

Agenda Item	7.7
Report No	PLS-12-23

HIGHLAND COUNCIL

Committee: South Planning Applications Committee
Date: 08 February 2023
Report Title: 22/03958/LBC: The Highland Council
Northern Meeting Park, Ardross Street, Inverness.
Report By: Area Planning Manager South

Purpose/Executive Summary

Description: Refurbishment of grandstand, internal alterations, demolition of toilet block extension and kitchen.

Ward: 13 – Inverness West

Development category: Local

Reason referred to Committee: Manager discretion; Levelling-up Funding Project

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

- 1.1 The project at the Northern Meeting Park is part of Highland Council's Inverness Zero-carbon cultural regeneration and levelling-up programme, which has established a strategy for the site based on twin priorities of Cultural Regeneration and a Low Carbon Transition, delivering a restoration of the Park's heritage, increased community and cultural use and a de-carbonisation of energy systems. The project involves the refurbishment of the existing historic grandstand-pavilion and the creation of a new events pavilion within the grounds of the park, along with improvements to infrastructure for larger scale events.
- 1.2 This application is looking exclusively at the alterations to and refurbishment of the existing B-listed pavilion; the proposed new-build pavilion is assessed under the associated 22/03954/FUL application.
- 1.3 The principal alterations to the historic pavilion relate mainly to later additions, such as the removal of the flat-roofed toilet-blocks which were added at either end in the 1950s. Two doorways are also reinstated on the Ardross Street frontage, and internal alterations to (later) partitions allow the creation of new toilets and enhanced storage areas.
- 1.4 The refurbishment works to the pavilion are extensive, including: repairs to fabric, re-slating of the roof; repairs to wall-render; new rainwater goods; restoration of windows and doors (replaced to match if necessary); repairs to grandstand structure, seating and timberwork; repainting (with new colour-scheme).
- 1.5 Pre-Application Consultation: no formal pre-app.
- 1.6 Supporting Information: Bat Activity Survey, Condition Report, Design and Heritage Statement, Structural Survey Report, Timber Survey.
- 1.7 Variations: the installation of photovoltaic roof-panels was removed from the proposal, amended drawings received 13.12.2022.

2. SITE DESCRIPTION

- 2.1 The Northern Meeting Park is a rhomboid-shaped sports park, surrounded by a high masonry wall and with a pavilion/stand on its northern side, onto Ardross Street. The eastern side is bounded by St. Andrews Cathedral precinct, the south by Eden Court's site as well as the Council car park, and the western side by the Council's HQ office precinct. As well as being B-listed, the site is within the Inverness Riverside Conservation Area and has listed buildings adjacent to all sides.
- 2.2 Unfortunately, the pavilion building is currently in a poor state of repair due to lack of maintenance, and community access to both it and the Park, is very limited. Despite its limitations, the Northern Meeting Park is the home of the Northern Counties Cricket Club which has been using the Park as its home ground since 1864. The grounds are also used by local schools for sports activities and the Park is used annually for events such as the Loch Ness Étape, New Year Celebrations and as a venue for popular music and cultural events. On average, around 30,000 people use the site each year.

- 2.3 Listing description, B-listed on 09.07.2008: Built 1864-5. 2-storey, 13-bay, rectangular-plan, symmetrical, gabled, 1,000-seat grandstand with Italianate street frontage of domestic appearance and open elevation with tiered seating between gabled end bays facing meeting ground. Harled with painted ashlar dressings. Overhanging eaves. ARDROSS STREET (N) ELEVATION: 2-storey, 15-bay elevation. Central 2-leaf timber-panelled front door with fanlight, mullioned side lights, bracketed cornice and pediment. 5 bays flanking to each side with regular fenestration at ground floor only and blind gablets rising from eaves with short ridge stacks. Slightly advanced end bays with 2-leaf timber panelled doors in corniced round-arched architraves with prominent keystones and fanlights; corniced string course and round-arched window above. MEETING GROUND (S) ELEVATION: 13-bay open elevation to seating area; roof supported on cast-iron columns; ornamental timber fretwork panels between columns with highly ornamental cast-iron cresting in same style. 6 tiers of raked seating with timber benches; panelled boxes at rear. Gabled end pavilions with round-arched doorways at ground and double round-arched windows with prominent keystones at 1st floor. Late 20th century single storey, flat-roofed extensions to outer left and right. Large pane glazing in timber sash and case windows. Tooled, coped ashlar stacks with assorted clay cans. Grey slates with lead flashing. Cast-iron rainwater goods. BOUNDARY WALL AND GATEPIERS: high, ashlar-coped, random rubble boundary wall. Stop-chamfered, pyramidal-capped gate-piers to various entrances (some 20th century); wrought-iron gates dated 2000. STATEMENT OF SPECIAL INTEREST: The pavilion is a fine example of a little-altered mid-19th century covered grandstand and may indeed be the earliest and best surviving example of such a building in Scotland. The street elevation, with its simple Italianate detailing is very striking, and its rather domestic aspect is an interesting solution of how to integrate such a building into the streetscape. The park elevation, with its fine fretwork panelled front and nicely detailed end pavilion is also good, and the retention of the historic wooden benches is also particularly worthy of note. The games were a very popular event, and the high boundary wall was necessary to control the numbers of people attending.

