

Agenda Item	7.3
Report No	PLS-82-22

## HIGHLAND COUNCIL

**Committee:** South Planning Applications Committee  
**Date:** 20 September 2022  
**Report Title:** 21/04869/FUL: Grantown on Spey Parish Church  
Inverallan Church, Grant Road, Grantown-on-Spey, PH26 3JH  
**Report By:** Area Planning Manager – South

### Purpose/Executive Summary

**Description:** Alterations to church to create flexible sanctuary for worship and use as a concert/performance venue, including associated meeting rooms and activity spaces, toilets, stairs and lift, provision of social enterprise cafe, alterations to window to create new door and side screens with terrace access

**Ward:** 20 – Badenoch and Strathspey

**Development category:** Local

**Reason referred to Committee:** Request from Elected Members

All relevant matters have been taken into account when appraising this application. It is considered that the proposal does not accord with the principles and policies contained within the Development Plan and is unacceptable in terms of applicable material considerations.

### Recommendation

Members are asked to agree the recommendation to **REFUSE** the application as set out in section 11 of the report.

## 1. PROPOSED DEVELOPMENT

1.1 This planning application is for various alterations to the church so that it can be used as a multi-functional community venue, yet still retaining its ecclesiastical function.

1.2 The proposed use of the space is:

- Flexible sanctuary space for contemporary ministry use, and suitable for hosting concerts and community events (180-200 seats); removal of pews, heating and thermal insulation installed below the floor (nave/central part of ground floor)
- Social enterprise café – 30 covers (southwest transept/ground floor); approximately 19% of ground floor area
- Café terrace (southeast of building, accessed from the café space), with associated alteration to southeast facing window to form door to terrace
- Community changing suite for use by special needs visitors to the town, and building users (nave/ground floor)
- Internal meeting rooms and activity spaces for church use community clubs and activities (northeast transept and first floor spaces)
- Ancillary toilets, lift and stairs
- Installation of 20kW solar panel array (southwest facing roof)
- Air source heat pump located to the rear (west elevation)
- Parking spaces to south of church adjacent to the road, with adjacent bin storage

1.3 The upper storey accommodation is provided with internal glass walling allowing natural lighting of these spaces and maintaining the visual flow of the ceiling structure.

1.4 The existing access from Grant Road would remain unaffected. The existing connection to the public sewer and water supply would remain unaffected.

1.5 Pre-Application Consultation: None

1.6 Supporting Information: Design Statement

1.7 Variations: Amended design to the external door opening

## 2. SITE DESCRIPTION

2.1 The Category B Listed Inverallan Church is located to the west of Grant Road in the centre of Grantown on Spey enclosed by woodland to the rear and side. The site is within the Grantown on Spey Conservation Area.

## 3. PLANNING HISTORY

3.1	N/A	21/04872/LBC Alterations to church to create flexible Sanctuary for worship and use as a concert/performance venue, including associated meeting rooms and activity spaces, toilets, stairs and lift, alterations to window to	Pending Consideration
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create new door and side screens with terrace access.

3.2 04.03.2020 19/00598/FUL Erection of four houses. Application refused

#### 4. PUBLIC PARTICIPATION

4.1 Advertised: Development Affecting the Conservation Area

Date Advertised: Development Affecting the Conservation Area 04.11.2021  
(Strathspey and Badenoch Herald)

Representation deadline: 25.11.2021

Timeous representations: 3

Late representations: 1

4.2 Material considerations raised are summarised as follows:

- a) compliance with the Development Plan and other planning policy;
- b) siting, design and materials;
- c) residential amenity;
- d) access and car parking;
- e) community benefit.

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet [www.wam.highland.gov.uk/wam](http://www.wam.highland.gov.uk/wam).

#### 5. CONSULTATIONS

5.1 **Historic Environment Team** – Object. In general terms the proposal is positive and the Historic Environment Team welcome and support the proposal to secure new and positive uses for the building. However, unable to support the installation of photovoltaic panels to the principal (and prominent) roof slope of the Category B Listed building within the Grantown on Spey Conservation Area as it would adversely impact the special architectural and historic interest of the listed building.

Recognise that renewable technologies in a heritage context can be an important component in securing the long-term future of historic buildings, however it is important that these are carefully and discreetly located so as not to compromise the special architectural interest, character and appearance of the listed building. In this case there do appear to be alternative options such as the rear southwest facing slope of the nave. This is a much less prominent and less visible part of the roof and would likely be a suitable and supportable location for PV panels. It is also worth noting that there are opportunities to sensitively and discreetly install other renewable technologies, such as air source heat pumps.

5.2 **Historic Environment Team (Archaeology)** – No comment.

5.3 **Transport Planning Team** – No objection. Limited parking is to be provided within the curtilage of the development with on street public parking available in the wider surrounding area.

