

Agenda Item	5.2
Report No	PLS-87-22

HIGHLAND COUNCIL

Committee: South Planning Applications Committee

Date: 01 November 2022

Report Title: 22/01000/FUL: Springfield Properties PLC
Land To Rear of Drakies House, Culcabock Avenue, Inverness

Report By: Area Planning Manager – South

Purpose/Executive Summary

Description: Erection of 12 houses, alterations to access road

Ward: 16 – Inverness Millburn

Development category: Local

Reason referred to Committee: Five or more objections from members of the public; objection from Community Council

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report.

1. PROPOSED DEVELOPMENT

- 1.1 The proposal seeks to modify an existing (implemented) planning permission for 13 houses on the site, reducing the number of houses from 13 to 12; amending the layout on the western half of the plot to allow for a Scottish Water wayleave; amending the house type of plots 1 and 12; and altering the access road.
- 1.2 A new road will run through the development to serve the properties, taking access from Thistle Road. Foul drainage will be to the public sewer and surface water drainage will be to cellular infiltration tanks, with additional road-generated surface water fed to a basin within Phase 2 of the development, to the north of Drakies House. Drainage arrangements are subject to a separate planning application currently under consideration (22/04206/FUL).
- 1.3 Pre Application Consultation: None
- 1.4 Supporting Information: The application is supported by the following information:
- Drainage Assessment
 - Archaeological Report
 - Arboricultural Impact Assessment
 - Traffic Management Plan
- 1.5 Variations: Removal of a footpath along the western boundary of the site that would achieve a completed active travel link between Thistle Road and Old Perth Road via Culcabock Avenue has been removed from the proposal and amendments have been made to the layout and drainage arrangements.

2. SITE DESCRIPTION

- 2.1 The site consists of around 0.8ha of rough grassland situated to the west of the established Drakies housing development. It is roughly rectangular in shape and is bounded to the east by Drakies Avenue; to the north by the gardens of Drakies House, which is adjacent to Culcabock Avenue; to the west by Culcabock Golf Course and to the south by Thistle Road. There are mature trees to the west, separating the site from the golf course and to the north along the boundary with Drakies House.
- 2.2 Groundworks have begun on site in accordance with extant planning permission 08/00255/FULIN for the erection of 13 houses.
- 2.3 Access to the site is from Thistle Road, onto Drakies Avenue and the public road network serving the wider Drakies residential area.
- 2.4 The site is not covered by any natural, built or cultural heritage designations or any landscape designations, however Drakies House, which lies immediately to the north of the site is Category B Listed.

3. PLANNING HISTORY

3.1	28.07.2009	08/00255/FULIN - Erection of 13 houses	Planning Permission Granted
3.2	23.07.2015	15/01134/FUL - Modification to existing permission (08/00255/FULIN). Reduction to 12 plots (from 13), changes to plots 10,11 & 12 to allow for a wayleave, change to house types on plot 1 and 12/13 and alterations to access road.	Planning Permission Granted
3.3		22/04206/FUL - Installation of drainage arrangements	Pending Consideration

4. PUBLIC PARTICIPATION

4.1 Advertised: Unknown Neighbour; Schedule 3 Development

Date Advertised: 01.04.2022

Representation deadline: 16.04.2022

Timeous representations: 34 households

Late representations: 7 households

4.2 Material considerations raised are summarised as follows:

- a) Construction traffic should not be accessing the site via Culcabock Avenue
- b) Would speed bumps be located along Drakies Avenue
- c) The location of the proposed access on the corner of Thistle Road is already busy with school time traffic and the proposal would raise safety implications for the children of Drakies primary; Close proximity to the side pedestrian entrance to the primary school.
- d) Limited visibility at the Inshes Crescent/Thistle Road junction
- e) The increase in the volume of traffic using Thistle Road, Inshes Crescent and Drakies Estate is unacceptable and will increase pollution.
- f) Construction traffic will be intense during the building phase which will impact the Drakies estate with noise and air pollution and also add further chaos at the junction from Perth road to Old Perth Road which adds as an ambulance access, as well as Inshes roundabout
- g) There are nesting bats in the development area
- h) Likely that people will access the golf course from Culcabock Avenue creating a risk to public safety.
- i) Culcabock Avenue is entirely unsuitable for walking and cycling as well as parking for existing residents. It is too narrow with a pavement on one side only, and there is no scope to widen the pavement. This forces pedestrians to walk on the road raising road safety issues. Residents already need to walk on the road on bin collection day. The barrier needs to remain in place.
- j) Culcabock Avenue is a narrow and congested road with a poor surface; many of the properties have no driveways and face directly onto the road and parking

is already difficult. An active travel route (ATR) is incompatible with the traditional and historic highland village of Culcabock.

- k) An increase in the number of people using the Avenue would lead to loss of privacy, loss of amenity and litter and noise pollution for existing residents
- l) The proposed footpath would join the road in a turning head which is unsafe
- m) There is already severe pipework issues with sewerage
- n) Protocols laid down by Transport Scotland or the introduction of new ATRs include consultation with affected communities. This has not happened with the residents of Culcabock Avenue or with Inverness Golf Club.
- o) Any pedestrian link should be formed through the applicant's own land
- p) There are already 2 routes suitable for pedestrians and cyclists from Drakies Estate to Old Perth Road (Drakies Venue and Drum Mossie Avenue). No evidence has been produced to indicate a third route will be of additional benefit or will reduce car usage.
- q) The ATR would emerge onto the B9006 which has significant traffic congestion
- r) The development could be one way using Culcabock Avenue as a vehicular access from the site or using the existing access to Drakies House, to reduce the pressure on Thistle Road.
- s) A planning application in 1999 was refused (and an appeal upheld) because Culcabock Avenue was not considered to be suitable for pedestrian traffic.
- t) Inverness Golf Course is not in favour of a pedestrian and cycle path so close to the course boundary and the 3rd hole as this could become a health and safety issue
- u) Given volatility of the climate a simple SUDS solution is not adequate to cope with future weather events

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Culcabock and Drakies Community Council:** Object to any proposed footpath connection/Active Travel Link (ATL) between the proposed housing development and Culcabock Avenue. Would be detrimental to the communities of Culcabock Avenue and Drakies in terms of grossly diminished local amenity, road safety hazard, noise nuisance, vandalism and social discord. Planning permission in 1999 for the site was granted only on the basis that the development site be gated to expressly prevent pedestrian/vehicular access into Culcabock Avenue due to social nuisance concerns. The road layout throughout Drakies estate already serves as a perfectly adequate and safe network for people to walk or cycle through, where the speed limit is now restricted to 20mph throughout. Any ATL should be directed through Drakies House land. Concerns about the potential for people to deviate to the golf course path network with associated risk of injury. Object also to the housing development on the same grounds as Transport Planning in their consultation response due to concerns about the dimensions of the turning head, provision of off street parking; adequate surface water disposal scheme. Mature trees alongside the golf course have been equipped with bat boxes which are helping to support a local bat population. The removal of these trees or introduction of street lighting would have a detrimental effect on the local wildlife.

- 5.2 **Transport Planning Team** initially objected to the original proposal due to undersized turning head/parking provision and as the proposed surface water arrangements (infiltration tank) did not conform to the standards as set out in Scottish Water's Sewers for Scotland guidance, which all surface water drainage systems should conform to.

Revised drainage proposals show a "three pipe system" with curtilage water from all houses being piped to two separate cellular storage systems – one within an amenity area and the other underneath visitor car parking spaces. Transport Planning share the concerns of the Flood Risk Management Team that the long-term maintenance of this shared system is unknown. It is recommended that a condition is attached to any planning permission for a maintenance schedule for the private shared system is provided setting out the tasks required to ensure the system remains viable and who will be responsible for the carrying out of maintenance tasks.

The surface water from the adopted road will be piped north through the private grounds of Drakies House into a SuDs basin (planning application 22/04206/FUL). The technical aspects of the roads only surface water system is acceptable, and the Transport Planning Team are satisfied that Scottish Water will accept a high level overflow from the basin to their combined sewer. Transport Planning maintain an objection to the application until the Council's legal department have approved the necessary legal agreements and/or principles to establish their rights to maintain the surface water apparatus within the private garden grounds of Drakies House in order to ensure that the Council is able to establish a right of access to the piped network for maintenance, in perpetuity.

- 5.3 **Flood Risk Management Team** initially objected due to lack of information on drainage and infiltration rates and the suitability of cellular storage tanks. With regard to the road drainage, further information was requested in respect of the proposed infiltration basin.

Following a number of amendments, the current proposal is for surface water from house curtilage areas to be directed to two cellular storage infiltration tanks which, along with the pipe networks, will be owned and maintained by the residents of the properties which they serve. Privately owned and maintained drainage with multiple owners is not ideal and our preference would be for a drainage system designed in accordance with Sewers for Scotland to allow for vesting by Scottish Water or THC. As this is not the case the homeowners will have to be made aware of their ownership and maintenance responsibilities. Submitted information demonstrates that ground conditions are suitable for infiltration.

Roads drainage will be directed to an infiltration basin within Phase 2 of the development. These proposals will need to be acceptable to Transport Planning. FRM Team withdraw their objection subject to review of the final surface water drainage design and the road drainage design being confirmed as suitable by the Transport Planning Team.

- 5.4 **Historic Environment Team (Archaeology):** A condition requiring an archaeological watching brief was originally requested, however as the site has already been cleared under the 2009 permission this is no longer considered to be appropriate and is not required.

- 5.5 **Development Plans Team:** The proposal for 12 houses accords with the indicative housing number for the site within IMFLDP IN44 allocation and also the southern portion of the IMFpLDP allocation INS01, Drakies House, which combines the current IN44 and IN55 IMFLDP allocations.

Under planning permission 08/00255/FULIN a Section 75 legal agreement was entered into to provide 4no. affordable houses (or an appropriate commuted sum). As a consequence of the 2015 permission to modify the layout and reduce it to 12 houses, the affordable housing contribution was reduced to 3 houses by the Council granting a 'Back Letter' to the developer rather than revoking the 2008 approval and original S75 agreement and preparing an entirely new legal agreement. As the 2015 approval was never implemented this 'Back Letter' is no longer valid and therefore the valid Section 75 agreement in place on the site relates to the 08/00255/FULIN permission for 13 houses and seeks the provision of 4 affordable houses (or commuted sum). This will need to be amended to reflect the reduction to 12 houses.

- 5.6 Further developer contributions towards education provision at Millburn Academy have been identified as being required in relation to the 3 houses that are not covered by the 2008 permission, totalling £3,405.80.
- 5.7 **Forestry:** Due to premature tree felling only one tree remains within the application site, an ash in the SW corner, which is earmarked for removal. There is also a visually significant mature tree just outwith the northern boundary of the site, although premature felling has created a break in the trees just south of Drakies House. A Tree Protection Plan identifies trees for removal, although this has largely happened. No tree planting proposals have been put forward in support of the application. Given the previous removal of at least 4 trees and the proposed removal of the remaining ash, the applicant will need to provide some replacement planting in the area marked as amenity land in order to comply with Policy 51 of the HwLDP. No objection subject to conditions to protect the adjacent trees and for new planting.
- 5.8 **Contaminated Land Team:** The former use of the land includes a steading and agricultural buildings and archaeological surveys in the past have revealed a household midden. As finds to date have been of a household nature further contaminated land investigation is not required, however an informative is recommended to ensure that the Contaminated Land Team be notified should additional buried waste such as former farming machinery or fly-tipped waste be encountered during construction.
- 5.9 **Access Officer:** Welcomes the inclusion of a path to Culcabock Avenue (*now removed from the proposal*); hedge should be set back 500mm from the path edge by Plot 10; path junction should include a minimum surfaced radius of 4m.
- 5.10 **Scottish Water:** No objection, however does not confirm that the development can currently be serviced in terms of water or wastewater and the applicant should complete a pre-development enquiry form and submit it directly to Scottish Water.

