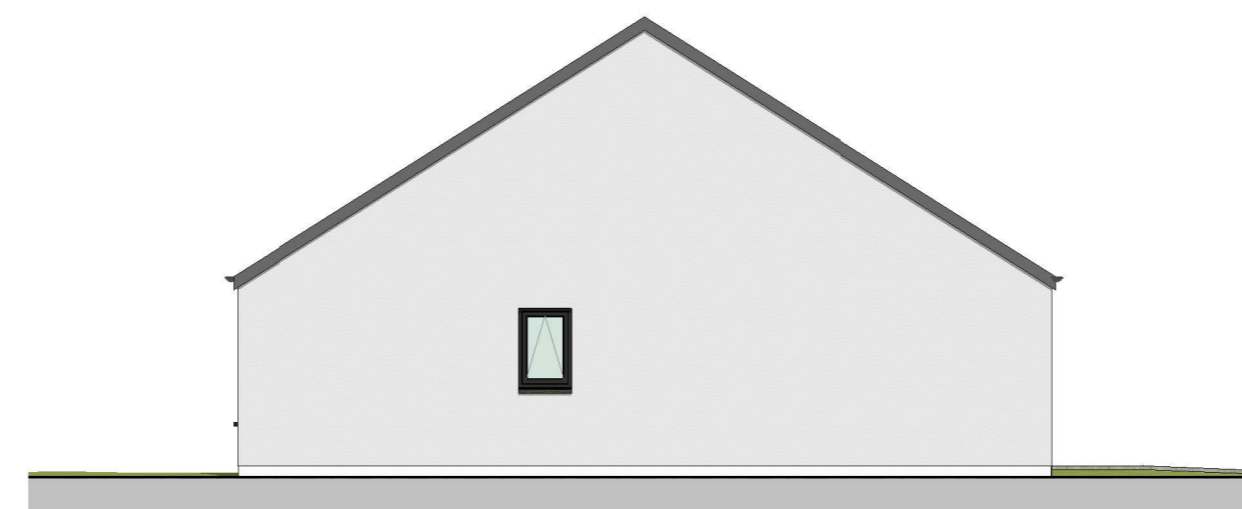
**SUGGESTED EXTERNAL MATERIALS**

- Dark grey concrete roof tiles
- Wood effect composite wall cladding (vertical/horizontal)
- White colour render finish to external walls
- Dark grey colour Alu-clad timber windows/screens/doors
- Dark grey uPVC fascias/soffits/rainwater goods



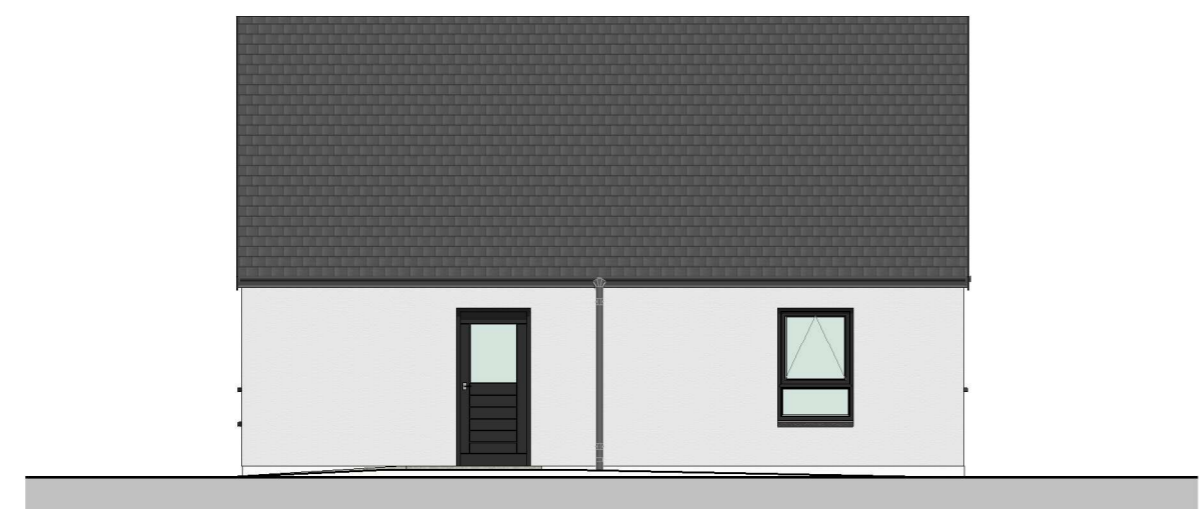
**Front Elevation**

Scale - 1 : 100



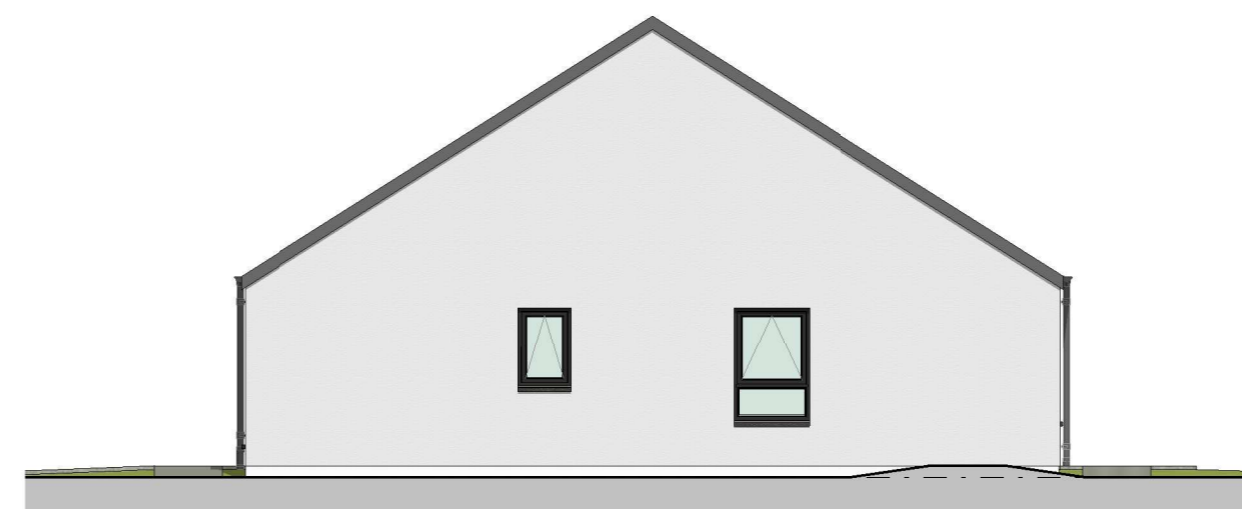
**LHS Elevation**

Scale - 1 : 100



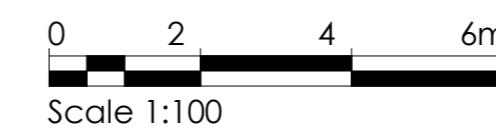
**Rear Elevation**

Scale - 1 : 100



**RHS Elevation**

Scale - 1 : 100



Rev	Description	Date
04	Window arrangement revised	29/03/22
03	Revised for OT comments	21/12/21
02	Added room dims and notes to shower room	24/11/21
01	Original - First Issue	-



**COLIN ARMSTRONG**  
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Client  
**The Highland Council**

Project  
**Housing Development  
South Argo Terrace  
Golspie**

Project No. **2085**

DIHD21027\_C0017\_03\_ZZ\_DR\_A\_0201\_D3

Revision **04**

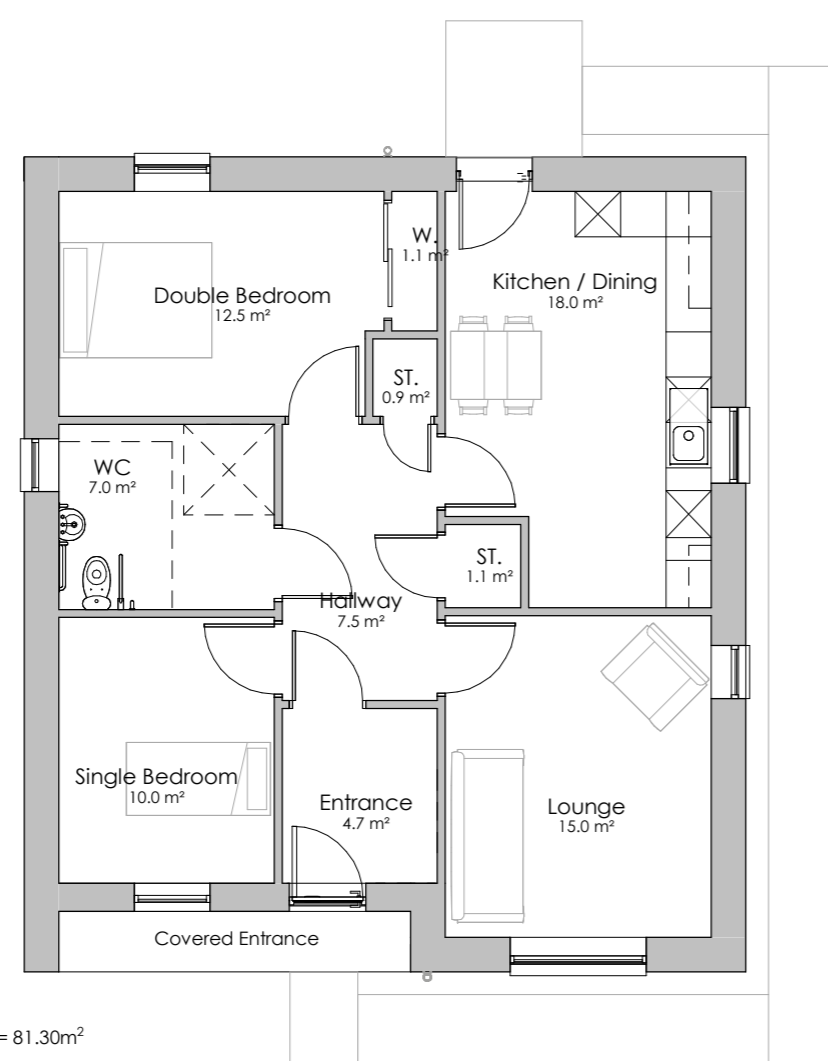
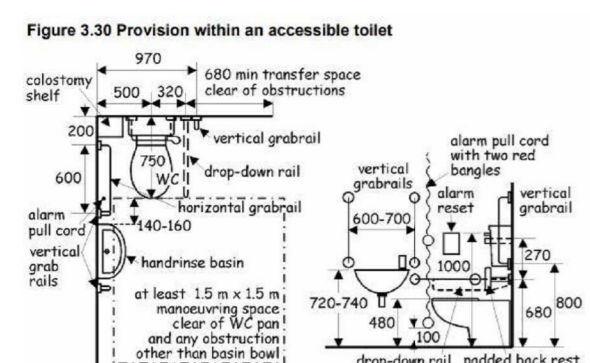
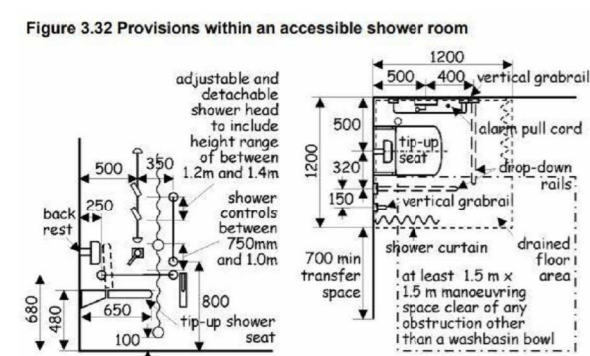
**HOUSE TYPE 03 - 2B3P - Bungalow  
PLANNING  
Proposed General Arrangement**

