

Agenda Item	7.6
Report No	PLS-11-23

HIGHLAND COUNCIL

Committee: South Planning Applications Committee
Date: 08 February 2023
Report Title: 22/03954/FUL: The Highland Council
Northern Meeting Park, Ardross Street, Inverness
Report By: Area Planning Manager – South

Purpose/Executive Summary

Description: Erection of community pavilion and refurbishment of existing grandstand

Ward: 13 – Inverness West

Development category: Local

Reason referred to Committee: Manager discretion; Levelling-up Funding Project

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

- 1.1 The project at the Northern Meeting Park in Inverness is part of The Highland Council's Inverness Zero-carbon cultural regeneration and levelling-up programme, which has established a strategy for the site based on twin priorities of Cultural Regeneration and a Low Carbon Transition, delivering a restoration of the Park's heritage, increased community and cultural use and a de-carbonisation of energy systems. The project involves the refurbishment of the existing historic grandstand-pavilion and the creation of a new events pavilion within the grounds of the park, along with improvements to infrastructure for larger scale events.
- 1.2 This application primarily relates to a new pavilion, as well as the external alterations to the existing historic pavilion; listed building matters relating to the historic pavilion are addressed in more detail within the associated 22/03958/LBC.
- 1.3 The new pavilion is a single-storey modern design, positioned towards the northwest corner of the Park; the design will be low in embodied carbon and have a roof of solar panels. This will provide a large multi-purpose space for community use along with associated administrative functions, toilets (including a larger changing places toilet) and a small non-commercial style kitchen. The multi-purpose space will be available for hire to local community groups and the building will provide back-stage facilities during larger events.
- 1.4 Pre-Application Consultation: no formal pre-app.
- 1.5 Supporting Information: Arboricultural Impact Assessment, Bat Activity Survey, Condition Report, Design and Heritage Statement, Drainage Impact Assessment, Structural Survey Report, Timber Survey.
- 1.6 Variations: the design of the proposed new pavilion was altered, and the proposal for solar panels on the listed grandstand was removed (panels moved to new pavilion instead); amended drawings received 13.12.2022.

2. SITE DESCRIPTION

- 2.1 The Northern Meeting Park is a rhomboid-shaped sports park, surrounded by a high, masonry wall and with a pavilion/grandstand on its northern side, onto Ardross Street. The northern side of Ardross Street is lined by terraces and villas in both commercial and residential use. The eastern side of the site is bounded by St. Andrews Cathedral precinct and a car park, the south by Eden Court's site as well as the Council car park, and the western side by the Council's HQ office precinct. As well as being B-listed (specifically for the pavilion and the boundary stone-wall), the site is within the Inverness Riverside Conservation Area. Notable too is the fact that the site is surrounded by other listed buildings: Cathedral (A-listed); Eden Court/Bishops Palace (A/B-listed); northern part of Council HQ (C-listed) and, every building on the north side of Ardross Street (B/C-listed).
- 2.2 Unfortunately, the pavilion building is currently in a poor state of repair due to lack of maintenance, and community access to both it and the Park, is very limited. Despite its limitations, the Northern Meeting Park is the home of the Northern Counties Cricket Club which has been using the Park as its home ground since 1864. The

grounds are also used by local schools for sports activities and the park is used annually for events such as the Loch Ness Étape, New Year Celebrations and as a venue for popular music and cultural events. On average, around 30,000 people use the site each year.

- 2.3 The Park at one time also had a West Stand, similar in scale to the existing pavilion, with flat roof, which was popular as a vantage point. This was demolished around the 1950's, presumably due to concerns over safety, and was replaced by the small tea building that we see today along with the flat roof toilet extensions to the main pavilion. This pavilion was on a similar site to that proposed and gives some precedent-justification to the erection of a new facility.

3. PLANNING HISTORY

- 3.1 08.02.2023 22/03958/LBC: Refurbishment of grandstand, Pending internal alterations, demolition of toilet block consideration extension and kitchen.

4. PUBLIC PARTICIPATION

- 4.1 Advertised: Unknown Neighbour and Section 65 Affecting Conservation Area

Date Advertised: 30.09.2022

Representation deadline: 21.10.2022

Timeous representations: None

Late representations: None

- 4.2 Material considerations raised are summarised as follows:

a) None

- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

- 5.1 **Ballifeary Community Council:** No response received.

- 5.2 **Historic Environment Team – Archaeology:** The building should be the subject of historic building recording in advance of any development. In addition, a watching brief on the soil strip for the new stand should be maintained to assess the potential for buried remains to survive (this will include foundations and artefacts associated with the former 19th Century stand). Please therefore attach the following condition to any consent issued: [added as Condition 2]. The condition requires that the development area is the subject of historic building recording to ALGAO Scotland Detailed level. Dependent on the results of this work, further study may be required in advance of, and during, construction works to record any identified remains. The survey and watching brief will be backed up by desk-based research to produce a report setting out the results and any required mitigation strategy. The applicant will

need to engage the services of a professional archaeological or building survey specialist.

5.3 **Environmental Health – Contaminated Land Unit:** There are no known potential contaminated land issues within the boundary of the above site, and therefore no comment.

5.4 **Environmental Health:** “We note that the structural and condition reports of the existing grandstand pavilion have identified significant defects and some immediate remedial work is required. It is expected that the structure will not be in use until such time as those works are carried out. As a covered enclosure housing more than 500 spectators, the grandstand requires to be issued with a safety certificate under the Fire Safety and Safety of Places of Sport Act 1987. This requires compliance with a number of conditions. There are some areas where the current grandstand does not comply fully with the model standards such as height of the barriers in the top tier and the height of the step drop at the end of the second row of seating. Due to the age of the building and the sporadic use, the standards for these issues have been relaxed. However, given the extent of the works to be carried out on the structure, it is expected that these matters will be addressed, and any other works undertaken to ensure the stand fully complies with the relevant guidance which is the Guide to Safety at Sports Grounds 6th Edition published by the SGSA. (informative is added).

The venue is used for events such as music concerts and we note that the drawings include a temporary events stage and an events layout area. We would advise that this Service has received occasional complaints in the past about noise from such events. Typically, the number of events has been low enough so as not to be a significant issue although there are concerns where events are put on over consecutive days and weekends. If the intention is to develop use of the site as a venue for more frequent events of this nature, there is potential for further complaints to arise.

Construction noise; (standard informative is added).”

5.5 **SportScotland:** The proposals would not impact on the use of the playing area and therefore sportscotland has no objection.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

- 28 - Sustainable Design
- 29 - Design Quality and Place-making
- 34 - Settlement Development Areas
- 51 - Trees and Development
- 57 - Natural, Built and Cultural Heritage
- 58 - Protected Species
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage
- 67 - Renewable Energy Developments
- 74 - Green Networks
- 75 - Open Space

76 - Playing Fields and Sports Pitches

77 - Public Access

6.2 Inner Moray Firth Local Development Plan 2015

No specific policies apply. However, greenspace is protected from inappropriate development

6.3 Inner Moray Firth Proposed Local Development Plan 2022

8 – Placemaking

6.4 Highland Council Supplementary Planning Policy Guidance

Flood Risk and Drainage Impact Assessment (Jan 2013)

Green Networks (Jan 2013)

Highland Historic Environment Strategy (Jan 2013)

Highland's Statutorily Protected Species (March 2013)

Standards for Archaeological Work (March 2012)

Sustainable Design Guide (Jan 2013)

Trees, Woodlands and Development (Jan 2013)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

Scottish Planning Policy (as amended December 2020)

Revised Draft National Planning Framework 4 (NPF4)

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the Development Plan unless material considerations indicate otherwise.

8.2 Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states that, the Planning Authority must pay special attention to the desirability of preserving or enhancing the character or appearance of the Inverness (Riverside) Conservation Area.

Determining Issues

8.3 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

8.4 The key considerations in this case are:

- a) compliance with the development plan and other planning policy
- b) siting, layout and design

- c) impacts upon the listed building/conservation area
- d) access and parking arrangements
- e) impact on trees, landscaping
- f) drainage

Development plan/other planning policy

- 8.5 The entire site is within the B-listed curtilage of the Northern Meeting Park and lies within the Inverness Riverside Conservation Area. The Park is also surrounded by listed buildings to all four sides, the setting of which also requires heritage consideration. There is a requirement to judge proposals in terms of their impact upon the natural, built and cultural heritage features identified by Policy 57 of the HwLDP. As an application relating to a Category B building Policy 57.1 states that developments are suitable where they can be demonstrated not to have an unacceptable impact on the protected amenity and heritage resource.
- 8.6 The introduction of a new building to this sensitive context, within the city-centre, raises many issues. Policies 28 - Sustainable Design, 29 – Design Quality and Place-making and 34 – Settlement Development Areas, require that proposals demonstrate sensitive siting and high-quality design in-keeping with local character and the historic environment.
- 8.7 Subject to the proposal having no detrimental impact on the built and natural environment in terms of siting, layout and design; access and parking; and impact on trees, the proposal would comply with the Development Plan.

