

Agenda Item	6.11
Report No	PLS-70-22

## HIGHLAND COUNCIL

**Committee:** South Planning Applications Committee

**Date:** 28 April 2022

**Report Title:** 22/00053/FUL: Martin Noble  
Land 30m East of Woodstock, Moss-side, Nairn

**Report By:** Area Planning Manager – South

### Purpose/Executive Summary

**Description:** Erection of house

**Ward:** 18 – Nairn and Cawdor

**Development category:** Local

**Reason referred to Committee:** More than 5 objections

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

### Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report.

## **1. PROPOSED DEVELOPMENT**

- 1.1 The proposal is for the erection of a detached 1½ storey contemporary, low energy house with attached single storey annex at the end of a cul-de-sac of around 18 houses at Moss-side to the southwest of Nairn.
- 1.2 A similar proposal by the applicant for a detached house with separate annex building was submitted in August 2021 but was withdrawn following comments from members of the public and officers and replaced with this current proposal for a single building.
- 1.3 The site is accessed via an existing private road serving around 18 properties and will be served by the public water supply. Private drainage arrangements are proposed with foul discharge to land via treatment plant and surface water soakaway.
- 1.4 Pre-Application Consultation: Preapplication advice was given in July 2021 offering general support for the principle of a proposed development (house with annex) subject to siting, design and access considerations.
- 1.5 Supporting Information: Supporting Statement, Landscape Management Plan
- 1.6 Variations: Amendment to the red line and extension of the turning head; submission of a Construction Traffic Management Plan.

## **2. SITE DESCRIPTION**

- 2.1 The site sits at the eastern end of a row of houses to the north of the access road and turning head. It is adjacent to an existing house (Woodstock) and opposite another house (East Neuk). The land to the north and east is open and in agricultural use. The site is mainly flat but slopes downwards to the east.

## **3. PLANNING HISTORY**

- 3.1 30.08.2021            21/04129/FUL – Erection of house and ancillary house    Withdrawn

## **4. PUBLIC PARTICIPATION**

- 4.1 Advertised: Unknown Neighbour

Date Advertised: 18.01.22

Representation deadline: 01.02.22 and 29.07.22

Timeous representations:    22 letters of representation from 11 households

Late representations:        Nairn West and Suburban Community Council (non-statutory objection)

4.2 Material considerations raised are summarised as follows:

- a) Concern that the turning circle will be blocked by construction workers - parking and turning circle needs to be extended by 1m to allow larger vehicles to turn (Planning update: proposal amended to include extension of turning head)
- b) Impact heavy construction vehicles (and additional vehicle traffic post development) would have on the private road (damage to surface, subsidence, road safety).  
(Planning update: Construction Traffic Management Plan submitted to show heavy construction vehicles to access site from north). Road very narrow with limited passing places and no pavement and large vehicles already have problems accessing the lane and turning.
- c) The last house completed about 20 years ago and it was generally assumed that the development was complete
- d) Size of house and orientation disproportionate to the shape of the plot and out of character with the surrounding residences
- e) Flat roofed wing is unacceptable – should be a pitched roof
- f) Main structure will affect amenity and sunlight of neighbouring property
- g) Conditions should be applied to restrict letting; business use; ancillary buildings, road to be brought up to adoptable standard by applicant.
- h) Services are already stretched (water pressure etc)
- i) Access and driveway within 1-2m of neighbouring raised deck meaning that every vehicle movement will impact upon privacy.
- j) Impact on privacy of neighbouring house
- k) Site is outwith the Settlement Development Area
- l) Stile to be relocated  
(Planning update: updated drawings show relocated stile)

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet [www.wam.highland.gov.uk/wam](http://www.wam.highland.gov.uk/wam).

## 5. CONSULTATIONS

5.1 **Access Officer:** No concerns with the relocation of the stile. The applicant should consult those responsible for the fence; should install it prior to the existing stile being removed; and think carefully about the stile's construction.

## 6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

### 6.1 Highland Wide Local Development Plan 2012

- 28 - Sustainable Design
- 29 - Design Quality & Place-making
- 31 - Developer Contributions
- 35 - Housing in the Countryside (Hinterland Areas)
- 56 - Travel
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage
- 77 - Public Access

## 6.2 **Inner Moray Firth Local Development Plan 2015**

No site-specific policies apply

## 6.3 **Highland Council Supplementary Planning Policy Guidance**

Access to Single Houses and Small Housing Developments (May 2011)

Developer Contributions (March 2018)

Rural Housing (Sept 2021)

Sustainable Design Guide (Jan 2013)

## 7. **OTHER MATERIAL POLICY CONSIDERATIONS**

### 7.1 **Inner Moray Firth 2 Proposed Local Development Plan**

Policy 1 Low Carbon Development

Policy 2 Nature Protection, Preservation and Enhancement

Policy 3 Water and Waste Water Infrastructure Impacts

Policy 8 Placemaking

Policy 9 Delivering Development and Infrastructure

Policy 10 Increasing Affordable Housing

Policy 13 Accessible and Adaptable Homes

Policy 14 Transport

### 7.2 **Scottish Government Planning Policy and Guidance**

Scottish Planning Policy (as amended December 2020)

## 8. **PLANNING APPRAISAL**

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

### **Determining Issues**

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

### **Planning Considerations**

- 8.3 The key considerations in this case are:

- a) compliance with the development plan and other planning policy;
- b) siting, design and amenity;
- c) access,
- d) impact on infrastructure and services; and
- e) any other material considerations.

## **Development plan/other planning policy**

- 8.4 The site sits within the Hinterland of Inverness therefore Policy 35 (Housing in the Countryside) of the Highland wide Local Development Plan applies. This presumes against housing development within the hinterland unless it can be demonstrated that it meets one of the exceptions to the policy as set out in the Council's Rural Housing Supplementary Planning Guidance. For a development to be considered under the Housing Group exception there must be an existing group of at least 3 detached buildings, of which 2 must be houses, which share a well-defined and cohesive character. The site sits at the end of a row of around 18 houses, and it is considered that the proposed house would round off the existing housing group to the east.
- 8.5 Policy 28 Sustainable Design of the Highland-wide Local Development Plan assesses proposals on the extent to which they impact on individual and community residential amenity, are compatible with public service provision and are accessible by public transport, cycling and walking as well as car. Policy 28 also supports development proposals which promote and enhance social, economic and environmental wellbeing. Proposals will be judged in terms of how compatible they are with the existing pattern of development and landscape character, how they conform to existing and approved adjacent land uses and the effect on any natural, built and cultural heritage feature. Also of relevance is Policy 29 that requires new development to be designed so as to make a positive contribution to the architectural and visual quality of the area, and Policy 77 which protects public rights of access.
- 8.6 Provided that the siting and design of the house is compatible with the established settlement pattern and character of the area; does not have a significantly detrimental impact upon individual or community residential amenity; and does not adversely impact upon existing infrastructure, then the development would comply with the Development Plan.

## **Siting, Design and Amenity**

- 8.7 Moss-side consists of a private access track with housing lining both sides. The existing housing is mainly detached with separate garages and is predominantly single or 1½ storeys in height. There is a wide variety of housing in terms of form and design and while there is no firm building line the houses on the south side of the road tend to be situated immediately adjacent to the roadside, while the houses on the north side of the road mainly sit further back in their plots. The housing on the southern side of the road extends further to the east than the housing on the northern side. The application site infills this space and in terms of settlement pattern is considered to round off the group. The application site is comparable in size to the other plots within the group.
- 8.8 The proposed house is sited towards the centre/rear of the plot and consists of a 1½ storey main building of simple rectangular form, with traditional proportions and a pitched roof; and a low, single storey, flat roofed annex extension to the rear (north) forming an L-shaped house. High quality, traditional materials are proposed including natural slate roofing, white rendered walls and charred larch cladding on the gables and the annex. The main building measures around 18.5m x 7m x 7m (h)

and the annex measures 9.5m x 6.5m x 2.9m (h). Parking is provided to the rear of the plot in the northwest corner.

- 8.9 Representations from neighbours and the Community Council have been raised regarding the positioning of the house, in particular its potential impact upon the adjacent house to the west (Woodstock); the location of the parking area; the flat roofed rear extension being out of character; the potential for overlooking, particularly towards Woodstock and impact on daylight provision.
- 8.10 The house has been positioned towards the rear of the site in order to prevent blocking the view from the patio doors of the neighbouring house (Woodstock). A previous application which was withdrawn following comments from neighbours and officers showed a separate annex building situated in front of the main house volume. This would have had a significantly greater impact on the outlook from Woodstock and the current proposal is considered to be an improvement in terms of siting.
- 8.11 One letter of representation expresses concern that the proposed house will block sunlight from Woodstock. The Supporting Statement includes a shading study which shows that the house will have a minimal impact upon the daylight received by the neighbouring house. In terms of overlooking the only upper floor window in the west facing gable is a small bathroom window. All other upper floor windows are either velux rooflights or oriented towards the east, away from the existing housing.
- 8.12 The house consists of a rectangular 1½ storey pitched roof building with a flat roofed single storey extension to the rear resulting in an L-shaped plan, with the main volume oriented towards the access road. It has a simple, contemporary form with upper floor light provided by rooflights and a large window and enclosed balcony on the eastern elevation. The external finishing materials of the house compliment the clean lines of the design and consist predominantly of smooth white render, with charred timber on the upper floors of the gable ends and on the single storey extension. The roof of the main building will be natural slate and the flat roofed single storey element will have a grass (EPDM) roof. Overall, while more contemporary in design than the other properties in the street, there are a wide enough variety of house types and designs in Moss-side to allow the proposed house to sit comfortably and to make a positive contribution to the streetscape. Some comments were raised about the appropriateness of the flat roofed annex, suggesting that a pitched roof would be more visually appropriate. The annex is on the rear elevation of the house and will therefore not be visible from the street. The flat roof design keeps the massing of the annex low (under 3m) thereby minimising its impact both visually and upon daylight provision to the neighbouring house.
- 8.13 The parking for the site has been positioned in the NW corner of the site. Concern has been raised by the occupants of the neighbouring house about its position next to their rear private garden. Due to the slope of the site there is limited space available for parking, and by utilising the space in the NW corner adjacent to a higher fence and small outbuilding the parking location is considered to be less obtrusive than further forward in the site close to the neighbouring patio window and outside seating area.

## Access

- 8.14 Moss-side is a private single-track cul-de-sac off Moss-side Road which serves around 18 houses. It is around 270m in length with a turning circle at its eastern end. While for the most part the surface of the road appears to be in relatively good condition, it is very narrow with no pavement provision. The majority of the objections received in relation to the application raise concerns about the suitability of the road to accommodate further housing, and in particular heavy construction vehicles, which may damage the road which is maintained by existing residents. There was also concern that the turning circle may be blocked off during construction and that the turning circle is not fit for purpose and should ideally be extended in length.
- 8.15 Current Roads and Transportation guidance states that four or fewer individual residential houses can usually be served by a private access provided there are suitable turning facilities and an adequate junction with the public road. Generally, where more than 4 houses are proposed then the private road should be brought up to adoptable standard. The guidance states that exceptions can be considered where the developer agrees to set up a formal management system for maintenance of the private access in perpetuity.
- 8.16 In this instance, while private, the road is not a pot-holed country track, but a fully tarmacadamed road which is well maintained by existing residents and already serves around 18 properties. It is, however, very narrow with no pavement provision and it is not wide enough to accommodate the necessary dimensions or drainage that would be required for the road to be brought up to adoptable standard. It is therefore accepted that it will not be possible to comply with the Council's roads guidance for upgrading the road. The applicant is fully prepared to contribute financially to the ongoing maintenance of the road in the same way as the existing residents, and as mitigation towards the improvement of the road, has agreed to extend the turning head at the end of the track. The issue of the undersized turning head has been raised by a number of objectors and it is considered that this improvements to the size of the turning head will benefit all road users. A condition will be included to ensure that full details of the improvements to the turning head shall be agreed prior to any development commencing and will involve consultation with the Council's road and waste operative teams. Furthermore, an SDB1 service bay will form the access to the house site which will provide an additional passing place for the benefit of all road users. It should be noted that as this is not an adopted road, any financial contribution for road maintenance is for agreement between the private parties with a legal interest in the road.
- 8.17 The junction with the single-track public road would not meet current Council standards with regard to visibility, however it is a well known and well used junction already serving around 18 houses; there is no history of accidents at this location; and the road speed is naturally curtailed by the type and geometry of the road. It is therefore unlikely that a single additional house will generate enough extra traffic to cause any significant road safety issues.
- 8.18 A number of objectors also raised concerns about the impact of construction traffic vehicles using the road, both in terms of potential damage to the road itself and also the inconvenience of large vehicles attempting to bring large loads though the narrow

road. In response the applicant has agreed, for the purpose of construction, to access the site from the north, across the fields via a track serving an unused quarry. A Construction Traffic Management Plan (CTMP) has been submitted which states that site traffic and deliveries will take access from the quarry road to the east of the plot. Heavy duty matting will be laid to protect the grass. The CTMP states that the only vehicles which will need to access the site via Moss-side are concrete trucks for the laying of foundations which is likely to take around 2 days. Subject to a condition ensuring the CTMP is fully complied with throughout the duration of the build, the proposal for construction traffic is considered to be acceptable and should significantly reduce the impact on existing residents.