- 5.4 **Environmental Health Team** – Initially objected due to insufficient information being provided. Further details regarding the operation of the café and performance area were requested, given the close proximity of surrounding residential properties, but not received. Environmental Health noted any air source heat pump installation would have to comply with the MCS 020: Planning Standards for Permitted Development Installations of Wind Turbines and Air Source Heat Pumps on Domestic Premises.
- 5.5 **Cairngorms National Park Authority** – Proposal does not raise any planning issues of general significance to the Park aims, as such, no call-in is necessary.
- 5.6 **Historic Environment Scotland** – No objection. Whilst not objecting, Historic Environment Scotland noted that this should not be taken as support for the proposal as they raised significant concerns regarding the proposed external door and solar panels. Consider the new doorway would alter the church's architectural balance to the exterior and the solar panels would be a noticeable modern intervention on a prominent elevation of the historic Category B Listed Building within the Grantown on Spey Conservation Area.

## 6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

### 6.1 Cairngorms National Park Local Development Plan (2021)

- 2 - Supporting Economic Growth
- 3 - Design and Placemaking
- 7 - Renewable Energy
- 9 - Cultural Heritage
- 10 – Resources

Strategic Settlements: Grantown on Spey

### 6.2 Cairngorms National Park Guidance:

- 2 - Supporting Economic Growth (non-statutory guidance)
- 3 - Design and Placemaking (non-statutory guidance)
- 7 - Renewable Energy (non-statutory guidance)
- 9 - Cultural Heritage (non-statutory guidance)
- 10 - Resources (non-statutory guidance)

Strategic Settlements: Grantown on Spey

### 6.3 Highland Council Supplementary Planning Policy Guidance

Roads and Transport Guidelines for New Development (May 2013)

## 7. OTHER MATERIAL POLICY CONSIDERATIONS

### 7.1 Scottish Government Planning Policy and Guidance

Scottish Planning Policy (as amended December 2020)

National Planning Framework 3

Historic Environment Scotland Policy Statement (May 2019)

Historic Environment Circular 1 (June 2016)

Historic Environment Scotland – Managing Change in the Historic Environment  
Guidance Note Series

## **8. PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states that, the Planning Authority has to pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area.

### **Determining Issues**

8.3 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

### **Planning Considerations**

8.4 The key considerations in this case are:

- a) compliance with the development plan and other planning policy
- b) external alterations and impact on the built heritage
- c) internal alterations and change of use
- d) residential amenity
- e) access and parking
- f) drainage and water supply
- g) any other material considerations

### **Development plan/other planning policy**

8.5 The site is located within the Grantown on Spey Settlement Area as defined within the Cairngorms National Park Local Development Plan (2021). Policy 2: Supporting Economic Growth applies to the change of use to café and venue facilities. There is general support for proposals that will have no detrimental impact on amenity, are compatible/complementary with the existing business activity and support/contribute to a year-round economy. This has to be balanced against Policy 3 and Policy 9.

8.6 Policy 3: Design and Placemaking outlines, amongst other things, that proposals must demonstrate sensitive siting and design that respect the traditional pattern and character of the area as well as the amenity of neighbours. Policy 3 supports the principle of converting existing building stock where the conversion works maintain the style and character of the original building.

8.7 Policy 7 Renewable Energy offers strong support for renewable energy generation, however, only where proposals adequately minimise all cumulative effects.

- 8.8 Given that the development lies within the grounds of a listed building and within the Grantown on Spey Conservation Area, Policy 9: Cultural Heritage is also relevant. This requires that development have no adverse effect on a listed building. The layout, design, materials, scale, siting and use of any development should be appropriate to the character and appearance of the listed building and its setting. Where development would result in a significant adverse impact, the proposal must demonstrate the effect is clearly outweighed by social and economic benefits and minimise and mitigate any adverse effects on the listed building or its setting through appropriate siting, layout, scale, design and construction. Development in a conservation area should enhance its character and be consistent with any relevant Conservation Area appraisal/management plan and use design, materials, scale, layout and siting appropriate to the Conservation Area.
- 8.9 Policy 10: Resources requires that new developments have adequate drainage arrangements on site.
- 8.10 The objectives of the Grantown on Spey settlement area as outlined within the Development Plan include the conservation and enhancement of the distinctive built heritage and the integrity of the Grantown on Spey Conservation Area. This is to be balanced only where these matters can be satisfactorily addressed should the proposal be supported.
- 8.11 The Development Plan guidance for Policy 3 in particular notes that new development does not need to copy past styles. Whilst new development should reflect traditional materials and workmanship evident within the Cairngorms National Park there is scope for innovation, contemporary design and modern methods of construction. A balance is to be struck between sourcing materials locally and bringing in specialised products which will optimise the sustainability and long-term performance of the development. However, this has to be balanced against respecting the historic listed building located within the Grantown on Spey Conservation Area.
- 8.12 The application has attracted a number of representations against the proposal principally on design, materials and amenity grounds which require further detailed consideration.

### **External alterations and impact on the built heritage**

- 8.13 The impact on built heritage relates to both the physical fabric of the listed building, as well as the wider conservation area. The impact on the listed building is considered in the associated Listed Building Consent application (21/04872/LBC).
- 8.14 The external alterations proposed include the alteration of a southeast facing window to form a door to a terrace, formation of the terrace itself, the installation of an air source heat pump and the installation of a 20kW photovoltaic panel array on the roof. The formation of the doorway from the existing window on the south-western elevation and the outdoor deck seating area has had its design amended following discussion with the Historic Environment Team so that it is now compatible with the style/composition of the window above. The formation of the terrace and the

installation of the air source heat pump have no significant effects on the built heritage.