Status  
**PLANNING**

Date Created **Sept 2021** Drawn by **DJC**

Scale **1 : 100** Sheet **@ A2**

**RELEVANT EXTRACTS FROM BUILDING STANDARDS RELATING TO ACCESSIBLE WASHING / WC FACILITIES**



**Ground Floor**

Scale - 1 : 100



Figured dimensions only are to be taken from this drawing. All dimensions are to be checked on site before any work is put in hand. IF IN DOUBT ASK.

CDM: Hazard Elimination & Risk Reduction has been undertaken and recorded where appropriate, in accordance with the requirements of "The Construction (Design and Management) Regulations 2015" and the associated "Industry Guidance for Designers"

**SUGGESTED EXTERNAL MATERIALS**

- Dark grey concrete roof tiles
- Wood effect composite wall cladding (vertical/horizontal)
- White colour render finish to external walls
- Dark grey colour Alu-clad timber windows/screens/doors
- Dark grey uPVC fascias/soffits/rainwater goods



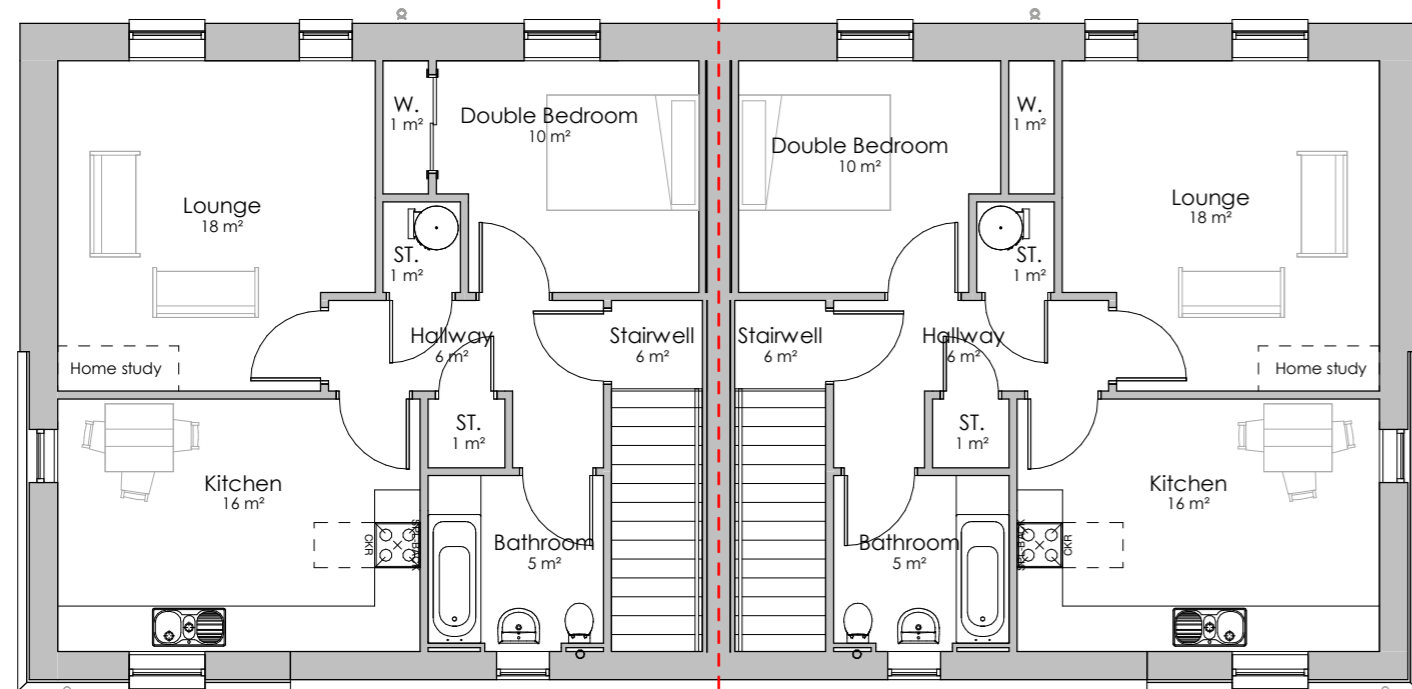
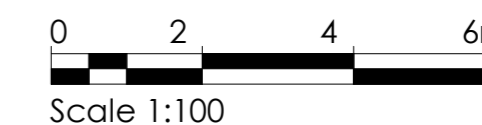
**Front Elevation**