Siting, layout and design

- 8.8 The siting of the proposed pavilion is intended to avoid any visual conflict with the existing listed pavilion, as well as providing ease of access from Ardress Street. The location in the northwest corner was considered to be appropriate for both these issues, as well as leaving the southwest corner free for temporary events staging in the future. The pavilion lies parallel to the western boundary wall, 9m distant from it to avoid the root protection area of the mature trees which are on the other side. The internal layout has a community space and office in its southern half, with a glazed wall over-looking the Park; the northern frontage has toilets and a changing room, with plant and kitchen to the rear. A simple and contemporary design was considered appropriate for this heritage context, with a low-key and modest aesthetic which would sit unobtrusively on the edge of the Park.
- 8.9 The design of the proposed pavilion is a simple low-lying rectangle with a mono-pitch roof sloping into the Park. The building is 22m wide by 12m wide overall, with a 2.5m recess under the frontage canopy with 10 support columns at its outer edge; this feature reflects the existing grandstand. The height of the proposed pavilion is 2.4m to the underside of the canopy, 3.6m to top of gutter and 5.17m to the top of the roof. The roof is primarily covered with photovoltaic panels but the outer edge, and the walls, are clad with a slate-grey metal standing-seam roof sheeting. The solid walls to the frontage and corners will further reference the existing grandstand with perforated metal panels which copy the design of the panels on the grandstand; the colour of these panels, and the support columns, will also reflect the colour scheme

for the refurbished grandstand, with samples and colours to require approval via condition.

Impacts upon the listed building/conservation area

- 8.10 The alterations and refurbishment works to the existing listed pavilion/grandstand are conservation-led, aiming to re-instate the exterior to its former design and refurbish the external fabric. The main alteration is the removal of the flat-roofed toilet-blocks which were added to either end in the 1950s; this will be a significant enhancement to the building, as they are an incongruous eyesore. The roof requires re-slating in a matching Welsh slate, and the wall render (a mix of traditional lime-harl and concrete render) will be repaired and re-painted. Existing windows will be repaired, only replaced if necessary, and two doorways will be re-instated on the Ardross Street elevation. The building will be re-decorated, with a new colour-scheme (subject to conditioned approval) based on an analysis of the existing paintwork, to hopefully revert to the original/a more appropriate aesthetic. The proposals will significantly enhance the character and fabric of the listed building, with resultant enhancements to the conservation area and setting of nearby listed buildings.

Access and parking arrangements

- 8.11 Access and parking to and around the site will remain unchanged; it is neither possible (on heritage grounds) nor desirable to provide parking within the site. The Northern Meeting Park falls within the boundary of the defined City Centre and as such it is not intended to provide any additional car parking spaces beyond what currently exists in the neighbouring streets and car parks. The following issues were pertinent to this decision: the Northern Meeting Park is a 10/15 minute walk from both the principal Bus and Railway Stations; immediately outside the park Ardross Street is currently allocated for coach parking for 30 mins maximum between 10 a.m. and 5 p.m. from 1st April – 31st Oct. Coaches and HGVs are prohibited at all other times; secure cycle facilities will be provided for 12 bikes next to the new pavilion and the roads around the Northern Meeting Park are designated as recommended for cycling by the Inverness Active Travel Map; bus stops are available locally on Tomnahurich Street which is a short 5 minute walk away; pay and display car parking and accessible spaces are available at the nearby Cathedral Car Park and also Eden Court; the Highland Council HQ car park also offers pay and display parking between 4 p.m. – 8 a.m. and all day Saturday and Sunday.

Impact upon trees, landscaping

- 8.12 The existing mature tree lines in and around the Northern Meeting Park are important amenity assets that add significantly to the character of the area. It is noted that three existing trees require to be removed irrespective of the outcome of this planning application due to their poor condition, but that no trees will require to be removed to facilitate this development. Conditions are added to safeguard the existing trees, with fencing required to protect their root protection areas throughout the construction process. An informative is also added to note that any works to existing trees will require specific written permission.

- 8.13 In addition to the new pavilion a new area of hardstanding will be introduced to the west end of the park to prevent damage to the existing grass during larger events when stages etc. are being delivered and erected. These will be formed in grasscrete or similar to blend in with the park. This will not affect the existing cricket pitch. Pedestrian access will be improved to the east end of the existing pavilion with a new path running from the existing gate to the new pavilion past the front of the historic grandstand. The drainage to the existing grassed areas will be improved to allow all year use. The proposed works will have no impact on the existing trees.

Drainage

- 8.14 The proposed surface water network has been designed to discharge to a soakaway within the site boundary. The soakaway has been designed to accommodate flows from the 1 in 200 year + 30% climate change (CC) storm event. The proposed foul network is to discharge into the existing foul sewer located within Ardross Street adjacent to the proposed development. The Drainage Impact Assessment (DIA) demonstrates that the proposed storm and foul drainage strategy for the site has been designed in accordance with current standards. This report demonstrates that the proposed storm drainage system will have sufficient capacity to accommodate the 1 in 200 year + 30% CC scenario with no flooding. This report demonstrates that the proposed soakaway will provide the required levels of treatment in accordance with the CIRIA C753 SUDS Manual.

Other material considerations

- 8.15 The impact upon surrounding residential amenity from the construction/refurbishment works are unlikely to be overly problematic, as they are largely contained within the Park site and neither element is particularly extensive. The standard informative for hours-of-working is added to contain these within the normal Monday-Friday period and Saturday morning. Environmental Health have raised the issue of future nuisance-complaints (particularly noise and parking) related to events within the Park, especially if these become more frequent as a result of this proposal. This is not an issue that can be addressed directly by this application, but will be assessed by future event-licensing and parking information/enforcement.

Non-material considerations

- 8.16 No non-material considerations have been raised in connection with the proposals.

Matters to be secured by Legal Agreement / Upfront Payment

- 8.17 None

9. CONCLUSION

- 9.1 Planning permission is sought for the refurbishment and alteration of the existing listed pavilion/grandstand, as well as the erection of a new single-storey pavilion in the northwest corner of the site. The design of both elements has been amended and improved through the course of the application, resulting in proposals which are both sensitive and responsive to their important heritage context. The Inverness City Centre Development Brief identifies the Park as a key opportunity to provide access

to an important greenspace and also an important heritage asset with potential for improved branding as a visitor attraction. The brief recommends enabling wider access to the Northern Meeting Park for sporting, leisure and recreational activity.

- 9.2 The modest new pavilion will enable the public to access the Park more freely than is currently the case for leisure and recreational use and the refurbishment of the existing grandstand will ensure its future as a tourist attraction and also provide facilities for sporting use through the changing rooms. No major alterations or extensions are proposed to the existing grandstand and the removal of the flat-roofed toilet blocks and reinstatement of doors to Ardross Street will return the building to its former state almost completely unaltered externally from its construction in 1864.
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued	N
Notification to Scottish Ministers	N
Conclusion of Section 75 Obligation	N
Revocation of previous permission	N

Subject to the above actions, it is recommended to **GRANT** the application subject to the following conditions and reasons:

1. In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

Reason: In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

2. No development or work (including site clearance) shall commence until a programme of work for the survey, evaluation, preservation and recording of any archaeological and historic features affected by the proposed development/work, including a timetable for investigation, has been submitted to, and approved in writing by, the Planning Authority. The approved programme shall be implemented in accordance with the agreed timetable for investigation.

Reason: In order to protect the archaeological and historic interest of the site.

3. Prior to any site excavation or groundworks, all retained trees shall be protected against construction damage using protective barriers located as per the Tree Protection Plan (in accordance with BS 5837:2012 Trees in Relation to Design, Demolition and Construction). Barriers shall be fixed to the ground; they shall remain in place throughout the construction period and they shall not be moved or removed without the prior written approval of the Planning Authority.

Reason: To ensure the protection of retained trees throughout the construction period.