Scottish Water Records indicate that there is live infrastructure in the proximity of the development that may impact on existing Scottish Water assets (trunk water main, combined sewer, PVC water main). Written permission must be obtained before any works are started within the area of SW apparatus.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

- 28 – Sustainable Design
- 29 – Design Quality and Place-making
- 30 – Physical Constraints
- 31 – Developer Contributions
- 32 – Affordable Housing
- 34 – Settlement Development Areas
- 42 – Previously Used Land
- 51 – Trees and Development
- 56 – Travel
- 57 – Natural, Built and Cultural Heritage
- 58 – Protected Species
- 64 – Flood Risk
- 65 – Waste Water Treatment
- 66 – Surface Water Drainage
- 77 – Public Access

6.2 Inner Moray Firth Local Development Plan 2015

IN44 Thistle Road

6.3 Highland Council Supplementary Planning Policy Guidance

- Construction Environmental Management Process for Large Scale Projects (August 2010)
- Developer Contributions (March 2018)
- Flood Risk and Drainage Impact Assessment (Jan 2013)
- Highland's Statutorily Protected Species (March 2013)
- Managing Waste in New Developments (March 2013)
- Open Space in New Residential Developments (Jan 2013)
- Physical Constraints (March 2013)
- Public Art Strategy (March 2013)
- Standards for Archaeological Work (March 2012)
- Sustainable Design Guide (Jan 2013)
- Trees, Woodlands and Development (Jan 2013)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Inner Moray Firth Proposed Local Development Plan 2022

7.2 Scottish Government Planning Policy and Guidance

- Scottish Planning Policy (as amended December 2020)
- National Planning Framework 3
- Designing Streets
- Creating Places

8. PLANNING APPRAISAL

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy
 - b) planning history of the site
 - c) siting and design
 - d) access and infrastructure
 - e) Impact on infrastructure and services and proposed mitigation (developer contributions)
 - f) any other material considerations

Development plan/other planning policy

- 8.4 Development plan policy is set out in the Highland wide Local Development Plan (HwLDP), the Inner Moray Firth Local Development Plan (IMFLDP) and statutory supplementary guidance. The site is within the Settlement Development of Inverness where there is general support for development and is identified in the Inner Moray Firth Local Development Plan for a housing development with capacity for 13 houses. The Inner Moray Firth Proposed Local Development Plan was published on 25 March 2022 and, as the settled view of the Planning Authority, can be given weight in the decision-making process. This combines the application site with Phase 2 of the development (to the north of Drakies House) with an allocation of a total of 36 houses (INS01: Drakies House).
- 8.5 The development plan is therefore supportive of the principle of development on the site, subject to a number of developer requirements to be addressed including adequate access improvements from Thistle Road and development to be in accordance with planning permission 08/00255/FULIN.
- 8.6 Subject to the proposals complying with the requirements of Policy 28 (Sustainable Design) and all other relevant policies within the plan, and having no significant detrimental impact on design, layout, individual and community residential amenity, or existing infrastructure the proposal would comply with the development plan.

Planning History

- 8.7 Planning permission for 13 houses on the site was granted in 2009 (08/00255/FULIN). Development commenced on site through the digging of foundation trenches for two houses, therefore the permission has been implemented and is “locked-on” in perpetuity. However, as development progressed it became clear that an area of land on the western margins of the site was required for a service wayleave, within which no development could take place. The wayleave was agreed, meaning that the layout required to be amended. The amended layout was subsequently agreed under planning permission 15/01134/FUL (to remix the plots and reduce the number of houses from 13 to 12). This permission was never implemented and has now expired.
- 8.8 It is important to note, therefore, that this current application is not a completely fresh application for 12 houses on the site, and that there is an existing, implemented permission, much of which could be implemented at any time without the requirement for further planning permission. In determining the proposal, the focus of consideration should therefore relate to the modifications to the previously granted permission rather than the principle of the development itself, which has been established through the 2008 permission and is supported by the adopted, as well as proposed, Local Development Plan.

Siting and design

- 8.9 The general layout of the site is very similar to the 2009 permission, and, indeed, the eastern half of the site is largely unchanged, with only minor amendments to the parking layout and a change of house type on plot 1. The layout of the western portion of the site has been amended with the replacement of one block of 2 semi-detached houses with a detached single storey house identical in design to plot 1 but oriented side on to the access road to allow space at the rear for the wayleave which runs along the western boundary of the site.
- 8.10 Plots 2-11 consist of 5 blocks of semi-detached 3 bedroomed 1½ storey houses, finished in white render, timber effect cladding, dormer windows and concrete roof tiles; and plots 1 and 12 are single storey detached bungalows utilising the same materials. In terms of design the housing is in keeping with other housing in the area and is acceptable.

Access and Infrastructure

- 8.11 The site is accessed by a new road off Thistle Road, running south to north through the middle of the site, with turning head, access to 2 parking spaces for each house, and additional visitor parking spaces. The road will be constructed to adoptable standards and Road Construction Consent application is currently under consideration. In line with the 2009 and 2015 permissions a condition requiring the installation of a speed table at the junction of Thistle Road and Inshes Crescent will be included in order to reduce traffic speed in the area.
- 8.12 The original submission included the introduction of a new footpath running along the western boundary of the site (across the land retained for the wayleave) which linked to the southern end of Culcabock Road. While the Council did not ‘promote’

an Active Travel Route (ATR) along Culcabock Avenue, as with every development proposal, opportunities are sought to connect developments and thereby make a positive influence on residents' travel movements, encouraging where possible walking and wheeling over the use of the car. This modal shift away from car-based solutions coupled with greater emphasis on active travel is a key principle within the proposed Inner Moray Firth Development Plan, the importance of which will increase as it nears adoption.

- 8.13 Not creating an active travel route linking the development and Drakies to the schools and other facilities could, therefore, be considered to be a significant missed opportunity. The simplest way to secure this would have been as originally proposed - via the existing wayleave to the rear of the proposed houses, down Culcabock Avenue and out onto Old Perth Road. However, the use of Culcabock Avenue for this route has resulted in considerable objection from local residents, echoed by the Community Council, who have raised concerns about the desirability of opening up Culcabock Avenue in this way, and its suitability in terms of road safety.
- 8.14 In recognition of the strength of feeling from the community, alternatives have been considered, the most favourable being the connection of Phase 1 and Phase 2 developments through the grounds of Drakies House. While all land concerned is within the same ownership, the future of Drakies House is, at this stage, still uncertain and such a link may have a direct impact on the viability of the site moving forward. If, for example, Drakies House is sold as a private house, then such a link may never be possible, however if sold as a redevelopment opportunity for conversion to flats, then a link could potentially be secured through communal grounds. With this in mind, the proposed footpath along the western edge of the site linking it to Culcabock Avenue has been removed from the proposal and the access road has been extended to the northern edge of the site, leaving the opportunity open for a future pedestrian link to be created. This addresses a significant number of the concerns raised in relation to the application. The gate and fence arrangement at the end of Culcabock Avenue will essentially remain as existing but with new gate and fence replacements.
- 8.15 A number of objections also refer to the inevitable increase in traffic movements through Drakies, and in particular along Thistle Road, both during construction and afterwards. It is noted that the site is close to Drakies Primary School and in particular a small footpath linking the Primary School and Thistle Road. Children exit the school via this footpath onto Thistle Road, just 55m east of the site access. It is again highlighted that planning permission for this site is already in place, however the 2008 permission included a planning condition requiring the introduction of a speed table at the junction of Thistle Road and Inshes Crescent prior to development commencing. It is recommended that this mitigation is carried over, if permission is granted, in the interests of road safety. Furthermore, a Construction Traffic Management Plan (CTMP) would need to be submitted for the written approval of the planning authority prior to development commencing indicating the measures necessary to avoid site deliveries at key times when schoolchildren will be using the Thistle Road footpath. This would be secured by condition.
- 8.16 A Construction Method Statement shall also be required by condition, which together with the CTMP will provide confirmation of construction traffic routing, details of the

site compound and site operative access and measures to protect the amenity of existing residents.

- 8.17 The current proposal is for deliveries to the site to be routed along Drumossie Avenue, onto Drakies Avenue to Thistle Road. In order to reduce the traffic movements through Drakies, a carpark for all site workers will be formed on neighbouring land within Phase 2 of the wider development, with vehicle access taken from Old Perth Road. Site operatives will then progress on foot to the development site. The developer has applied to the Council's Transport Planning Team for a Road Opening Permit to carry out works within the road boundary in order to facilitate this temporary works access. For the avoidance of doubt, this is not the permanent access to Phase 2 which will need to be formed under either the approved permission (19/00982/FUL) or a revised scheme to be determined. It should also be highlighted that the use of Phase 2 for this purpose would not in itself require planning permission.
- 8.18 Following a number of amendments, the proposed drainage scheme consists of a new gravity fed foul sewer to serve the development which will be largely located within the adoptable carriageway, with a short length of sewer running through the grounds of Drakies House. This will extend through Phase 2 and discharge to an existing combined sewer near Old Perth Road.
- 8.19 There is no existing surface water sewer for the site to discharge into, therefore, following amendments, the proposal is for the surface water from the houses to be drained into cellular soakaway infiltration tanks via collector drains located within the rear gardens of each property. Each property owner will be responsible for maintenance of any pipework and cellular infiltration tanks used to treat their plot drainage. For road drainage the proposal is for all gullies to be drained into a separate system which will cross Drakies House land and drain to an appropriately sized infiltration basin within Phase 2. Because the drainage infrastructure extends outwith the red line boundary of this application, the drainage proposals are subject to a separate planning application which is currently under consideration (22/04206/FUL). The proposals involve Council owned pipework crossing the private grounds of Drakies House, therefore a Deed of Servitude agreement will need to be concluded to ensure ongoing access for maintenance purposes. The Transport Planning Team is maintaining an objection to the application until this process has been completed. A draft agreement has been submitted and is currently under review by the Council's Legal team. In any event planning conditions will ensure that satisfactory drainage arrangements have been agreed prior to the occupation of the first house.

Impact on Infrastructure/Services and Developer Contributions

- 8.20 Planning permission 08/00255/FULIN was granted subject to a Section 75 legal agreement to secure the provision of 4no. affordable houses (or an appropriate commuted sum). This agreement is still valid. However, as the number of houses has been reduced from 13 to 12, the required affordable housing contribution is now only 3. The legal agreement therefore requires to be amended by means of a S75A modification to reflect this reduction in housing units.

- 8.21 Nine of the twelve houses are covered by the 2009 planning permission (08/00255/FULIN), therefore the education contribution only relates to the remaining 3 houses. In accordance with Section 1.23 (small scale residential developments) of the Developer Contribution Supplementary Guidance, the 3 house discount applies and a sum of £1,135.60 per house is required towards education facilities in the catchment area.

Other material considerations

- 8.22 It is noted that there has been some pre-emptive tree felling within the site (although some of this may have been carried out under the 2009 permission). Further felling has recently taken place within the grounds of Drakies House which would appear to make way for the proposed drainage link. While unfortunate, this is outwith the application site and is not covered by any planning permissions. The Forestry Officer does not object to the application subject to conditions to ensure some new tree planting and protection to the adjacent trees.
- 8.23 There are no other material considerations.

Matters to be secured by Legal Agreement / Upfront Payment

- 8.24 In order to mitigate the impact of the development on infrastructure and services the following matters require to be secured prior to planning permission being issued:
- a) Education contribution of £3,406.80 to be paid; deed of servitude agreement in respect of drainage proposals to be concluded.
- 8.25 The applicant has four months from the date that the Council's solicitor writes to the Applicant/Applicant's solicitor indicating the terms of the legal agreement or other appropriate mechanism to secure mitigation for the impacts of the development agreed by the Planning Service, to deliver to the Council a signed legal agreement. Should an agreement or other appropriate mechanism to secure the mitigation agreed by the Planning Service not be delivered within four months, the application may be refused under delegated powers for the following reason:

9. CONCLUSION

- 9.1 The proposal is for relatively minor amendments to the layout of a housing site which already has the benefit of planning permission for 13 houses, dating back to 2009. Development in the form of site clearance and foundations for 2 houses has already commenced under the 2009 permission which means that that permission is locked on in perpetuity. The principle of the development has therefore been established and consideration should be restricted to the amendments to the proposal, which comprise the reduction of the number of houses from 13 to 12; amendments to the layout of the western half of the site to allow for a Scottish Water wayleave; amendment to the house type of plots 1 and 12; minor alterations to the access road and new drainage proposals.
- 9.2 These amendments do not raise any issues of amenity and can be supported under current policies. A number of conditions have been applied to take into account the proximity of the development site to Drakies Primary School, including the addition

of a speed table at the junction of Thistle Road and Inshes Crescent, and the requirement for the submission of a CTMP to setting out measures to ensure that construction related deliveries to the site are timed to avoid key school opening/closing times.

- 9.3 There have been a large number of objections to the proposal, however it should be noted that the majority of these were primarily concerned with the proposed introduction of a footpath along the western boundary of the site which would have provided pedestrian access between Thistle Road and Old Perth Road through Culcabock Avenue. This footpath has been removed from the proposal, thereby resolving a significant number of these objections. There is still potential to achieve an active travel connection between developments at a future date as and when development proposals come forward for Drakies House itself.
- 9.4 At the time of writing, Transport Planning retain an objection to the application until an appropriate legal agreement has been put in place to ensure access in perpetuity for any Council owned drainage infrastructure within private ground (Drakies House). Drainage arrangements for the site are being considered under a separate planning application (22/04206/FUL) which will take this matter into account. Furthermore, a planning condition will be included to ensure that no houses can be occupied until such a drainage scheme has been agreed by the Planning Authority. It is therefore considered that appropriate measures to deal with drainage issues arising from the development are in place.
- 9.5 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued	Y
Notification to Scottish Ministers	N
Conclusion of Section 75 Obligation	N
	Y

Upfront payment of education developer contribution

Revocation of previous permission N

Subject to the above actions, it is recommended to **GRANT** the application subject to the following conditions and reasons

1. The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

Reason: In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997

2. No development, including any demolition works, shall commence until a Construction Method Statement has been submitted to, and approved in writing by, the Planning Authority. The statement shall provide for:
 - i. the parking of vehicles of site operatives and visitors;
 - ii. loading and unloading of plant and materials;
 - iii. storage of plant and materials used in constructing the development;
 - iv. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;
 - v. wheel washing facilities;
 - vi. measures to control the emission of dust and dirt during construction; and
 - vii. a scheme for recycling/disposing of waste resulting from demolition and construction works.

The approved Construction Method Statement shall be adhered to throughout the construction period.