Scale - 1 : 100



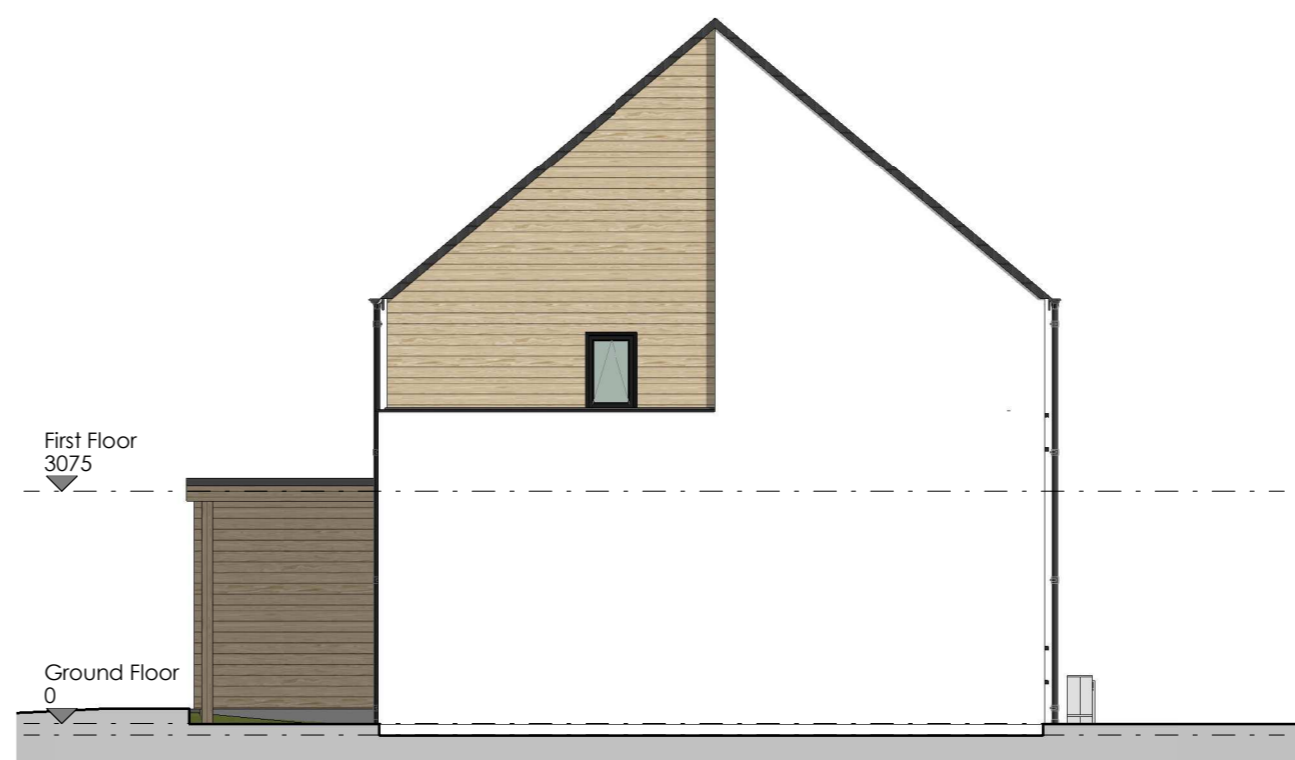
**Rear Elevation**

Scale - 1 : 100



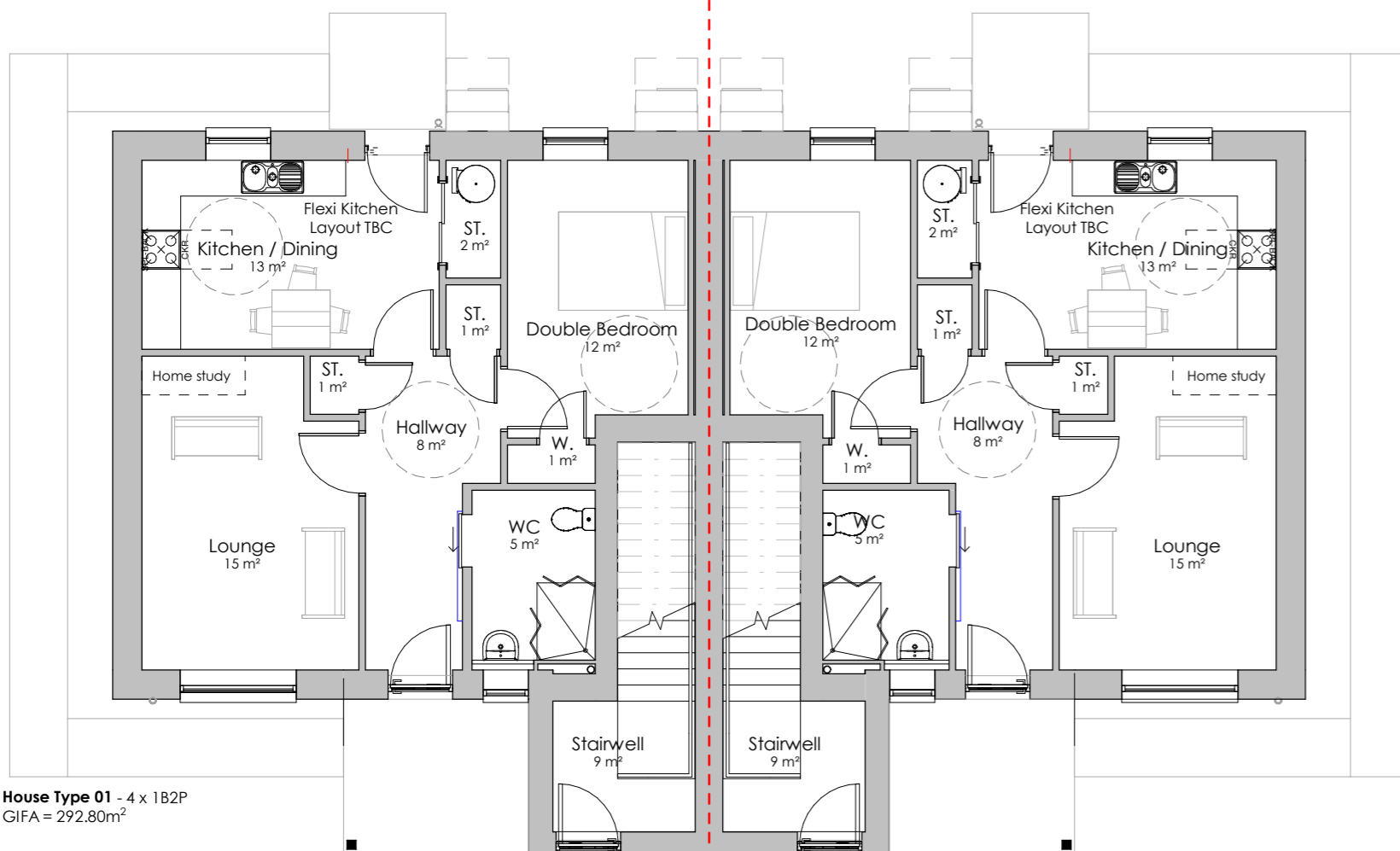
**01 - First Floor**

Scale - 1 : 100



**RHS Elevation**

Scale - 1 : 100



**00 - Ground Floor**

Scale - 1 : 100



**3D View**

Scale -

03	Window arrangement revised	29/03/22
02	Revised for client comments	30/11/21
01	Original - First Issue	-

Rev Description Date

**COLIN ARMSTRONG**  
ARCHITECTS

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Client  
**The Highland Council**

Project  
**Housing Development  
South Argo Terrace  
Golspie**

Project No. **2040**

Drawing No.  
**DIHD21027\_C0017\_04\_ZZ\_DR\_A\_0201\_D3**

Revision **03**

**HOUSE TYPE 04 - 1B2P FLATS  
PLANNING  
GA Plans & Elevations**

Status  
**PLANNING**

Date Created **Sept. '21** Drawn by **DJC**

Scale **1 : 100** Sheet **@ A2**



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CDM: Hazard Elimination & Risk Reduction has been undertaken and recorded where appropriate, in accordance with the requirements of "The Construction (Design and Management) Regulations 2015" and the associated "Industry Guidance for Designers"

**SUGGESTED EXTERNAL MATERIALS**

- Dark grey concrete roof tiles
- Wood effect composite wall cladding (vertical/horizontal)
- White colour render finish to external walls
- Dark grey colour Alu-clad timber windows/screens/doors
- Dark grey uPVC fascias/soffits/rainwater goods



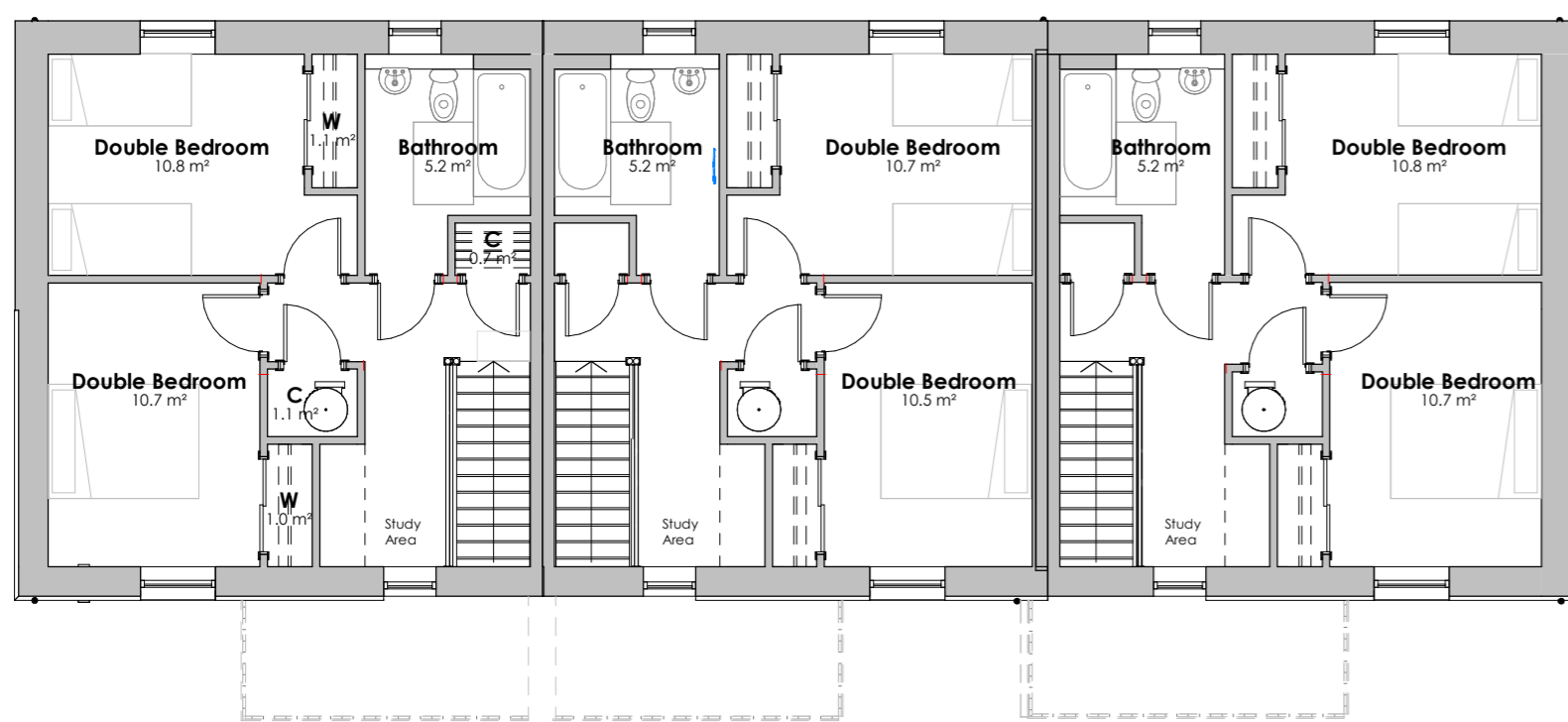
**Front Elevation**

Scale - 1 : 100



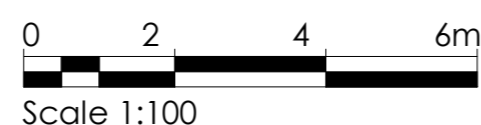
**Rear Elevation**

Scale - 1 : 100



**First Floor**

Scale - 1 : 100



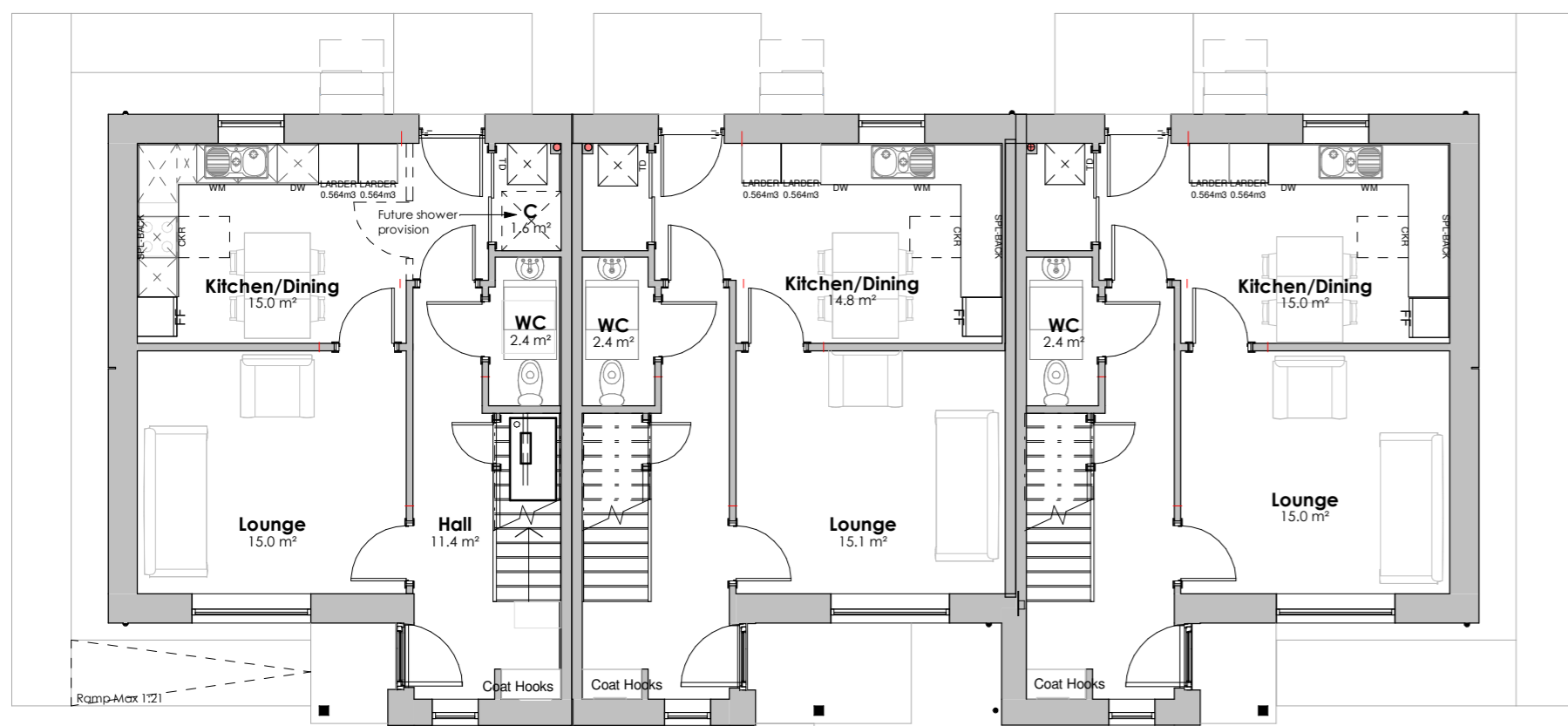
**LHS Elevation**

Scale - 1 : 100



**RHS Elevation**

Scale - 1 : 100



**Ground Floor**

Scale - 1 : 100



Rev	Description	Date
02	Window arrangement revised	29/03/22
01	Original - first issue	-