The pavilion was built for The Northern Meeting, a society established in 1788 to encourage reconciliation in the aftermath of the battle of Culloden in 1746. The land for the park was purchased by the Northern Meeting in 1864 since when it has been the home of their annual highland games. Prior to this date the Northern Meeting held their games at various locations in the town, erecting a temporary grandstand each year. The pavilion cost £1709 to build. The Northern Meeting Park was sold to Inverness Town Council in 1946.

3. PLANNING HISTORY

- | | | | | |
|-----|------------|--------------|---|-------------------------|
| 3.1 | 08.02.2023 | 22/03954/FUL | Erection of new community pavilion and refurbishment of existing grandstand | Pending consideration |
| 3.2 | 19.08.2014 | 14/02625/LBC | Installation of 3 commemorative plaques. | Listed Building Consent |

4. PUBLIC PARTICIPATION

- 4.1 Advertised: Listed Building Consent

Date Advertised: 30.09.2022

Representation deadline: 21.10.2022

Timeous representations: 1

Late representations: None

4.2 Material considerations raised are summarised as follows:

- a) The Architectural Heritage Society of Scotland: Objection to the proposed photo-voltaic solar roof-panels, which through their modern appearance will negatively impact upon the appearance of the historic structure.

Planning response: these panels were subsequently removed from the proposal.

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Historic Environment Scotland (HES):** "We welcome the proposed investment into the repair and reuse of this mid-19th century, Category B listed grandstand. We generally agree with the recommendations of the 2021 condition report and structural survey and recognise that a considerable amount of new fabric will be required, particularly to the roof and interior. We commend the proposed efforts to retain features of architectural and historic interest.

The proposal to install photovoltaic panels to the south roof slope of the pavilion (the prominent meeting ground elevation) would be a noticeable intervention which would have some adverse impacts on the pavilion's historic character. We understand the need for measures related to renewable energy and that the proposed location has been chosen to maximise the efficiency of the proposed solar power system. However, we advise that consideration should be given to whether an option with less impact on the character of the building is available. It is not clear if alternative and less visually prominent locations, ground mounted systems or other renewable technologies were fully explored. We also recommend that there should be a clear justification for the number of panels proposed. Our guide on micro-renewables might be helpful.

Planning authorities are expected to treat our comments as a material consideration, and this advice should be taken into account in your decision making. Our view is that the proposals do not raise historic environment issues of national significance and therefore we do not object."

5.2 **Planning response to HES consultation:** note that the photovoltaic panels were removed from the proposal on officer advice, as having an adverse impact upon the listed building (which would not be supported); they were re-located to the proposed new pavilion (see associated application 22/03954/FUL).

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

28 - Sustainable Design
29 - Design Quality and Place-making
34 - Settlement Development Areas
57 - Natural, Built and Cultural Heritage
58 - Protected Species

6.2 Inner Moray Firth Local Development Plan July 2015

No specific policies apply

6.4 Inner Moray Firth Proposed Local Development Plan 2022

No specific policies apply

6.5 Highland Council Supplementary Planning Policy Guidance

Highland Historic Environment Strategy (Jan 2013)
Highland's Statutorily Protected Species (March 2013)
Standards for Archaeological Work (March 2012)
Sustainable Design Guide (Jan 2013)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

Scottish Planning Policy (as amended December 2020)
Revised Draft National Planning Framework 4 (NPF4)
Historic Environment Policy for Scotland (HEPS) May 2019
Historic Environment Scotland Circular (April 2019)
Historic Environment Scotland – Managing Change in the Historic Environment
Guidance Note Series

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 Section 14 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states that, "In considering whether to grant listed building consent for any works, the planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses".

Determining Issues

- 8.3 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.4 The key considerations in this case are:
- a) compliance with the development plan and other planning policy;
 - b) the impacts upon the layout, fabric and character of the listed building.

Development plan/other planning policy

- 8.5 There is a requirement to judge proposals in terms of their impact upon the natural, built and cultural heritage features identified by Policy 57 of the HwLDP. As an application relating to a Category B building Policy 57.1 states that developments are suitable where they can be demonstrated not to have an unacceptable impact on the protected amenity and heritage resource.
- 8.6 The proposal is considered to be a sensitive and conservation-led refurbishment and alteration of the listed building, with no unacceptable impacts; the proposal would therefore comply with the Development Plan.