Reason: In order to safeguard the amenity of neighbouring properties and occupants

3. No development shall commence on site until a Construction Phase Traffic Management Plan (including a routing plan for construction vehicles and details of measures to avoid deliveries during peak school movement times) has been submitted to, and approved in writing by, the Planning Authority. The approved traffic management plan shall be implemented prior to development commencing and remain in place until the development is complete.

Reason: In the interest of road safety

4. No houses hereby granted planning permission shall be occupied until:
- i) the foul and surface water drainage arrangements to serve the development have been submitted to and approved in writing by the Planning Authority, in consultation with the Transport Planning and Flood Risk Management Teams; and
 - ii) the approved details have been implemented in full.

Reason: In order to ensure that the site can be adequately drained.

5. Prior to the first occupation of any individual house, the developer shall submit details of a scheme for the ongoing maintenance and factoring arrangements of the private surface water drainage system for the agreement in writing of the Planning Authority in consultation with the Roads Authority. The development shall thereafter be undertaken in perpetuity in accordance with the agreed scheme by the developer and any factor thereby appointed.

Reason: In order to clarify the maintenance arrangements associated with the private surface water drainage system.

6. All roads and pavements within the application site shall be formed to base course level prior to the first occupation of any of the houses. Thereafter, the final wearing surface shall be applied concurrently with the construction of the last house within the development, or upon the expiry of a period of two years from the date of first occupation, whichever is the sooner.

Reason: In the interests of amenity.

7. Prior to the occupation of the first house, details of the proposed street lighting shall be submitted to, and agreed in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented as agreed and shall be completed concurrently with the construction of the last house within the development, or upon the expiry of a period of two years from the date of first occupation, whichever is the sooner.

Reason: In order to ensure the lighting does not spill beyond the intended target area; does not impact adversely upon the amenity of adjacent properties and does not result in 'sky glow'.

8. No development shall commence on site until details of boundary enclosures have been submitted to, and agreed in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented as agreed prior to the development being occupied.

Reason: In the interests of amenity.

9. No development shall commence on site until details of a speed table at the junction of Thistle Road and Inshes Crescent and new road markings at the junction of Thistle Road and Drakies Avenue have been submitted to and agreed in writing by, the Planning Authority. Thereafter, the approved scheme

shall be implemented as agreed prior to the first occupation of the development.

Reason: In the interests of road safety.

10. Prior to any site excavation or groundworks, all retained trees are to be protected against construction damage using existing wooden fences and tree protective barriers located as per the Tree Protection Plan. Barriers are to remain in place throughout the construction period and must not be moved or removed without the prior written approval of the Planning Authority.

Reason: To ensure the protection of retained trees throughout the construction period.

11. No development shall commence until a Tree Planting Plan and maintenance programme has been submitted to and approved by the planning authority. The Tree Planting Plan shall be implemented in full during the first planting season following commencement of development or as otherwise agreed in writing by the planning authority.

Reason: In the interests of amenity.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Contaminated Land

The former use of the site includes a Steading and agricultural buildings. Archaeological surveys revealed a household midden. Should additional buried waste such as former farming machinery or fly-tipped waste be encountered, the applicant shall contact the Contaminated land team for advice.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks and Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature:	David Mudie
Designation:	Area Planning Manager – South
Author:	Christine MacLeod
Background Papers:	Documents referred to in report and in case file.
Relevant Plans:	Plan 1 - H01-1-LP-01: Location Plan
	Plan 2 - H01-1-SL-01 REV F: Site Layout Plan

- Plan 3 - H01-1_PL_AFFRIC: Floor / Elevation Plan
- Plan 4 - H01-1_PL_TOMICH: Floor / Elevation Plan
- Plan 5 - INV-ENG-PH1-500 REV H: Road layout Plan
- Plan 6 - INV-ENG-PH1-502 REV G: Adoption Layout Plan
- Plan 7 - INV-ENG-700 rev A: Drainage Layout Plan (1 of 3)
- Plan 8 - INV-ENG-701 rev A: Drainage Layout Plan (2 of 3)
- Plan 9 - INV-ENG-702 rev A: Drainage Layout Plan (3 of 3)
- Plan 10 - 002 : Tree Protection Plan
- Plan 11 - N(--)_TMP_01 REV H: Site Compound/Traffic Mgt Plan

Appendix 2

Type	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
	Contribution	Rate (per house)	Rate (per flat)	Total Amount* ¹	Index Linked ¹	Base Date* ²	Payment Trigger* ³	Accounting Dates* ⁴	Clawback Period* ⁵
Schools²									
Primary – Build Costs	None	£	£	£	BCIS	Q2 2018	TOC/CC	Apr/Oct	
Primary – Land Costs	None	£	£	£	BCIS	Q2 2018	TOC/CC	Apr/Oct	
Secondary – Build Costs	Millburn Academy Extension	£1,135.60	£	£3,406.80	BCIS	Q2 2018	TOC/CC	Apr/Oct	20
Secondary – Land Costs		£	£	£	No		TOC/CC	Apr/Oct	
Affordable Housing									
On-site provision ³		N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Off-site provision ⁴		N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Commuted Sum ⁵	3 units.	N/A	N/A	£0.00	N/A	N/A		N/A	
Agreement for Delivery Needed	Y	N/A	N/A	N/A	N/A	N/A	Insert date for submission to Planning Authority	N/A	N/A

*1 Adjust total to take account of flat exemptions

*2 Base Date – Set out in Supplementary Guidance on Developer Contributions

*3 TOC/CC – The earlier of the issue of either a temporary occupation certificate or a completion certificate – or specify alternative time if appropriate

*4 Accounting dates - 1 April and 1 October each year of development (if the contribution is to be paid on a basis other than related to units completed in the preceding 6 months (e.g. lump sum on a specific date) then indicate this instead of the Apr/Oct payment dates)

*5 Clawback – 15 years for Major development; 20 years for Local development

¹ If the contribution is to be used towards infrastructure projects involving building e.g. new school, new cycle route etc BCIS ALL IN TENDER will be the index, if it doesn't involve building then another appropriate index may need to be chosen with the agreement of Team Leader

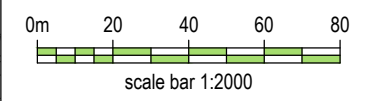
² Indicate whether or not 1 bed houses/flats are exempt

³ Indicate whether a penalty payment due for late delivery (and, if so, what it is based upon).

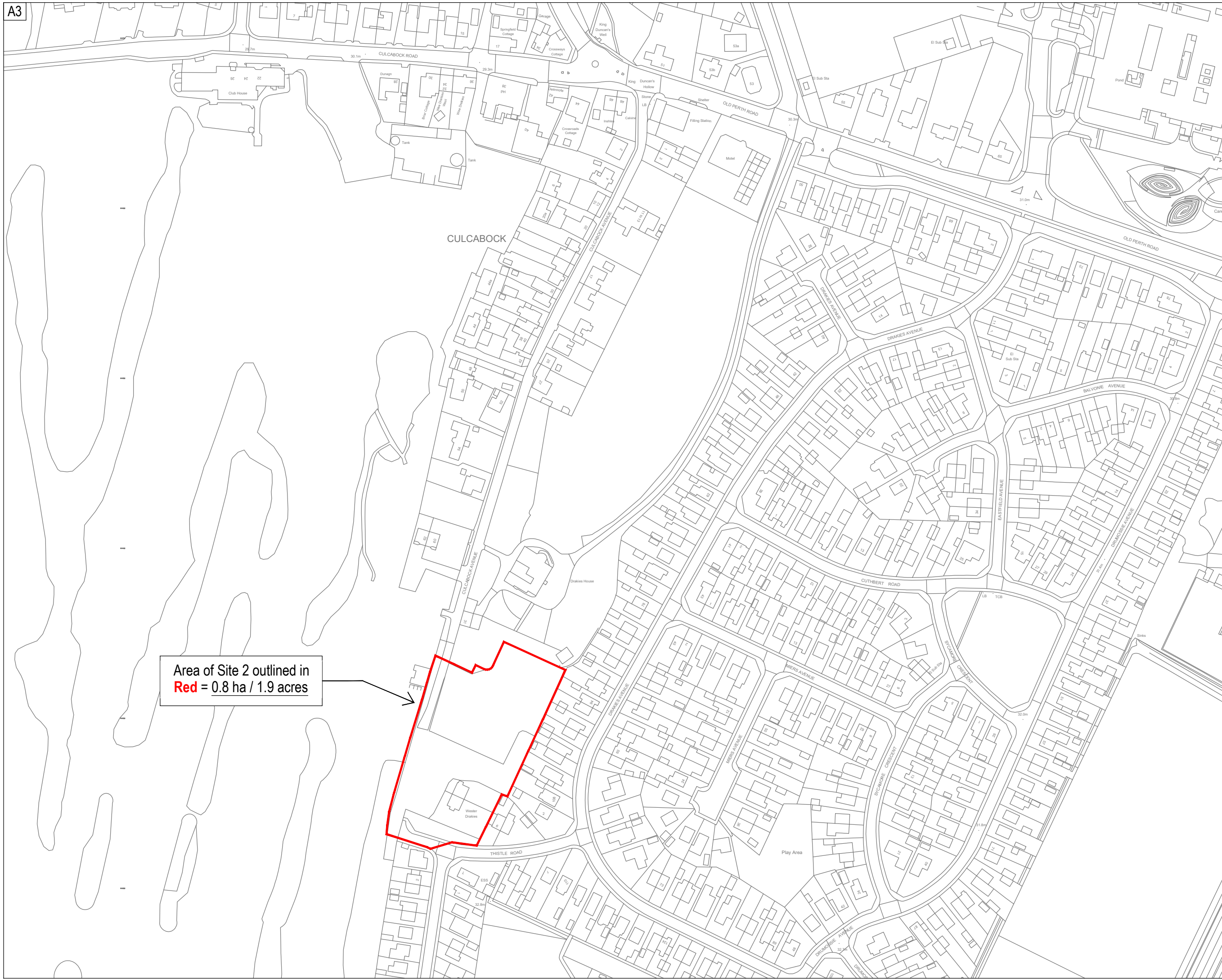
⁴ As above

⁵ Indicate whether a penalty payment is due for late payment of commuted sum (and, if so, what it is based upon)

Important notes for clients / contractors
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Legend
Application Boundaries



Area of Site 2 outlined in Red = 0.8 ha / 1.9 acres

Rev.	Date	Remarks	By	Ch.
Revisions				



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Springfield House,
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Tel: 01324 555 536
Fax: 01324 574 890
Email: larbert@springfield.co.uk

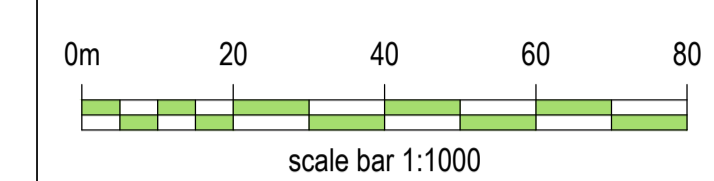
Project
Drakies
Inverness

Drawing
Location Plan
Phase 1

Scale	Date	Drawn by	Checked by
1:2000	Feb 2022	CS	BW

Drawing no.	Rev
HI01-1-LP-01	

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- Legend**
- Site Boundary
 - 600mm high Laurel Hedge
 - 1800mm Timber screen fence
 - 1800mm Timber Boundary fence with gate for Scottish Water Access
 - Optional Sun Lounge

- House Types**
- Tomich - 3 Bed Semi Detached House
 - Affric - 2 Bed Detached Bungalow

Rev	Date	Remarks	By	Ch.
H	21/10/22	Note added for new fence etc	CS	SM
G	20/10/22	Boundary fence added	KD	BW
F	20/09/22	Parking updated	KD	SM
E	12/08/22	Road updated	KD	BW
D	04/08/22	Boundary updated	KD	BW
C	27/07/22	Boundary line amended	KD	BW
B	31/05/22	Boundary line amended	CS	BW
A	31/05/22	Parking & Transportation amendments	CS	BW
	28/04/22	Further amendments to road layout	CS	BW

Springfield Properties Plc

<p>Elgin Office Alexander Fleming House, 8 Southfield Drive, Elgin, Moray, IV30 6GR</p> <p>Tel: 01343 552 550 Fax: 01343 551 776 Email: info@springfield.co.uk</p>	<p>Larbert Office Springfield House, 3 Central Park Avenue, Larbert, FK5 4RX</p> <p>Tel: 01324 555 536 Fax: 01324 574 890 Email: larbert@springfield.co.uk</p>
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Project	Phase 1 Inverness		
Drawing	Proposed Site Layout		
Scale	Date	Drawn by	Checked by
1:200	Feb 2022	CS	BW
Drawing no.	HI01-1-SL-01		Rev
			H