**COLIN ARMSTRONG**  
ARCHITECTS

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Client  
**The Highland Council**

Project  
**Housing Development  
South Argo Terrace  
Golspie**

Project No. **2085**

Drawing No.  
**D1HD21027\_C0017\_05\_ZZ\_DR\_A\_0201\_D3**

Revision **02**

**HOUSE TYPE 05 - 2B4P TERRACE  
PLANNING  
Proposed General Arrangement**

Status  
**PLANNING**

Date Created **Sept. '21** Drawn by **DJC**

Scale **1 : 100** Sheet **@ A2**

From file : X:\Documents\2085 - 24 New Housing Units - Golspie\02 - WORK IN PROGRESS\2.1 BIM Models\HOUSE TYPES\2085\_CAA\_HTS\_010\_2B4P\_Terrace - Planning.rvt  
Printed on : 29/03/2022 16:35:02

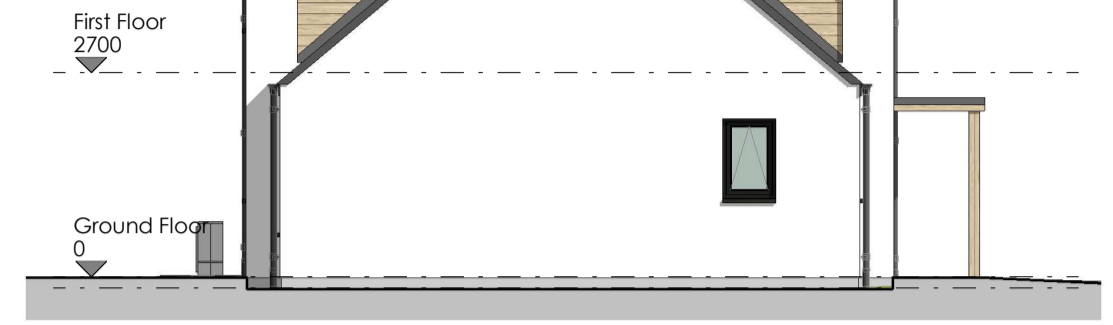


Scale 1:100



Front Elevation

Scale - 1 : 100



RHS Elevation

Scale - 1 : 100



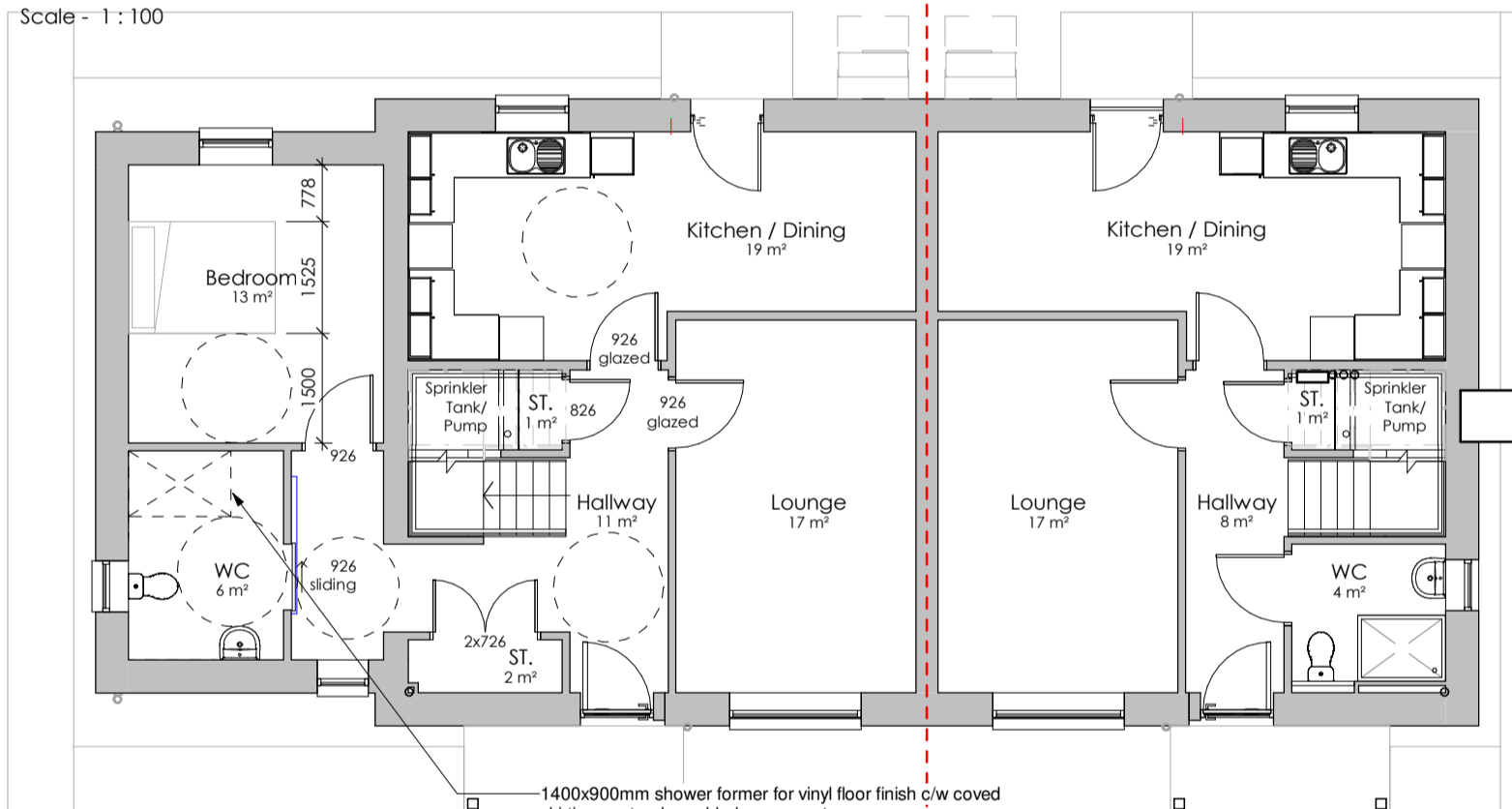
Rear Elevation

Scale - 1 : 100



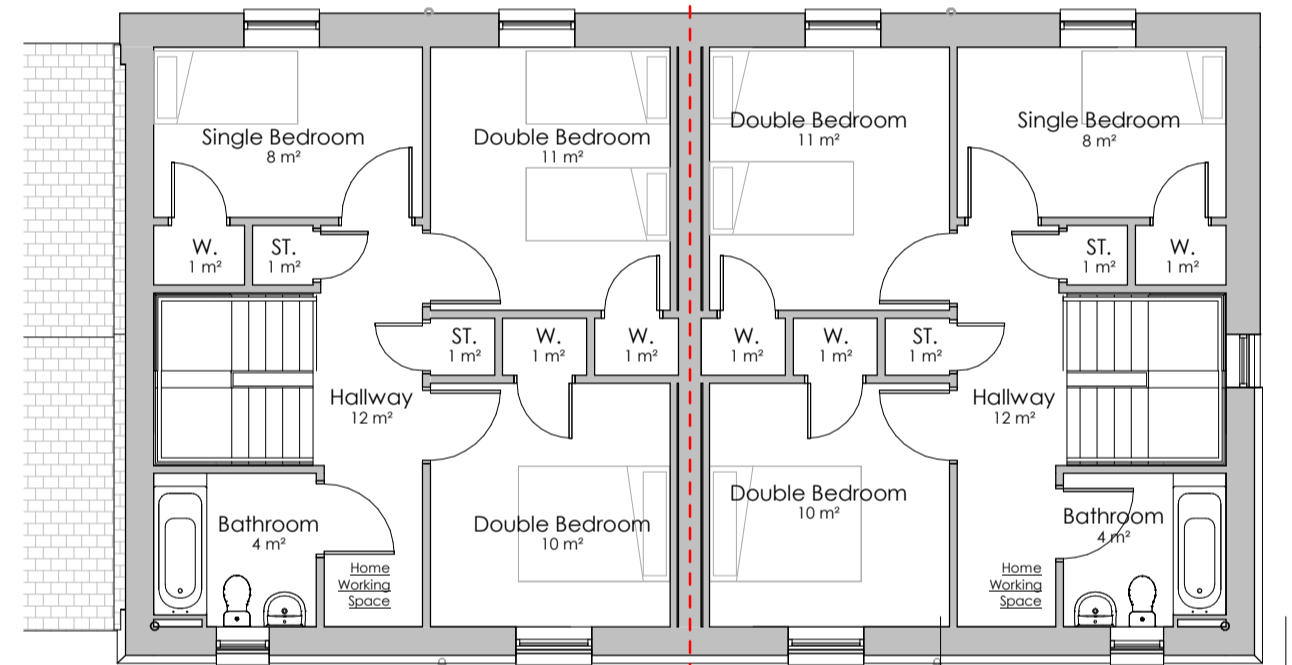
LHS Elevation

Scale - 1 : 100



Ground Floor Plan - Planning

Scale - 1 : 100



First Floor - Planning

Scale - 1 : 100

Figured dimensions only are to be taken from this drawing. All dimensions are to be checked on site before any work is put in hand. IF IN DOUBT ASK.

SUGGESTED EXTERNAL MATERIALS

- Dark grey concrete roof tiles
- Wood effect composite wall cladding (vertical/horizontal)
- White colour render finish to external walls
- Dark grey colour Alu-clad timber windows/screens/doors
- Dark grey uPVC fascias/soffits/rainwater goods

CDM: Hazard Elimination & Risk Reduction has been undertaken and recorded where appropriate, in accordance with the requirements of "The Construction (Design and Management) Regulations 2015" and the associated "Industry Guidance for Designers"

1400x900mm shower former for vinyl floor finish c/w covered skirting upstands, welded corners, etc.  
Fit hall-height doors/screens around shower area.  
Walls fully clad in "wet-wall" c/w beads, joining trims etc.