Impacts on the upon the layout, fabric and character of the Listed Building

- 8.7 The alterations and refurbishment works to the existing listed pavilion/grandstand are conservation-led, aiming to re-instate the exterior to its former design and refurbish the external fabric. The main alteration externally is the removal of the flat-roofed toilet-blocks which were added to either end in the 1950s; this will be a significant enhancement to the building, as they are an incongruous eyesore. Two blocked-up doorways will be re-opened on the Ardross Street elevation and timber panelled-doors reinstated.
- 8.8 Internally, the alterations relate mainly to non-historic partitions and creating toilets at either end of the building. The interior has very little fabric or detailing of historic interest, and as such these proposals raise no issues of concern.
- 8.9 The refurbishment aspects of the proposal are extensive, many of which are repairs which do not require Listed Building Consent if they are like-for-like (and small-scale). The roof requires re-slating in a matching Welsh slate, as it is 'nail-sick' and failing; a condition is applied to try to re-use existing slates, if feasible. The existing wall render (a mix of traditional lime-harl and concrete render) will be repaired and re-painted; a preference would have been to replace all with a new lime-harl, but this is too large and expensive at this time. Existing windows will be repaired, only replaced if necessary, and two doorways will be re-instated on the Ardross Street elevation (as noted above). The building will be re-decorated, with a new colour-scheme (subject to conditioned approval) based on an analysis of the existing paintwork, to hopefully revert to the original/a more appropriate aesthetic; the current

black/brown/yellow scheme is aesthetically jarring, and a more heritage-based palette of colours is required to enhance the building's character.

- 8.10 Viewing items 8.7-8.9 holistically, and subject to conditioned approval of details, the proposals are considered to represent a sympathetic and well-considered refurbishment of the building, which should enhance its facilities and future sustainable use.

Other material considerations

- 8.11 There are no other material considerations.

Non-material considerations

- 8.12 No non-material considerations have been raised in connection with the proposals.

Matters to be secured by Legal Agreement / Upfront Payment

- 8.13 None

9. CONCLUSION

- 9.1 The impacts upon the character, layout and fabric of the listed building are considered to be acceptable, enhancing the fabric and character of the pavilion.
- 9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued	N
Notification to Scottish Ministers	N
Conclusion of Section 75 Obligation	N
Revocation of previous permission	N

Subject to the above actions, it is recommended to **GRANT** the application subject to the following conditions and reasons:

1. The works to which this Listed Building Consent relates must commence within THREE YEARS of the date of this decision notice. If work has not commenced within this period, then this Listed Building Consent shall lapse.

Reason: In accordance with Section 16(1) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 (as amended)

2. All works, materials and finishes shall be as noted on the approved drawings. Any internal or external works and finishes, or works for making good as required, shall be to match original/adjacent materials and finishes.

Reason: In order to safeguard the character and qualities of the listed buildings.

3. Details of the proposed external colour scheme, along with the historic paint analysis, shall be submitted to, and approved in writing by, the Planning Authority prior to the commencement of such development. Thereafter, work shall progress in accordance with these approved details.

Reason: In order to safeguard the character and qualities of the listed buildings.

4. A detailed schedule of windows and doors to be replaced, with section details of components at scale 1:1/1:1, shall be submitted to, and approved in writing by, the Planning Authority prior to the commencement of such development. Thereafter, work shall progress in accordance with these approved details.

Reason: In order to safeguard the character and qualities of the listed buildings.

5. The existing slate roof shall be salvaged where possible and re-laid on the building (including diminishing courses, if present) to match existing. Only where there are insufficient slates shall substitutes/alternatives be used, details of which (including samples) shall be submitted to and approved in writing by the Planning Authority before use. Modern roof-vents sticking-above the slate-finish will not be acceptable on the main pitches, where eaves/ridge vents should be implemented if required; slate-vents which are flush with the existing surface may be acceptable.

Reason: In order to safeguard the character and qualities of the listed buildings.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

INFORMATIVES

Listed Buildings

Both planning permission and listed building consent are required for these works. You are not authorised to commence development until you have both consents in place. Furthermore, both consents and any respective conditions must be read, and complied with, in tandem.