Services wayleave area

Adoptable standard turning head area

SuDs/Amenity land

New fence to replace existing and gate access for Scottish Water

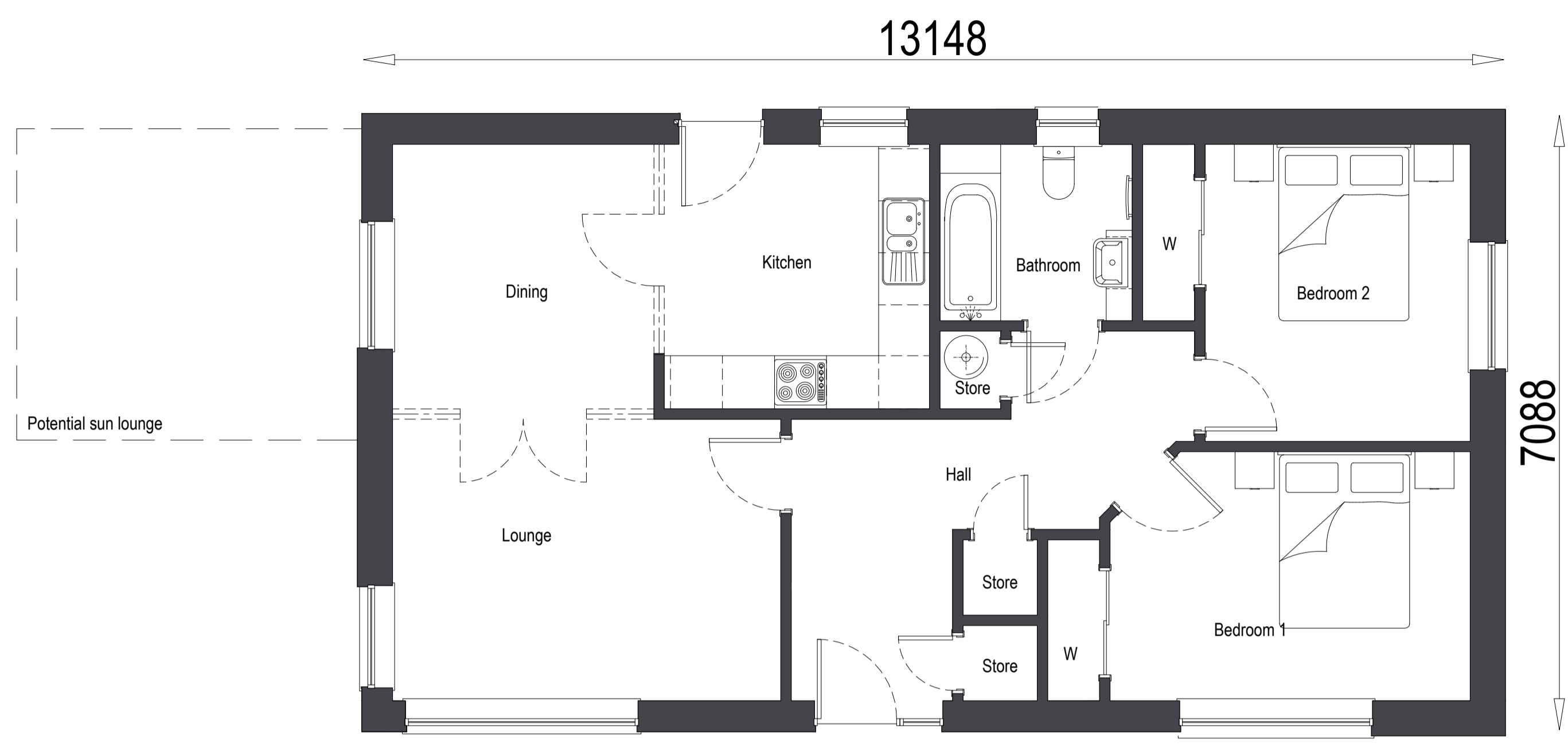
Amenity land

THISTLE ROAD

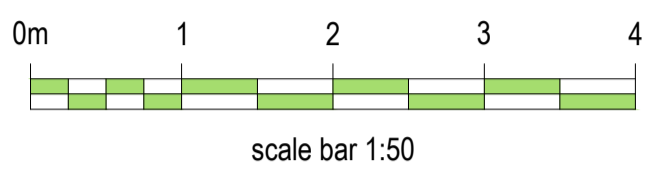
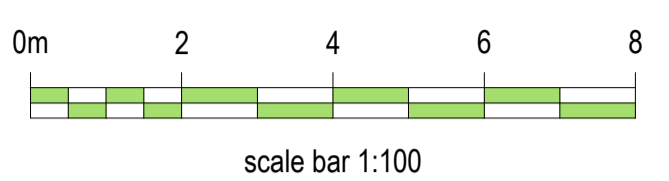
A1



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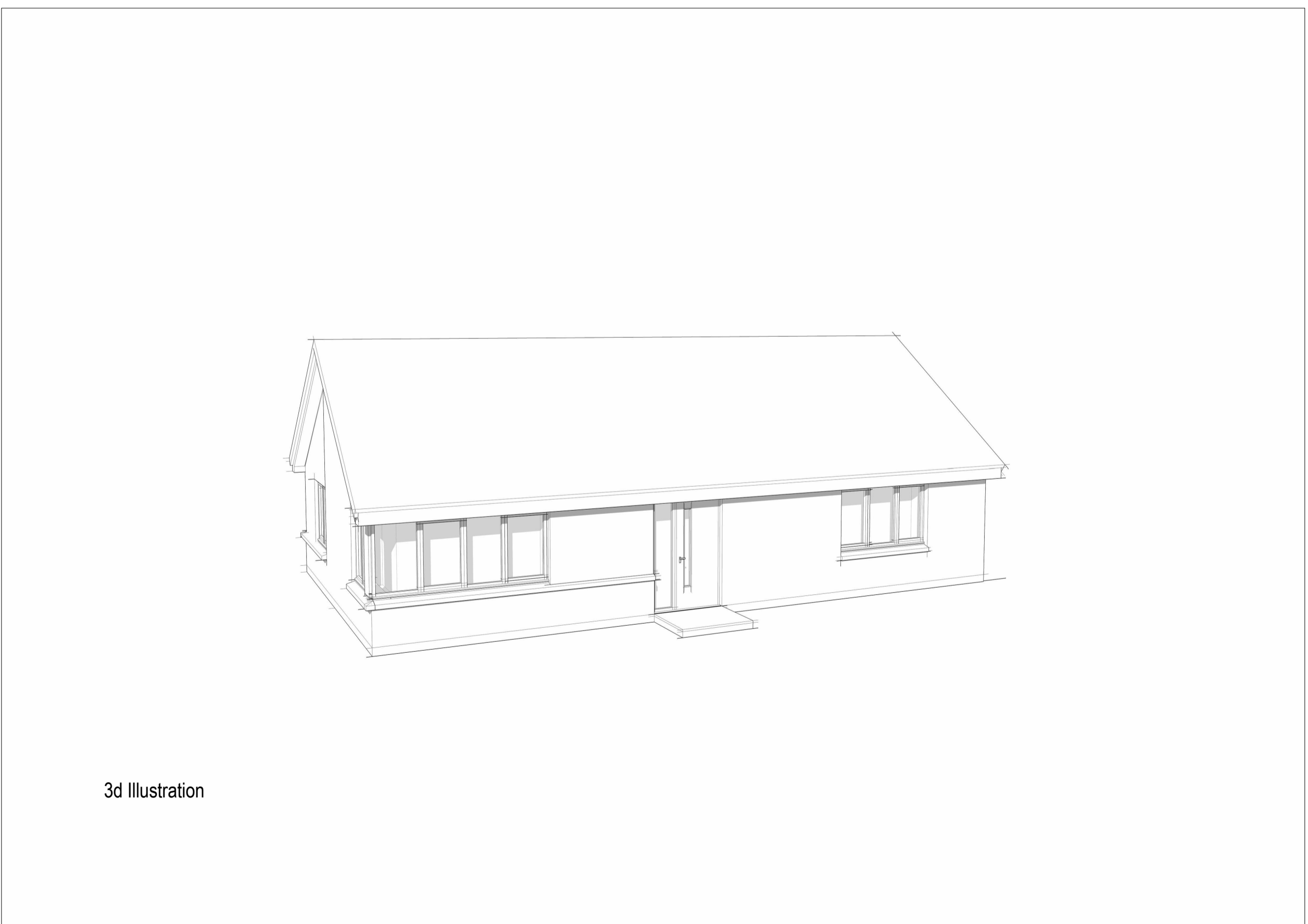


Ground Floor Plan 1:50



Materials

- Grey concrete roof tiles
- Grey upvc windows, soffits & fascias
- White render external walls
- Marley cedar cladding (see material conditions layout for colour)
- Grey smooth cement plaster basecourse



3d Illustration

Rev.	Date	Remarks	By	Ch.
Revisions				



Springfield Properties Plc

Affric

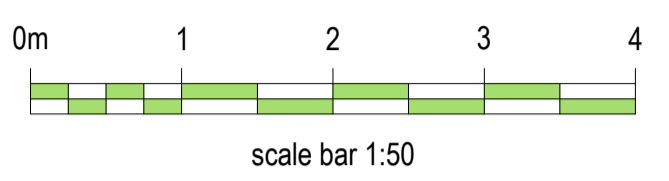
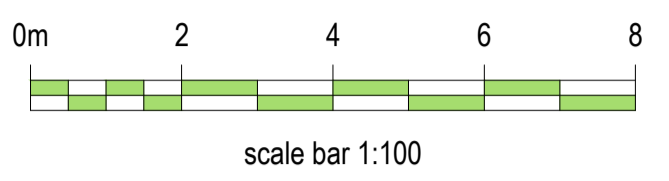
Project
 Drakies
 Inverness

Drawing
 Planning Plans & Elevations

Scale	Date	Drawn by	Checked by
1:50, 1:100	Feb 2022	KD	SM

Drawing no.	Rev
HI01-1_PL_AFFRIC	-

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Materials

- Grey concrete roof tiles
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- Marley cedar cladding (see material conditions layout for colour)
- Grey smooth cement plaster basecourse