Rev	Description	Date
05	Window arrangement revised	29/03/22
04	Project mirrored to suit site plan	17/02/22
03	Revised for OT comments	21/12/21
02	Revised for OT comments	24/11/21
01	Original - First Issue	-

RELEVANT EXTRACTS FROM BUILDING STANDARDS RELATING TO ACCESSIBLE WASHING / WC FACILITIES

Figure 3.32 Provisions within an accessible shower room

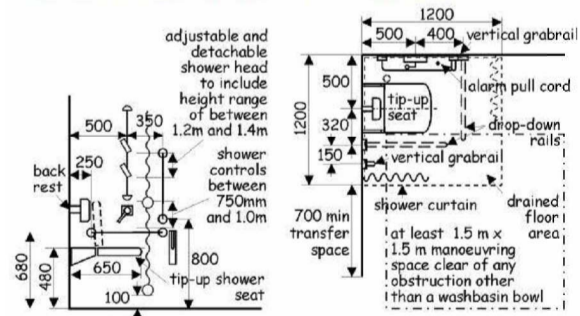
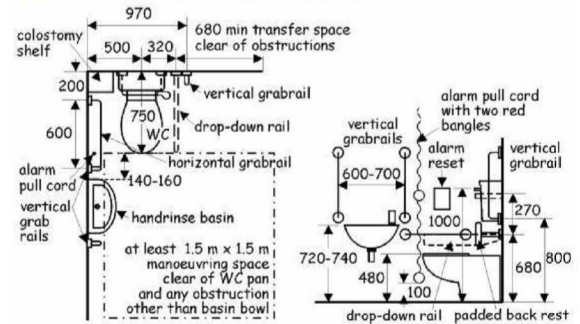


Figure 3.30 Provision within an accessible toilet



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Client  
**The Highland Council**

Project  
**Housing Development  
South Argo Terrace  
Golspie**

Project No. **2085**

Drawing No.  
**DHHD21027\_C0017\_06\_ZZ\_DR\_A\_0201\_D3**

Revision **05**

**HOUSE TYPE 06 - 3B5P + 4B7P Access.  
PLANNING  
Proposed General Arrangement**

Status  
**PLANNING**

Date Created **Sept. '21** Drawn by **WM**

Scale **1 : 100** Sheet **@ A2**

- KEY**
- Proposed 3-3.5m tall, selected standard tree planting - Birch, Rowan and Bird Cherry trees. Trees to be supplied with ArborTech strimmer guards for protection.
  - Proposed 1.5-1.75m tall, feathered tree planting - Alder, Birch, Rowan and Willow trees. Trees to be supplied with ArborTech strimmer guards for protection.
  - Proposed Beech hedging at front gardens maintained at 0.9m. (Hedging to be protected with post and wire fencing and spiral guards.)
  - Proposed shrub planting to flats and open space areas.
  - Proposed communal mown grass areas- areas to be topsoiled, cultivated, weed-killed, stone picked and grass seeded.
  - Proposed front gardens: topsoiled, cultivated, stone picked and turf.
  - Proposed rear gardens: topsoiled, cultivated, stone picked and turf.
  - Proposed Suds attenuation area to be topsoiled, cultivated and grass / wildflower seeded. Areas to be cut back annually to promote the grass / wildflower species in the seed mix to flourish.
  - Proposed species rich long grass areas to be sown with a grass / wildflower seed mix. Areas to be managed to promote the biodiversity of the areas with regular annual cutting of seeded areas and the control of invasive weed species.
  - Proposed gravel margins laid on a weed-control fabric at building faces.

**LANDSCAPE NOTES**

All areas to be soft landscaped to be litter picked and all site debris / stones etc. to be removed from site. All subsoil areas to be thoroughly de-compacted to ensure that they are free draining. Landscape Consultant to inspect subsoil areas prior to placing of topsoil. Hedging trenches to be excavated out to create 450 x 450mm deep trenches and bases of trenches loosened with excavator bucket to improve drainage. Trenches to be backfilled with site salvaged topsoil 300mm deep laid on clean de-compacted subsoil. Supply and spread GREEN TREE PAS 100 soil improver (50mm deep layer spread over tree pit and worked into backfill). Hedging trenches during planting. Beech hedging to be planted at 5 / linear metre. On completion of hedge planting areas to be bark mulched with 50mm deep layer of composted bark mulching. Shrub beds to be de-compacted and a 300mm depth of topsoil spread over a clean subsoil base. Cultivate topsoil and spread and mix in a 35mm depth of PAS 100 soil improver. Supply and plant shrubs into 250 x 250 x 250mm deep pits backfilled with topsoil / soil improver. Complete shrub beds with a 50mm depth of composted bark mulching. Selected standard tree planting pits to be formed to 1200x1200x450mm deep pits with base broken up for a further depth of 150mm and backfilled with premium quality topsoil, mixed with GREEN TREE PAS100 soil improver (50mm deep layer spread over tree pit and worked into backfill).

Where pits are found not to be free draining request confirmation from Client prior to installing land drainage pipework joining tree pits and leading to soakaway. Selected standard trees to be double staked with 50mm diameter machine rounded stakes, 500mm high secured with Holdfast HW40 belting (nailed to stakes) with 2no. HS540 spacer sleeves set 50mm below top of stake. Selected standard and standard trees to be supplied with Mona Relief, 35mm diameter perforated pipes with Aria inlet (MR 4 Model) installed during the planting works.

Standard tree planting pits to be formed to 900x900x450mm deep pits with base broken up for a further depth of 150mm and backfilled with premium quality topsoil, mixed with GREEN TREE PAS100 soil improver (50mm deep layer spread over tree pit and worked into backfill). Where pits are found not to be free draining request confirmation from Client prior to installing land drainage pipework joining tree pits and leading to soakaway.

Standard trees to be staked with a single 50mm diameter machine rounded stake, 500mm high secured with Holdfast HB 2 rubber blocks and HP40 Heavy duty rubber belting. Block secured with galvanised nail to top of stake (Tree pits 600 x 600 x 450mm deep, with base broken up for a further 150mm and backfilled with premium quality topsoil, mixed with GREEN TREE PAS 100 soil improver (50mm deep layer spread over tree pit and worked into tree pit).

Feathered trees to be staked with a single 50mm diameter machine rounded stake, 500mm high secured with Holdfast HB 1 rubber blocks and HP25 Heavy duty rubber belting. Block secured with galvanised nail to top of stake (Tree pits 600 x 600 x 450mm deep, with base broken up for a further 150mm and backfilled with premium quality topsoil, mixed with GREEN TREE PAS 100 soil improver (50mm deep layer spread over tree pit and worked into tree pit).

Trees in grass areas: form neat circular openings (1m diameter) in turfing / seeding and remove grass / arisings. Rake over soil and spread a 50mm depth of composted bark mulch over cleared circle. (Maintain cleared earth circles at tree bases weed free during maintenance visits.)

Front and rear gardens areas to be formed with 150mm deep site salvaged topsoil laid on clean de-compacted subsoil layer. Areas to be cultivated, stone picked and raked to flowing levels to tie in with the adjoining paths and buildings. Supply and lay 'Scotlawn - Silver' premium grade turf. Proposed open space areas to be formed with 150mm depth of topsoil, cultivated, stone picked and raked to flowing levels. Supply and spread a 6.9/6 pre-seeding fertiliser and sow R M Welsh T1 mix grass seed @ 50g/m<sup>2</sup>.

Proposed wildflower / grass seeded areas to be topsoiled with site salvaged soil on a clean de-compacted subsoil layer. Weed kill areas and sow with Scotia seeds \* Coastal Meadow Mix meadow mix @ 3g/m<sup>2</sup>.

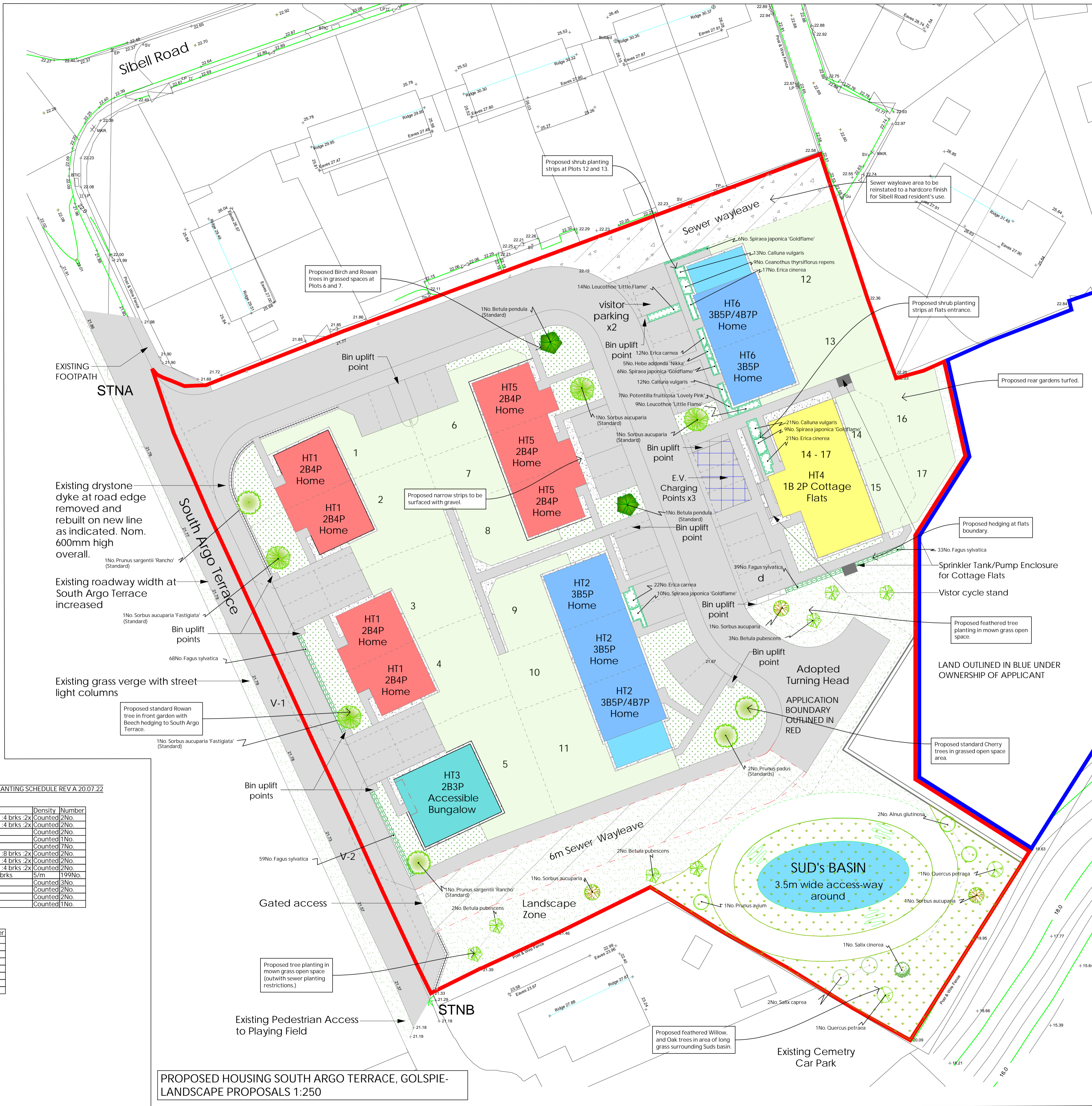
Any failures in planting within the first 5 years after planting to be replaced with plants of similar species / size (in the next following planting season). Refer to Landscape Maintenance schedule for details of proposed maintenance regime for the first five years after planting.