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

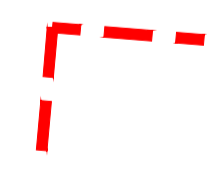
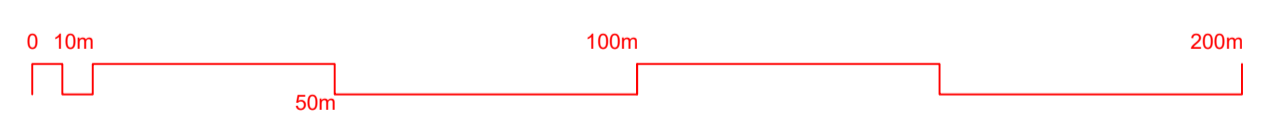
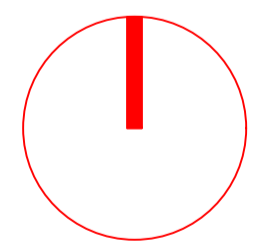
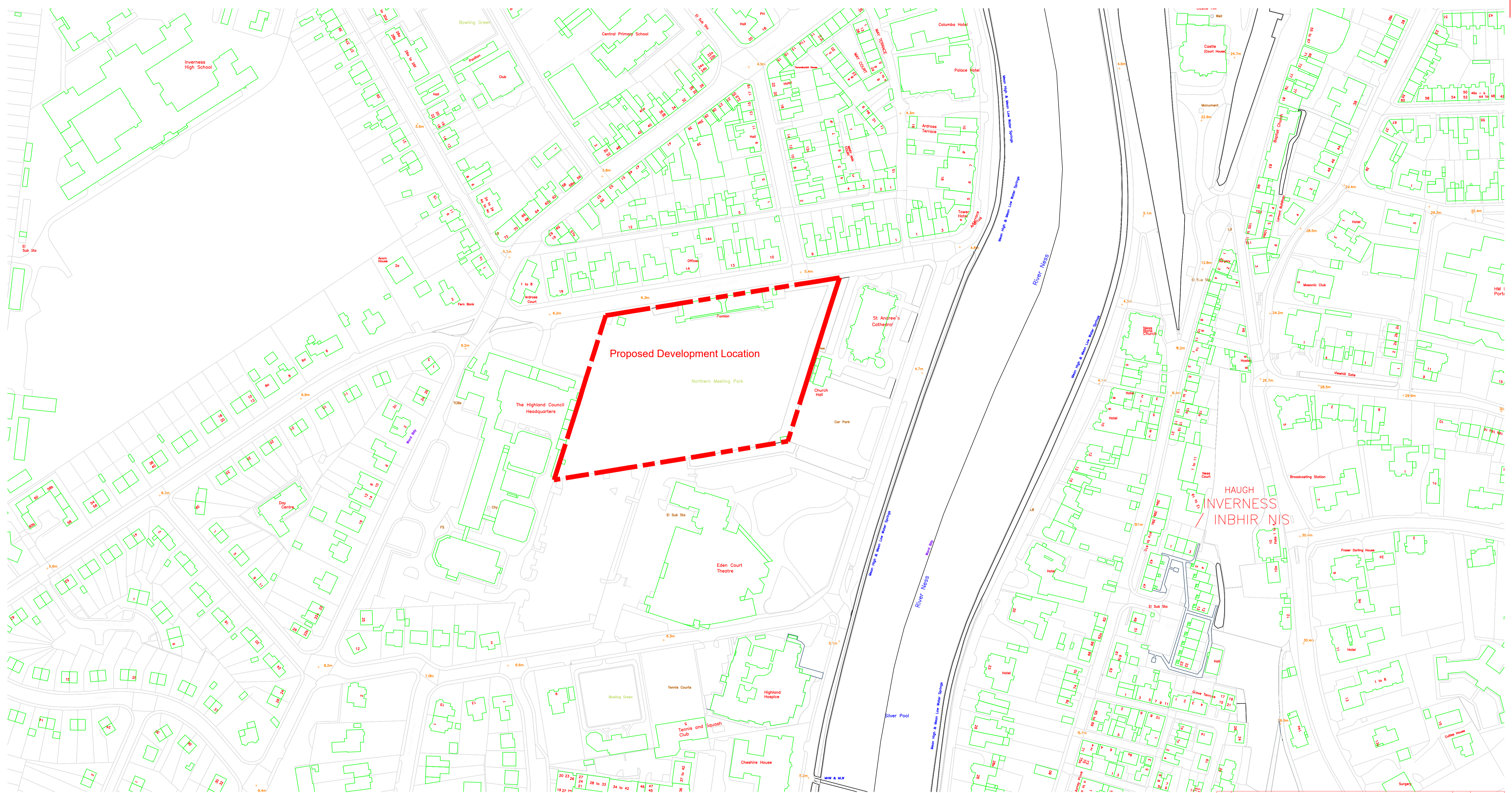
If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974

Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature: David Mudie
Designation: Area Planning Manager – South
Author: Norman Brockie
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 THC-ZZ-XX-DR-A PM-40-50-63 0001 LOCATION PLAN
Plan 2 THC-ZZ-XX-DR-A PM-40-50-63 0003 PROPOSED SITE LAYOUT PLAN
Plan 3 THC-ZZ-XX-DR-A-PM-40-50-63 0005 REV A GRANDSTAND ELEVATIONS PROPOSED
Plan 4 THC-ZZ-XX-DR-A PM-40-50-63 0006 PROPOSED FLOOR PLANS