- 8.19 There is currently a stile providing access into the fields beyond the road within the site boundary. This stile shall be relocated to the end of the eastern leg of the turning circle in order to ensure that public access will not be impeded.

#### **Impact on infrastructure and services and proposed mitigation**

- 8.20 The site will be drained via a foul water treatment plant and soakaway and a surface water filter trench, to the east of the site utilising the slope. The impact on the private road is mitigated by a Construction Traffic Management Plan.

#### **Other material considerations**

- 8.21 There are no other material considerations.

#### **Non-material considerations**

- 8.22 The issue of the potential for the house to be used for business use is not a material consideration. Any future application for a change of use would be considered on its own merits.

#### **Matters to be secured by Legal Agreement / Upfront Payment**

- 8.23 All planning applications are assessed against Policy 31: Developer Contributions and Policy 32: Affordable Housing of the Highland-wide Local Development Plan, and the Developer Contributions Supplementary Guidance (DCSG) adopted 2 November 2018. The adopted DCSG requires all scales of residential development to make proportionate contributions towards services and infrastructure in areas of identified need. There are no capacity issues at the catchment primary and secondary schools therefore no developer contribution towards education provision is required at this time.

### **9. CONCLUSION**

- 9.1 The proposal for a single house on the site is considered to round off an existing housing group and therefore complies with the Council's Housing in the Countryside Policy. The house is more contemporary in design than the other housing in the row, however with its traditional proportions and materials it will make a positive contribution to the street. It has been designed and positioned with the aim of reducing the impact on the amenity of the neighbouring property to the west and it is



considered that it will not present any significant shading or overlooking issues and complies with Development Plan Policy 28 (Sustainable Design).

- 9.2 Existing residents have made some considered commentary about the access road, particularly relating to the suitability of the road to accommodate construction vehicles, and existing issues with vehicles turning at the under-sized turning head. The applicant has responded to these matters and with the improvements to the turning head and implementation of the Construction Traffic Management Plan the access to the site is considered to be acceptable.
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## 10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

## 11. RECOMMENDATION

<b>Action required before decision issued</b>	N
Notification to Scottish Ministers	N
Conclusion of Section 75 Obligation	N
Revocation of previous permission	N

**Subject to the above actions**, it is recommended to **GRANT** the application subject to the following conditions and reasons:

1. The house shall not be occupied until the access to the house site has been constructed in accordance with The Highland Council's Access to Single Houses and Small Housing Developments guidelines, and formed to comply with drawing ref: SDB1 service bay, as per approved drawing PL\_201 rev C, unless otherwise agreed in writing by the Planning Authority.

**Reason:** In the interests of road safety

2. No development shall commence until full details of the improvements to the turning head have been submitted to and approved in writing by the planning

authority. The works to the turning head shall thereafter be carried out in accordance with the approved details prior to the first occupation of the house hereby approved.

**Reason:** In the interests of road safety and to ensure that vehicles can turn safely.

3. The approved Construction Traffic Management Plan (CTMP) shall be implemented prior to development commencing and remain in place until the development is complete, unless otherwise agreed in writing by the Planning Authority.

**Reason:** In order to ensure that construction related traffic enters the site in accordance with the CTMP

4. The stile on the southern boundary of the application site shall not be removed until an alternative stile of comparable size and design has been installed across the fence to the east of the turning head, as per approved drawing PL\_201 rev C, to the satisfaction of the Planning Authority.

**Reason:** In order to ensure that public access into the fields is maintained at all times

## **REASON FOR DECISION**

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## **TIME LIMIT FOR THE IMPLEMENTATION OF THIS PLANNING PERMISSION**

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

## **INFORMATIVES**

### **Initiation and Completion Notices**

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.

2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

### **Flood Risk**

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

### **Scottish Water**

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

### **Septic Tanks & Soakaways**

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

### **Mud & Debris on Road**

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

### **Construction Hours and Noise-Generating Activities**

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact [env.health@highland.gov.uk](mailto:env.health@highland.gov.uk) for more information.

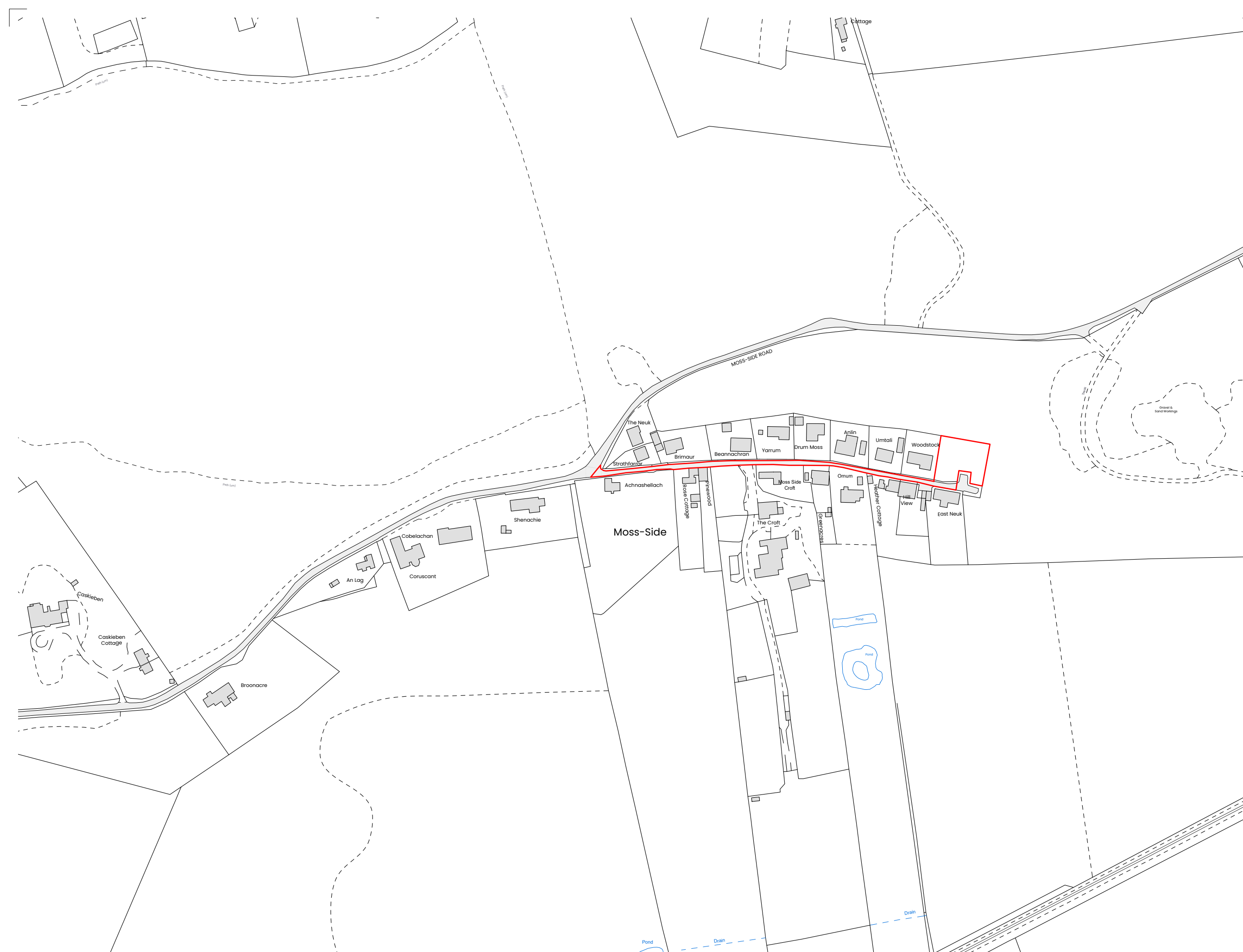
### **Protected Species – Halting of Work**

You are advised that work on site must stop immediately, and Scottish Natural Heritage must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from SNH: [www.snh.gov.uk/protecting-scotlands-nature/protected-species](http://www.snh.gov.uk/protecting-scotlands-nature/protected-species)

Signature: David Mudie  
Designation: Area Planning Manager – South  
Author: Christine Macleod  
Background Papers: Documents referred to in report and in case file.  
Relevant Plans: Plan 1 - 2201/PL/101 LOCATION PLAN  
Plan 2 - 2201/PL/104 VISIBILITY SPLAY PLAN  
Plan 3 - 2201/PL/201 rev C PROPOSED SITE LAYOUT PLAN  
Plan 4 - 2201/PL/202 PROPOSED SECTION PLAN  
Plan 5 2201/PL/301 PROPOSED FLOOR PLAN  
Plan 6 2201/PL/302 PROPOSED FLOOR PLAN - UPPER FLOOR  
Plan 7 - 2201/PL/401 PROPOSED ELEVATION PLAN  
Plan 8 - 2201/PL/402 PROPOSED ELEVATION PLAN  
Plan 9 - 2201/PL/501 SECTION PLAN  
Plan 10 - 21.1273-700 REV A PROPOSED DRAINAGE LAYOUT AND DETAILS  
Plan 11 - 2201-PL-101 LOCATION PLAN  
Document 12 - CONSTRUCTION TRAFFIC MANAGEMENT PLAN