GREEN TREE PAS 100 soil improver as supplied by Green Tree 01423 332100 www.green-tech.co.uk\*

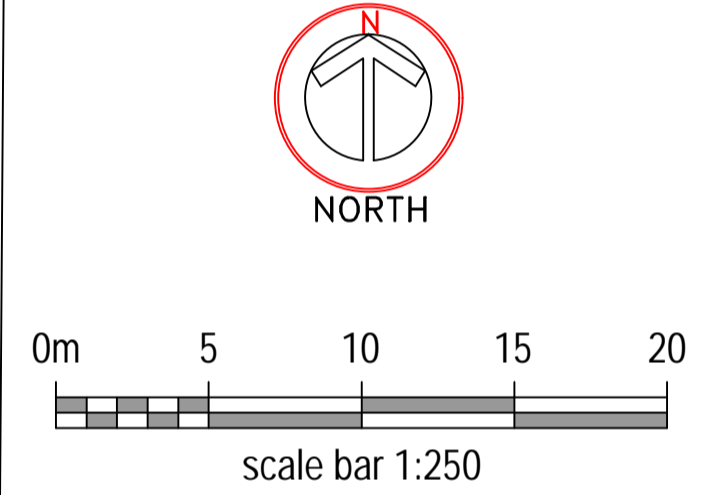
**K WOOD / HIGHLAND COUNCIL - SOUTH ARGO TERRACE HOUSING, GOLSPIE - PLANTING SCHEDULE REV A 20.07.22**

Species	Height	Girth	Pot Size	Specification	Density	Number
<i>Sorbus aucuparia</i> 'Fastigiata'	300-350cm	10-12cm	Rootballed	Selected Standard	4 brks	2x Counted
<i>Prunus sargentii</i> 'Rancho'	300-350cm	10-12cm	Rootballed	Selected Standard	4 brks	2x Counted
<i>Quercus petraea</i>	150-175cm		bare-root	Feather	3 brks	2x Counted
<i>Salix cinerea</i>	150-175cm		bare-root	Feather	3 brks	2x Counted
<i>Betula pubescens</i>	150-175cm		bare-root	Feather	3 brks	2x Counted
<i>Betula pendula</i>	300-350cm	10-12cm	Rootballed	Selected Standard	8 brks	2x Counted
<i>Sorbus aucuparia</i>	300-350cm	10-12cm	Rootballed	Selected Standard	4 brks	2x Counted
<i>Prunus padus</i>	300-350cm	10-12cm	Rootballed	Selected Standard	4 brks	2x Counted
<i>Fagus sylvatica</i>	80-100cm		bare-root	1+2 - Transplant	4 brks	5/m 199No.
<i>Sorbus aucuparia</i>	150-175cm		bare-root	Feather	3 brks	2x Counted
<i>Alnus glutinosa</i>	150-175cm		bare-root	Feather	3 brks	2x Counted
<i>Salix caprea</i>	150-175cm		bare-root	Feather	3 brks	2x Counted
<i>Prunus avium</i>	150-175cm		bare-root	Feather	3 brks	2x Counted

Species	Height	Pot Size	Specification	Density	Number
<i>Spiraea japonica</i> 'Goldflame'	30-40cm	3L	Bushy	4 brks	3/m <sup>2</sup> 31No.
<i>Leucothoe</i> 'Little Flame'	30-40cm	3L	Bushy	4 brks	3/m <sup>2</sup> 23No.
<i>Erica cinerea</i>	15-20cm	9cm	Full pot	6/m <sup>2</sup>	38No.
<i>Calluna vulgaris</i>	15-20cm	9cm	Full pot	6/m <sup>2</sup>	46No.
<i>Potentilla fruticosa</i> 'Lovely Pink'	30-40cm	3L	Bushy	4 brks	3/m <sup>2</sup> 7No.
<i>Hebe addenda</i> 'Nikka'	30-40cm	3L	Bushy	4 brks	3/m <sup>2</sup> 5No.
<i>Erica carnea</i>	15-20cm	9cm	Full pot	6/m <sup>2</sup>	34No.
<i>Ceanothus thyrsiflorus</i> repens	30-40cm	3L	Bushy	5 brks	3/m <sup>2</sup> 9No.



PROPOSED HOUSING SOUTH ARGO TERRACE, GOLSPIE - LANDSCAPE PROPOSALS 1:250



- REVISIONS**
- 18.02.22 Landscape proposals updated to revised site layout (CAA ...0201-D3 06). Revised housing mix, off-street parking at Argo Terrace and adopted road access. Hedging added to Argo Terrace plots 3-5 and omitted from Plots 6-17. Shrub planting added at plots 12-13. Trees added to open spaces at Plots 6-17. Hard landscape gravel strips added to narrow strips KW.
  - 15.04.22 Landscape proposals updated with plant labels, densities, planting schedule and summary specification. Refer to the landscape maintenance schedule for the on-going maintenance for the site KW.
  - 20.07.22 Landscape proposals updated to revise sewer wayleave reinstatement. Hardcore finish to maintain garden accesses to Sibell Road houses KW.

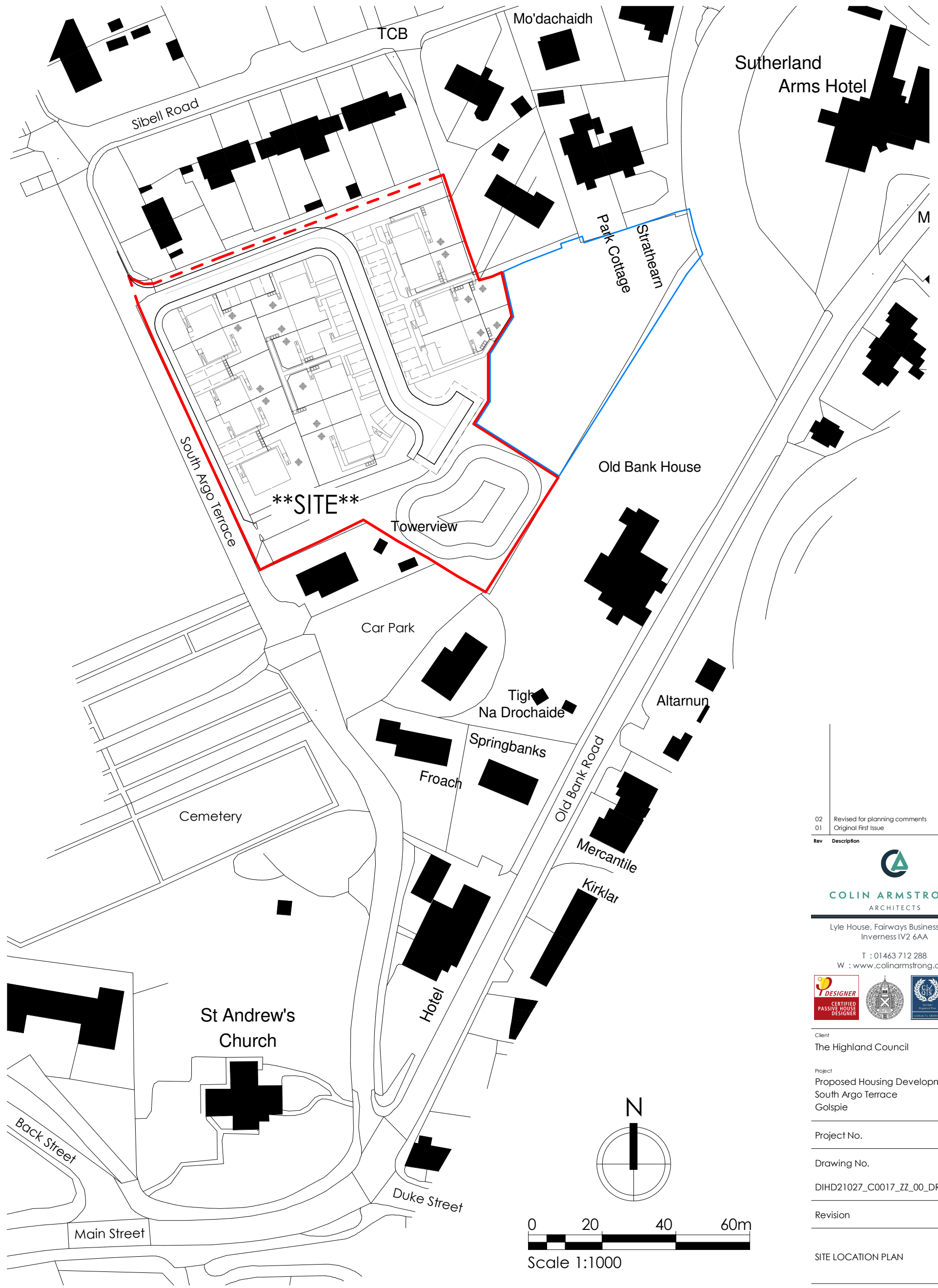
**KEITH L WOOD LANDSCAPE DESIGN**

1, Old Branziel Cottage, Balmore, By Torrance, Glasgow, G64 4AH.  
Tel: 01360 620358 Mob: 07584 054586  
email: keith.l.wood@btopenworld.com  
www.keithlwoodlandscapedesign.scot

Project Title:	HOUSING DEVELOPMENT, SOUTH ARGO TERRACE, GOLSPIE, KW10 6RX.
CLIENT:	THE HIGHLAND COUNCIL
DRAWING TITLE:	LANDSCAPE PROPOSALS
<b>PLANNING</b>	
Scale:	1:250@ A1
Date:	15.12.21
Drawn:	k wood
Rev:	3
Dwg No.:	
DIH20227-C0017-02-00-DR-A-0401-D1-2	

Figured dimensions only are to be taken from this drawing.  
All dimensions are to be checked on site before any work is put in hand. IF IN DOUBT ASK.