Indicative site for development

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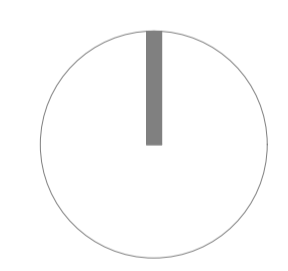
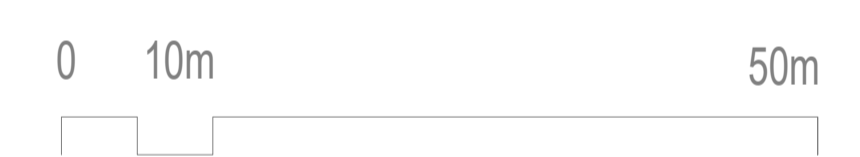
HOUSING AND PROPERTY SERVICE

CLIENT	SCALE
PROJECT	1:1250
CONTACT	DATE
Colin Henderson	26.8.22
DRAWING TITLE	DRAWN BY
Location Plan	AD
PURPOSE OF ISSUE	CHECKED BY
planning	CH
	PAPER SIZE
	A1

PROJECT NUMBER	ORIGINATOR	VOLUME OR SYSTEM	LEVELS AND LOCATIONS	TYPE	ROLE	CLASSIFICATION	NUMBER	REV
DI22026	- THC -	ZZ	- XX	- DR	- A	PM_40_50_63	0001	-



- Plan Key:**
- Existing buildings
 - green space/public recreational ground
 - proposed new buildings
 - Events caberghial
 - Temporary stage
 - Temporary Car Parking
 - Large events Laydown
 - Potential to greenlandscaping
 - Hard standing surface
 - Site boundary
 - Grass core surface
 - building demolition



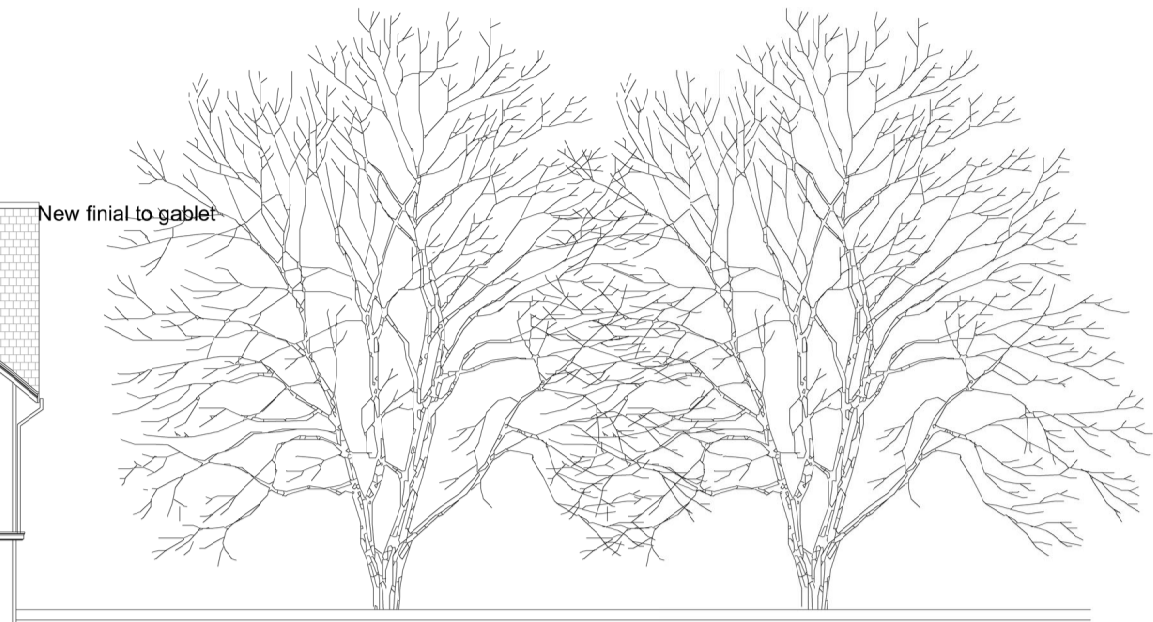
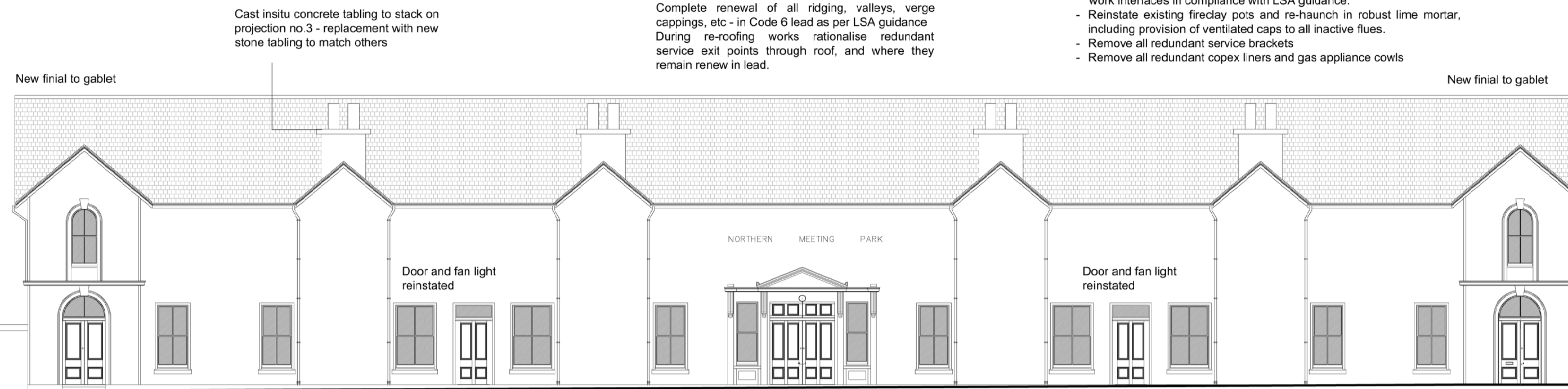
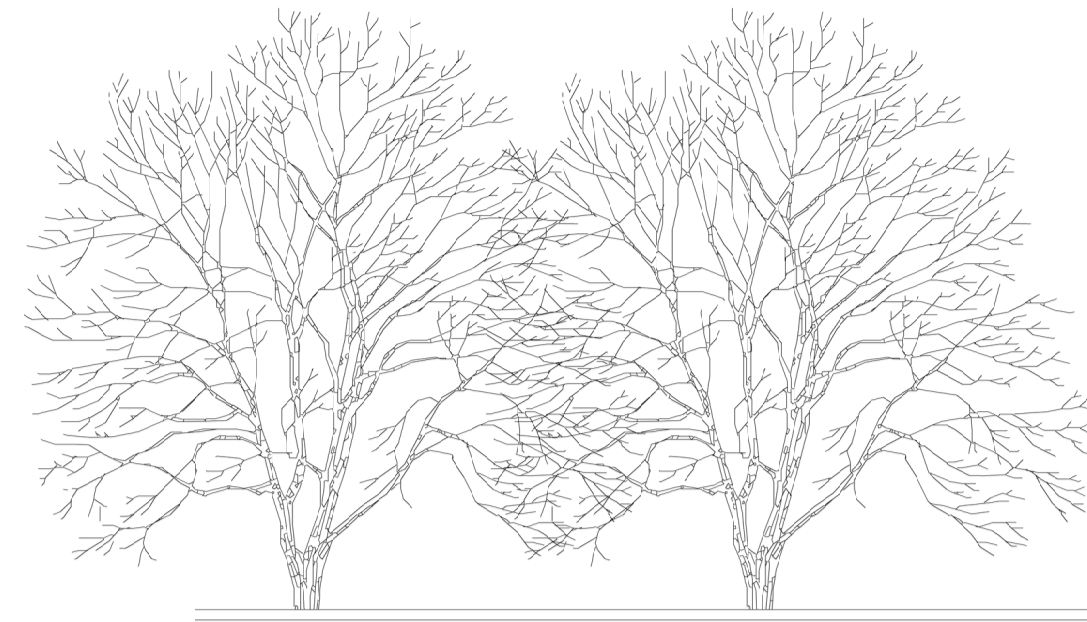
Rev.	Description	By	Date
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DEVELOPMENT AND INFRASTRUCTURE SERVICE