- 8.15 The photovoltaic panel will cover around half of the prominent principal southwestern facing roof of the church, in order to maximise solar gain. Given the location, it will be seen for some distance by pedestrians and vehicles when travelling along Grant Road. The location of this installation is not considered to be acceptable with regards to the built fabric of the church and its position within the Conservation Area. This should not be seen as a lack of support for renewable technologies located within heritage contexts in general. It is recognised that they can be an important component in securing the long-term future of historic buildings. Where proposed, however, it is important they are carefully and discretely located so as not to compromise the special architectural interest, character and appearance of the listed building. Policy 7 Renewable Energy outlines support but only where the effects are minimised. In this case, alternative locations were discussed with the agent and applicant, including ground mounted panels to the rear of the church. These locations would be less prominent on a less visible part of the roof and would likely be supported by the Historic Environment Team. Whilst the concerns were acknowledged, the applicant was unwilling to amend this particular element of the proposal.
- 8.16 Accordingly, the proposal is considered contrary to Policy 9: Cultural Heritage which seeks to ensure that new development conserves and enhances the cultural heritage of the Cairngorms National Park. Whilst the proposed alterations will enable the property to meet modern requirements and therefore secure its future continued use, for the most part the changes proposed can be appropriately managed without significant adverse impact on the building's character, but not so with regard to the solar panels.
- 8.17 It is considered that the proposal will adversely impact upon the wider amenity of people's enjoyment and appreciation of the conservation area. Overall, the proposal is not considered to meet the requirements of the statutory test of s64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 as it has not been demonstrated that it does pay special attention to the desirability of preserving or enhancing the character or appearance of the Granttown on Spey Conservation Area.

### **Internal alterations and change of use**

- 8.18 The proposal will reconfigure the interior of Inverallan Church to provide a flexible space capable of supporting a contemporary ministry along with a venue for hosting concerts and community events. The existing pews will be removed with new heating and thermal insulation installed below the floor. In addition, the proposal will create a range of internal meeting rooms and activity spaces with ancillary toilets, tea points, lift and stairs.
- 8.19 The ground floor includes the development of a café space with additional outdoor decking area for customers.
- 8.20 The internal café space proposed would amount to approximately 19% of the existing ground floor. The intention is to run this as an ancillary use to the overall building as a church and event space, rather than it becoming one of the main components of

the use. The applicants have indicated that the cafe will be run as a social enterprise to support the church services and other events in the performance space.

- 8.21 It is not currently clear whether the café will offer snacks or include hot meals and require the use of ovens, cooking ranges, grills, fryers etc. and what the associated filtration and ventilation systems required might be. As these details have yet to be provided Environmental Health has objected to the proposal.
- 8.22 A second floor will be created within the 2 transepts enclosed by floor to ceiling glass walls. This upper floor will be used for internal meeting rooms and activity spaces for church use, community clubs and activities.
- 8.23 The overall changes to the existing space on the ground floor and the addition of space to the upper floor with the use of glass walling, are considered to be acceptable in terms of design, significantly adding to the flexible use of the floor space.
- 8.24 External bin storage is located adjacent to the car parking area at Grant Road.
- 8.25 The heating system is to be provided by an air source heat pump. This is positioned to the rear (west elevation) and faces towards the adjacent woodland. It would be around 40m from the church boundary and 45m from the nearest house. Accordingly, it is considered that the degree of physical separation and the existing tree cover is sufficient to dissipate any potential noise from this.

### **Residential amenity**

- 8.26 Representations suggest that noise and lighting from the development would have a detrimental impact on the amenity of neighbouring properties. The closest property to the outdoor seating area is Tigh na Roan approximately 25m to the southwest with other surrounding properties relatively screened by the woodland that surrounds Inverallan Church. Whilst the redevelopment of the church, a public building with a public function with people visiting, will provide additional facilities, it is not considered that these will have a significant impact on the residential amenity of neighbouring properties. It is noted that no additional external lighting has been proposed.
- 8.27 Environmental Health raised concerns that any noise from performances at the venue could adversely impact on the amenity of local residents. It noted the application does not include any information on the type or frequency of performances, for example, will they be weekly, monthly etc. and will it be live music/bands, choirs, plays/theatre, amplified music etc. Additionally, Environmental Health requested details of any noise reduction/mitigation controls which will be implemented during concerts, any management controls or physical barriers such as acoustic screens/enhanced insulation. As these details have not been provided and Environmental Health has objected on this basis as well as the potential odour issues that may arise from the onsite catering.

### **Access and Parking**

- 8.28 The existing access from the Grant Road will remain unchanged. The existing car park provides space for 8 vehicles including 3 all abilities spaces. Whilst residents



have raised concerns regarding inappropriate parking and vehicle manoeuvring during busy periods, such as weddings at the venue, Transport Planning has raised no concerns with the current off street parking provision as it is considered that there is adequate on-street parking provision within the wider surrounding area and is in accordance with the Highland Council's standards.

### **Drainage and Water Supply**

8.29 There is an existing connection to the public water supply and sewer.

### **Other material considerations**

8.30 In addition to representations against the proposal, neutral representations submitted noted certain benefits to the principle of the proposal. These generally welcomed the opportunity to diversify the use of the site which would benefit the local community and economy.