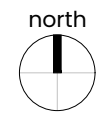
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project\_ house at moss-side

drawing type\_ existing plans

drawing name\_ location plan

planning\_ **2201/PL/101**

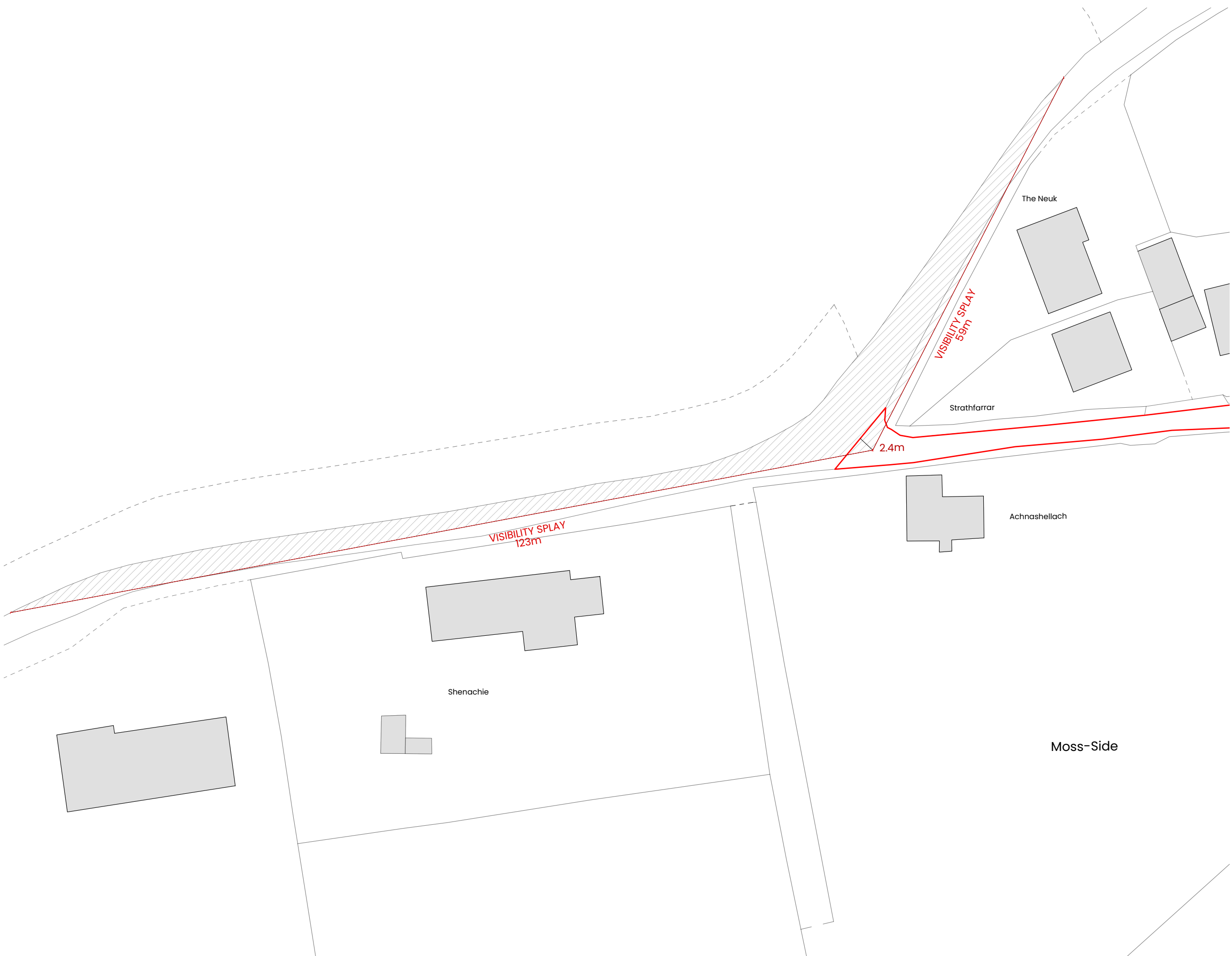
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project\_ house at moss-side

drawing type\_ existing plans

drawing name\_ visibility splay

planning\_ **2201/PL/104**

date\_ january 2022

scale\_ 1:200 @ A3

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rev_	date_	description_
A	june 22	sdb1 site access & connection to turning head / tree planting
B	july 22	in addition to turning head as per Waste Management request red line boundary to include turning head

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**PLANNING  
ISSUE**

site\_ house at moss-side

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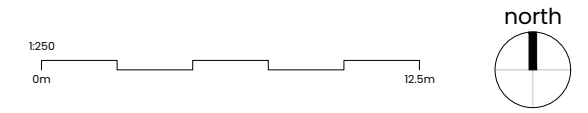
drawing name\_ proposed site plan

date\_ july 2022

project no\_ 2201

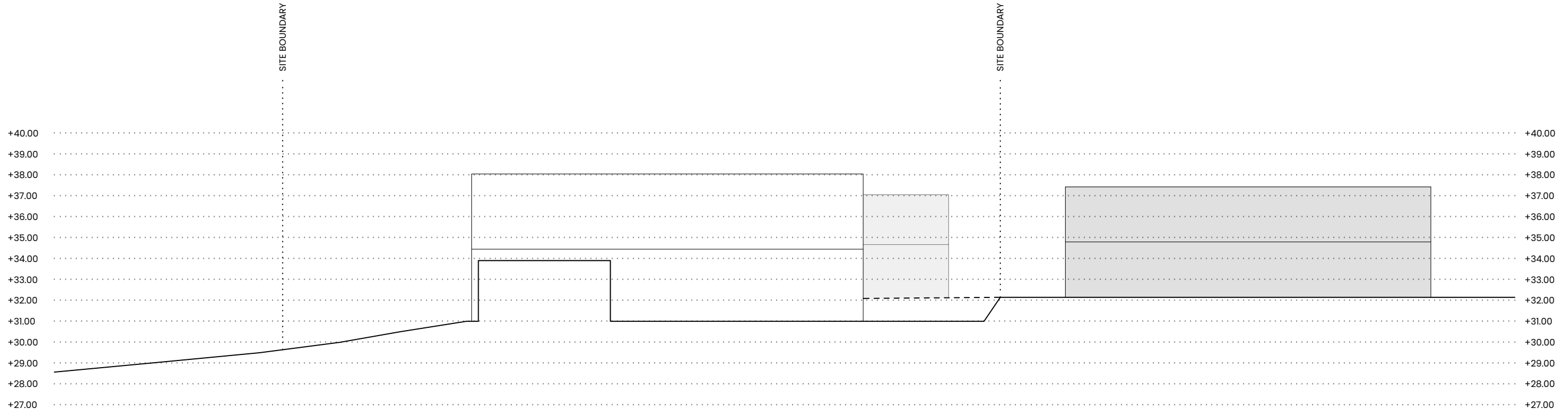
series & drawing #\_ PL\_201

rev\_ C

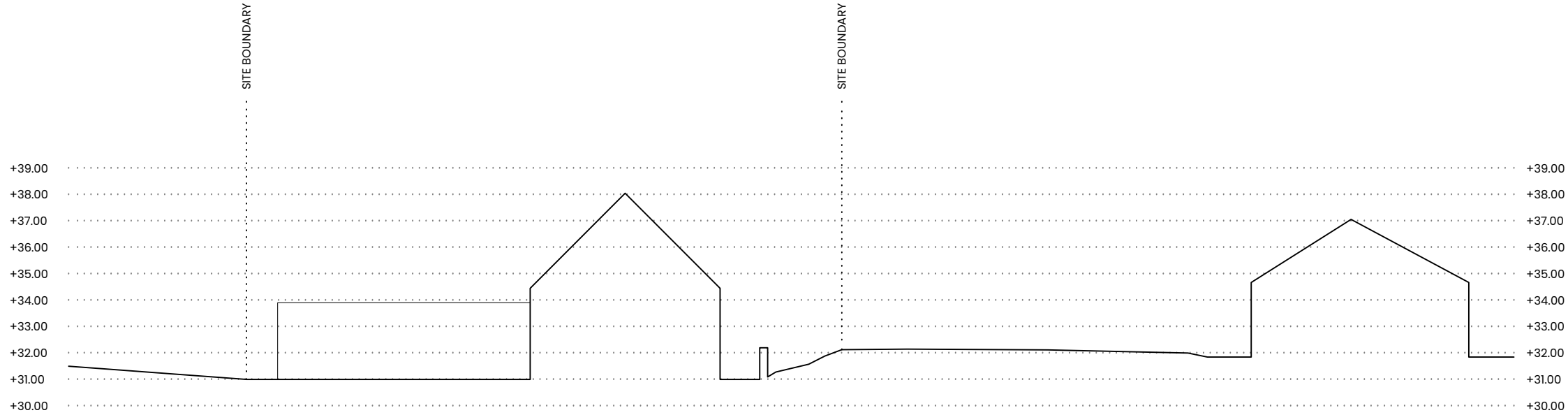


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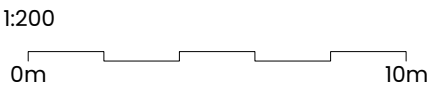
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103.01 PROPOSED SITE SECTION AA  
1:200



103.02 PROPOSED SITE SECTION BB  
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project\_ house at moss-side

drawing type\_ proposed plans

drawing name\_ site sections

planning\_ **2201/PL/202**

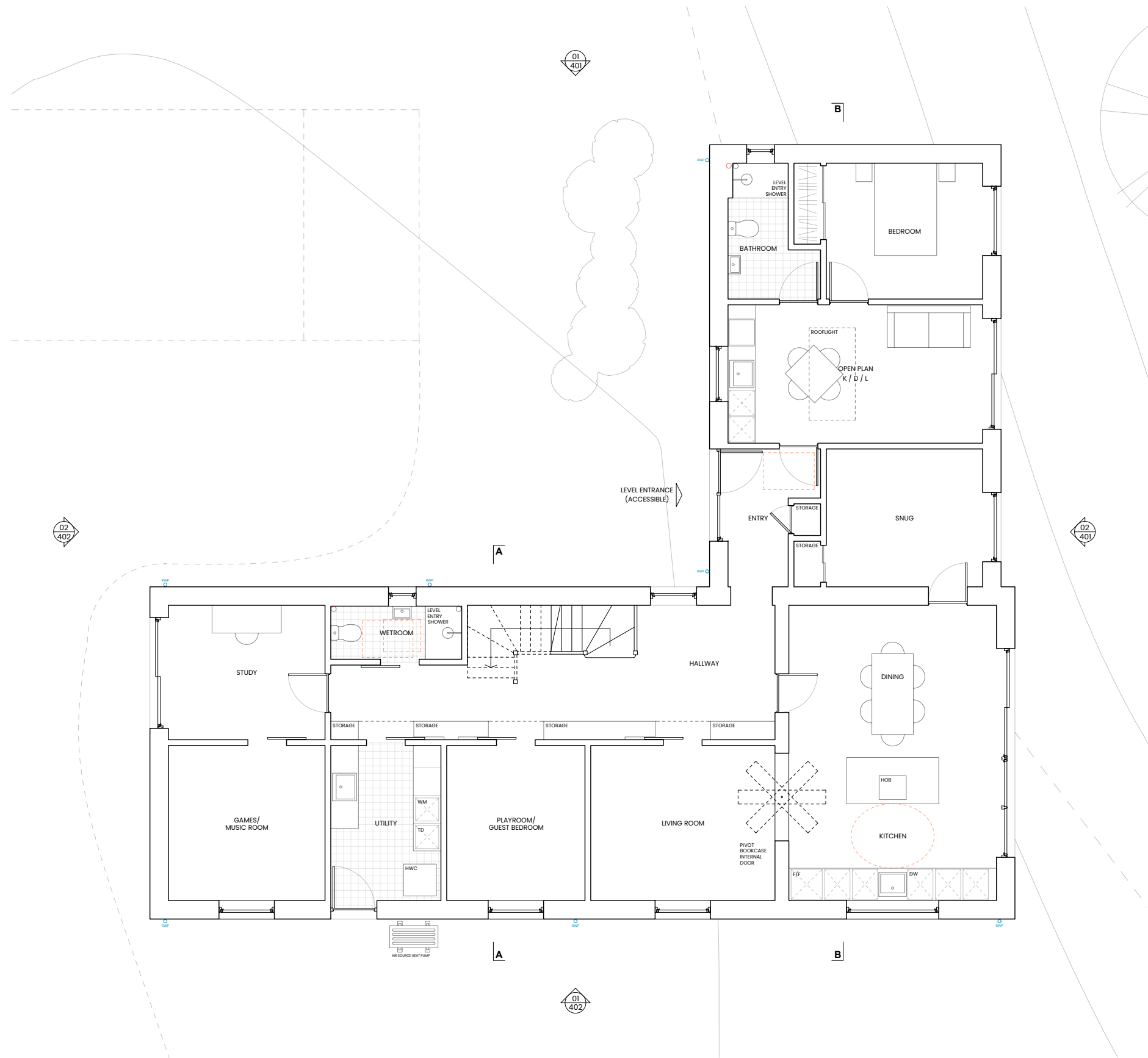
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project\_ house at moss-side