CLIENT	SCALE
PROJECT	1:1250
CONTACT	DATE
Colin Henderson	26.08.22
DRAWING TITLE	DRAWN BY
Proposed Site plan	AD
PURPOSE OF ISSUE	CHECKED BY
Planning	CH
	PAPER SIZE
	A1

PROJECT NUMBER	ORIGINATOR	VOLUME OR SYSTEM	LEVELS AND LOCATIONS	TYPE	ROLE	CLASSIFICATION	NUMBER	REV
D122026	THCPR	ZZ	- XX	- DR	- A	PM_40_50_63	0003	-



North Elevation 1:150

Roofing Works
As the roof currently stands there are several active water ingress issues that are causing fabric to deteriorate. Slipped or cracked slates, and defective valley and ridge flashings being the main contributor.

Full re-slating of the roof will be carried out in regular coursed matched Welsh slate with a breathable membrane to include the renewal of all valley flashings, ridges, and verge cappings - incorporating improved lead detailing where design weaknesses are highlighted. Alongside these, allowances should be made for a sizeable replacement of timber sarking, seen to be decayed and compromised in several places. Also isolated timber valley rafter repairs once exposed fully.

The exposed sarking, ties and rafters in the attic space should be treated for woodboring insects.

Consideration should be given to the reintroduction of finials to gablet and main gable apexes, and the consolidation of loose and open jointed masonry in the attic space.

Consideration should be given to the security of existing L&P finishes and whether these need repair or replacement, subject to understanding the full extent of adjacent dry rot outbreak.