### **Non-material considerations**

8.31 The potential for anti-social behaviour is not a material planning consideration and is a matter for Police Scotland. The potential impact on existing businesses in Grantown is not a material planning consideration and is for the market to address, with the proposal considered on its own merits against the relevant planning policy and guidance.

### **Matters to be secured by Legal Agreement/Upfront Payment**

8.32 None

## **9. CONCLUSION**

9.1 The proposal has several main elements including the splitting of the building into different zonal uses, with much more flexibility than the original single use ecclesiastical space. These different main uses include

- a flexible sanctuary space for worship and hosting of concerts and community events
- a café with associated outdoor terrace space
- meeting and activity spaces the first floor
- installation of stairs/lift
- photovoltaic panels to the roof

9.2 These mainly involve works to the inside of the building with the introduction of new glazed partitions and these are considered to be acceptable. The formation of an outdoor terrace space will allow use of the church grounds during better weather.

9.3 The installation of a bin storage area adjacent to the existing car parking spaces is considered to present no amenity or technical issues.

9.4 The development also includes modernisation of the heating system with a ground mounted air source heat pump on the west side of the building. This location is considered to be sympathetic to the building fabric, and its placement and therefore

separation from neighbouring housing to the west is such that it is not considered that it will present any difficulty with regards to noise.

- 9.5 The installation of a photovoltaic array for generating electricity is understandable with regards to reducing the running costs of the building, and this is generally supported by the Cairngorms National Park Local Development Plan (2021) Policy 7 Renewable Energy.
- 9.6 However, their placement on the roof of a Category B listed building within the Grantown on Spey Conservation Area will introduce a prominent, incongruous, contemporary feature that will adversely impact the special architectural and historic interest of the building. While there is general support for renewable technologies within heritage contexts, they should be carefully and discretely located so as not to compromise the special architectural interest of the building and its resultant impact on the character and appearance of the conservation area.
- 9.7 Therefore, the proposal is considered to be contrary to Policy 9: Cultural Heritage of the Cairngorms National Park Local Development Plan (2021), which seeks to ensure that new development conserves and enhances the cultural heritage of the National Park. The social and economic benefits of the photovoltaic array are not considered to outweigh their impact on the building and wider Conservation Area, particularly as alternative solutions may be possible in this case.
- 9.8 Accordingly, it is not considered that the proposal pays special attention to the desirability of preserving or enhancing the character or appearance of the Grantown on Spey Conservation Area, as required by Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997.
- 9.9 Additionally, Environmental Health object to the proposal due to the lack of detail submitted in respect of the cooking equipment required for the café along with the associated filtration/ventilation systems as well as information relating to the expected noise that may result from performances at the venue that could adversely impact on the amenity of local residents. The use has the potential to detrimentally impact amenity enjoyed by neighbours, and therefore does not accord with the Cairngorms National Park Local Development Plan (2021), policy 3 Design and Placemaking.
- 9.10 All relevant matters have been taken into account when appraising this application. It is considered that the proposal does not accord with the principles and policies contained within the Development Plan and is unacceptable in terms of applicable material considerations.

## **10. IMPLICATIONS**

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

## 11. RECOMMENDATION

**Action required before decision issued** N

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation N

Revocation of previous permission N

**Subject to the above actions**, it is recommended to **REFUSE** the application for the following reason.

1. The layout, design and siting of the photovoltaic panels is inappropriate, and does not make a positive contribution, to the heritage interests of the site or wider area, and is therefore not considered to be sensitively sited on the Category B listed building, and does not preserve or enhance the character or appearance of the Grantown on Spey Conservation Area, and accordingly, the proposal is contrary to the Cairngorms National Park Local Development Plan (2021), Policy 3 Design and Placemaking, and Policy 9 Cultural Heritage.
2. The layout, design and siting of the photovoltaic panels is considered to have an adverse environmental and amenity impact on the site and the neighbouring area, and therefore does not accord with the Cairngorms National Park Local Development Plan (2021), Policy 2 Supporting Economic Growth.
3. The redevelopment of the building would introduce additional noise generating activities. Their number, type, and frequency, and any amplification of sound, or noise reduction/mitigation controls, or physical barriers such as acoustic screens/enhanced insulation, have not been provided, and therefore their impact on individual neighbours and wider community amenity are unknown. Accordingly, the proposal does not demonstrate that it protects the amenity enjoyed by neighbours and therefore does not accord with the Cairngorms National Park Local Development Plan (2021), Policy 3 Design and Placemaking.

Signature: David Mudie

Designation: Area Planning Manager – South

Author: Roddy Dowell

Background Papers: Documents referred to in report and in case file.