4. A suitably qualified arboricultural consultant shall be employed by the applicant to ensure that the approved Tree Protection Plans and Arboricultural Method Statement are (AMS) implemented to the agreed standard. Stages requiring supervision are set out in the AMS and certificates of compliance for each stage are to be submitted to, and approved in writing by, the Planning Authority. Following approval, all works shall proceed in accordance with the approved details.

Reason: To ensure the protection of retained trees throughout the construction period.

5. Details of all proposed access, paths, hardstanding and grasscrete (along with a detailed site-plan) shall be submitted to, and approved in writing by, the Planning Authority prior to the commencement of such development. Thereafter, work shall progress in accordance with these approved details. For the avoidance of doubt, no parking will be permitted within the Park, unless for vehicles directly related to the functioning of events. Note that all surfacing shall be permeable to reduce water-run-off.

Reason: To ensure that a high standard of landscaping is achieved, appropriate to the context and character of the site.

6. Details of waste-bin storage and cycle-parking shall be submitted to, and approved in writing by, the Planning Authority prior to the commencement of such development. Thereafter, work shall progress in accordance with these approved details.

Reason: To ensure that adequate facilities are provided within the site.

7. Samples and details of the proposed wall-cladding, perforated panels and colour scheme (the latter for both pavilions) shall be submitted to, and approved in writing by, the Planning Authority prior to the commencement of such development. Thereafter, work shall progress in accordance with these approved details.

Reason: To ensure that the development is sensitive to, and compatible with, its context and local architectural styles/character.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Grandstand Safety Certificate

As a covered enclosure housing more than 500 spectators, the existing grandstand requires to be issued with a safety certificate under the Fire Safety and Safety of Places of Sport Act 1987. This requires upgrading works for compliance with a number of conditions to ensure the stand fully complies with the relevant guidance which is the Guide to Safety at Sports Grounds 6th Edition published by the SGSA.

Tree Works

Any proposed removal of trees, or works to trees within or around the site, shall require a specific application and written permission from the Planning Authority.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Soakaways

All surface-water drainage shall be discharged into soakaways as detailed within the submitted Drainage Impact Assessment, and contained within the site. All surface water drainage provision within the application site shall accord with the principles of Sustainable Urban Drainage Systems (SUDS) and be designed to the standards outlined in Sewers for Scotland Fourth Edition (or any superseding guidance prevailing at the time).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public

road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

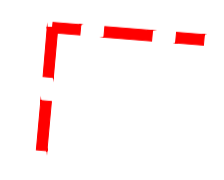
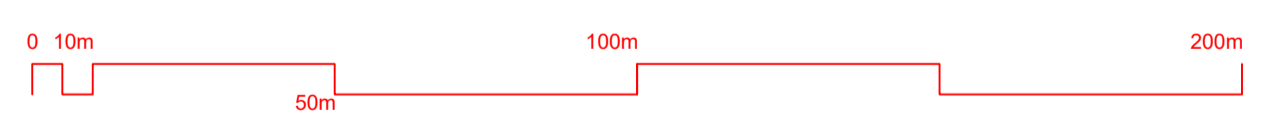
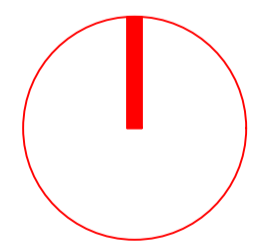
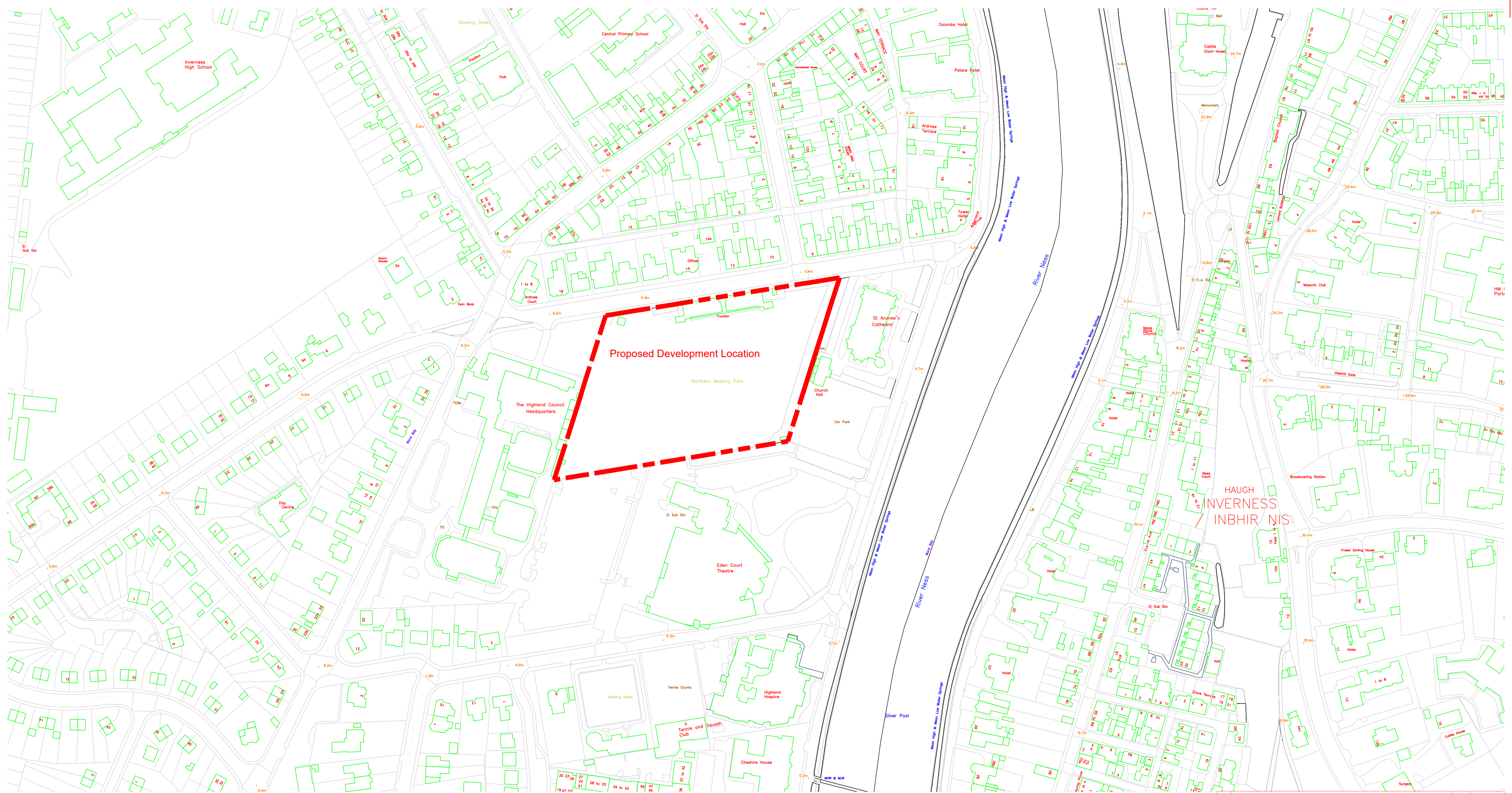
You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature: David Mudie
Designation: Area Planning Manager – South
Author: Norman Brockie
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 THC-ZZ-XX-DR-A PM-40-50-63 0001 LOCATION PLAN
Plan 2 THC-ZZ-XX-DR-A-PM-40-50-63 0003 REV B PROPOSED SITE LAYOUT PLAN
Plan 3 THC-ZZ-XX-DR-A-PM-40-50-63 0005 REV A GRANDSTAND - PROPOSED ELEVATIONS

- Plan 4 THC-ZZ-XX-DR-A- PM-40-50-63 0006 GRANDSTAND - PROPOSED FLOOR PLANS
- Plan 5 THC-ZZ-XX-DR-A- PM-40-50-63 0007 REV B PAVILION - FLOOR & ROOF PLAN
- Plan 6 THC-ZZ-XX-DR-A PM-40-50-63 0008 REV B PAVILLION - ELEVATIONS
- Plan 7 THC-ZZ-XX-DRE-A-FL-60-80-0009 REV B GENERAL PLAN - PERSPECTIVE ELEVATIONS/SE
- Plan 8 THC-ZZ-XX-DR-A PM-40-50-63 0011 REV A GENERAL PLAN - BUILDING DIAGRAM
- Plan 9 THC-ZZ-XX-DR-A-PM-40-50-63-6000 REV B VISUAL INFORMATION - VISUALISATION 1
- Plan 10 THC-ZZ-XX-DR-A-PM-40-50-63-6001 REV B VISUAL INFORMATION - VISUALISATION 2
- Plan 11 1244-TPP-1 TREE PROTECTION PLAN 1
- Plan 12 1244-TPP-2 TREE PROTECTION PLAN 2