As part of the re-roofing works undertake localised repairs to rotten eaves, verge and soffit boarding in marine plywood timber allowing for the repair of underlying framing timbers also affected - followed by comprehensive redecoration.

Cast insitu concrete tabling to stack on projection no 3 - replacement with new stone tabling to match others

Complete renewal of all ridging, valleys, verge cappings, etc - in Code 6 lead as per LSA guidance. During re-roofing works rationalise redundant service exit points through roof, and where they remain renew in lead.

North Elevation
Monitor cracked dressed sandstone lintel over main doorway and consider pinning with phosphor bronze rods to abate further movement.

Renew corroding flue access boxes on North Elevation - prior decoration as required

Kitchen waste pipe to be removed and sealed.

Remove extractor fan from principal window glazing

Remove vegetation growing between building masonry and pavement surfaces - consider filling resultant holes

Address cracking of harling on line of flues as part of overall harl repair strategy - consider flue camera surveys to determine condition of these flue stones

Pavement levels have risen since the building was constructed - this has resulted in some of the solum vents being obscured, whilst these higher ground levels have encouraged joint end decay inside the building - The ability to improve solum ventilation should be considered, but in the absence of through ventilation, air movement will always prove problematic - therefore the installation of a solid floor in these ground floor rooms should be considered

Renew tile floor coverings and threshold to base of west doors on North Elevation - ensuring weathertightness.

Repair of chimney masonry to include:

- Removal of all coloured mortar repairs to stonework
- Cut out cement mortar from masonry joints
- Undertake stone indent repairs where stones have eroded unserviceably or are damaged.
- Repoint all masonry with a robust lime mortar mix, including all tabling.
- Renew abutment flashings in Code 6 lead two-piece flashings at slate work interfaces in compliance with LSA guidance.
- Reinstall existing fireclay pots and re-haunch in robust lime mortar, including provision of ventilated caps to all inactive flues.
- Remove all redundant service brackets
- Remove all redundant copex liners and gas appliance cowls

External Doors & Windows
A detailed appraisal of window and door joinery should be undertaken to produce a schedule of repairs and replacements. It is likely that a few units will require replacement, however most units could be repaired with adequate skills.

All windows will require to be fully reserved, draft sealed and have targeted sill, sash and style repairs - there will come a practical tipping point when window renewal is required, and if so, this should be undertaken on a like for like basis.

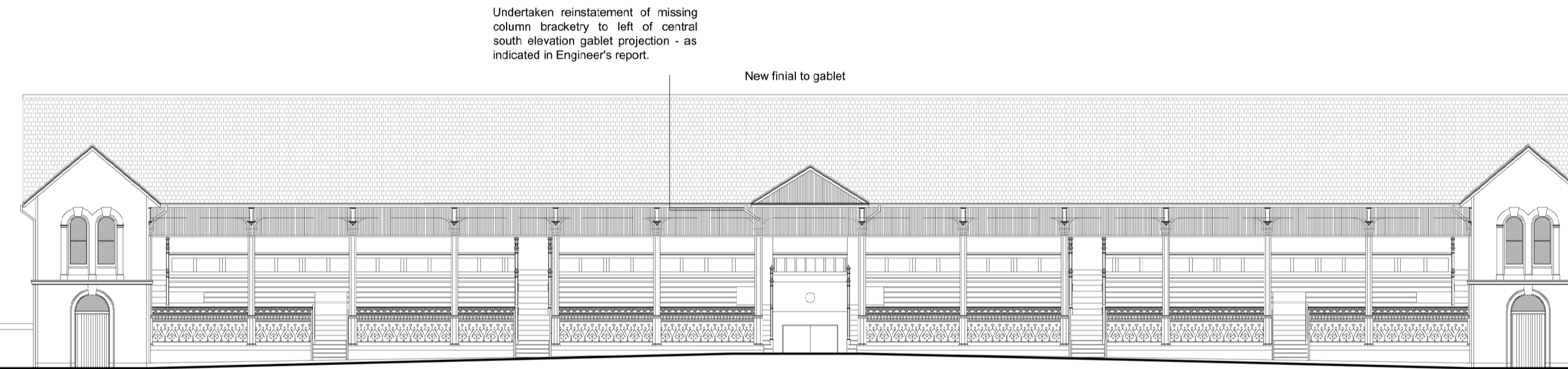
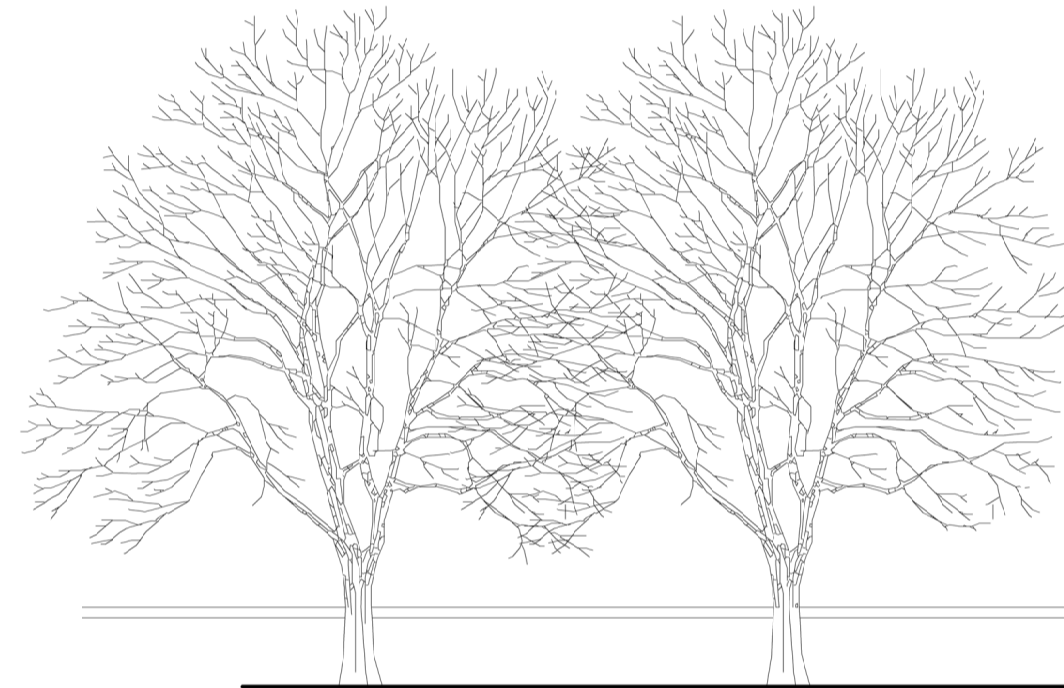
External doors will require substantive repairs to frames, thresholds, weather-bars, ironmongery, and linings.