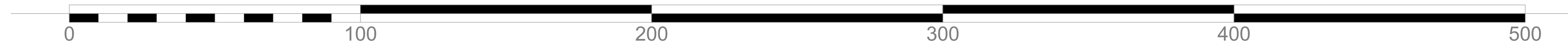
Relevant Plans: Plan 1 - Location Plan 101

- Plan 2 - Site Layout Plan 102 REV A
- Plan 3 - Proposed Floor Plan 104 REV A
- Plan 4 - Elevation Plan 105 REV A
- Plan 5 - Section Plan 106
- Plan 6 - New Door Plan 107 REV B
- Plan 7 - General Plan Internal 109





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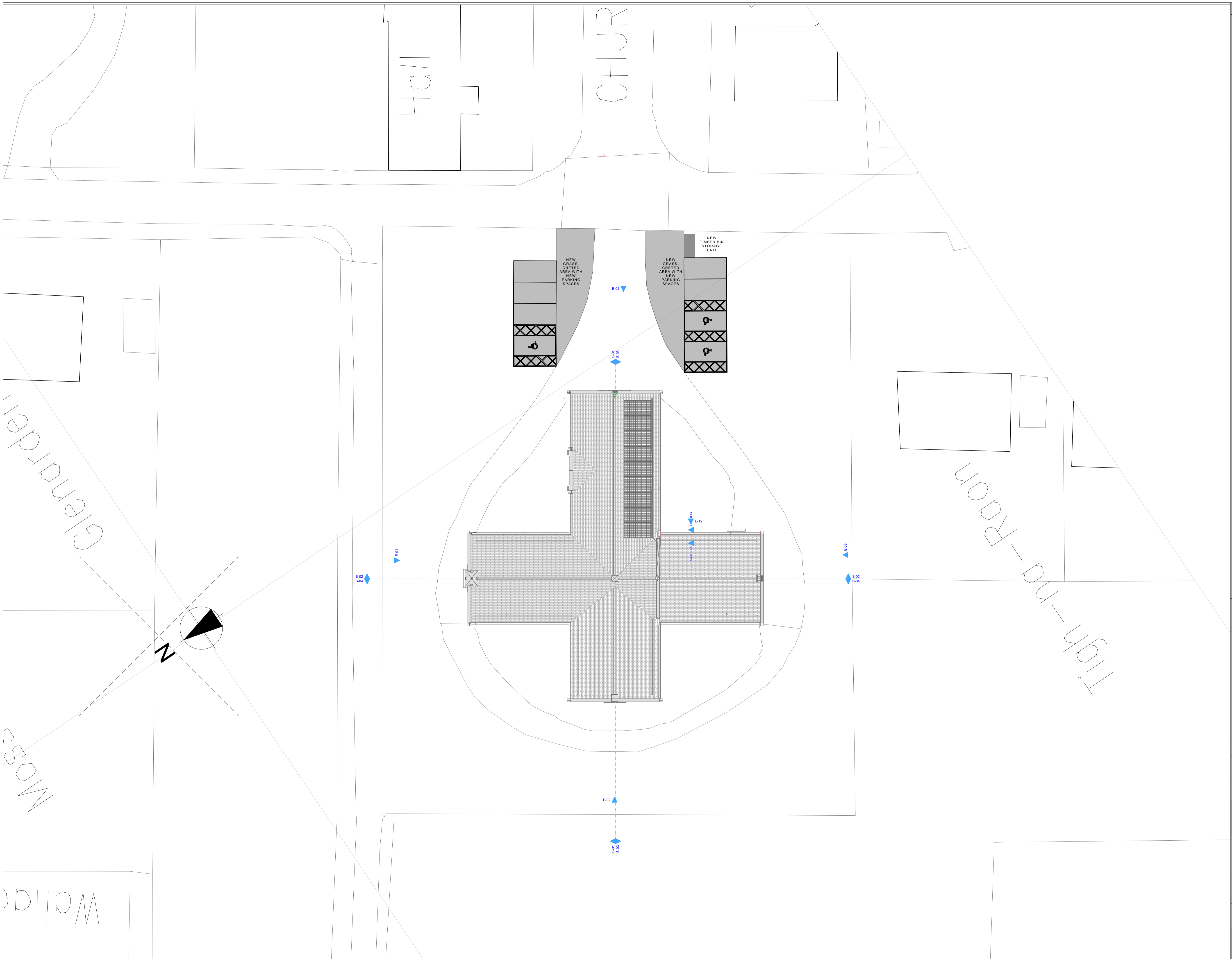


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16.09.21	PLANNING AND LISTED BUILDING APPLICATION	TJP	RWW	RWW	
Rev	Date	Description	Drawn	Check	App'vd
Scales @ A1	1:1000	Originator Office WBA	Originator No. 1070		
Status	Purpose of Issue PLANNING APPLICATION				
 <small>London House          3rd Floor Suite          20-22 East London Street          Edinburgh          EH7 4BG          T: +44 (0)131 556 5646          www.westonburnett.com</small>					
Project	Inverallan 20/20				
Layout Title	LOCATION PLAN				
Client	Inverallan Parish Church				
Drawing Number					
Project	Originator	By	Drawing Number	Rev	
IPC	WBA		101		