Appendix 1 – Letters of Representation

None



Indicative site for development

Rev.	Description	By	Date

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HOUSING AND PROPERTY SERVICE

CLIENT	SCALE
PROJECT Northern Meeting Park	1:1250
CONTACT Colin Henderson	DATE 26.8.22
DRAWING TITLE Location Plan	DRAWN BY AD
PURPOSE OF ISSUE planning	CHECKED BY CH
	PAPER SIZE A1

PROJECT NUMBER	ORIGINATOR	VOLUME OR SYSTEM	LEVELS AND LOCATIONS	TYPE	ROLE	CLASSIFICATION	NUMBER	REV
DI22026	- THC -	ZZ	- XX	- DR	- A	PM_40_50_63	0001	-

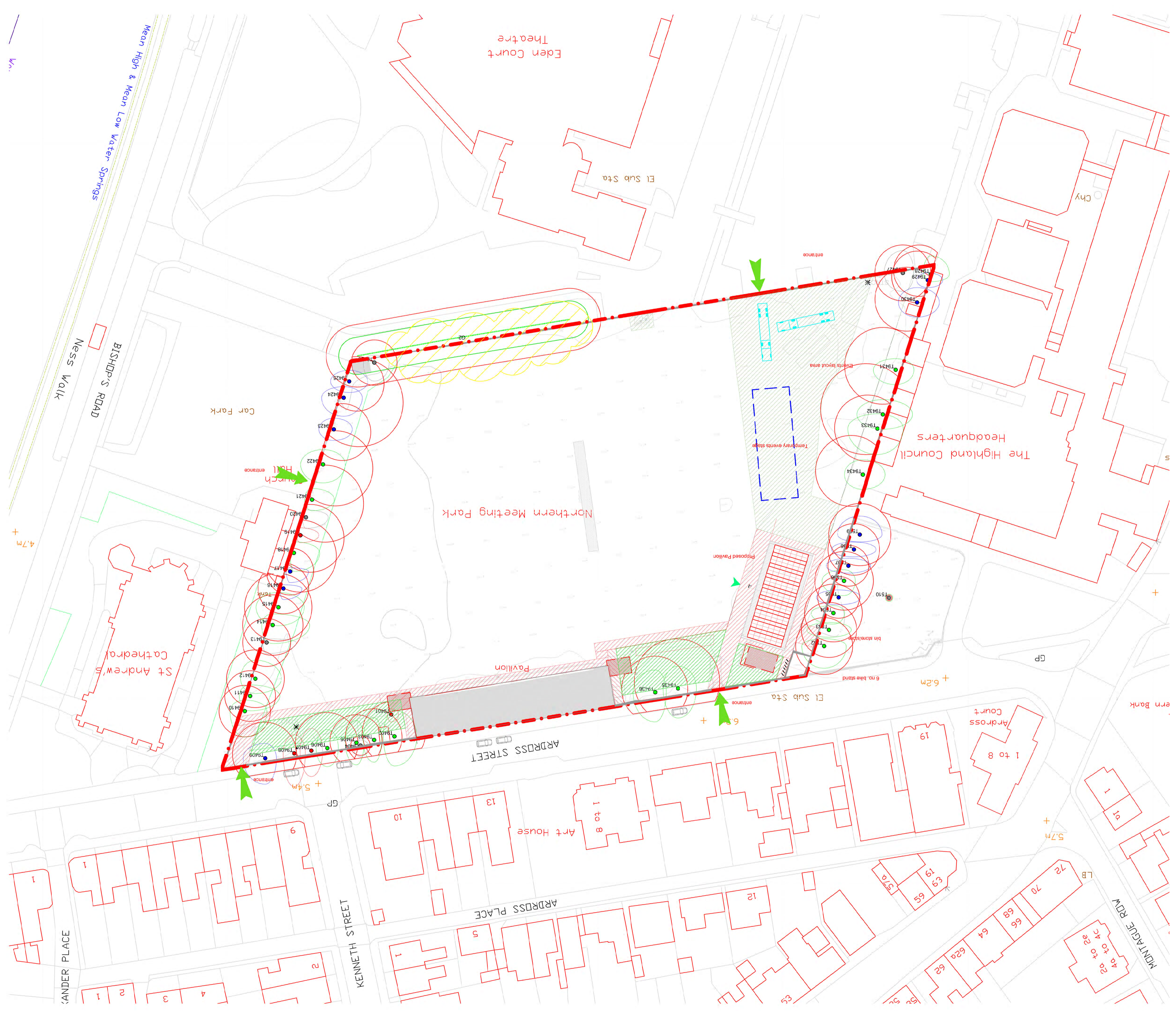
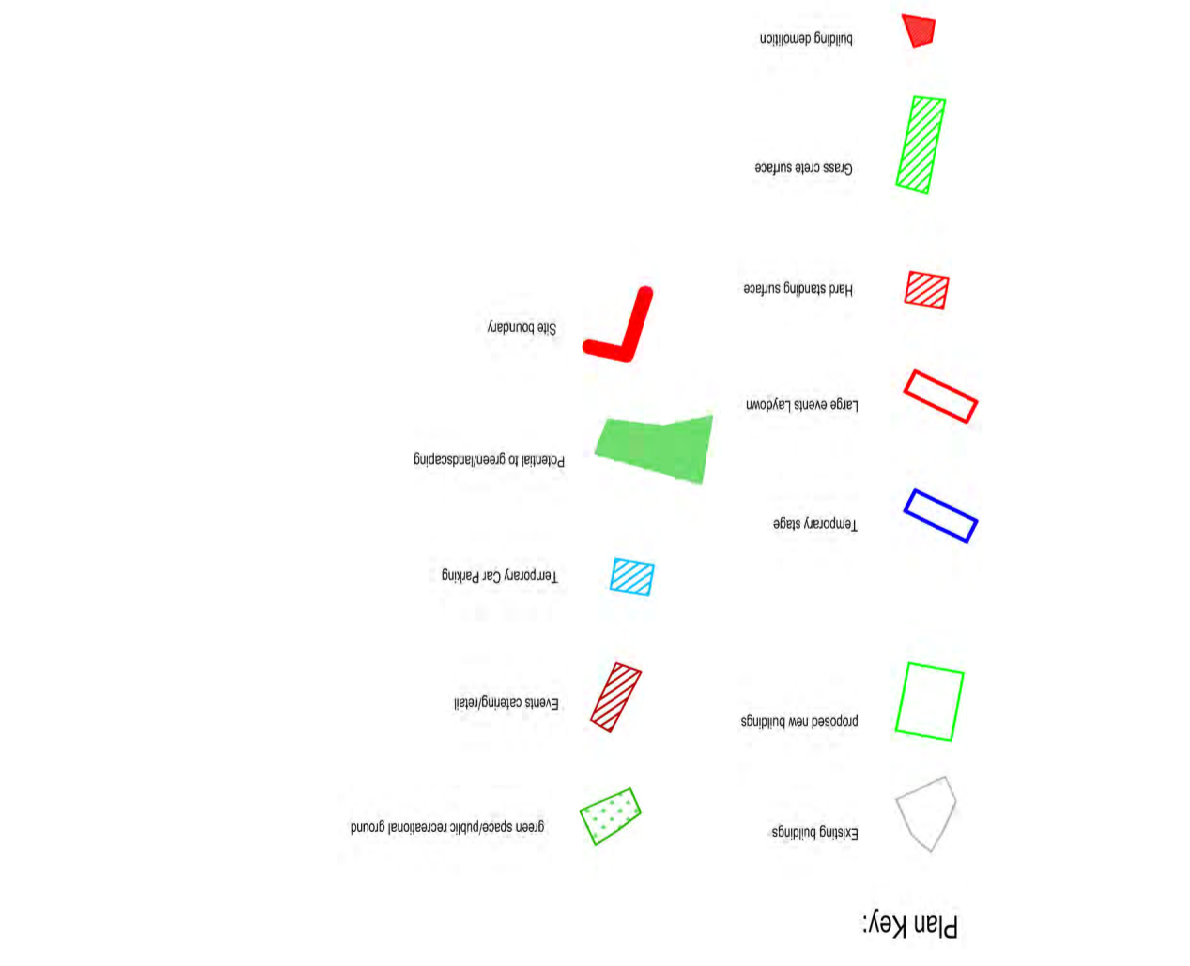
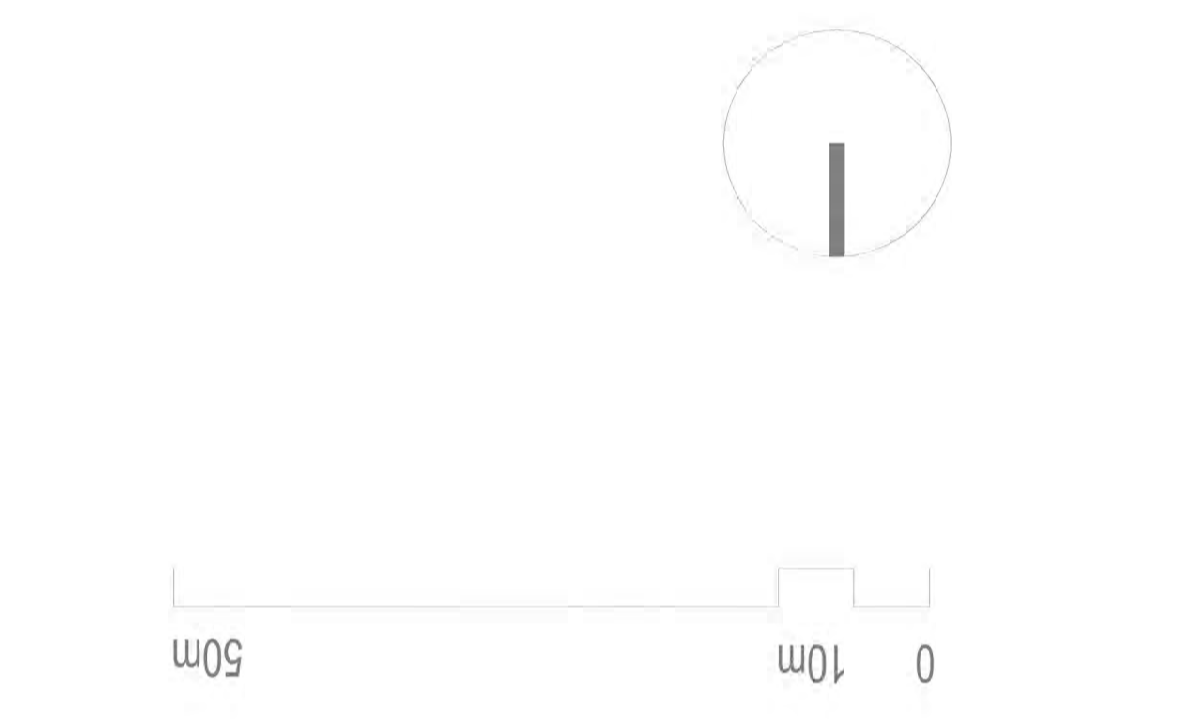
PROJECT	Northern Meeting Park
DATE	26.08.22
DESIGNER	AD
CHECKED BY	CH
PROJECT ORIGINATOR	Planning
SCALE	1:1250