Rev.	Date	Remarks	By	Ch.
Revisions				



Springfield Properties Plc

Tomich

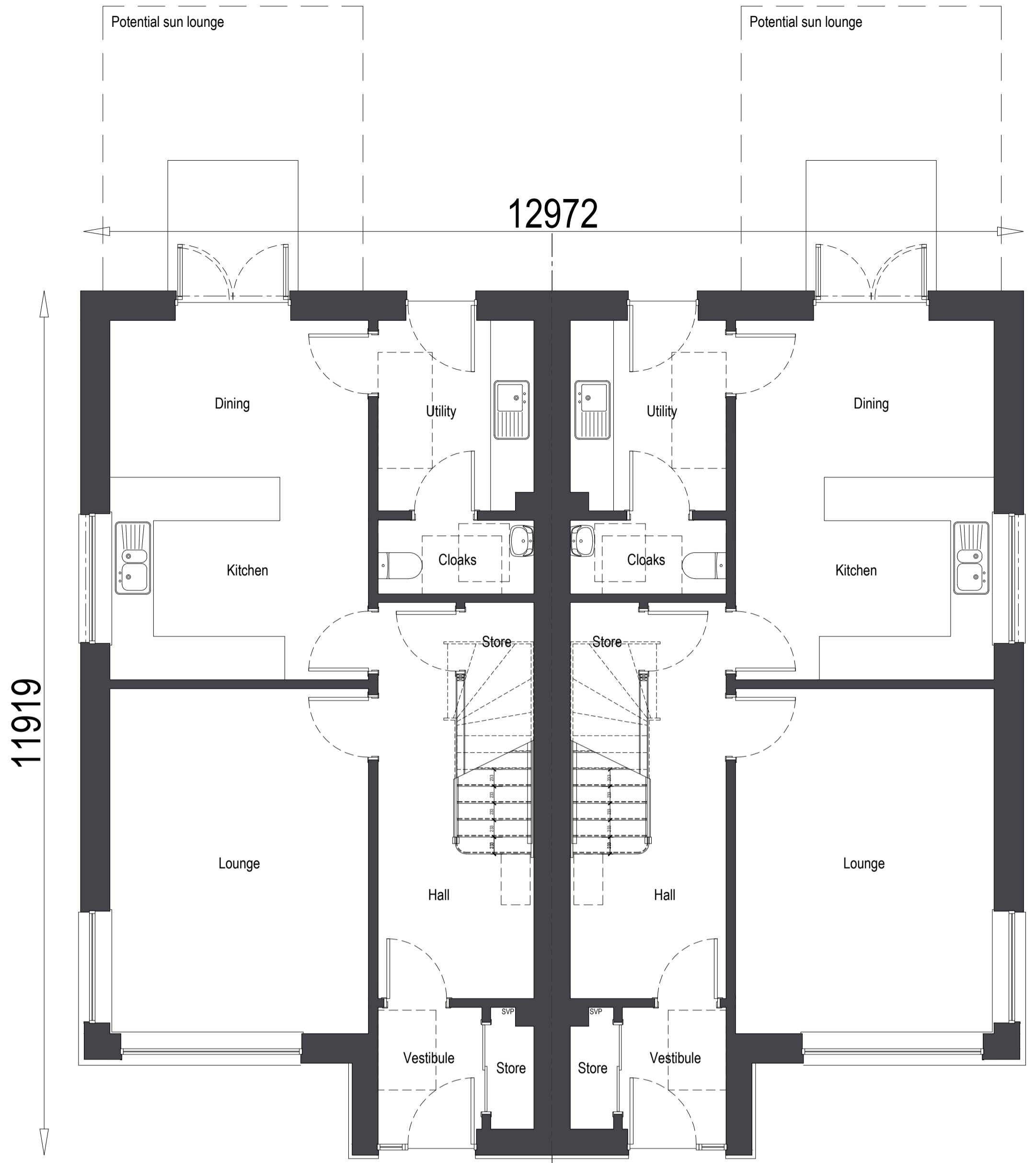
Project
 Drakies
 Inverness

Drawing
 Planning Plans & Elevations

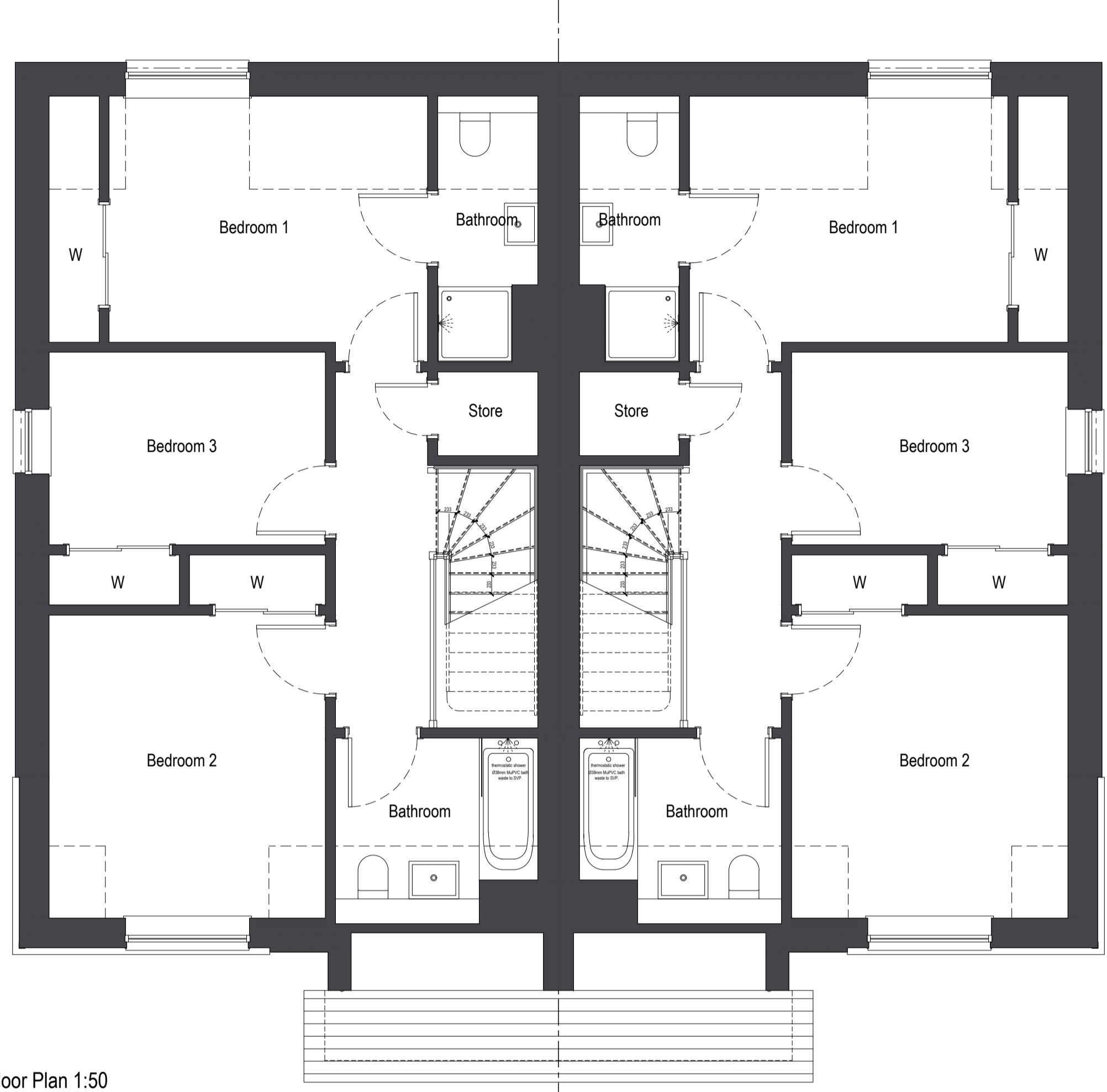
Scale	Date	Drawn by	Checked by
1:50, 1:100	Feb 2022	KD	SM

Drawing no.	Rev
HI01-1_PL_TOMICH	-

A1



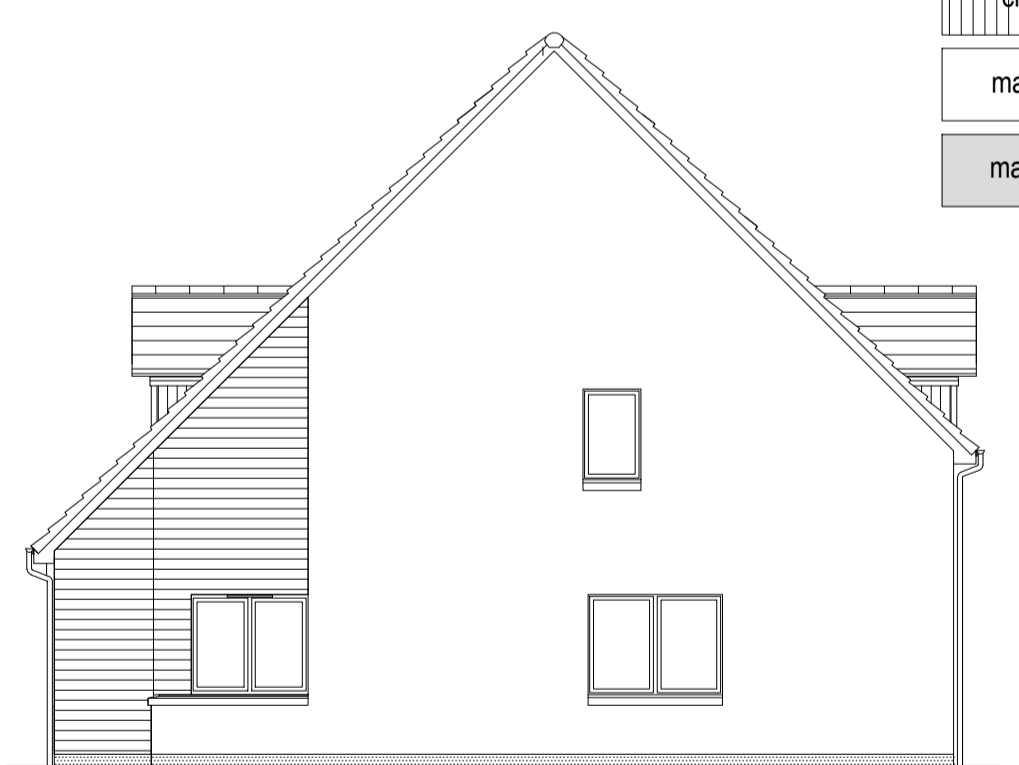
Ground Floor Plan 1:50



First Floor Plan 1:50



Front Elevation 1:100



Side Elevation 1:100



Rear Elevation 1:100

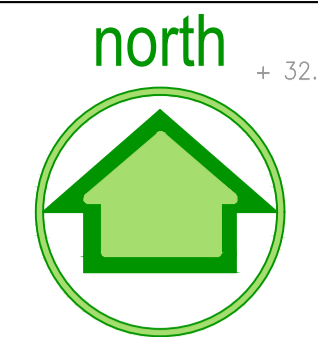
base course
cladding
masonry 1
masonry 2



A1

ALIGNMENT ROAD 1								
LOCATION	CHAINAGE	EASTING	NORTHING	RADIUS	BEARING	ANGLE	ARC LENGTH	TANL
SP1-1	0.000	268122.671	844232.409		24.16080			
TP1-1a	28.373	268134.284	844258.297		24.16080			
IP1-1		268138.009	844266.601	50.050		20.61272	18.006	9.101
TP1-1b	46.379	268144.419	844273.062		44.77352			
TP1-2a	56.736	268151.714	844280.414		44.77352			
IP1-2		268157.245	844285.989	46.450		19.19277	15.560	7.853
TP1-2b	72.296	268160.636	844293.073		25.58075			
TP1-3a	83.347	268165.408	844303.041		25.58075			
IP1-3		268165.655	844303.557	100.000		0.65519	1.144	0.572
TP1-3b	84.491	268165.896	844304.075		24.92556			
EP1-1	125.904	268183.349	844341.631		24.92556			

ALIGNMENT TH1								
LOCATION	CHAINAGE	EASTING	NORTHING	RADIUS	BEARING	ANGLE	ARC LENGTH	TANL
SPTH1-1	0.000	268144.098	844294.092		113.94598			
JPTH1-1	15.000	268157.807	844288.004		113.94598			



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Rev	Date	Remarks	By	Ch.
H	22.09.22	UPDATED AS PER PLANNING COMMENTS	LS	
G	13.09.22	UPDATED AS PER RCC COMMENTS	LS	
F	02.08.22	UPDATED AS PER RCC COMMENTS	LS	
E	27.07.22	RED LINE BOUNDARY UPDATED	LS	
D	07.07.22	ACTIVE TRAVEL LINK REMOVED	LS	
C	07.06.22	UPDATED AS PER NEW ROAD DESIGN	LS	
B	05.05.22	UPDATED AS PER RCC COMMENTS	LS	
A	28.04.22	LAYOUT UPDATED	LS	