drawing type\_ proposed plans

drawing name\_ floor plan

planning\_ **2201/PL/301**

date\_ january 2022

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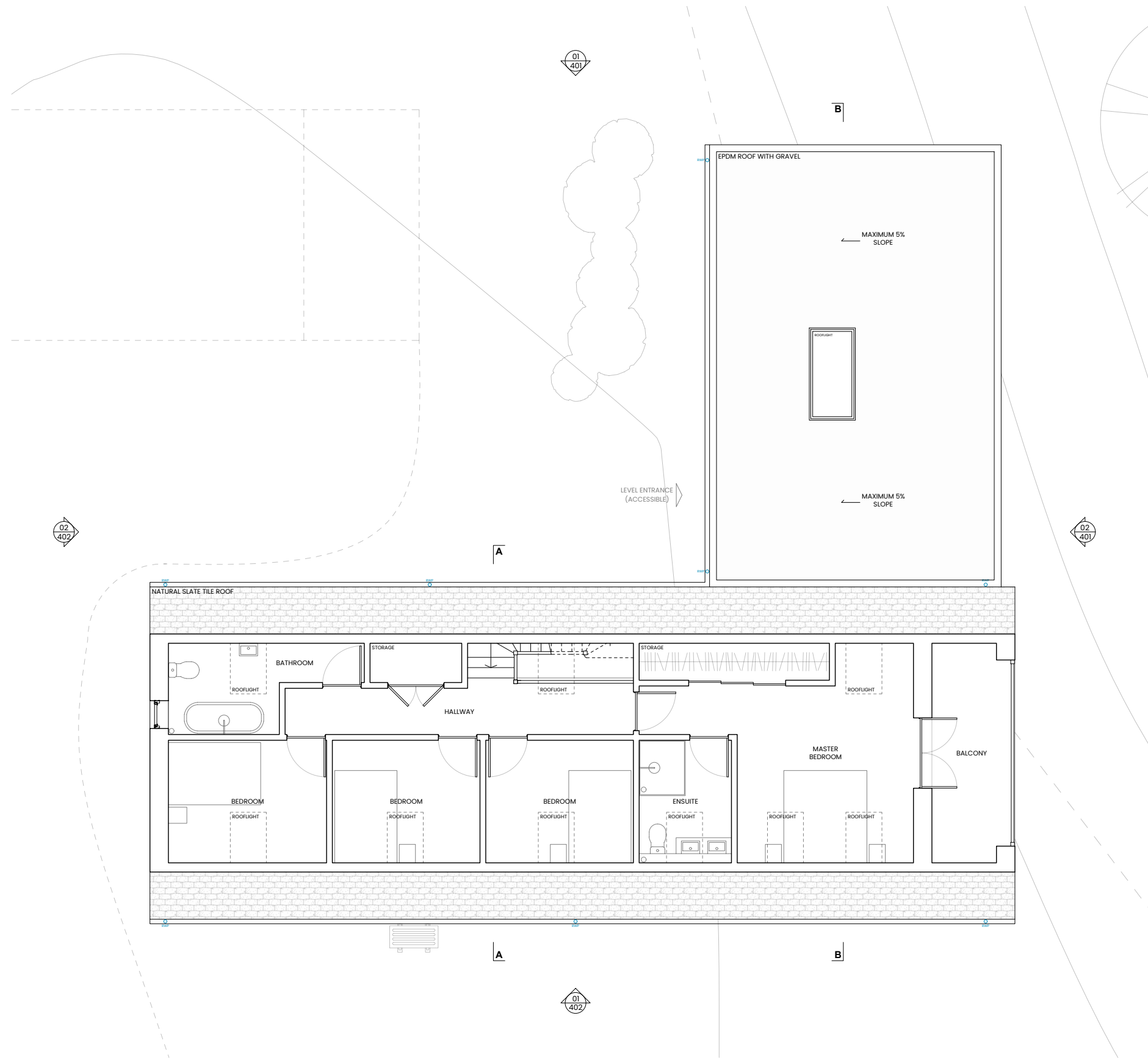
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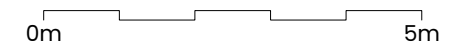
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project\_ house at moss-side

drawing type\_ proposed plans

drawing name\_ upper floor plan

planning\_ **2201/PL/302**

date\_ january 2022

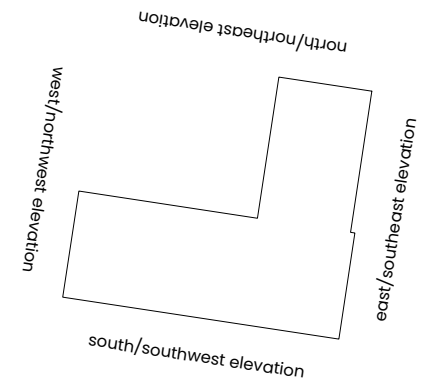
scale\_ 1:100 @ A3

studio@catoebrown.co.uk  
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notes\_

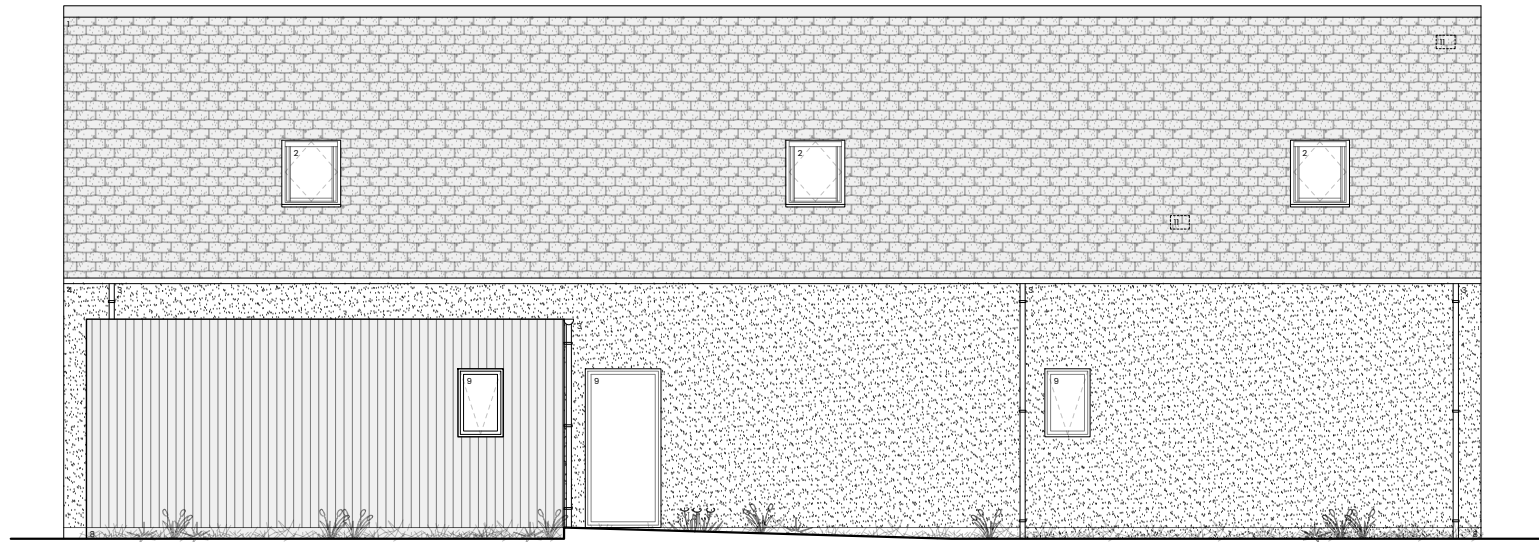
all dimensions to be checked on site.  
any drawing errors or divergences are to be brought to the attention of the originator of this drawing.

key plan\_



legend\_

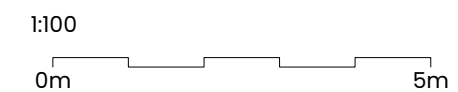
- 1. NATURAL SLATE ROOF TILE
- 2. HIGH PERFORMANCE ROOFLIGHT
- 3. ALUMINIUM GUTTER & DOWNPIPE
- 4. WHITE RENDERED BLOCKWORK
- 5. NARROW FORMAT VERTICAL LARCH
- 6. NARROW FORMAT VERTICAL CHARRED LARCH
- 7. WIDE FORMAT HORIZONTAL CHARRED LARCH
- 8. RENDERED BLOCKWORK BASE
- 9. HIGH PERFORMANCE DOUBLE GLAZED UNIT
- 10. AIR SOURCE HEAT PUMP
- 11. TILE EXTRACTION VENT
- 12. STRUCTURAL GLAZING
- 13. FRONT DOOR
- 14. PPC ALUMINIUM PRESSING



401.01 PROPOSED NORTH/NORTHEAST ELEVATION  
1:100



401.02 PROPOSED EAST/SOUTHEAST ELEVATION  
1:100



**catoe/brown**  
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project\_ house at moss-side

drawing type\_ proposed plans

drawing name\_ elevations

planning\_ **2201/PL/401**

date\_ january 2022

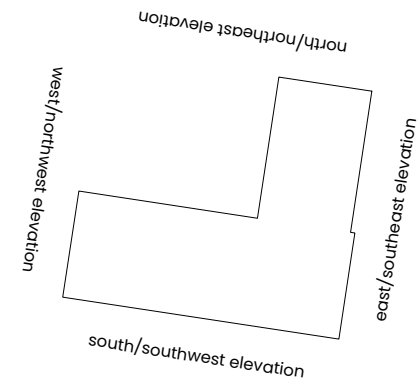
scale\_ 1:100 @ A3

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notes\_

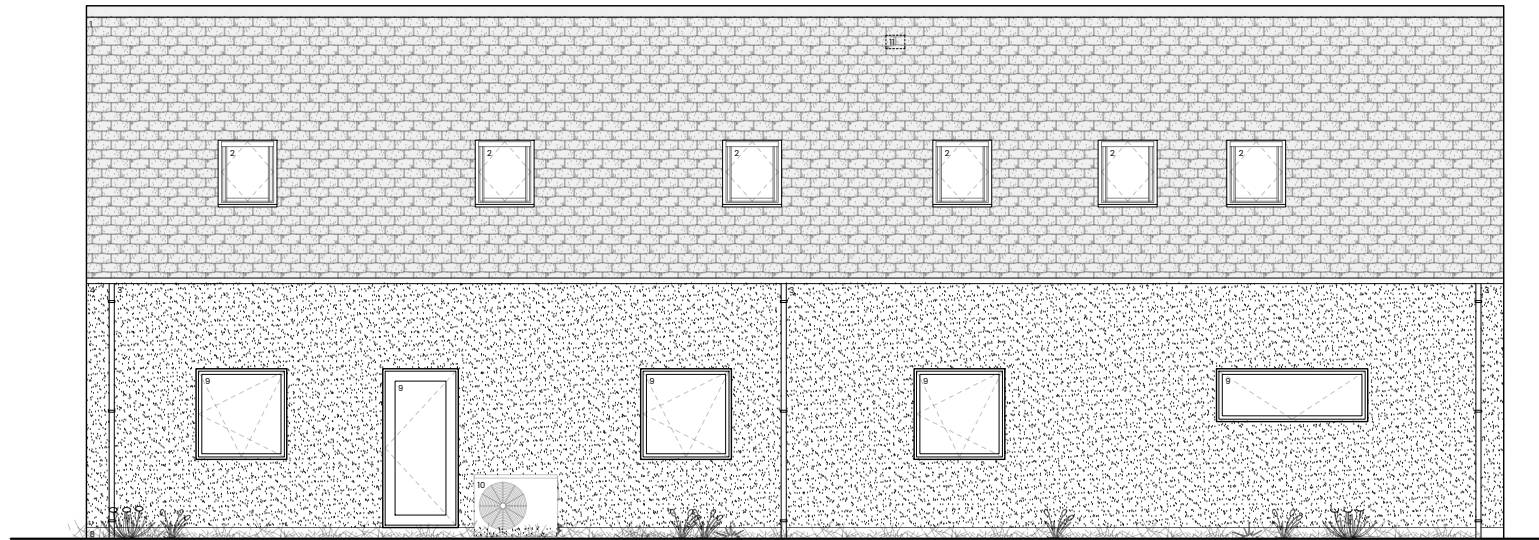
all dimensions to be checked on site.  
any drawing errors or divergences are to be brought to the attention of the originator of this drawing.