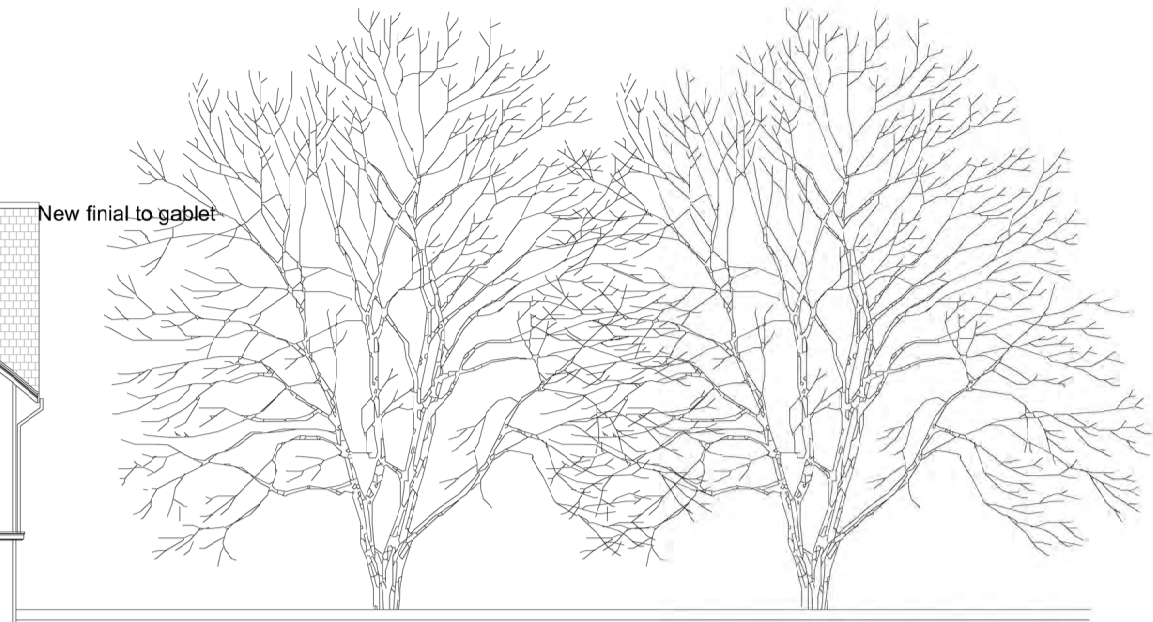
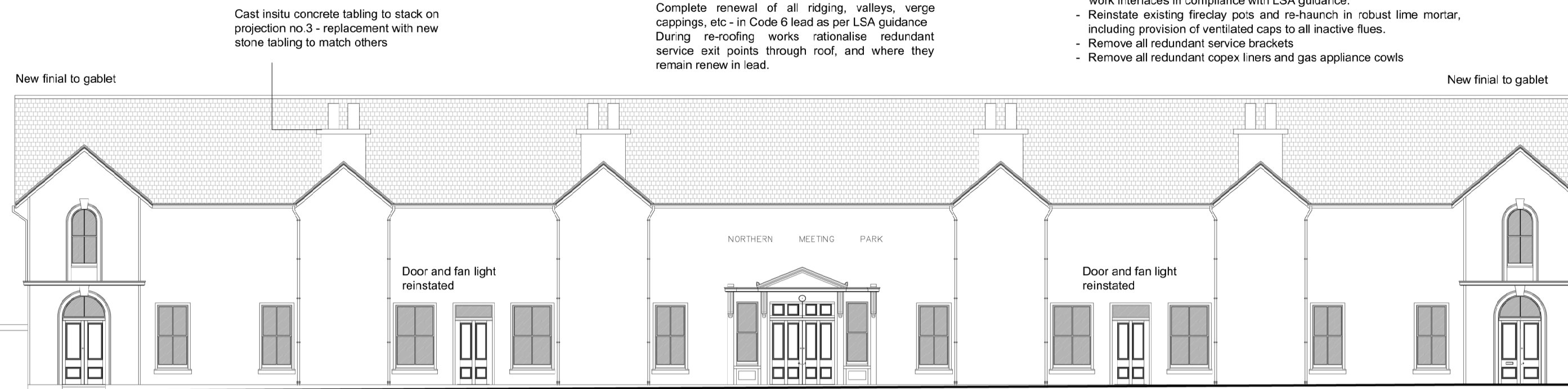
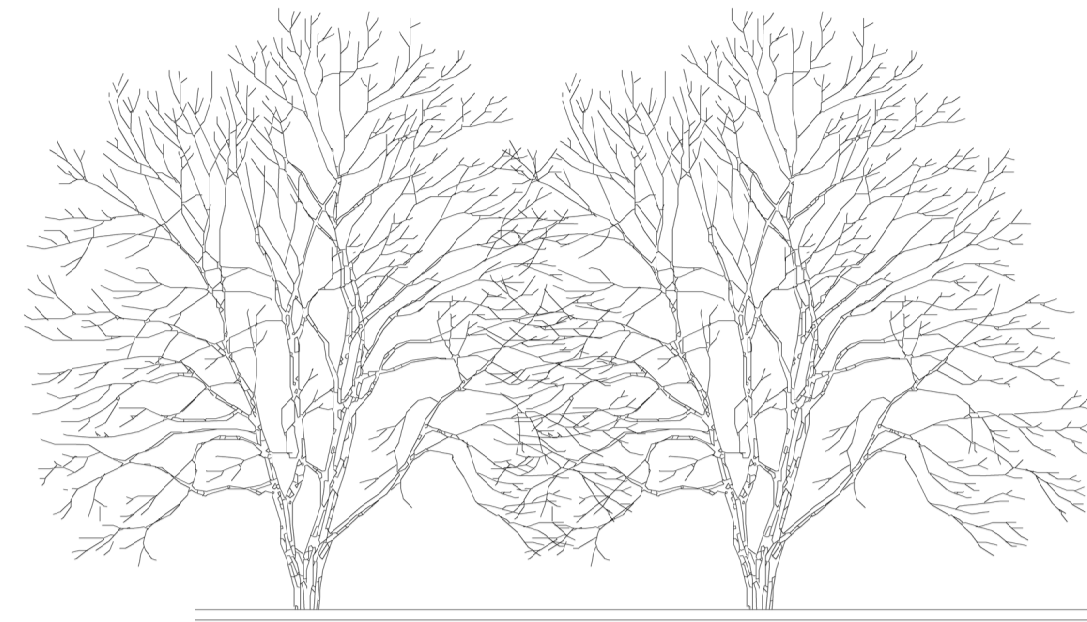


Development and Infrastructure Service

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REV	DESCRIPTION	BY	DATE





North Elevation 1:150

Roofing Works
As the roof currently stands there are several active water ingress issues that are causing fabric to deteriorate. Slipped or cracked slates, and defective valley and ridge flashings being the main contributor.