Revisions

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---	---

Project
 INV Drakies House
 Phase 1

Drawing
 Roads Layout

Scale
 1:250 @ A1

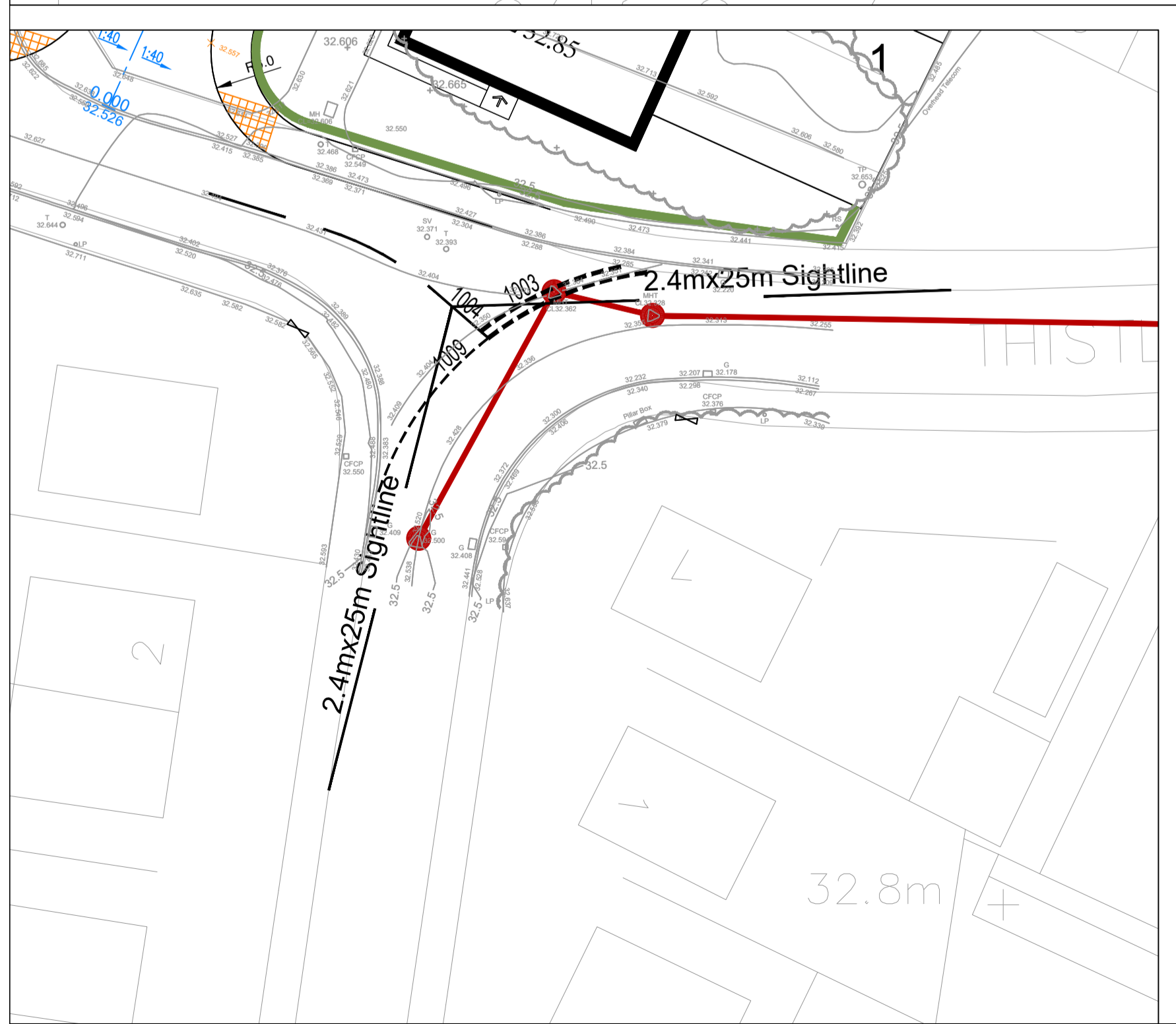
Date
 11.02.22

Drawn by
 LS

Checked by
 -

Drawing no.
 INV-ENG-PH1-500

Rev
 H



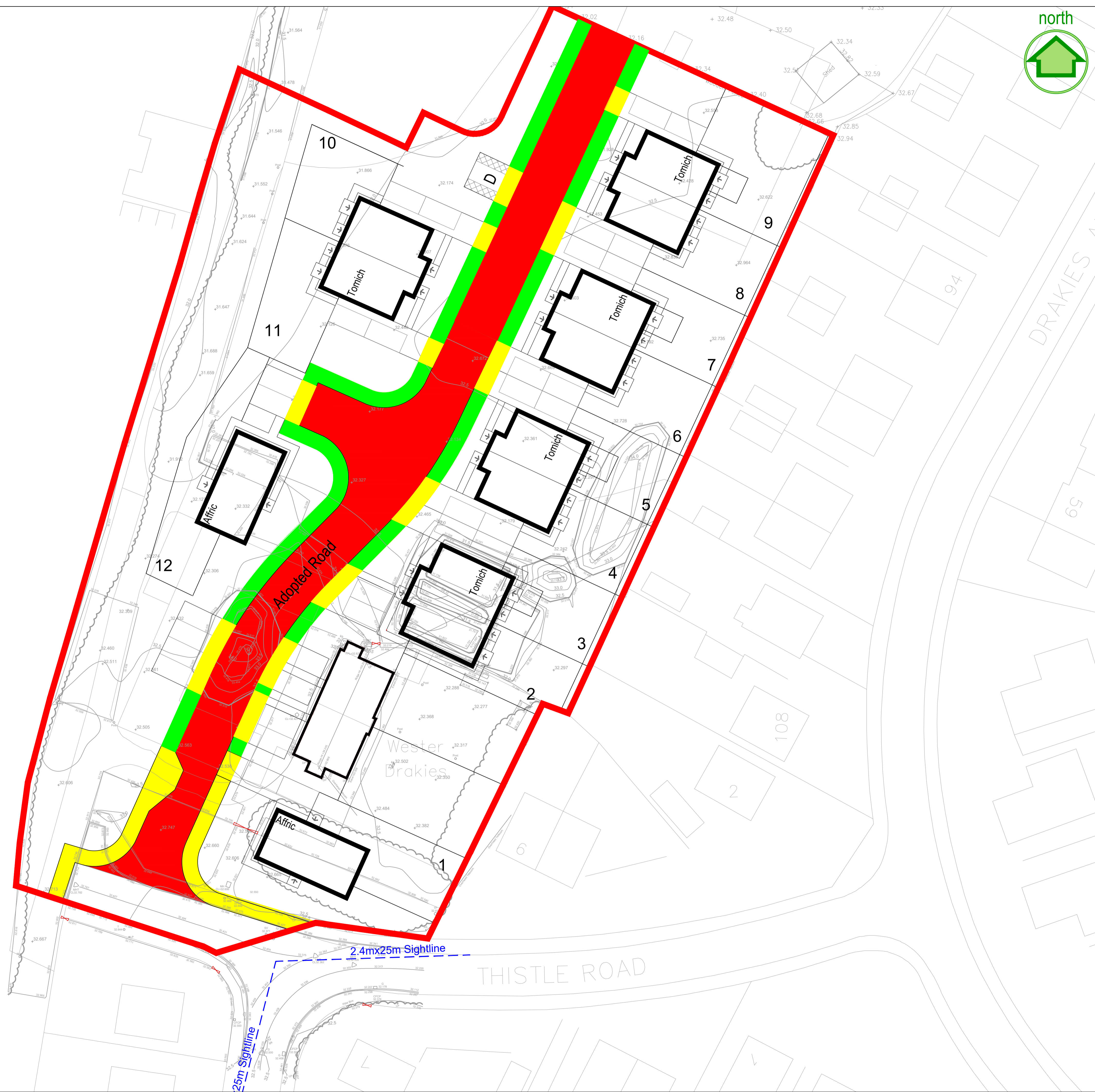
THIS ISLE ROAD



Important notes for clients / contractors
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Adoption Key:

- Adoptable Core Road
- Adoptable Footpath
- Adoptable Road Side Grass Verge



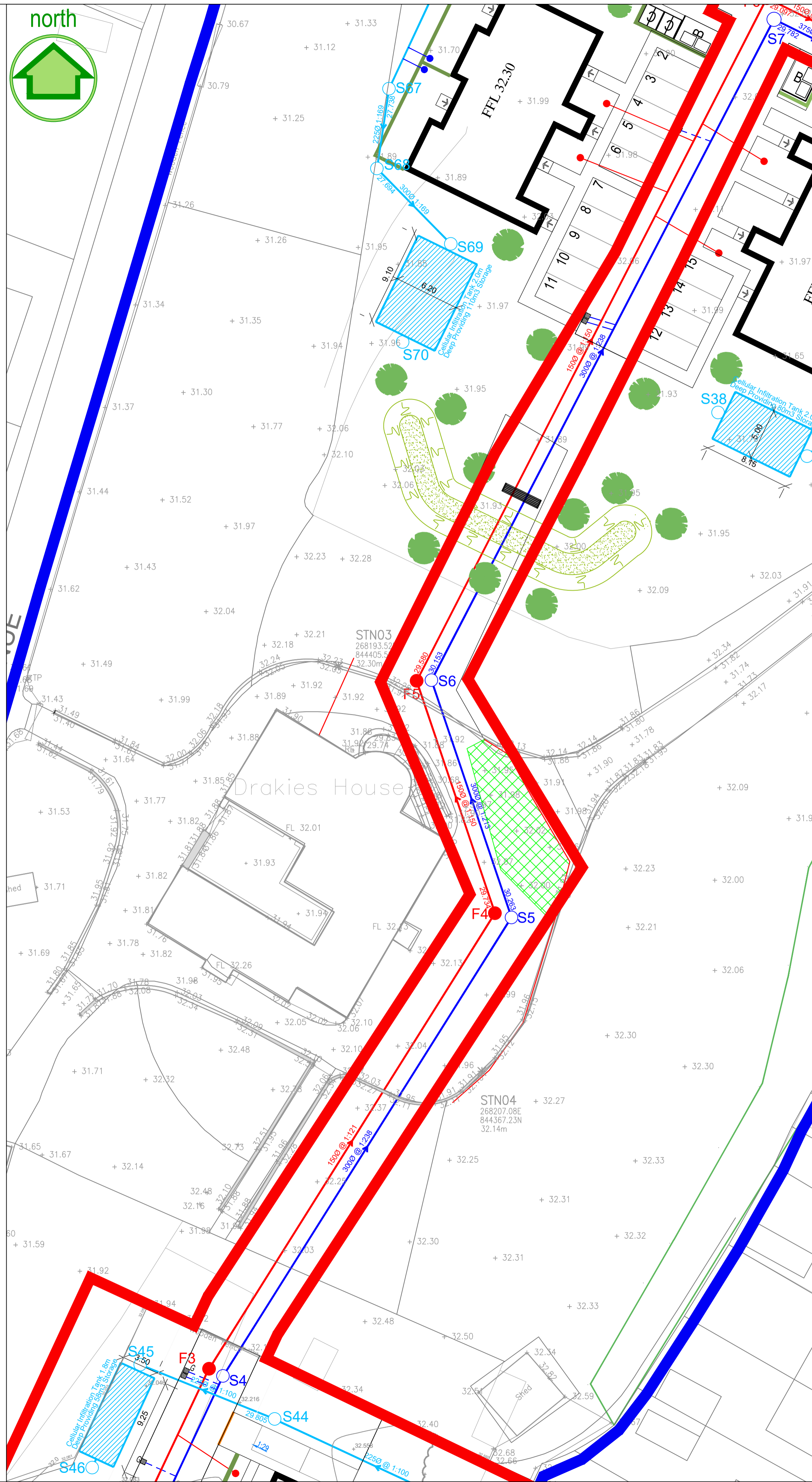
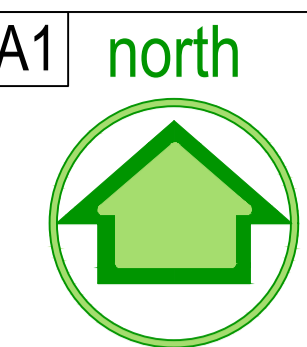
Rev	Date	Remarks	By	Ch.
G	23.09.22	UPDATED AS PER PLANNING COMMENTS	LS	
F	13.08.22	UPDATED AS PER RCC COMMENTS	MC	
E	10.08.22	KEY UPDATED	LS	
D	02.08.22	UPDATED AS PER RCC COMMENTS	LS	
C	27.07.22	RED LINE BOUNDARY UPDATED	LS	
B	07.07.22	ACTIVE TRAVEL LINK REMOVED	LS	
A	05.05.22	UPDATED AS PER RCC COMMENTS	LS	

Revisions

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---	---

Project			
INV Drakies House Phase 1			
Drawing			
Adoption Layout			
Scale	Date	Drawn by	Checked by
1:250 @ A1	11.02.22	LS	-
Drawing no.	Rev		
INV-ENG-PH1-502	G		



- LEGEND:**
- PROPOSED SURFACE WATER SEWER (ADOPTED BY HIGHLAND COUNCIL)
 - PROPOSED FOUL WATER SEWER (ADOPTED BY SCOTTISH WATER)
 - PROPOSED PRIVATE SURFACE WATER SEWER (MAINTAINED BY RESIDENTS)
 - PROPOSED ROAD GULLY
 - PROPOSED SURFACE WATER PLOT DRAINAGE
 - PROPOSED FOUL WATER PLOT DRAINAGE
 - PROPOSED ACO CHANNEL

Important notes for clients / contractors
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Rev	Date	Remarks	By	Ch.
A	10.10.22	DRAINAGE UPDATED AS PER NEW DESIGN	LS	

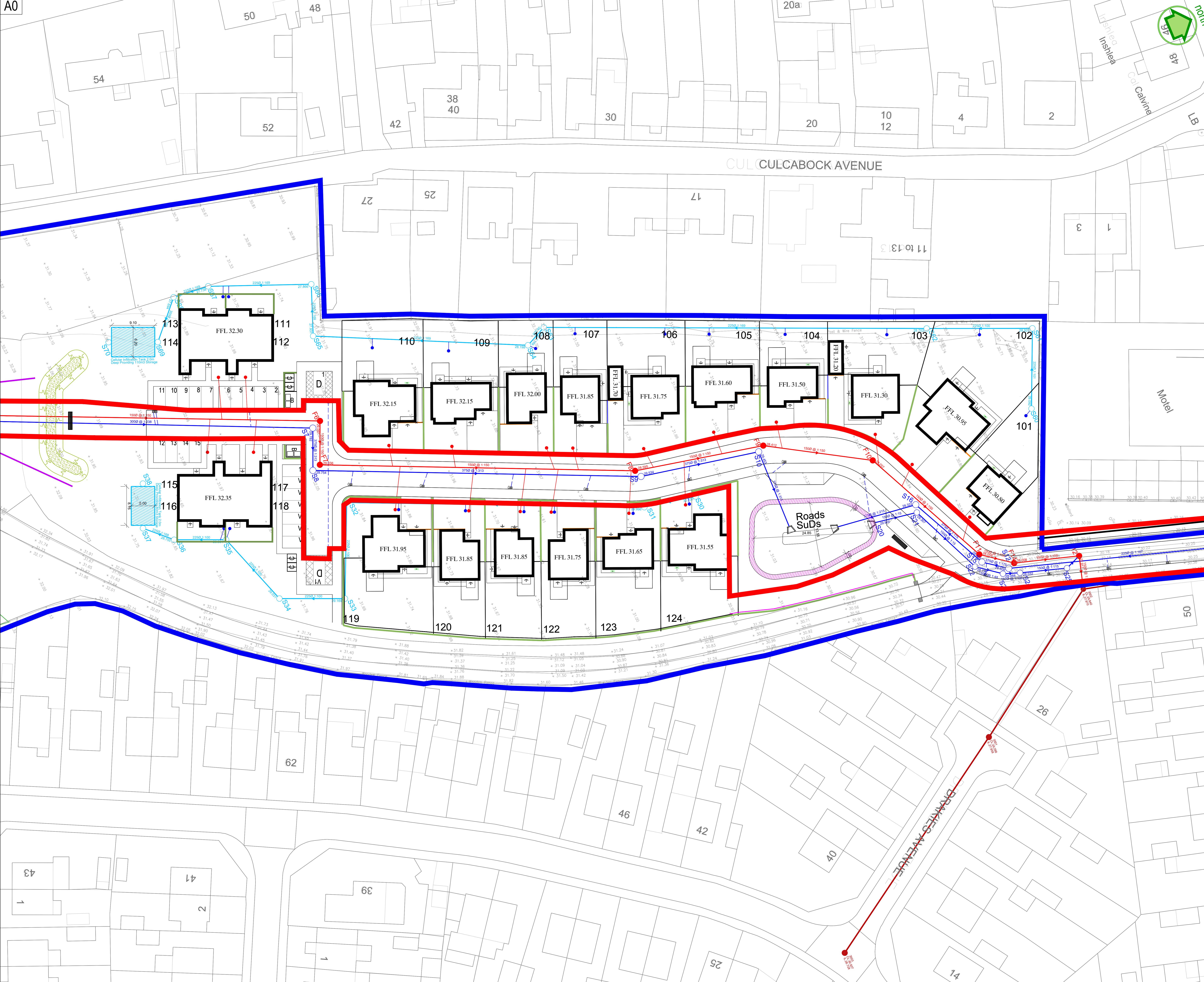
Revisions			



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Email: larbert@springfield.co.uk