key plan\_



legend\_

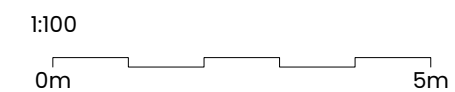
- 1. NATURAL SLATE ROOF TILE
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- 3. ALUMINIUM GUTTER & DOWNPIPE
- 4. WHITE RENDERED BLOCKWORK
- 5. NARROW FORMAT VERTICAL LARCH
- 6. NARROW FORMAT VERTICAL CHARRED LARCH
- 7. WIDE FORMAT HORIZONTAL CHARRED LARCH
- 8. RENDERED BLOCKWORK BASE
- 9. HIGH PERFORMANCE DOUBLE GLAZED UNIT
- 10. AIR SOURCE HEAT PUMP
- 11. TILE EXTRACTION VENT
- 12. STRUCTURAL GLAZING
- 14. PPC ALUMINIUM PRESSING



402.01 PROPOSED SOUTH/SOUTHWEST ELEVATION  
1:100



402.02 PROPOSED WEST/NORTHWEST ELEVATION  
1:100



**catoe/brown**  
architecture & landscape studio

project\_ house at moss-side

drawing type\_ proposed plans

drawing name\_ elevations

planning\_ **2201/PL/402**

date\_ january 2022

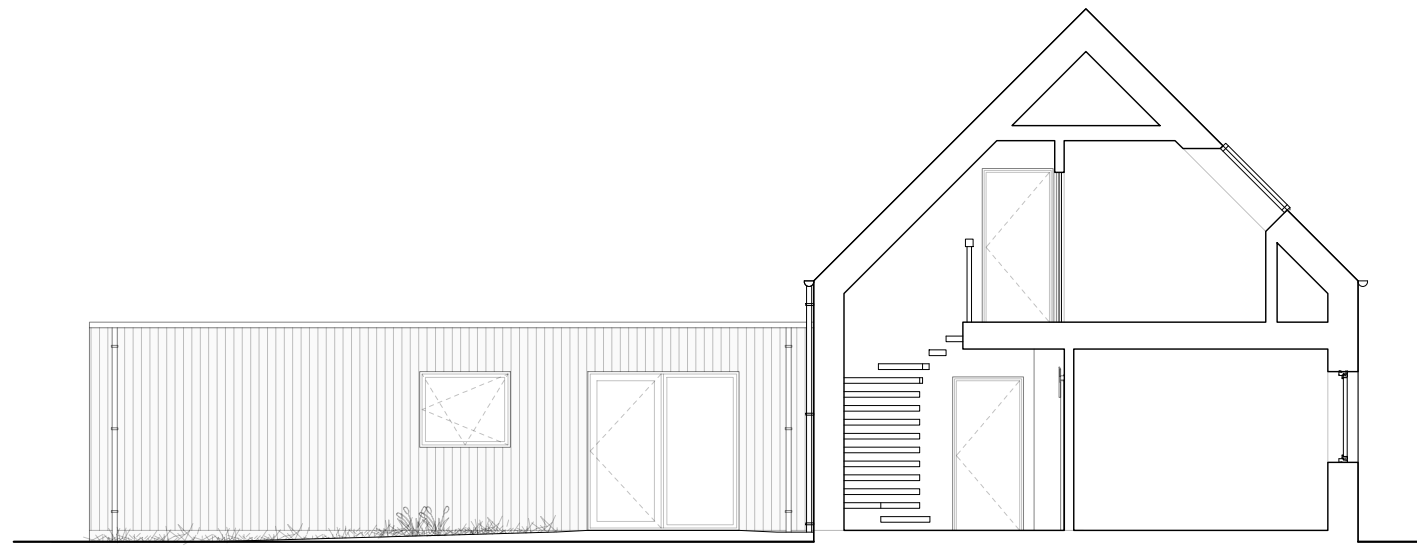
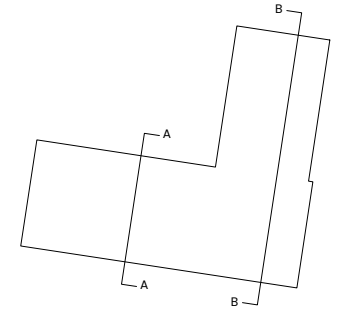
scale\_ 1:100 @ A3

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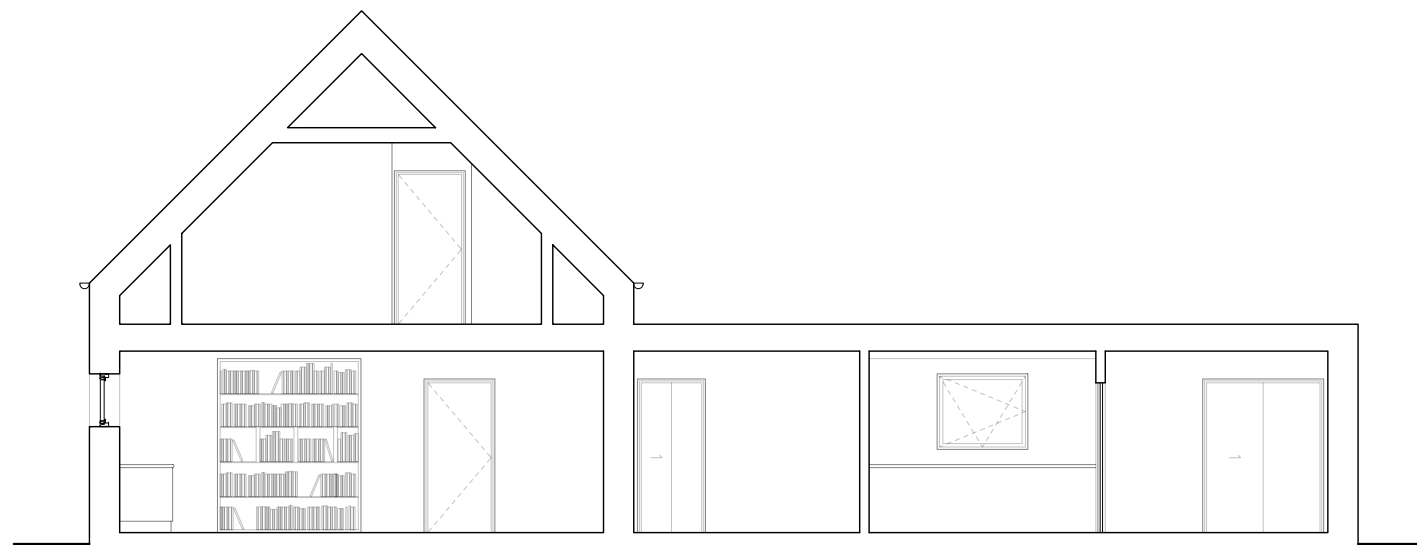
notes\_

all dimensions to be checked on site.  
any drawing errors or divergences are to be brought to  
the attention of the originator of this drawing.

key plan\_

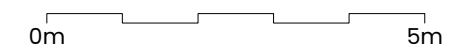


401.01 PROPOSED SECTION A-A  
1:100



401.01 PROPOSED SECTION B-B  
1:100

1:100



**catoe/brown**  
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project\_ house at moss-side

drawing type\_ proposed plans

drawing name\_ sections

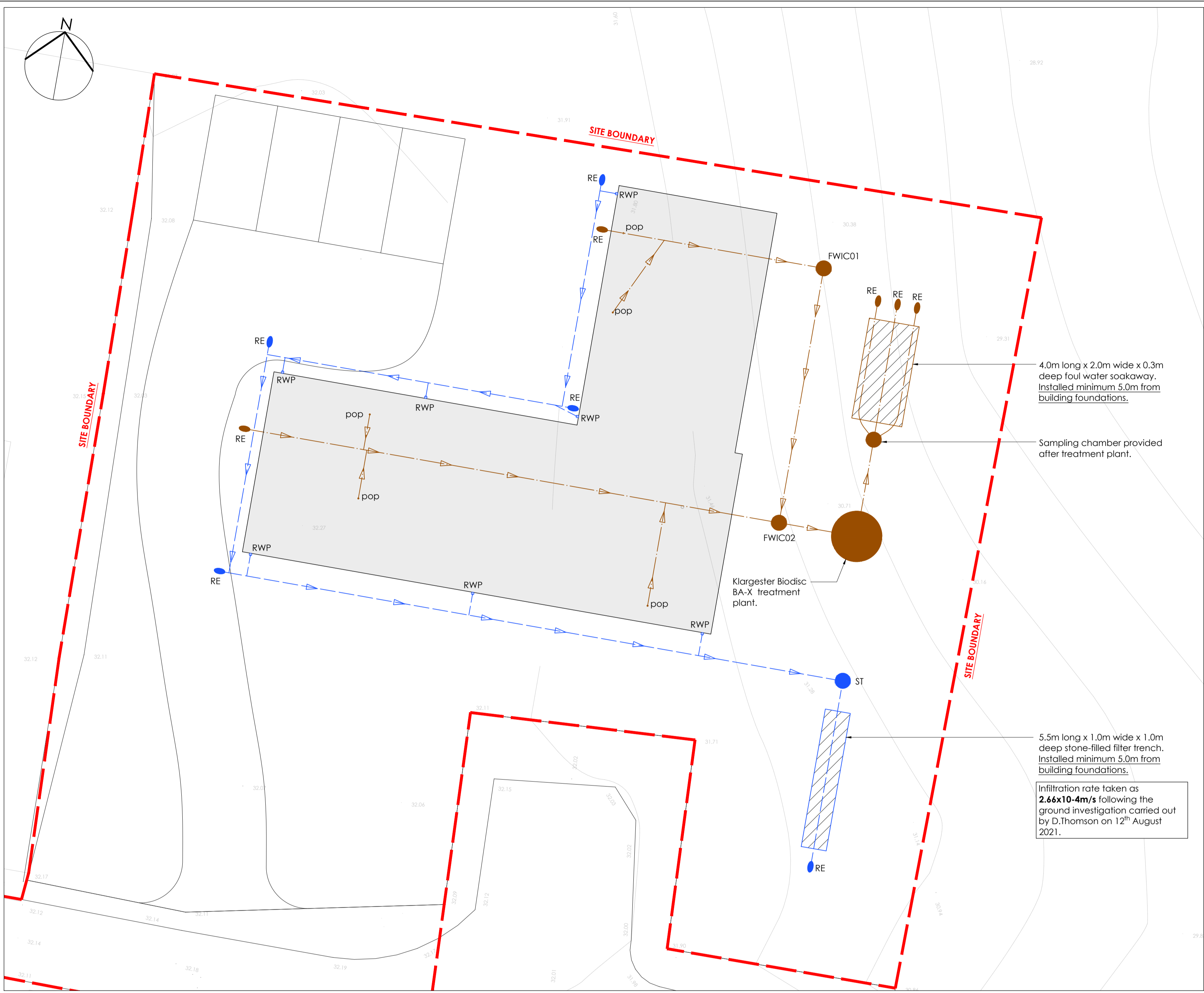
planning\_ **2201/PL/501**

date\_ january 2022

scale\_ 1:100 @ A3

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**PROPOSED DRAINAGE LAYOUT**  
SCALE 1:100

- DRAINAGE NOTES**
- The drainage system shall be constructed in accordance with the manufacturer's recommendations and with Sections 3.5 to 3.9 of the Building Standards (Scotland) Regulations and BS EN 12054-2:2000, BS EN 752:2017 all to the satisfaction of the Local Authority.
  - All locations and dimensions, including existing drainage diameter, falls, lengths, invert and cover levels, and site dimensions of proposed drainage to be checked on site by the Contractor, prior to ordering of materials. For exact locations of pop ups to all RWPs and SVPs refer to Architect's drawings.
  - In case of discrepancy between drawings or lack of dimensions the Contractor should consult DNA before works proceed.
  - All existing services to be determined by the Contractor prior to construction commencing.
  - All new drainage is to be pressure tested in coordination with the Local Authority prior to any backfilling. The tests are to be witnessed and recorded. This is to be done as per the Local Authority regulations as required.
  - Every dwelling with a drainage system discharging to a private wastewater treatment plant or septic tank should be provided with a label to alert the occupiers to such an arrangement complying with clause 3.8.7, located adjacent to the gas or electricity consumer unit or water stopcock. The label should describe the recommended maintenance necessary for the system and should include the following: 'The drainage system from this property discharges to a wastewater treatment plant (or septic tank, as appropriate). The owner is legally responsible for routine maintenance and to ensure that the system complies with any discharge consent issued by SEPA and that it does not present a health hazard or a nuisance.'
  - Note that a sampling chamber after the treatment plant/septic tank should satisfy the criteria and match the diagram within guidance clause 3.8.3 of the Domestic Technical Handbook.
  - Concrete protection shall be provided to all pipework where cover is less than 1200mm under roads and any areas with vehicular access such as yards etc. and 900mm under footpaths and soft landscaping.
  - All gully branches/rain water pipes, branch tails etc. to be 150mm uPVC pipes unless otherwise noted, as approved by Scottish Water.
  - All rainwater pipes are to be trapped and provided with rodding access on vertical.
  - Pipe falls as noted in legend.
  - Refer to Architect's drawings for surface finishes.