Full re-slating of the roof will be carried out in regular coursed matched Welsh slate with a breathable membrane to include the renewal of all valley flashings, ridges, and verge cappings - incorporating improved lead detailing where design weaknesses are highlighted. Alongside these, allowances should be made for a sizeable replacement of timber sarking, seen to be decayed and compromised in several places. Also isolated timber valley rafter repairs once exposed fully.

The exposed sarking, ties and rafters in the attic space should be treated for woodboring insects.

Consideration should be given to the reintroduction of finials to gablet and main gable apexes, and the consolidation of loose and open jointed masonry in the attic space.

Consideration should be given to the security of existing L&P finishes and whether these need repair or replacement, subject to understanding the full extent of adjacent dry rot outbreak.

As part of the re-roofing works undertake localised repairs to rotten eaves, verge and soffit boarding in marine plywood timber allowing for the repair of underlying framing timbers also affected - followed by comprehensive redecoration.

Cast insitu concrete tabling to stack on projection no 3 - replacement with new stone tabling to match others

Complete renewal of all ridging, valleys, verge cappings, etc - in Code 6 lead as per LSA guidance. During re-roofing works rationalise redundant service exit points through roof, and where they remain renew in lead.

North Elevation
Monitor cracked dressed sandstone lintel over main doorway and consider pinning with phosphor bronze rods to abate further movement.

Renew corroding flue access boxes on North Elevation - prior decoration as required

Kitchen waste pipe to be removed and sealed.

Remove extractor fan from principal window glazing

Remove vegetation growing between building masonry and pavement surfaces - consider filling resultant holes

Address cracking of harling on line of flues as part of overall harl repair strategy - consider flue camera surveys to determine condition of these flue stones

Pavement levels have risen since the building was constructed - this has resulted in some of the solum vents being obscured, whilst these higher ground levels have encouraged joint end decay inside the building - The ability to improve solum ventilation should be considered, but in the absence of through ventilation, air movement will always prove problematic - therefore the installation of a solid floor in these ground floor rooms should be considered

Renew tile floor coverings and threshold to base of west doors on North Elevation - ensuring weathertightness.

Repair of chimney masonry to include:

- Removal of all coloured mortar repairs to stonework
- Cut out cement mortar from masonry joints
- Undertake stone indent repairs where stones have eroded unserviceably or are damaged.
- Repoint all masonry with a robust lime mortar mix, including all tabling.
- Renew abutment flashings in Code 6 lead two-piece flashings at slate work interfaces in compliance with LSA guidance.
- Reinstall existing fireclay pots and re-haunch in robust lime mortar, including provision of ventilated caps to all inactive flues.
- Remove all redundant service brackets
- Remove all redundant copex liners and gas appliance cowls

External Doors & Windows
A detailed appraisal of window and door joinery should be undertaken to produce a schedule of repairs and replacements. It is likely that a few units will require replacement, however most units could be repaired with adequate skills.

All windows will require to be fully reserved, draft sealed and have targeted sill, sash and style repairs - there will come a practical tipping point when window renewal is required, and if so, this should be undertaken on a like for like basis.

External doors will require substantive repairs to frames, thresholds, weather-bars, ironmongery, and linings.

Full redecoration will be required after repairs are completed - in an appropriate traditional shade of oil-based paint system - based on historic scheme evidenced from paint scrapes / profiling

Re-instatement of south elevation pavilion and doors sets should be considered - in terms of weather protection and aesthetics.

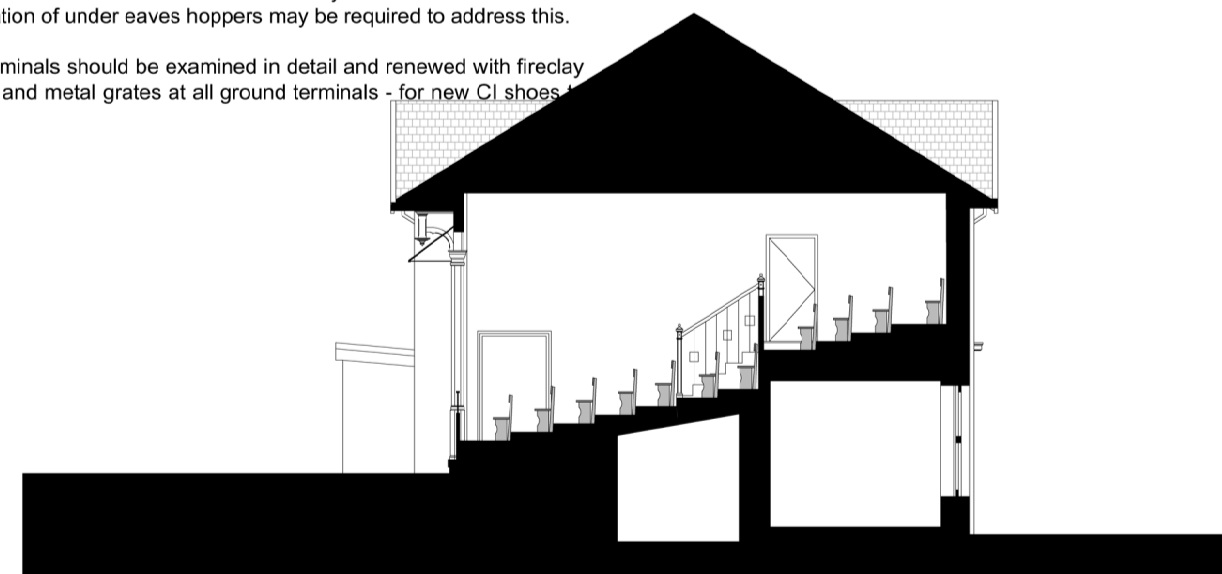
Isolated repairs to panelling at main entrance doors and to linings inside south elevation pavilion door openings

South Elevation 1:150

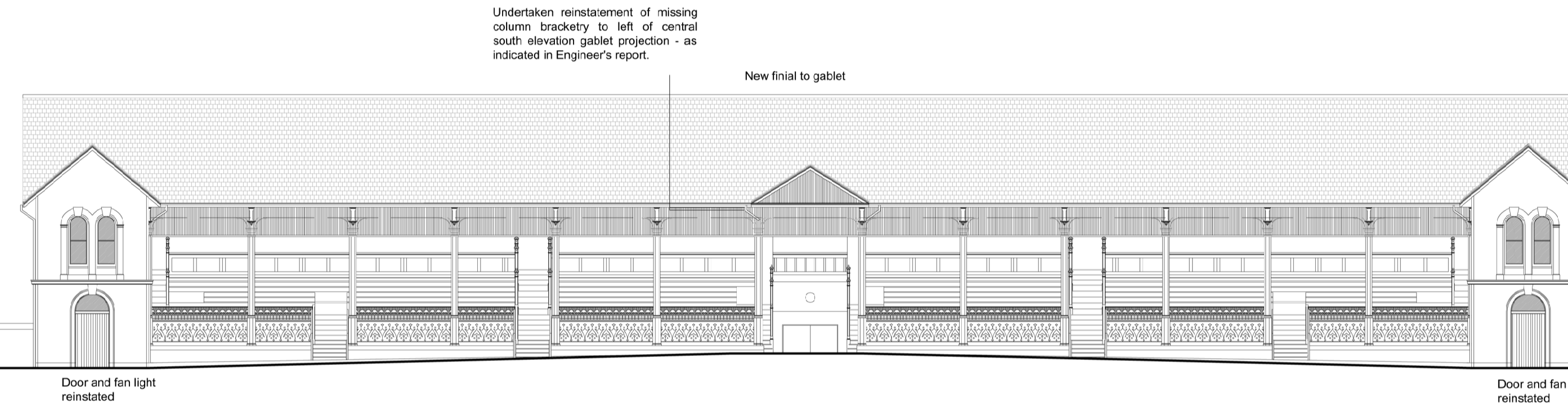
Rainwater Goods
As part of re-roofing works the rainwater goods need a comprehensive reserving / substantive renewal and full redecoration - this needs to include new under-slate rafter brackets to correct falls, the extension of short rones to catch gablet projection valley water, the resizing of downpipes to capacities suitable for roof areas above, sealing and supporting of joints flying from eaves and verge projections. Any new installation should consider the renewal of downpipe hoddists with standing brackets to allow easier removal for cleaning, and the installation of stices at the base of downpipes leading to renewed gully heads and traps.