CDM:  
Hazard Elimination & Risk Reduction has been undertaken and recorded where appropriate, in accordance with the requirements of 'The Construction (Design and Management) Regulations 2015' and the associated 'Industry Guidance for Designers'



Rev	Description	Date
02	Revised for planning comments	14/02/22
01	Original First Issue	-

  
**COLIN ARMSTRONG**  
 ARCHITECTS  
 Lyle House, Fairways Business Park,  
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 W : www.colinarmstrong.com



Client  
The Highland Council

Project  
Proposed Housing Development  
South Argo Terrace  
Golspie

Project No. 2085

Drawing No. DIHD21027\_C0017\_ZZ\_00\_DR\_A\_0204\_004

Revision 02

**SITE LOCATION PLAN**

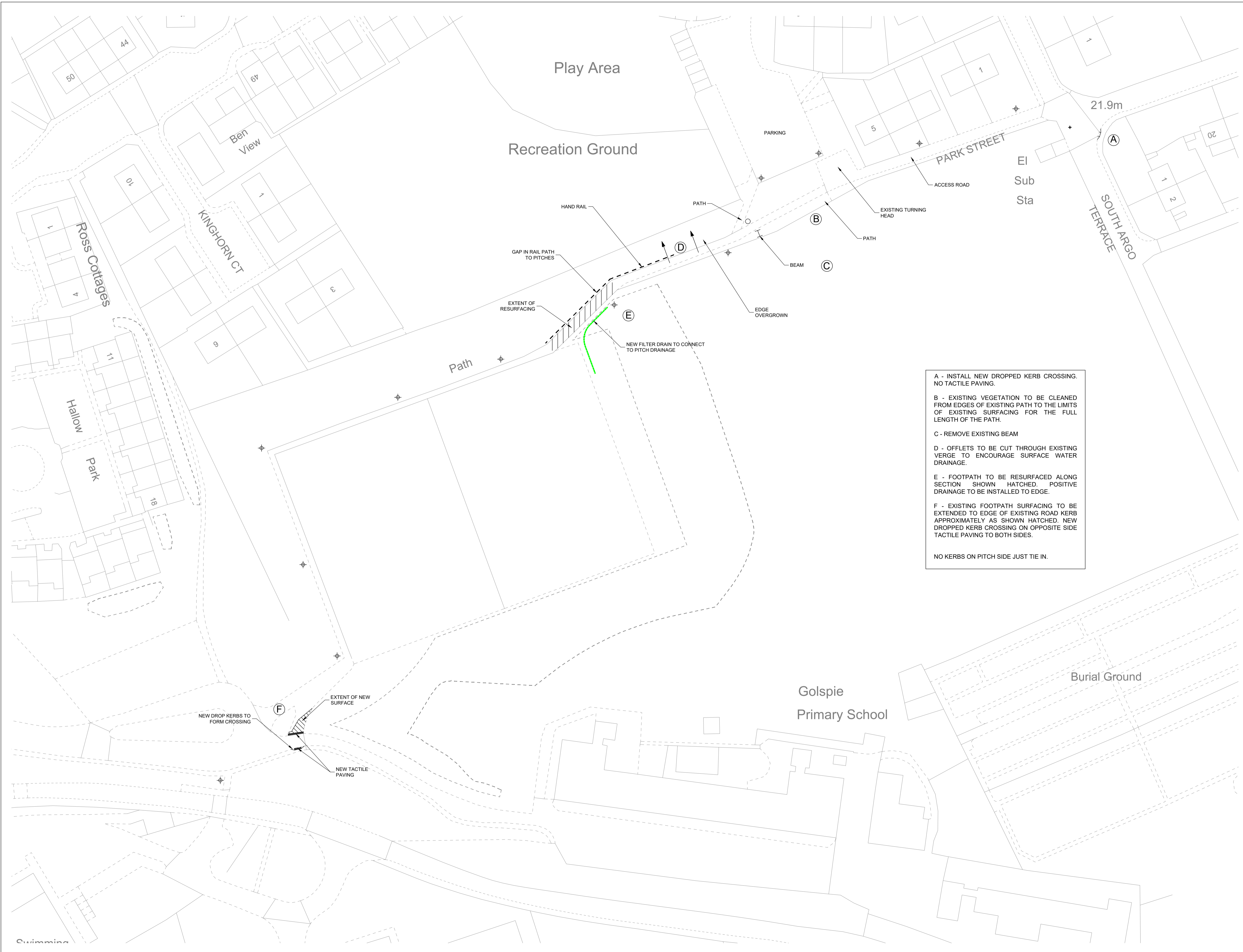
Status  
**PLANNING**

Date Created Dec. '21 Drawn by DJC

Scale 1 : 1000 Sheet @ A3

From file : X:\Documents\2085 - 24 New Housing Units\_CSP4  
 Printed on : 19/07/2022 17:35:12

EXISTING STREET LIGHTING COLUMN



A - INSTALL NEW DROPPED KERB CROSSING. NO TACTILE PAVING.

B - EXISTING VEGETATION TO BE CLEANED FROM EDGES OF EXISTING PATH TO THE LIMITS OF EXISTING SURFACING PATH FOR THE FULL LENGTH OF THE PATH.

C - REMOVE EXISTING BEAM

D - OFFLETS TO BE CUT THROUGH EXISTING VERGE TO ENCOURAGE SURFACE WATER DRAINAGE.

E - FOOTPATH TO BE RESURFACED ALONG SECTION SHOWN HATCHED. POSITIVE DRAINAGE TO BE INSTALLED TO EDGE.

F - EXISTING FOOTPATH SURFACING TO BE EXTENDED TO EDGE OF EXISTING ROAD KERB APPROXIMATELY AS SHOWN HATCHED. NEW DROPPED KERB CROSSING ON OPPOSITE SIDE TACTILE PAVING TO BOTH SIDES.

NO KERBS ON PITCH SIDE JUST TIE IN.

Drawing No. 3751:204 Revision

Revisions	Date	Drn.

**APPROVAL DRAWING**

THE HIGHLAND COUNCIL



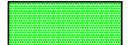

SOUTH ARGO TERRACE GOLSPIE

OFFSITE FOOTPATH UPGRADE

Drawn: JM	Chk'd:	Scale: 1:1000(A1)
Date: JUNE 2022	Date:	DO NOT SCALE

consulting engineers **hga** HGA(UK) Ltd  
 Darach House  
 Stonyfield Business Park  
 Inverness IV2 7PA  
 T: 01463 221717  
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 email: hga@hagagroup.co.uk

Drawing No. 3751:204 Revision

KEY	
	ROAD CONSTRUCTION
	FOOTWAY CONSTRUCTION
	VERGE
	VISIBILITY SPLAY



Drawing No. <b>3751:104</b>		Revision <b>A</b>
Revisions	Date	Drn.
A LAYOUT REVISED.	16.03.22	PJ

**APPROVAL  
DRAWING**

**THE HIGHLAND COUNCIL**

SOUTH ARGO TERRACE,  
GOLSPIE

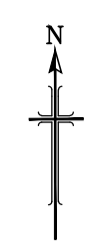
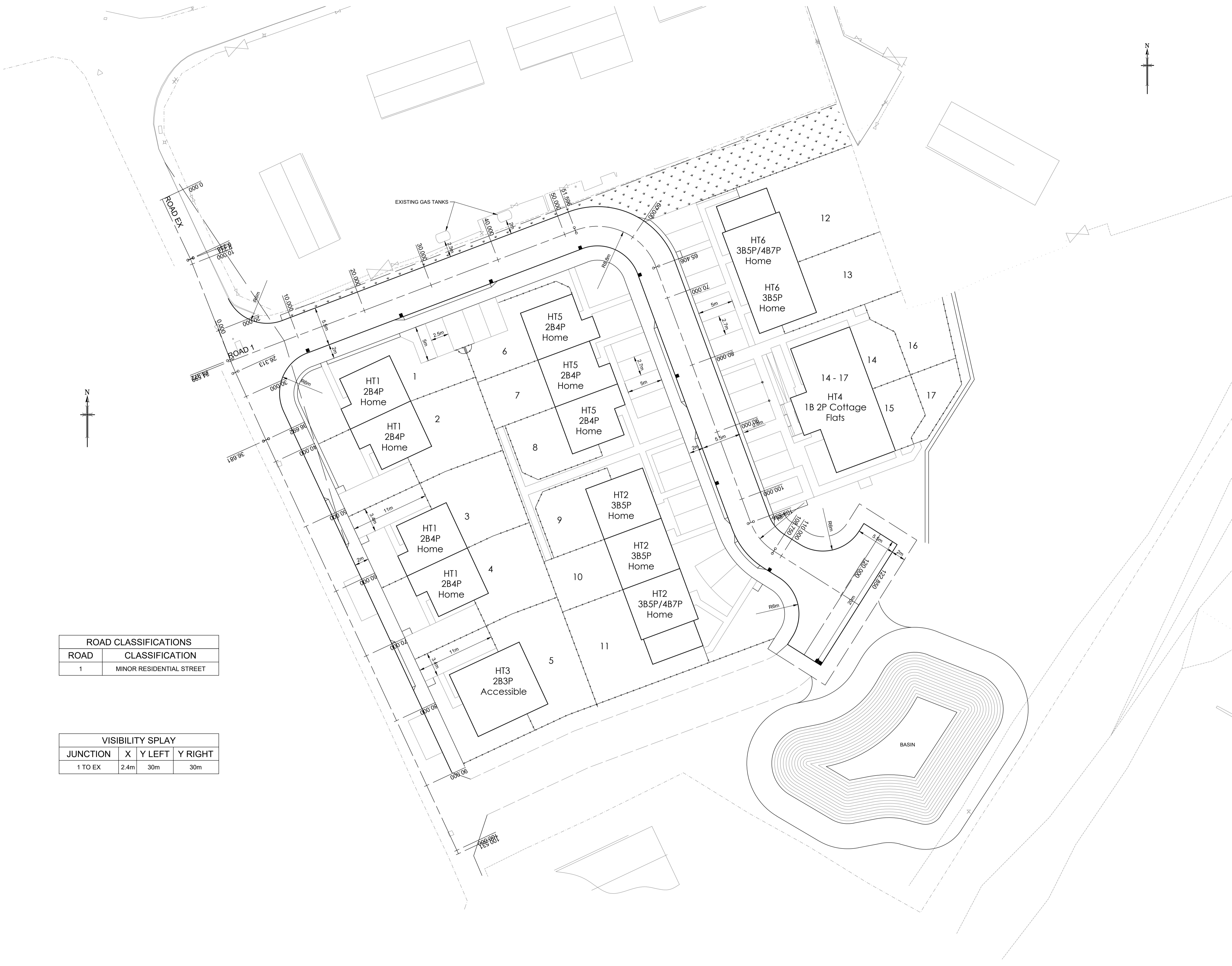
**ADOPTION AREAS**