- LEGEND:-**
- Denotes new 110mmØ uPVC surface water pipe laid at 1in 100 fall.
  - Denotes new 150mmØ uPVC foul water pipe laid at 1in 60 fall.
  - Denotes new rodding eye (refer to detail).
  - RE Denotes new rainwater pipe. Locations TBC by architect.
  - ST Denotes new silt trap
  - FWIC## Denotes new foul water inspection chamber (refer to detail).

DO NOT SCALE FROM THIS DRAWING. WORK TO FIGURED DIMENSION ONLY.

**NOTES**

- All DNA drawings are to be read in conjunction with the relevant DNA Specification and all relevant Architect and Service Engineer's drawings and Specifications.
- All dimensions and setting out to be confirmed by the Architect.

0 1m 2.5m 5m  
SCALE 1:100

0 500 1m  
SCALE 1:20

4.0m long x 2.0m wide x 0.3m deep foul water soakaway. Installed minimum 5.0m from building foundations.

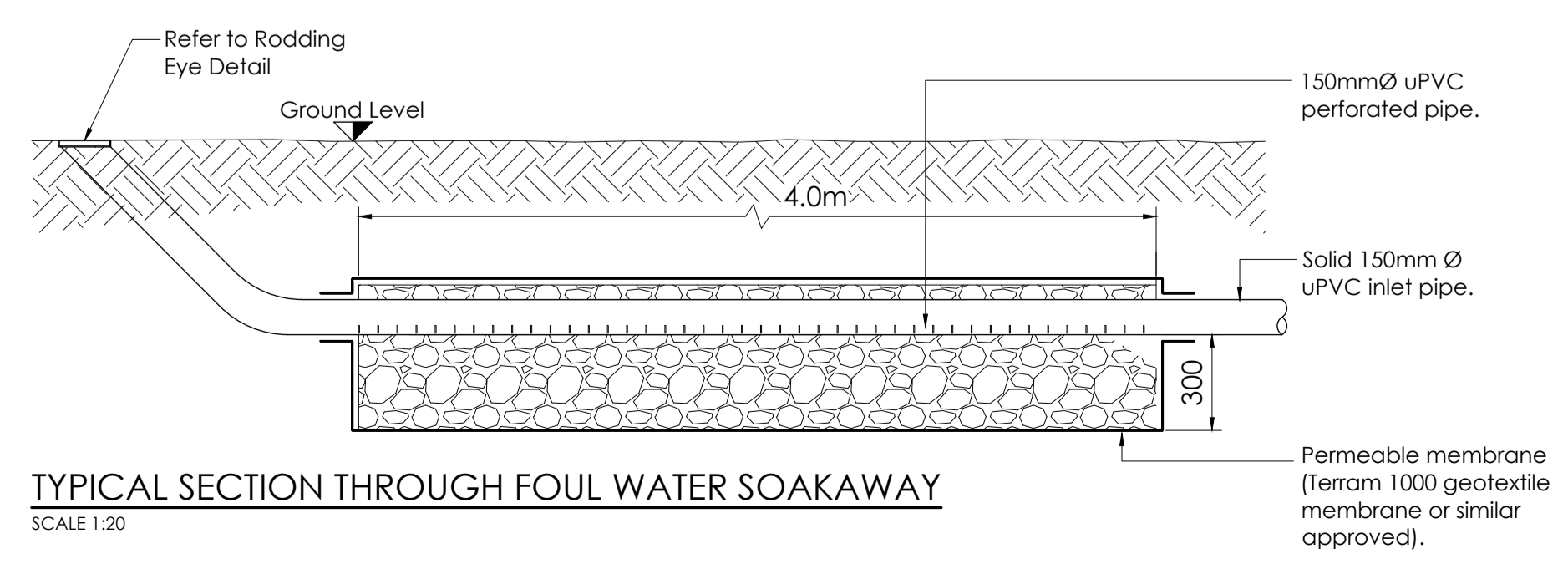
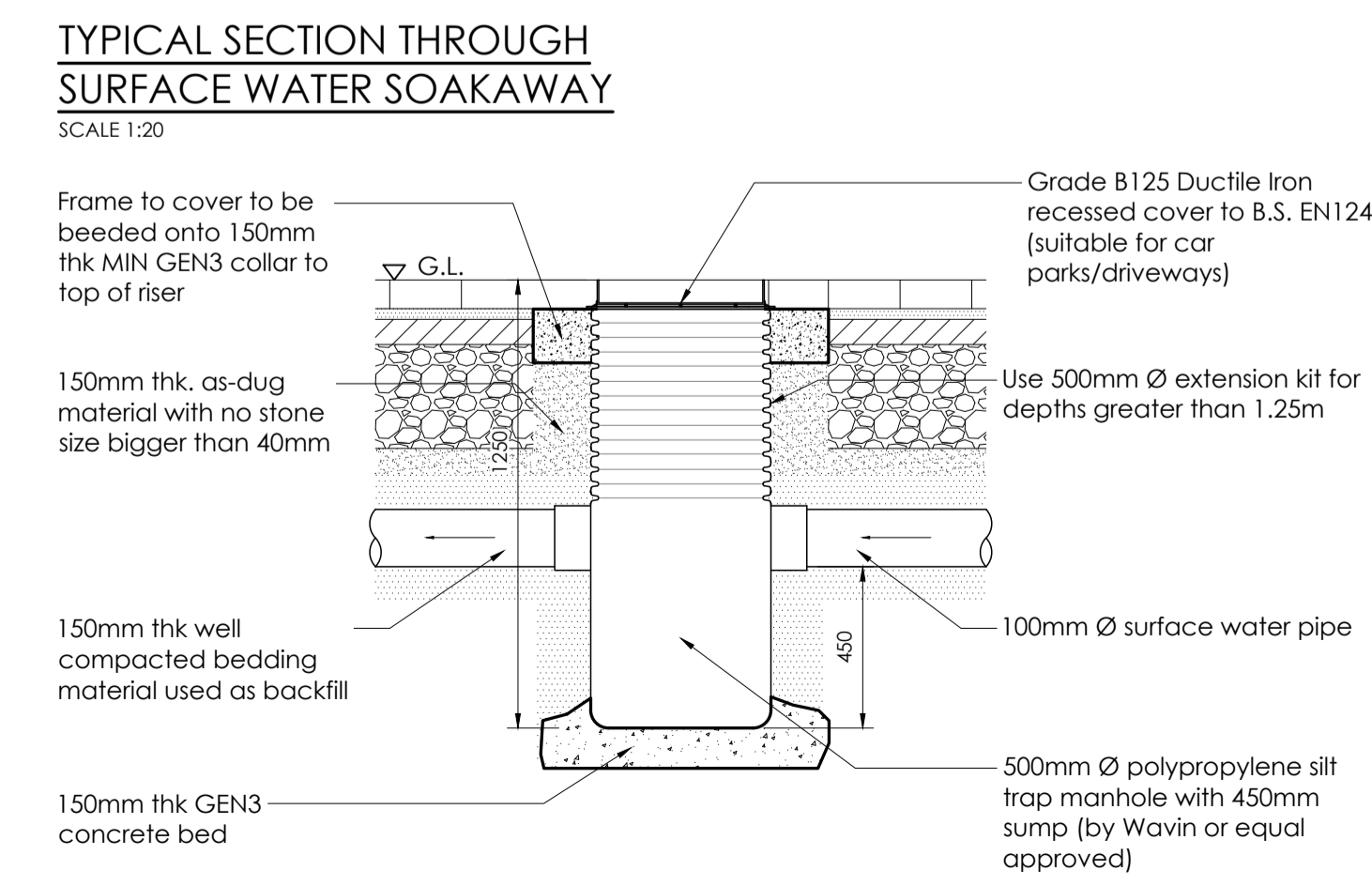
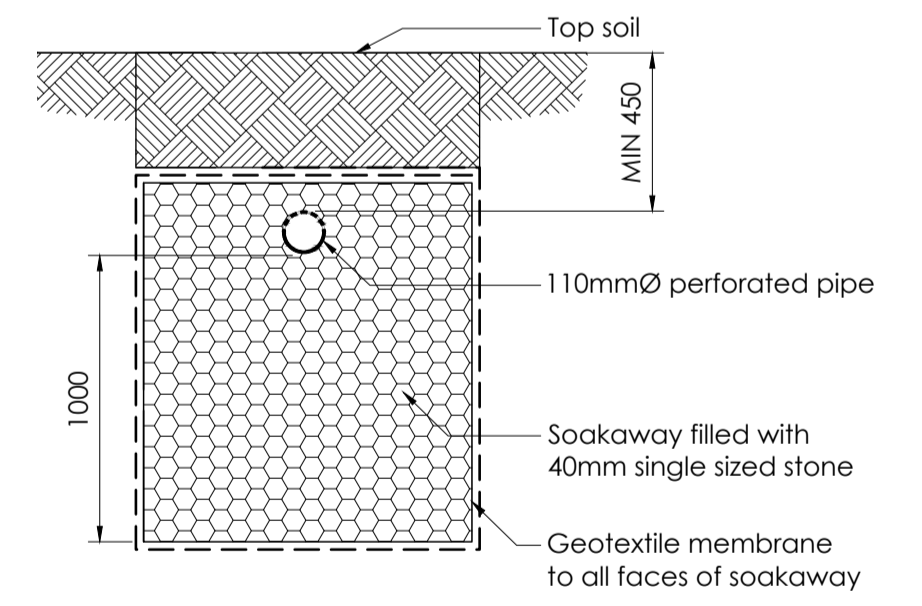
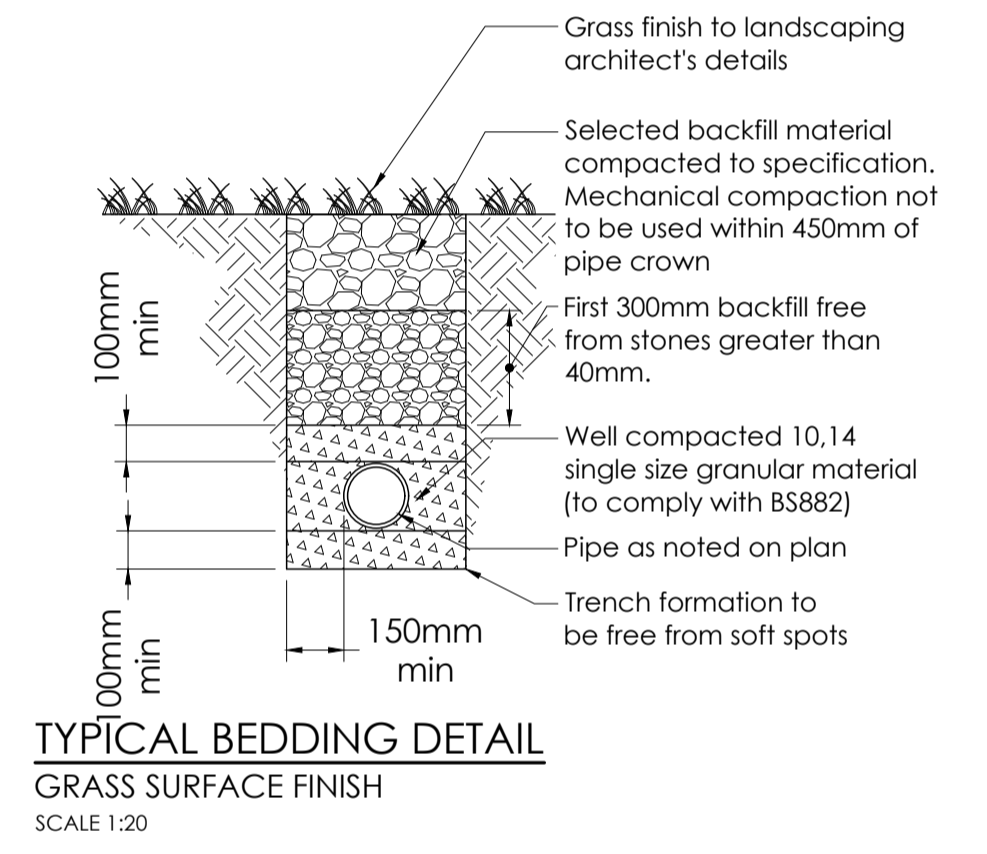
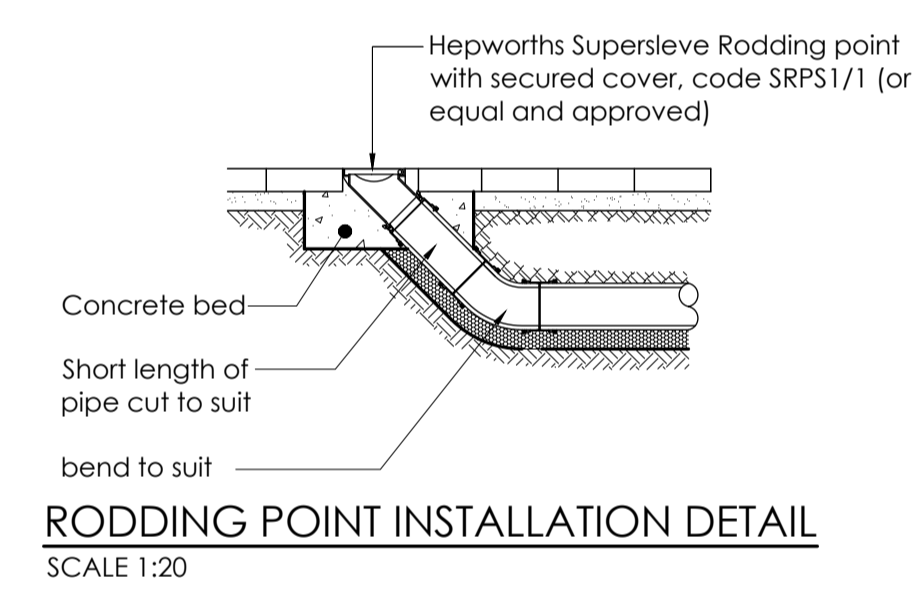
Sampling chamber provided after treatment plant.