Project INV Drakies House Drainage Proposals			
Drawing Drainage Layout Sheet 1 of 3			
Scale 1:250 @ A1	Date 11.02.22	Drawn by LS	Checked by -
Drawing no. INV-ENG-700	Rev A		



Important notes for clients / contractors
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- LEGEND:**
- PROPOSED SURFACE WATER SEWER (ADOPTED BY HIGHLAND COUNCIL)
 - PROPOSED FOUL WATER SEWER (ADOPTED BY SCOTTISH WATER)
 - PROPOSED PRIVATE SURFACE WATER SEWER (MAINTAINED BY RESIDENTS)
 - G PROPOSED ROAD GULLY
 - PROPOSED SURFACE WATER PLOT DRAINAGE
 - PROPOSED FOUL WATER PLOT DRAINAGE
 - PROPOSED ACO CHANNEL
 - CONCRETE SURROUND UNTIL A SEWER DEPTH OF 1.2m IS REACHED
 - G ROAD GULLY TO BE REALIGNED TO NEW CARRIAGEWAY CHANNEL
 - PROPOSED SOAKAWAY
 - PEDESTRIAN ACCESS TRACK AROUND BASIN FOR MAINTENANCE

Rev	Date	Remarks	By	Ch
A	10.10.22	UPDATED AS PER NEW DESIGN	LS	

Revisions



Springfield Properties
Plc

<p>Elgin Office Alexander Fleming House, 8 Southfield Drive, Elgin, Moray, IV30 6GR</p> <p>Tel: 01343 552 550 Fax: 01343 551 776 Email: info@springfield.co.uk</p>	<p>Larbert Office Springfield House, 3 Central Park Avenue, Larbert, FK5 4RX</p> <p>Tel: 01324 555 536 Fax: 01324 574 890 Email: larbert@springfield.co.uk</p>
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Drakies House

Project
 INV Drakies House
 Drainage Proposals

Drawing
 Drainage Layout Sheet 2 of 3

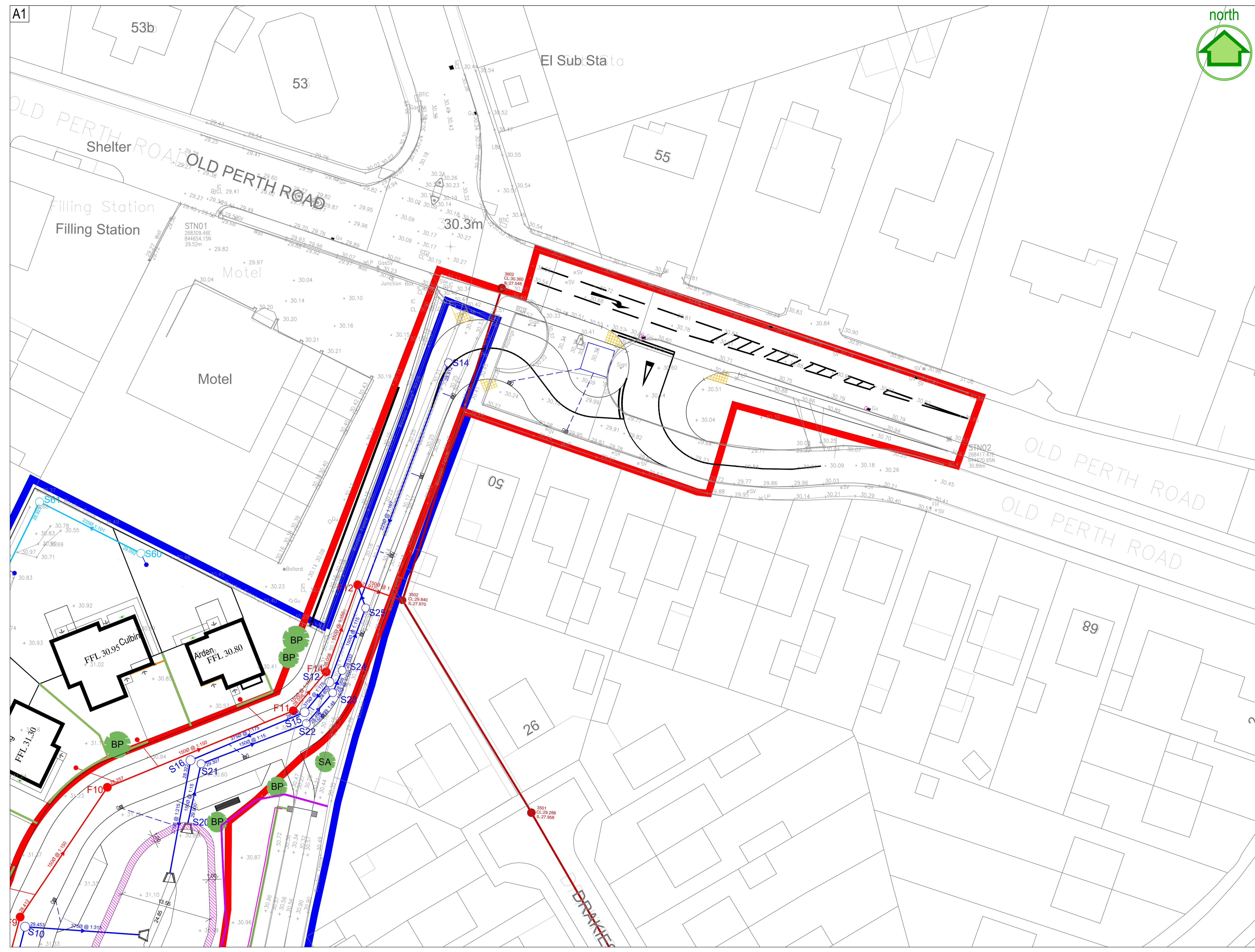
Scale	Date	Drawn by	Checked by
1/250@A0	13.09.22	LS	-

Drawing no.	Rev
INV-ENG-701	A



Important notes for clients / contractors
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- LEGEND:**
- PROPOSED SURFACE WATER SEWER (ADOPTED BY HIGHLAND COUNCIL)
 - PROPOSED FOUL WATER SEWER (ADOPTED BY SCOTTISH WATER)
 - PROPOSED PRIVATE SURFACE WATER SEWER (MAINTAINED BY RESIDENTS)
 - PROPOSED ROAD GULLY
 - PROPOSED SURFACE WATER PLOT DRAINAGE
 - PROPOSED FOUL WATER PLOT DRAINAGE
 - PROPOSED ACO CHANNEL
 - CONCRETE SURROUND UNTIL A SEWER DEPTH OF 1.2m IS REACHED
 - ROAD GULLY TO BE REALIGNED TO NEW CARRIAGEWAY CHANNEL
 - PROPOSED SOAKAWAY
 - PEDESTRIAN ACCESS TRACK AROUND BASIN FOR MAINTENANCE



A	10.10.22	DRAINAGE UPDATED AS PER NEW DESIGN	LS
Rev	Date	Remarks	By
Revisions			



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Project
 INV Drakes House
 Drainage Proposals

Drawing
 Junction Drainage Layout Sheet 3 of 3

Scale	Date	Drawn by	Checked by
1:250 @ A1	13.09.22	LS	-
Drawing no.	INV-ENG-702		Rev
			A

Tree Protection Plan



Tree Protection Guidelines

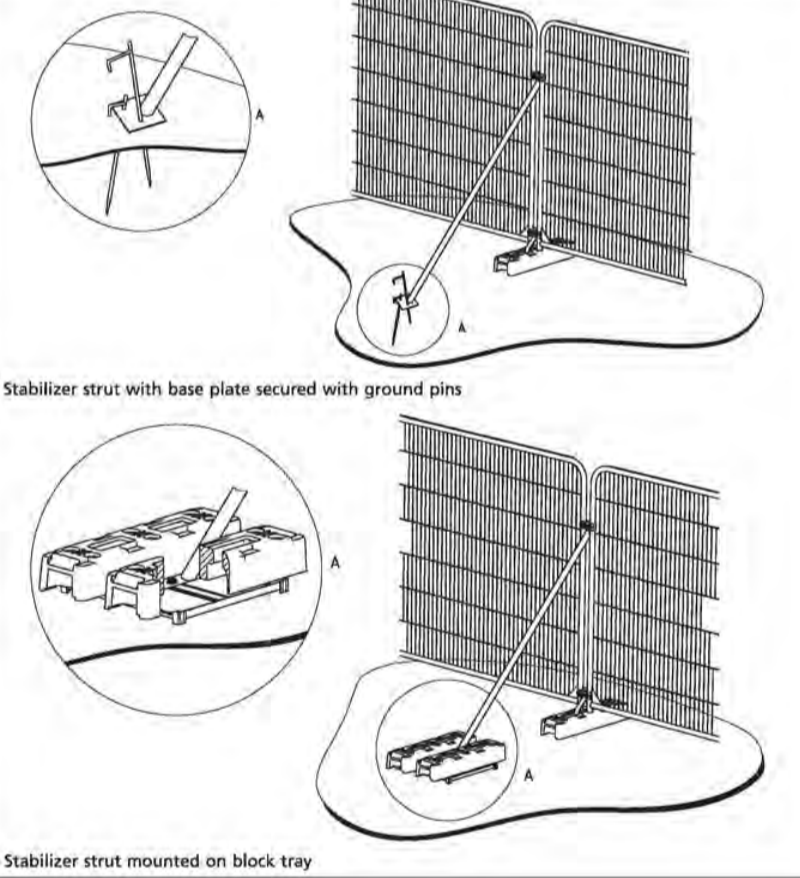
In order to safeguard the trees on this site please observe the following:

- Do not move the tree protection barriers
- Do not enter the protected area
- Report any damage to protection barriers at the site office
- Do not use the area within the protection barriers to store or mix materials
- Do not carry out any excavation works within the protection barriers
- Avoid handling fuels or liquid contaminants within 10 metres of the protected area.

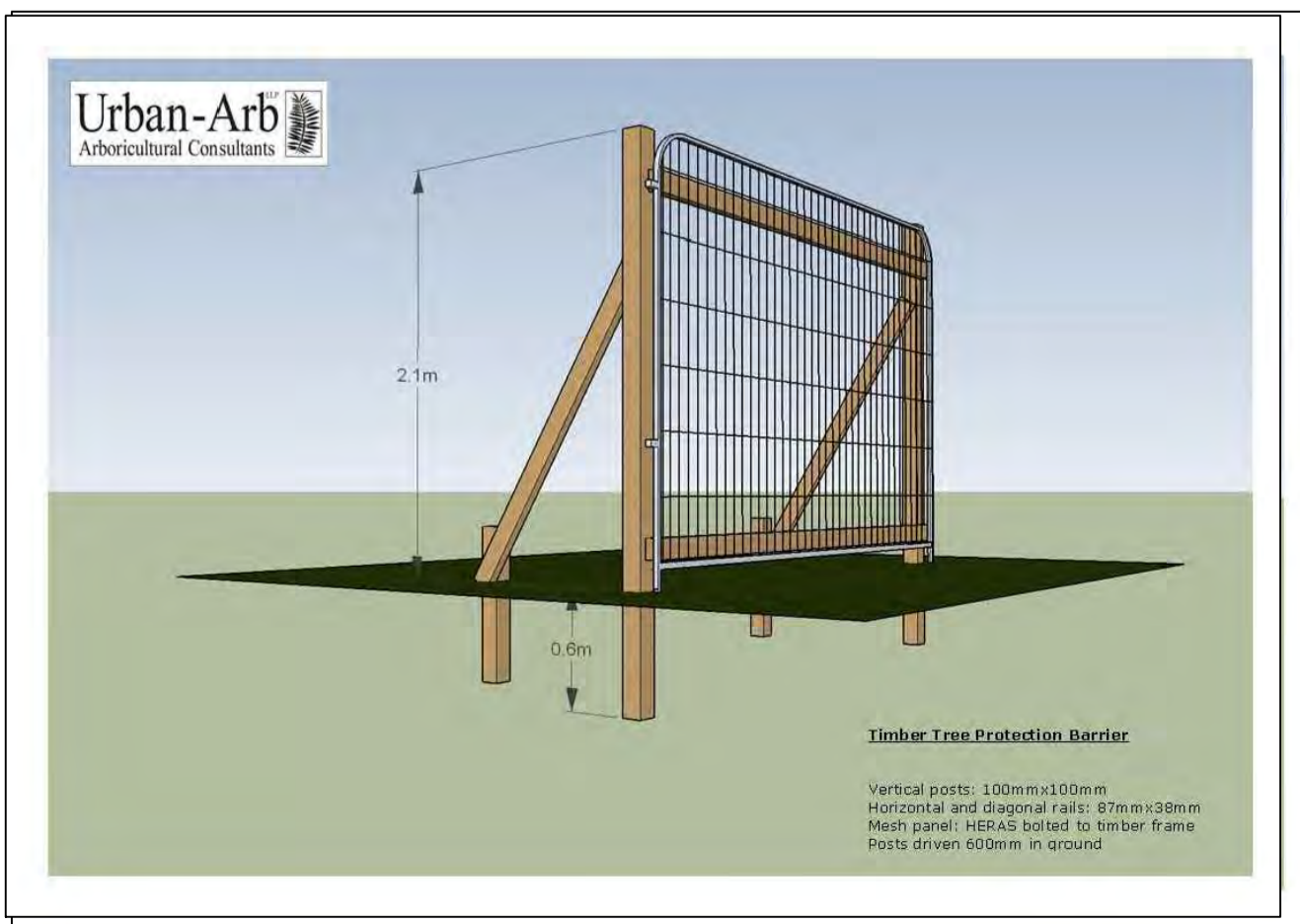
In the event of damage to a retained tree on this site please contact:

Arboriculturist: Callum McCutcheon
Tel: (01343) 821763
Mob: 07766735488

W: www.urban-arb.com Email: callum@urban-arb.com T: 01343 821763/07766 735488
Urban-Arb LLP is a Limited Liability Partnership Registered in Scotland. Registered Office: 11 The Muir, Bogmoor, Spey By, Fochabers, Moray T12 7PN. Partnership No. SC030262

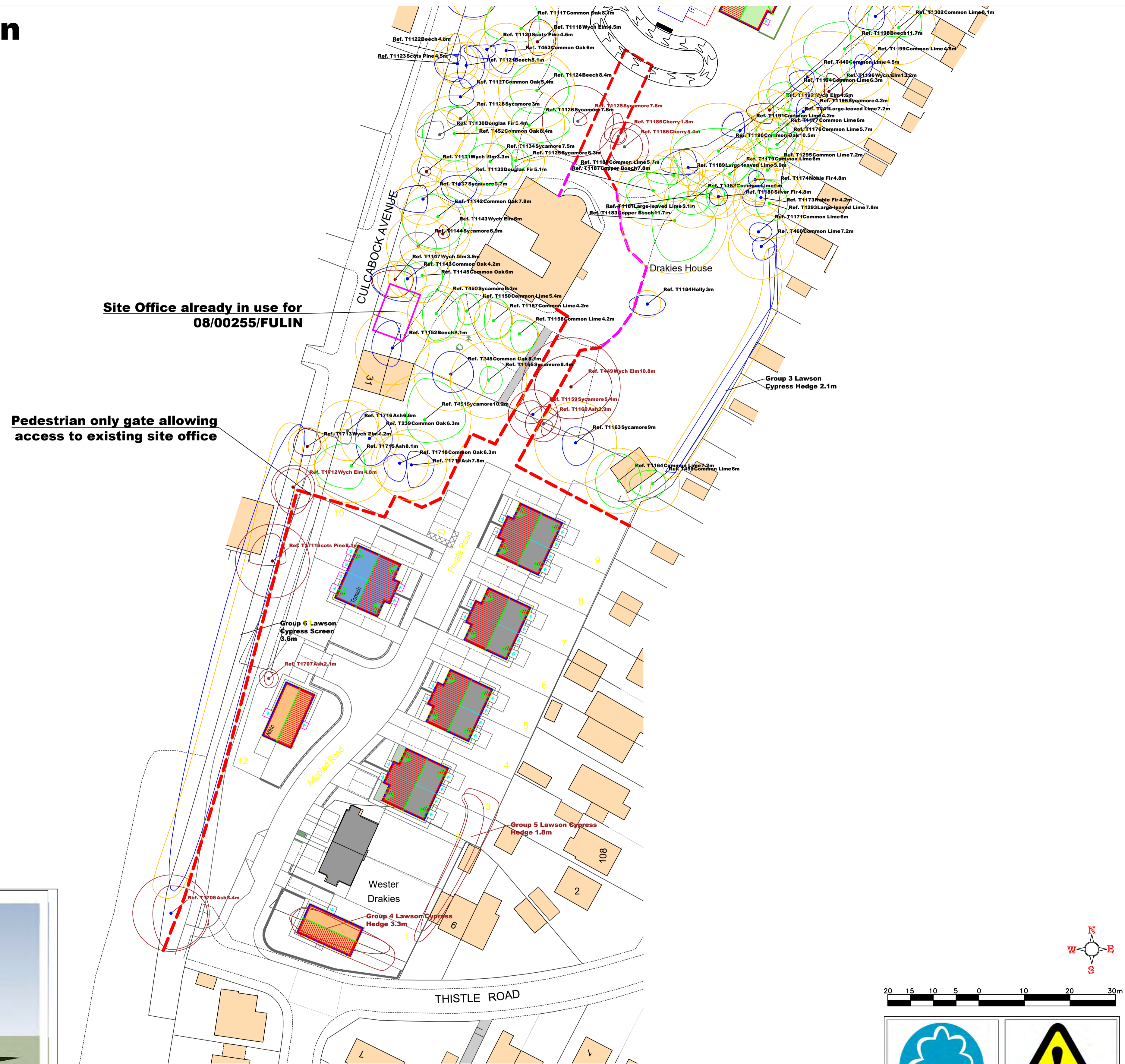


HERAS Fencing with backstays

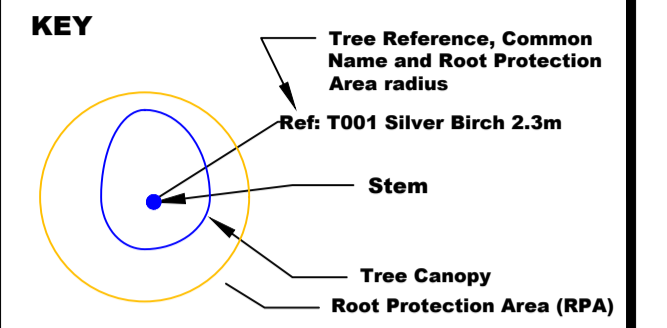


Timber framed Tree Protection Barrier
Vertical posts: 100mm x 100mm
Horizontal and diagonal rails: 87mm x 88mm
Mesh panels: 168x245 bolted to timber frame
Posts driven 600mm in ground

Timber framed Tree Protection Fencing Specification



General Notes

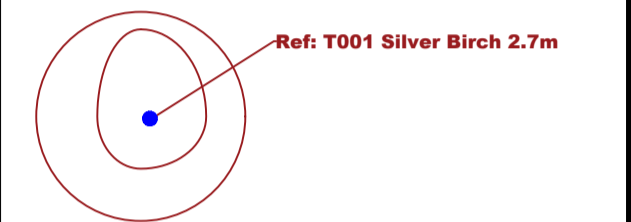


Colours are in accordance with BS5837:2012 quality grading:

- Red: Unsuitable for retention
- Grey: Low quality
- Blue: Moderate quality
- Green: High quality

Root Protection Area (RPA): The minimum area around a tree deemed to contain sufficient roots and rooting volume to maintain the tree's viability, and where the protection of the roots and soil structure is treated as a priority (BS5837:2012)

TREE TO BE REMOVED



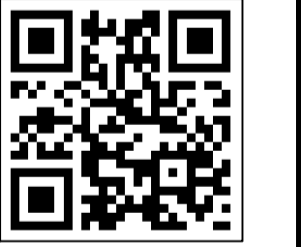
- Timber framed Tree Protection Fencing
- HERAS With backstays Tree Protection Fencing

Tree survey performed by Callum McCutcheon BSc (Hons) M.Arbor.A on 23.05.2022



No.	Revision/Issue	Date

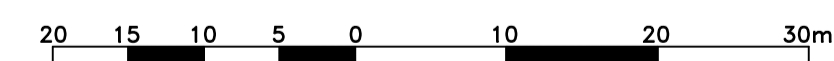
Firm Name and Address
Urban-Arb LLP
Dolphin Cottage
11 The Muir
Bogmoor
Spey By
Fochabers
Moray IV32 7PN
www.urban-arb.com



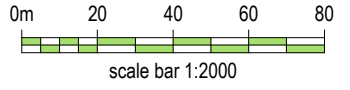
Project Name and Address

**Erection of 12 Houses
Land to Rear of Drakies
House
22/01000/FUL**

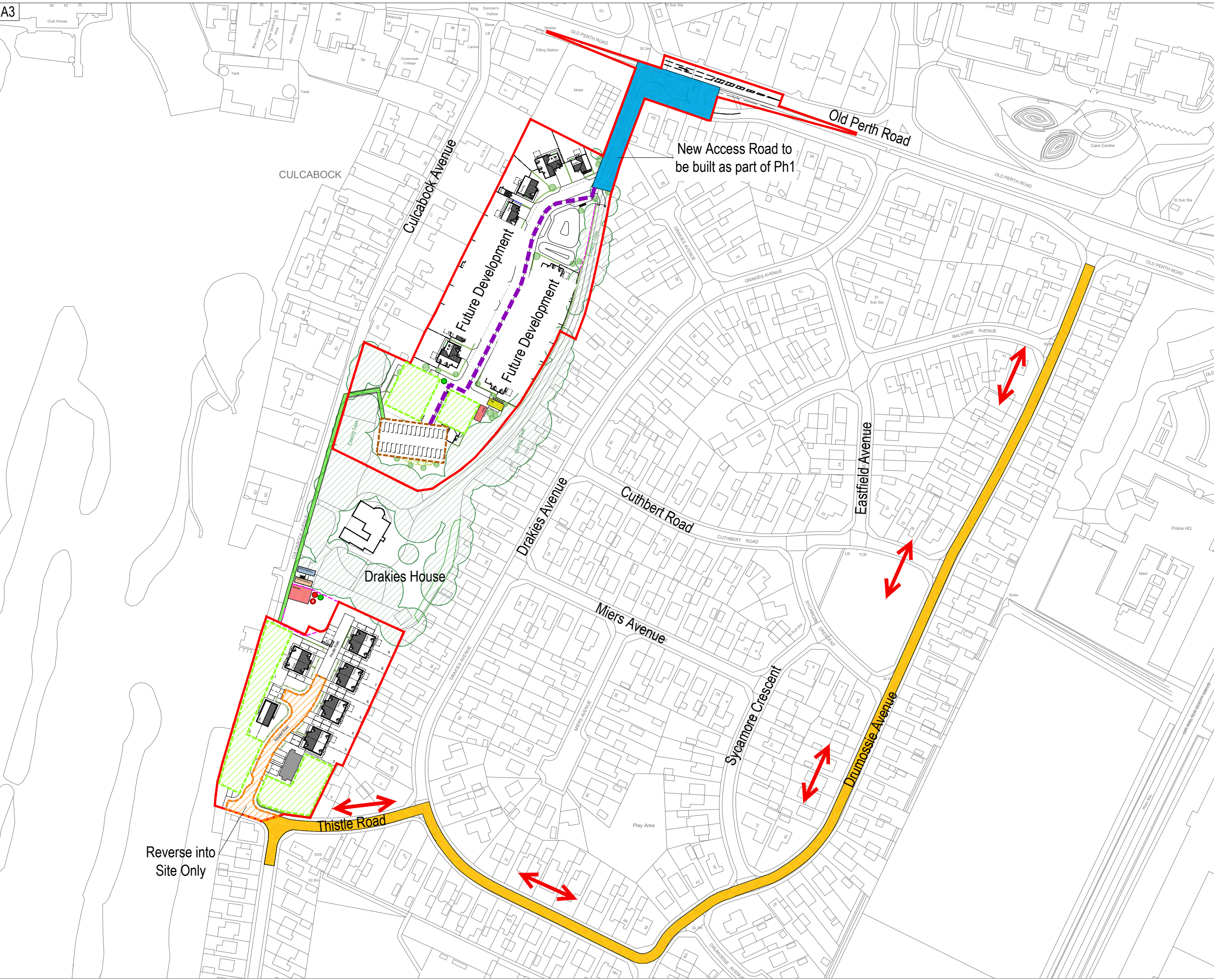
Project	Sheet
TREE PROTECTION PLAN	
Date	002
Scale	1:500@A1



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- Key
- Site Boundary
 - Pedestrian Access
 - New Junction
 - One-Way Vehicular Access
 - Temporary Haul Road
 - Parking - 30 SPACES
 - Site Compound (hoarding fencing)
 - Laydown Area
 - Unload Area
 - Office / Canteen
 - Office / Toilet
 - Store
 - Skip
 - ↔ Site Access
 - Fire Assembly Point
 - First Aid
 - Fire Extinguisher



H	27.07.22	Layout updated	KD	BW
G	30.06.22	Layout updated	BC	BW
F	22.06.22	Laydown Area Extended	BC	BW
E	10.06.22	Access route amended	BC	BW
D	19.05.22	One-way Vehicular access added	BC	BW
C	18.03.22	Layout updated	BC	BW
B	18.01.22	Layout updated as per Site Comments	BC	BW
A	24.11.21	Street Names Added	BC	BW

Rev.	Date	Remarks	By	Ch.
Revisions				

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Project
Drakies
Inverness

Drawing
Site Compound/Traffic Management
Phases 1 & 2

Scale	Date	Drawn by	Checked by
NTS	Nov 2021	BC	BW

Drawing no.	Rev
IN(-)_TMP_01	H

Reverse into Site Only

New Access Road to be built as part of Ph1

CULCABOCK

Drakies House

Reverse into Site Only