Drawn: PJ	Chk'd: Date:	Scale: 1:250 (A1)
Date: NOV 2021	Date:	DO NOT SCALE

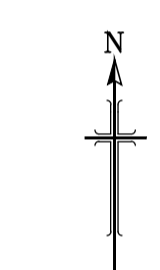


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Drawing No. <b>3751:104</b>		Revision <b>A</b>
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- NOTES**
- ALL ROADWORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MCDHW SPECIFICATION FOR HIGHWAY WORKS VOLUME 1.
  - DESIGN SPEED AND STOPPING SITE DISTANCE
    - MINOR RESIDENTIAL STREET 10mph / 11m
  - ALL SIGNS AND LINING IN ACCORDANCE WITH TSRGD 2016.
  - REFER TO DRAWING 3751:102 FOR ROAD LONGITUDINAL SECTIONS.
  - REFER TO DRAWING 3751:103 FOR ROAD CONSTRUCTION DETAILS.
  - ALL DRIVEWAYS TO BE PROFILED TO SHED RUN OFF TO GARDENS AND ENSURE NO RUN OFF TO ADOPTABLE ROAD. GRADIENTS SHOULD NOT EXCEED 5% FOR THE FIRST FIVE METRES OF THE ACCESS WITH NO GRADIENTS EXCEEDING 10% THEREAFTER.
  - ALL DRIVEWAYS 11m x 3m OR 5m x 5.5m U.N.O.
  - ALL TACTILE CROSSINGS CORDUROY U.N.O.



ROAD CLASSIFICATIONS	
ROAD	CLASSIFICATION
1	MINOR RESIDENTIAL STREET

VISIBILITY SPLAY			
JUNCTION	X	Y LEFT	Y RIGHT
1 TO EX	2.4m	30m	30m

Drawing No.		Revision	
3751:101		B	
Revisions	Date	Drm.	
A LAYOUT REVISED.	16.03.22	PJ	
B EXISTING GAS TANKS SHOWN.	14.04.22	PJ	

**APPROVAL  
DRAWING**

**THE HIGHLAND COUNCIL**

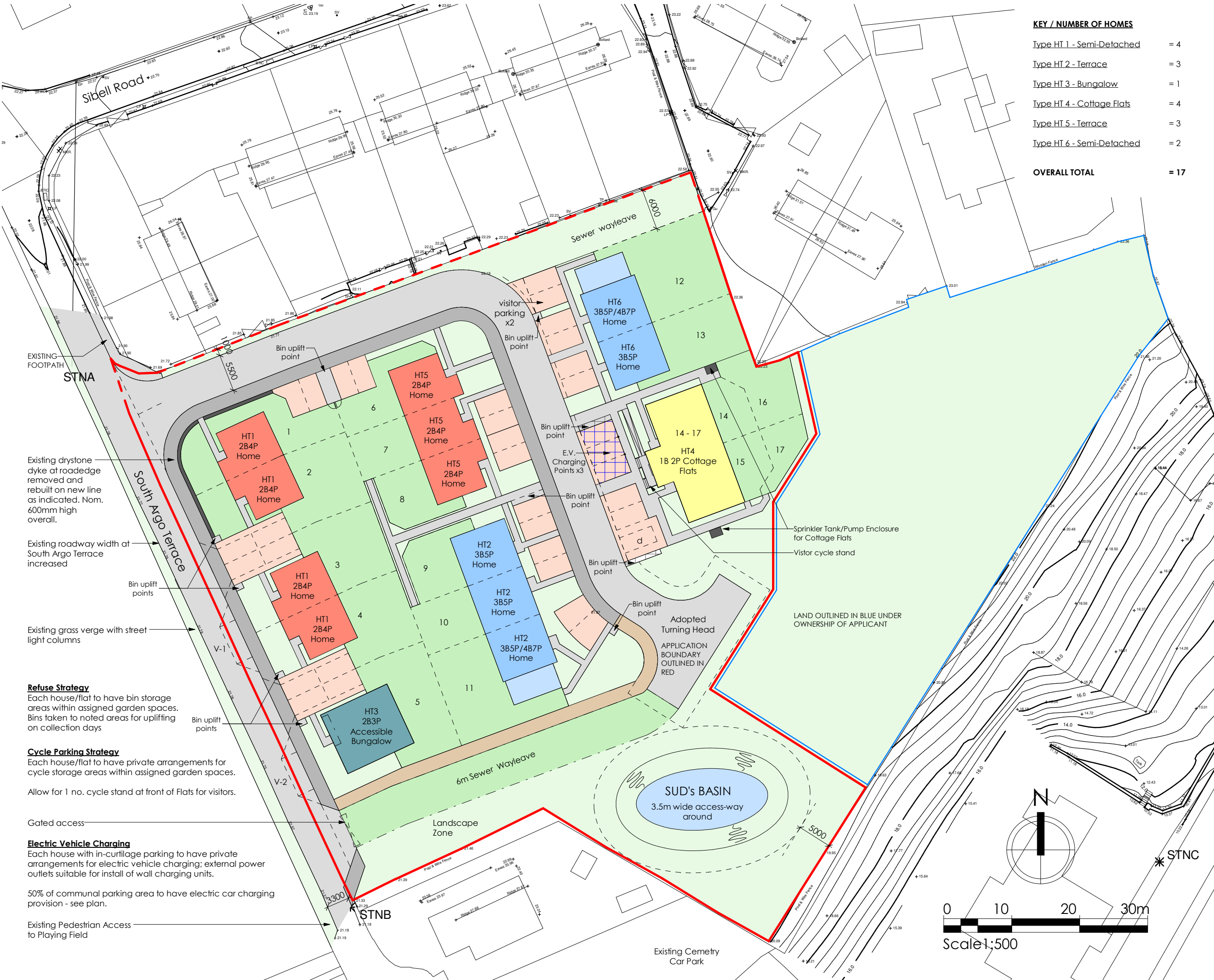
SOUTH ARGO TERRACE,  
GOLSPIE

**ROAD LAYOUT**

Drawn: PJ	Ck'd:	Scale: 1:250 (A1)
Date: NOV 2021	Date:	DO NOT SCALE


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Drawing No.		Revision	
3751:101		B	



KEY / NUMBER OF HOMES	
Type HT 1 - Semi-Detached	= 4
Type HT 2 - Terrace	= 3
Type HT 3 - Bungalow	= 1
Type HT 4 - Cottage Flats	= 4
Type HT 5 - Terrace	= 3
Type HT 6 - Semi-Detached	= 2
<b>OVERALL TOTAL</b>	<b>= 17</b>

Figured dimensions only are to be taken from this drawing. All dimensions are to be checked on site before any work is put in hand. IF IN DOUBT ASK.

CDM: Hazard Elimination & Risk Reduction has been undertaken and recorded where appropriate, in accordance with the requirements of 'The Construction (Design and Management) Regulations 2015' and the associated 'Industry Guidance for Designers'

Rev	Description	Date
06	Revised for planning comments	14/02/22
05	Revised East development boundary	08/12/21
04	Revised for planning app	30/11/21
03	Revised following DT meeting	25/11/21
02	Revised - client & eng comments	26/10/21
01	Original First Issue	-

**COLIN ARMSTRONG ARCHITECTS**

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DESIGNER  
CERTIFIED PASSIVE HOUSE DESIGNER

Client	The Highland Council
Project	Proposed Housing Development South Argo Terrace Golspie
Project No.	2085
Drawing No.	DIHD21027_C0017_ZZ_00_DR_A_0201_D3
Revision	06
PLANNING SERIES	Proposed Site Layout Plan GA Site Layout Plan
Status	PLANNING
Date Created	Sept. '21
Scale	1 : 500
Drawn by	DJC
Sheet	@ A3

Existing drystone dyke at roadedge removed and rebuilt on new line as indicated. Nom. 600mm high overall.

Existing roadway width at South Argo Terrace increased

Existing grass verge with street light columns

**Refuse Strategy**  
Each house/flat to have bin storage areas within assigned garden spaces. Bins taken to noted areas for uplifting on collection days

**Cycle Parking Strategy**  
Each house/flat to have private arrangements for cycle storage areas within assigned garden spaces. Allow for 1 no. cycle stand at front of Flats for visitors.

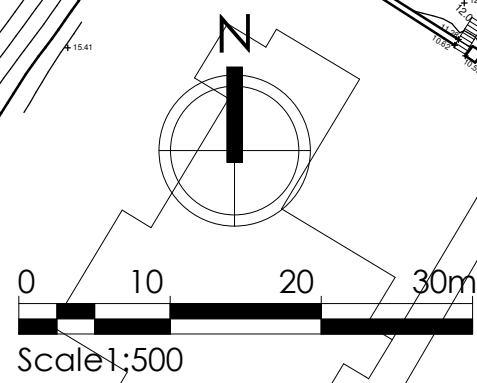
**Electric Vehicle Charging**  
Each house with in-curtilage parking to have private arrangements for electric vehicle charging; external power outlets suitable for install of wall charging units.

50% of communal parking area to have electric car charging provision - see plan.

Existing Pedestrian Access to Playing Field

LAND OUTLINED IN BLUE UNDER OWNERSHIP OF APPLICANT

APPROVED TURNING HEAD  
APPLICATION BOUNDARY OUTLINED IN RED



From file : X:\Documents\2085 - 24 New Housing Units, Golspie\02. WORK IN PROGRESS\2.1 BIM Model\2085\_S\_ARGO TERRACE RevForPlanningComments.rvt  
Printed on : 15/02/2022 13:37:50