Klargester Biodisc BA-X treatment plant.

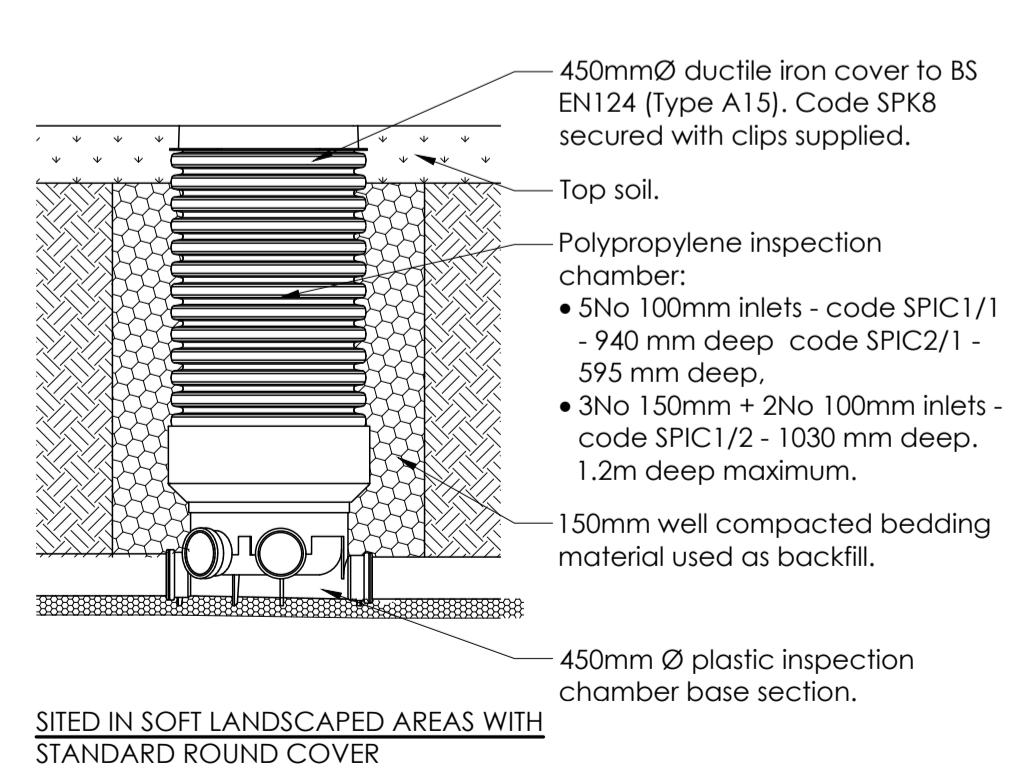
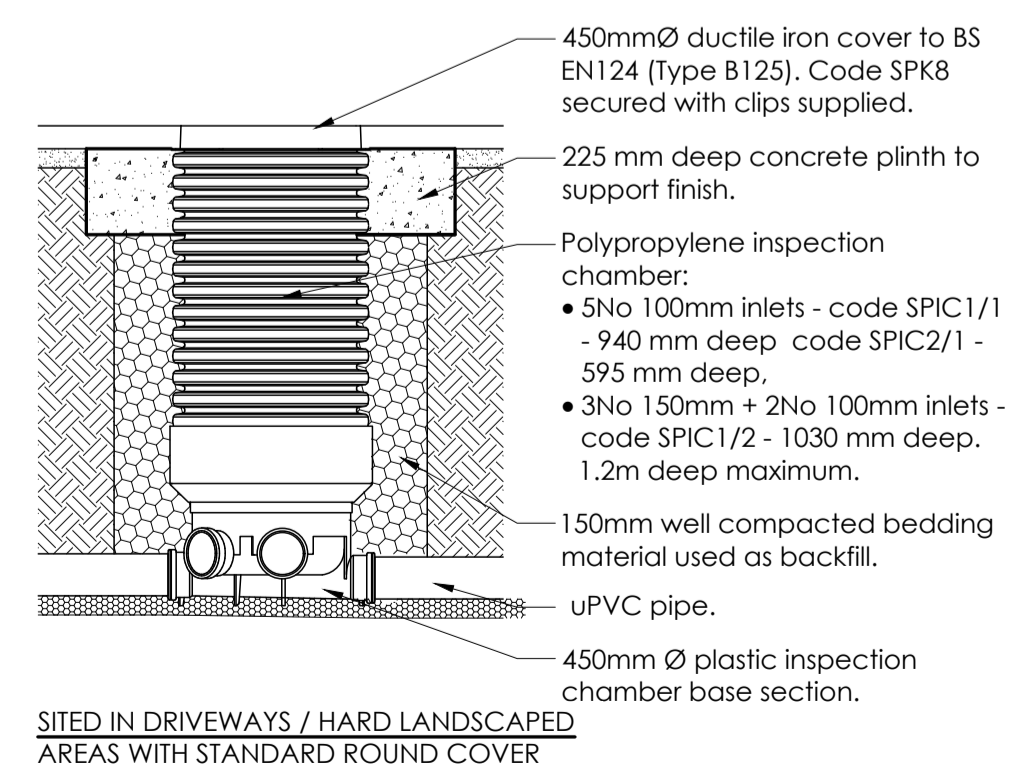
5.5m long x 1.0m wide x 1.0m deep stone-filled filter trench. Installed minimum 5.0m from building foundations.

Infiltration rate taken as **2.66x10-4m/s** following the ground investigation carried out by D.Thomson on 12<sup>th</sup> August 2021.

\* Selected fill: Selected fill should be readily compactable, free from timber, frozen material, vegetable and foreign matter exclude hard lumps of clay retained on a 100mm sieve and stones retained on a 40mm sieve.



DRAINAGE DETAIL ONLY. FOR DETAILS OF SURFACING/LANDSCAPING REFER TO ARCHITECT'S DRAWINGS.



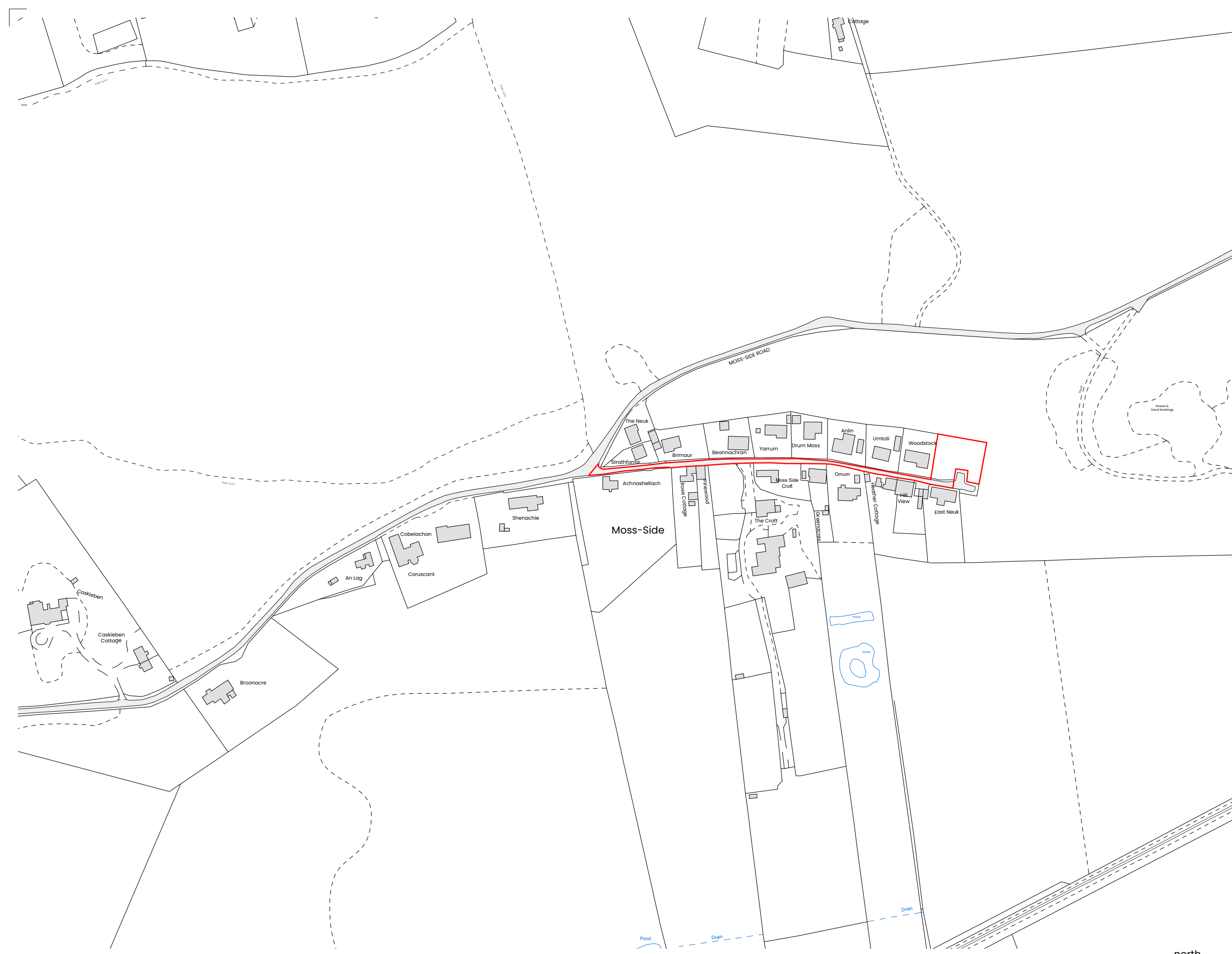
NB - Universal Product - Adaptor to pvc-u pipe included