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A	16.09.21	PLANNING AND LISTED BUILDING APPLICATION	TJP	RWW	RWW

Scales @ A1	Originator Office	Originator No.
1:200	WBA	1070

Status Purpose of Issue  
 \* PLANNING APPLICATION



Project  
**Inverallan 20/20**

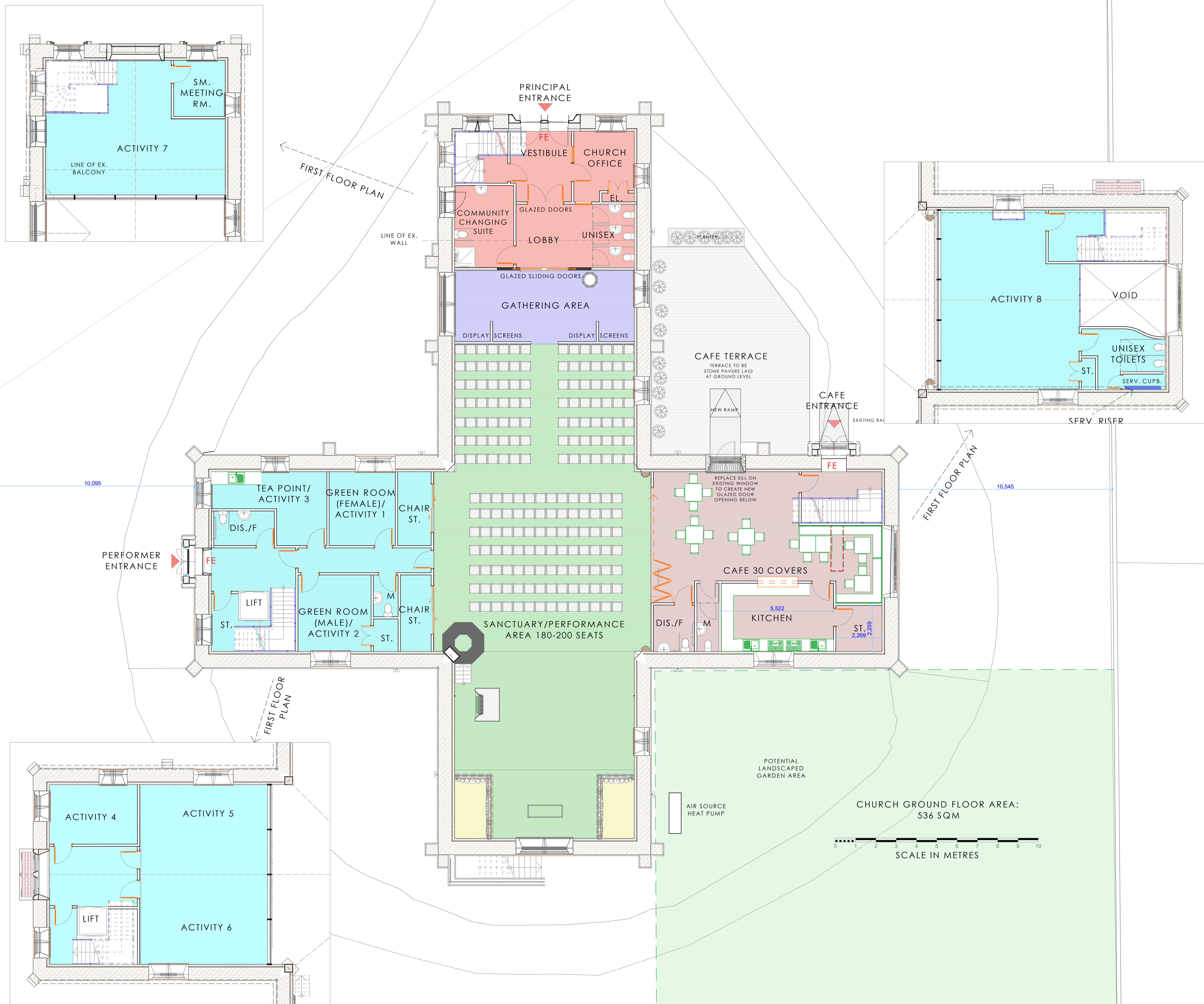
Layout Title **ROOF /SITE PLAN**

Client  
**Inverallan Parish Church**

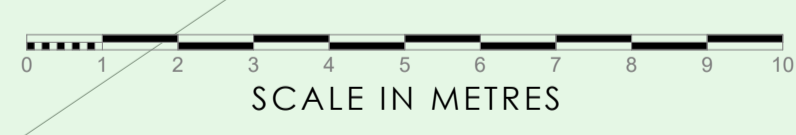
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IPC	WBA		102	A	

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CHURCH GROUND FLOOR AREA:  
536 SQM



Rev	Date	Description	Drawn	Check	App'd
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Scales @ A1		Originator Office	Originator No.		
1:100		WBA	1070		
Status	Purpose of Issue				
	PLANNING APPLICATION				
<p><b>WBA</b></p> <p>London House                  3rd Floor Suite                  20-22 East London Street                  Edinburgh                  EH7 4BG                  T: +44 (0)131 556 5544                  www.watsonburnett.com</p>					
Project					
Inverallan 20/20					
Layout Title					
PROPOSED FLOOR PLANS					
Client					
Inverallan Parish Church					
Drawing Number					
Project	Originator	By	Drawing Number	Rev	
IPC	WBA		104	A	





NORTH EAST ELEVATION



NORTH WEST ELEVATION



SOUTH WEST ELEVATION



SOUTH EAST ELEVATION

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Rev	Date	Description	Drawn	Check	App'd
A	16.09.21	PLANNING AND LISTED BUILDING APPLICATION	TJP	RWW	RWW
Scales @ A1		Originator Office	Originator No.		
1:100		Issuing Office	1070		
Status	Purpose of Issue				
-	PLANNING APPLICATION				