Redesign of the north west and north east valley and catchments will be required, as the failure of this detail is answerable for several major fabric defects within the building - the installation of under eaves hoppers may be required to address this.

Ground drainage terminals should be examined in detail and renewed with freely trapped gully heads and metal grates at all ground terminals - for new CI shoes lead into.



Typical Section through Stand 1:150



South Elevation
Reinstate missing column bracket - relating to sag in left side of centre gablet projection roof - south elevation

Undertaken localised timber repairs to decaying timber column bracketry on south elevation

Redecoration of all external woodwork, beam enclosures, columns, and metalwork

Reinstatement of south elevation pavilion storm doors and fan lights over

Screen roof structure should be inspected closely for excessive corrosion - treated and repaired as necessary - prior to renewal of decayed timber weather boarding

Targeted repairs are required to ensure the balustrade fretwork, newel posts and handrail are first made secure - furthermore detailed timber repair, straightening and refixing will be required if it is desired to retain these to a completely straight arrangement.

Air bricks to balustrade wall should be maintained and kept free of vegetation

Renewal of timber decking access steps - as part of accessibility improvements - aiming for materials with greater longevity and amenity

Harled wall surfaces - generally
There is a need for substantive harling repairs around the building due to failures and boss materials. There have also been several harl repairs undertaken previously in hard cements and contrasting finishes. The original lime harl coatings do remain in most places but they have been over painted with modern masonry paints on numerous occasions. On this basis the coatings have largely no breathability, and masonry saturated by other higher-level roof failures, has nowhere to evacuate moisture too - as a result we see accelerating timber decay within the building. The combination of compromised masonry breathability, the patchy and failed nature of the coatings, and the poor presentation of modern paint coatings begs the question should these be renewed - ideally yes - but the cost of doing so in a hot mixed lime harl and linewash finish would be substantive. This could be considered desirable, if funding allowed. If so, consideration must be given to the resilience of lime finishes directly next to the hard tarmac pavement on Ardross Street and the effects of salts and splash.

Dressed sandstone detailing - generally
Any repair or development project must consider the need to repair and represent these key features of the architecture of the building. The obscuring of the stonework with modern paint systems has over time caused some erosion and damage - and this should be removed, if that proves possible. DOFF steam paint removal systems or similar should be trialled to establish the ability to successfully remove the paint. The impact damage, broken and missing stone dressed sections should be considered for repairs - either by stone indenting in closely matched sandstone, or by St One coloured lime repair mortars. Admittedly these are desirable elements, but the condition of these features and the effect on overall presentation is considerable.

Otherwise, all ashlar / dressed masonry should be repointed in a suitably fine lime mortar as part of any larger stone restoration and repair initiative

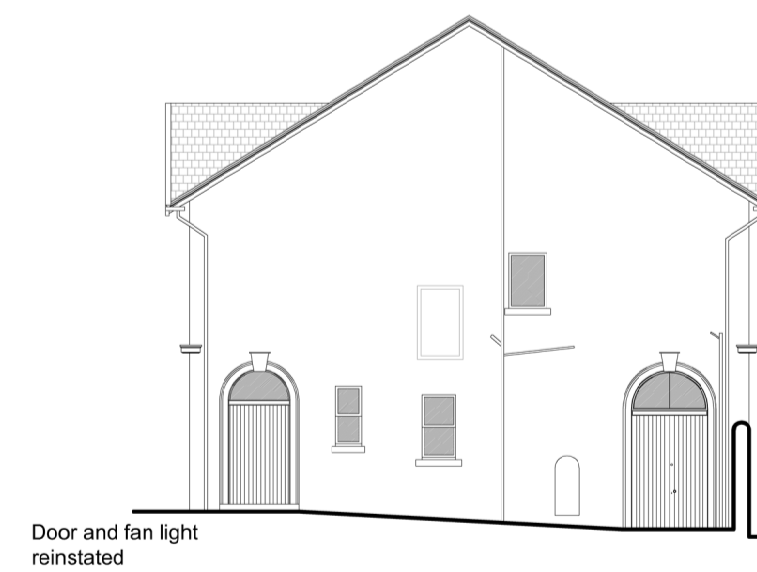
West/East Elevation
Glass to boarded windows to be reinstated - consider toughened frosted glass - improvements to extraction and cold-water feed pipework to allow removal from glazed areas.

Confirm purpose of surface mounted cabling and re-route

Isolated lime pointing and harling repairs required if larger wall repair package does not proceed

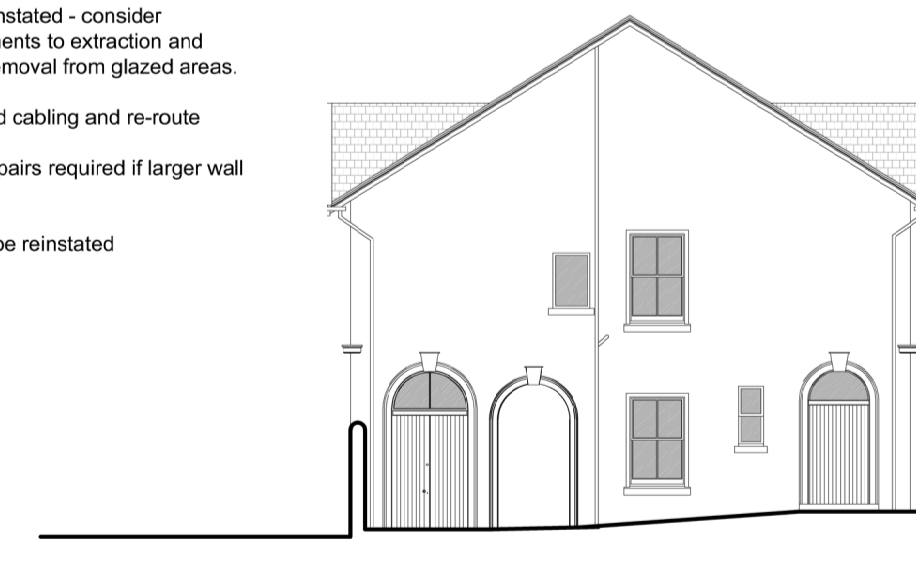
Storm porch doors and fanlights to be reinstated

East Elevation 1:150



East Elevation
Glass to be reinstated to boarded windows with toughened frosted glass.