A	Building layout updated to suit Architect's updated layout. Drainage re-routed accordingly.	DT	JL	02.02.22	
Rev	Description	Chk	Dm	Date	
Status <b>PLANNING</b>					
 Consulting Structural & Civil Engineers					
34-36 Argyll Place, Edinburgh, EH9 1JT 0131 2295553					
26 James Morrison Street, Glasgow, G1 5PE 0141 5526080					
Alton House, 4 Balfour Road, Inverness, IV3 5PJ 01463 216060					
3 Viewfield Place, Strling, FK8 1HQ 01756 449542					
Banchory Business Centre, Banchory, Aberdeenshire, AB31 3DU 01330 626789					
W <a href="http://www.davidnarro.co.uk">http://www.davidnarro.co.uk</a> E <a href="mailto:mail@davidnarro.co.uk">mail@davidnarro.co.uk</a>					
Client <b>MARIE NOBLE</b>					
Architect <b>CATOE/BROWN</b>					
Job Title <b>MOSS-SIDE, NAIRN</b>					
Sheet Title <b>PROPOSED DRAINAGE LAYOUT &amp; DETAILS</b>					
Drawn by	JL	Designed	JL	Checked	DT
Scale	AS NOTED @ A1		Date	08.09.2021	
Drawing number	21.1273-700			Revision	A

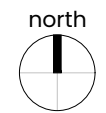
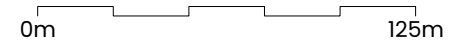


notes\_

all dimensions to be checked on site.  
any drawing errors or divergences are to be brought to  
the attention of the originator of this drawing.



1:2500



**catoe/brown**  
architecture & landscape studio

project\_ house at moss-side

drawing type\_ existing plans

drawing name\_ location plan

planning\_ **2201/PL/101**

date\_ january 2022

scale\_ 1:2500 @ A3

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www.catoebrown.co.uk

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studio@catoebrown.co.uk

## CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CTMP)

REF: 22/00053/FUL

### 0.1 SITE ADDRESS

Land 30m east of Woodstock, Moss-Side, Nairn

### 0.2 DESCRIPTION OF WORKS

New build and associated infrastructure.

### 0.3 GENERAL MANAGEMENT ISSUES

The CTMP will be periodically monitored and reviews. Any significant changes to the CTMP will be reported to the Highland Council Infrastructure & Environment (Planning Department). The client's agent will issue any amendments.

The proposal does not impact the public highway with regards to utilities and disruptions.

No domestic/commercial waste collections to be disrupted.

The site manager/client will deal with any potential complaints from local residents.

### 1.0 WORK PROGRAMME

1.1 It is anticipated that the development timescale will be approximately 12-18months, which will depend on material and tradespeople availability.

1.2 Ideal duration estimates of major work phases:

- Site clearance, foundations, and infrastructure – approximately 2 months;
- Kit building, scaffold, kit erection, roof work, slating, and dwelling to wind and watertight – approximately 3.5 months;
- First fix all trades, external cladding, blockwork, harling, tape and filling and painting – approximately 3.5 months; and
- Second fix all trades, landscaping, boundary treatments/gate, snagging to completion – approximately 3.5 months.



- 1.3 Anticipated site working hours will be approximately 7am to 7pm Monday to Saturday. Where 'noisy' works are required, this will be kept between 8am to 6pm Monday to Saturday.

## **2.0 ROUTING OF DEMOLITION, EXCAVATION & CONSTRUCTION VEHICLES**

- 2.1 The proposed route avoids residential side streets and vehicles will approach the site from the left-hand side of Moss-Side Road. Plans and instructions can be sent to visitors and delivery companies. The proposed route can accommodate all vehicles visiting the site in terms of capacity, geometry, and height. There are no major trip generators in the vicinity (such as schools and offices, etc.).

Verbal and written briefings can be provided to all suppliers, contractors, and visitors, noting any restrictions or terms that are applicable to them, highlighting the route on plan will be provided.

- 2.2 Site traffic and deliveries will have access from the quarry road to the east of the plot. Heavy duty matting will be laid to protect the grass on the field. Some deliveries can be offloaded at the top of the quarry track in the clearing to the south of the entrance, of which the landowner has given permission. The only vehicles using the lane for access for the duration of the build will be the concrete trucks for the foundation. For this we have allowed 2 days, but it should be completed in one day.
- 2.3 Previously submitted traffic flow diagrams/aerial pictures show the proposal road network for site vehicles and deliveries. See attached.
- 2.4 Appropriate signage will be in place to show traffic the correct routes to take.

## **3.0 SITE ACCESS**

- 3.1 Vehicles will be able to turn within the site to exit in a forward direction. Alternatively, vehicles may reverse in and drive out. Suitably qualified personnel will be always provided when vehicles are manoeuvring. If required, a LANTRA (or similar) qualified banksman will be provided. See swept path of chosen manoeuvre on provided plan.
- 3.2 See the loading area on plan. A clear minimum width of 1.2m of footway and 3.0m of carriageway is provided.

## **4.0 VEHICLES ACCESSING THE SITE PER DAY/WEEK**

- 4.1 There will be approximately an average of 4 vans on site per day for the duration of the build, Traffic will be on site during working hours as highlighted in the work programme 1.3. None of the work vehicles coming to or from the site will be using the turning circle.

Roads on route are suitable for the size of vehicles to be used.

- 4.2 Deliveries and collections will generally be restricted to between 9.30am and 4.30pm.
- 4.3 Wheel wash facilities/dust protection provision can be made available if required by HSE.

## 5.0 VEHICLE CALL UP PROCEDURE

- 5.1 Deliveries are to be given set times to arrive (between 9.30am and 4.30pm as per 4.2). Delivery instructions will be sent to all suppliers and contractors. Site manager (or qualified Banksman) to ensure safe passage of vehicular traffic when vehicles are being loaded/unloaded.
- 5.2 The site manager will coordinate and allocate appropriate time slots and monitor vehicle movements to/from the site.
- 5.3 Contractors' own vehicles will be parked in the area indicated on plan. No vehicles will be permitted to park on Moss-Side Road or at the turning head.

6.0 APPENDIX

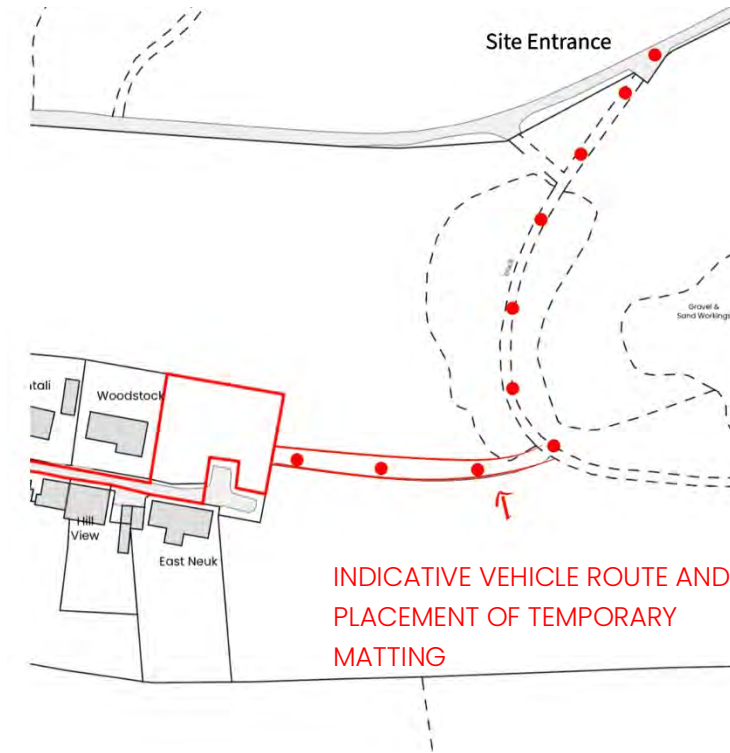
6.1 ROAD SIGNAGE & ACCESS



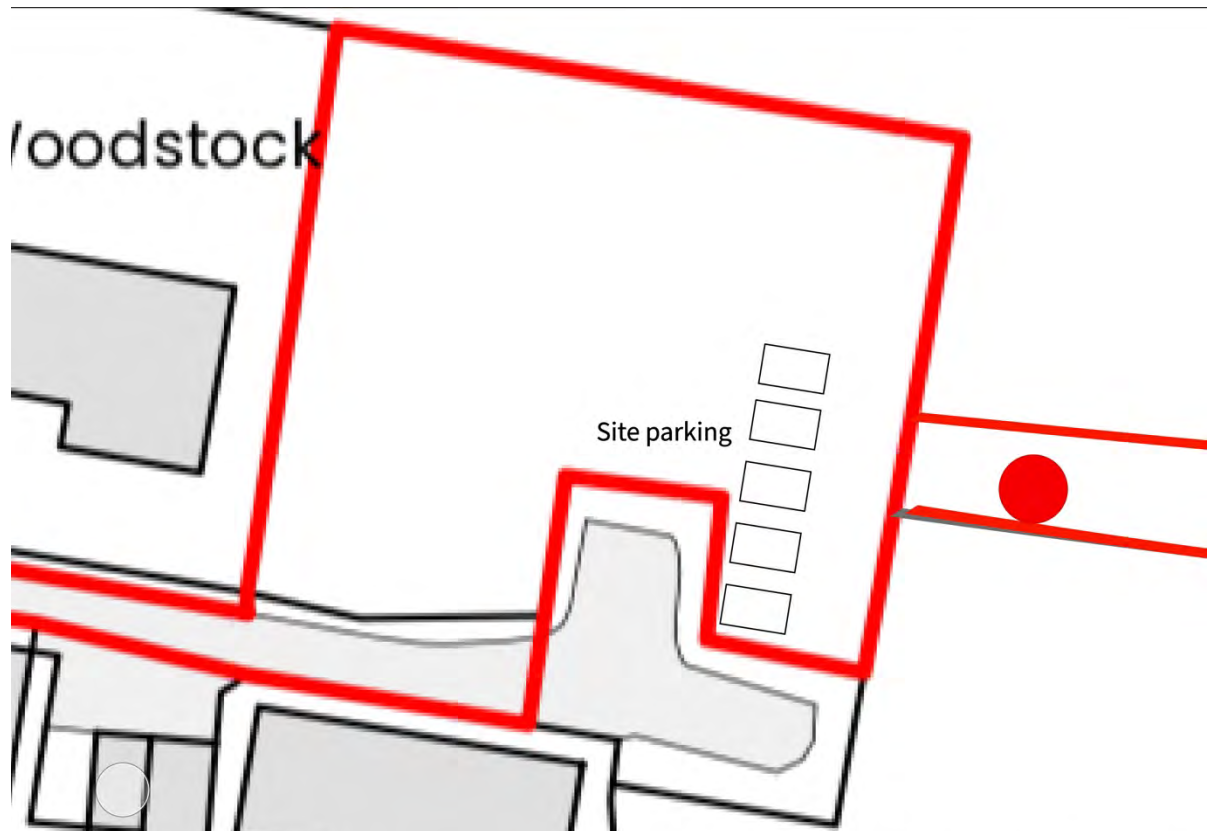
6.2 SITE (CONSTRUCTION) ENTRANCE



6.3 CTM STRATEGY



6.4 SITE PARKING





6.5 TEMPORARY MATTING LOCATION (INDICATIVE)



6.6 TEMPORARY MATTING EXAMPLE