**WBA**  
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Project

Layout Title  
**ELEVATIONS**

Client

Drawing Number

Project	Originator	By	Drawing Number	Rev
IPC	WBA		105	A



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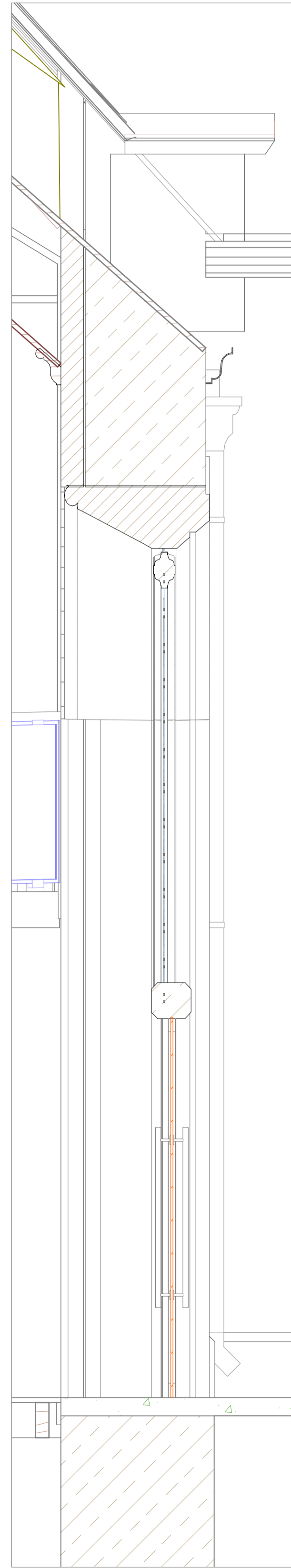
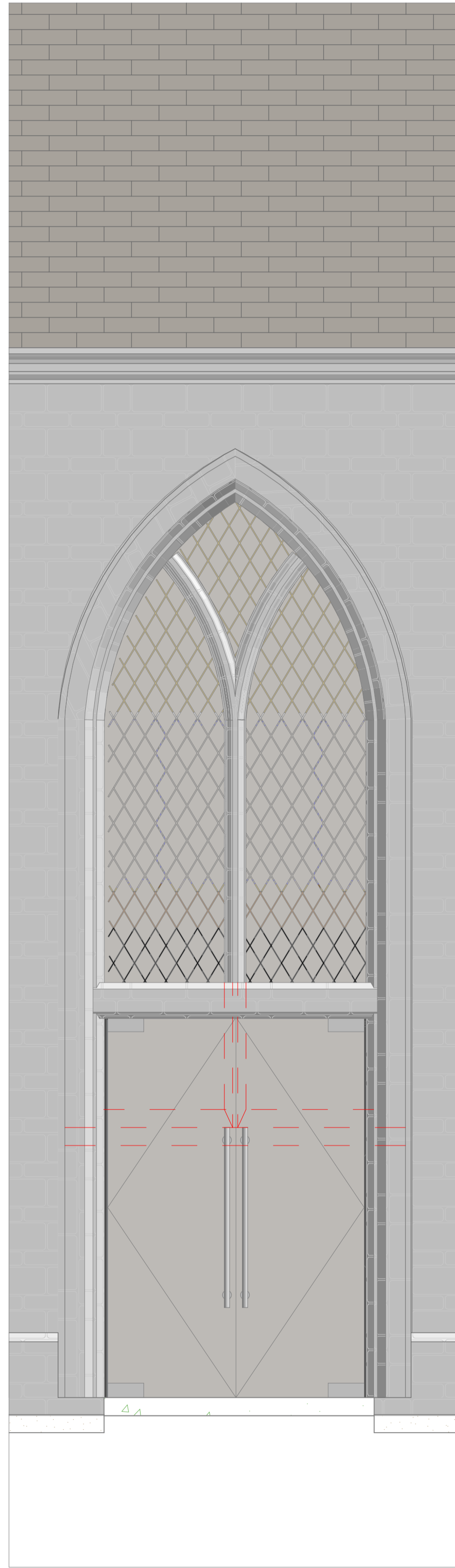
MAIN NAVE PERSPECTIVE SECTION  
 LOOKING NORTH EAST