West Elevation 1:150



Door and fan light reinstated

Rev.	Description	By	Date
4	PIV removed from Stand 1001	AMB	12.12.22

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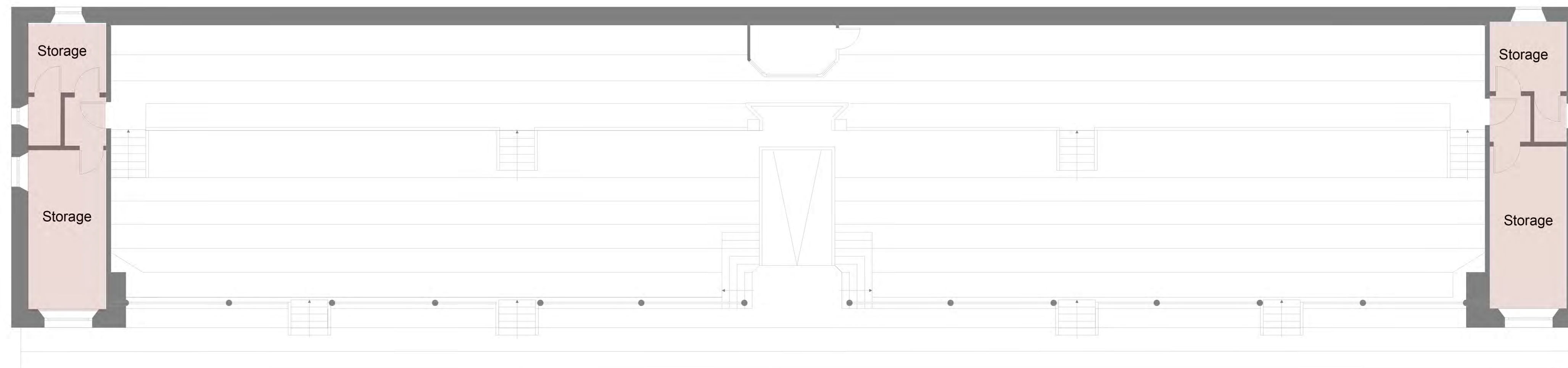
DEVELOPMENT AND INFRASTRUCTURE SERVICE

CLIENT	SCALE
PROJECT	1:150
CONTACT	DATE
Colin Henderson	26.08.22
DRAWING TITLE	DRAWN BY
NMP Proposed stand elevations and sections	AD
PURPOSE OF ISSUE	CHECKED BY
Planning	CH
	PAPER SIZE
	A1

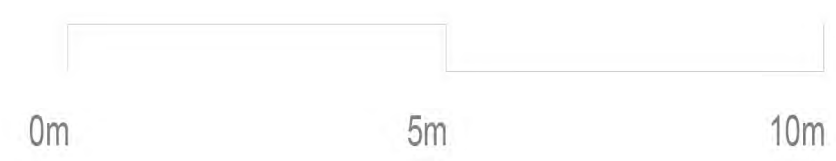
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D122026	- THC -	ZZ -	XX -	DR -	A	PM_40_50_63	0005 -	A



Proposed Stand GF floor plan



Proposed Stand FF floor plan



Rev.	Description	By	Date
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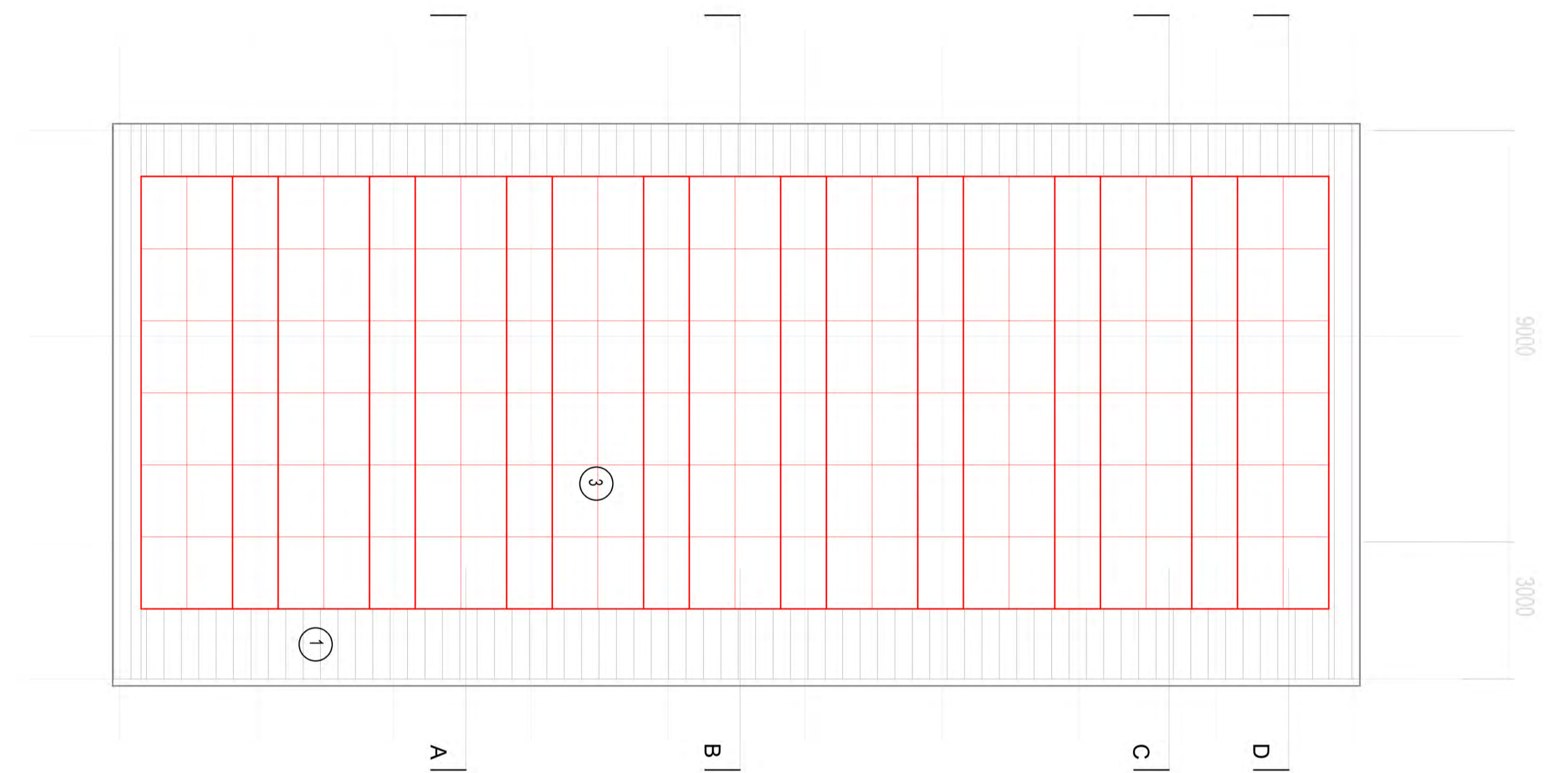
DEVELOPMENT AND INFRASTRUCTURE SERVICE

CLIENT	SCALE
PROJECT	1:100
CONTACT	DATE
Northern Meeting Park	26.03.22
DRAWN BY	CHECKED BY
AD	CH
DRAWING TITLE	PAPER SIZE
Proposed NMP stand floor plan	A1
PURPOSE OF ISSUE	
Planning	

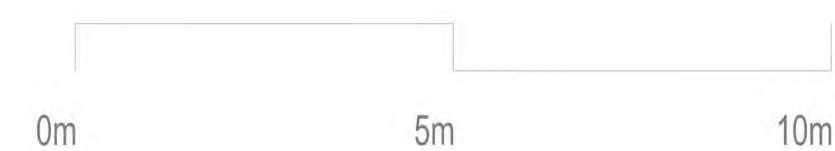
PROJECT NUMBER	ORIGINATOR	VOLUME OR SYSTEM	LEVELS AND LOCATIONS	TYPE	ROLE	CLASSIFICATION	NUMBER	REV.
D122026	- THC -	ZZ	- XX	- DR	- A	PM_40_50_63	0006	-



Proposed Pavilion Ground floor plan 1:100



Proposed Pavilion Roof plan 1:100



Material key:

- ① Metal standing seam Matt slate grey colour
- ② Columns to match paintwork in original Stand. Colour to be confirmed following results of paint analysis of existing stand
- ③ Photovoltaic panels. colour to match roof covering
- ④ Windows/doors Aluminium clad timber colour RAL 7035
- ⑤ Metal panel with perforations to reflect emblem/decoration within existing stand. Colour to be confirmed following results of paint analysis of existing stand. To be applied to back wall and soffit overhang
- ⑥ Louvered screens colour to be confirmed following results of paint analysis of existing stand

Rev	Description	By	Date
B	Roof reimagined and PV area increased		
A	Overall building footprint reorganised and increased in length by 1 bay. No overall area increase		

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DEVELOPMENT AND INFRASTRUCTURE SERVICE

CLIENT	SCALE
PROJECT	1:100
CONTACT	DATE
Colin Henderson	26.8.22
DRAWING TITLE	DRAWN BY
Proposed New Pavilion floor/roof plan	AD
PURPOSE OF ISSUE	CHECKED BY
Planning	CH
	PAPER SIZE
	A1

PROJECT NUMBER	ORIGINATOR	VOLUME OR SYSTEM	LEVELS AND LOCATIONS	TYPE	ROLE	CLASSIFICATION	NUMBER	REV
DI22026	- THC - ZZ	- XX	- DR - A	PM_40_50_63	0007	- B		