MAIN NAVE PERSPECTIVE SECTION  
 LOOKING SOUTH WEST

16.09.21	PLANNING AND LISTED BUILDING APPLICATION	TJP	RWW	RWW	
Rev	Date	Description	Drawn	Check	App'vd
Scales @	A1	Originator Office	Originator No.		
		WBA	1070		
Status	Purpose of Issue				
	PLANNING APPLICATION				
<p><b>WBA</b> London House                  3rd Floor Suite                  20-22 East London Street                  Edinburgh EH7 4BG                  T: +44 (0)131 556 5645                  www.watsonburnell.com</p>					
Project	Inverallan 20/20				
Layout Title	SECTIONAL PERSPECTIVES				
Client	Inverallan Parish Church				
Drawing Number					
Project	Originator	By	Drawing Number	Rev	
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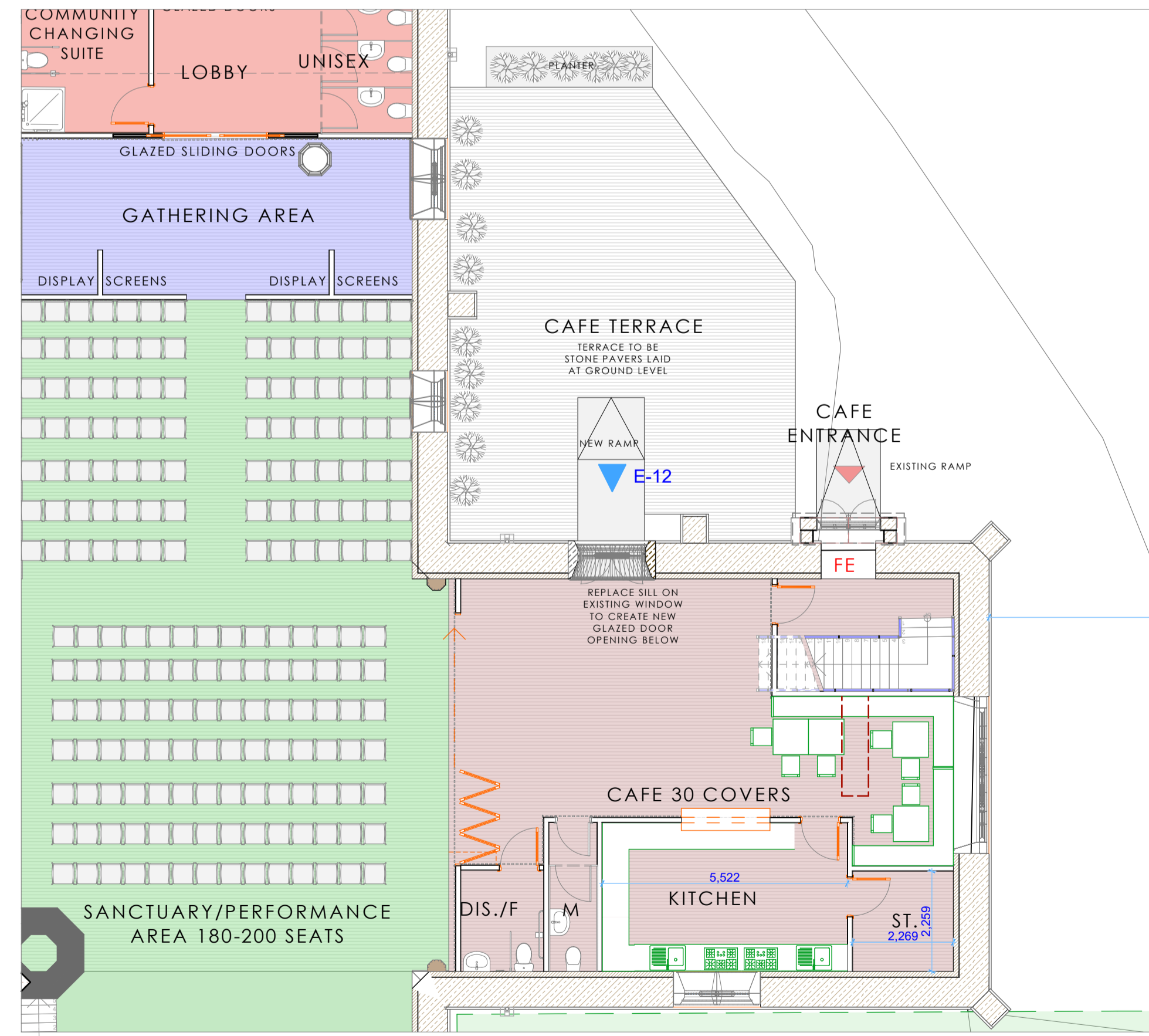




### NEW DOOR 1

NEW DOOR TO BE PLACED BELOW EXISTING WINDOW OPENING WITH STONE LINTEL INSERTED ABOVE TO MATCH EXISTING STONEMWORK. EXISTING SILL SHOWN RED DASHED IN ELEVATION. THIS WILL REQUIRE COMPLETE REINSTALLATION OF THE EXISTING WINDOW

CONCRETE PLATTS TO BE INSTALLED AT GFL TO ALLOW FOR LEVEL ACCESS OUT WITH DISABLED RAMP TO PROPOSED NEW DOOR



### KEY PLAN

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Rev	Date	Description	Drawn	Check	App'd
C	14.12.21	PLANNING AND LISTED BUILDING RESPONSE 2	TJP	RWW	RWW
B	23.11.21	PLANNING AND LISTED BUILDING RESPONSE	TJP	RWW	RWW
A	16.09.21	PLANNING AND LISTED BUILDING APPLICATION	TJP	RWW	RWW

Scales @ A1  
1:20, 1:100 WBA

Originator No. 1070

Status Purpose of Issue  
\* PLANNING APPLICATION

Project Inverallan 20/20

Layout Title NEW DOOR 1 DETAILS

Client Inverallan Parish Church

Drawing Number  
Project Originator By Drawing Number Rev  
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