Full redecoration will be required after repairs are completed - in an appropriate traditional shade of oil-based paint system - based on historic scheme evidenced from paint scrapes / profiling

Re-installment of south elevation pavilion and doors sets should be considered - in terms of weather protection and aesthetics.

Isolated repairs to panelling at main entrance doors and to linings inside south elevation pavilion door openings

South Elevation 1:150



Undertaken reinstatement of missing column bracketry to left of central south elevation gablet projection - as indicated in Engineer's report.

Door and fan light reinstated

South Elevation
Reinstate missing column bracket - relating to sag in left side of centre gablet projection roof - south elevation

Undertaken localised timber repairs to decaying timber column bracketry on south elevation

Redecoration of all external woodwork, beam enclosures, columns, and metalwork

Reinstatement of south elevation pavilion storm doors and fan lights over

Screen roof structure should be inspected closely for excessive corrosion - treated and repaired as necessary - prior to renewal of decayed timber weather boarding

Targeted repairs are required to ensure the balustrade fretwork, newel posts and handrail are first made secure - furthermore detailed timber repair, straightening and refixing will be required if it is desired to retain these to a completely straight arrangement.

Air bricks to balustrade wall should be maintained and kept free of vegetation

Renewal of timber decking access steps - as part of accessibility improvements - aiming for materials with greater longevity and amenity

Harled wall surfaces - generally
There is a need for substantive harling repairs around the building due to failures and boss materials. There have also been several harl repairs undertaken previously in hard cements and contrasting finishes. The original lime harl coatings do remain in most places but they have been over painted with modern masonry paints on numerous occasions. On this basis the coatings have largely no breathability, and masonry saturated by other higher-level roof failures, has nowhere to evacuate moisture too - as a result we see accelerating timber decay within the building. The combination of compromised masonry breathability, the patchy and failed nature of the coatings, and the poor presentation of modern paint coatings begs the question should these be renewed - ideally yes - but the cost of doing so in a hot mixed lime harl and linewash finish would be substantive. This could be considered desirable, if funding allowed. If so, consideration must be given to the resilience of lime finishes directly next to the hard tarmac pavement on Ardross Street and the effects of salts and splash.

Dressed sandstone detailing - generally
Any repair or development project must consider the need to repair and represent these key features of the architecture of the building. The obscuring of the stonework with modern paint systems has over time caused some erosion and damage - and this should be removed, if that proves possible. DOFF steam paint removal systems or similar should be trialled to establish the ability to successfully remove the paint. The impact damage, broken and missing stone dressed sections should be considered for repairs - either by stone indenting in closely matched sandstone, or by St One coloured lime repair mortars. Admittedly these are desirable elements, but the condition of these features and the effect on overall presentation is considerable.

Otherwise, all ashlar / dressed masonry should be repointed in a suitably fine lime mortar as part of any larger stone restoration and repair initiative

West/East Elevation
Glass to boarded windows to be reinstated - consider toughened frosted glass - improvements to extraction and cold-water feed pipework to allow removal from glazed areas.

Confirm purpose of surface mounted cabling and re-route

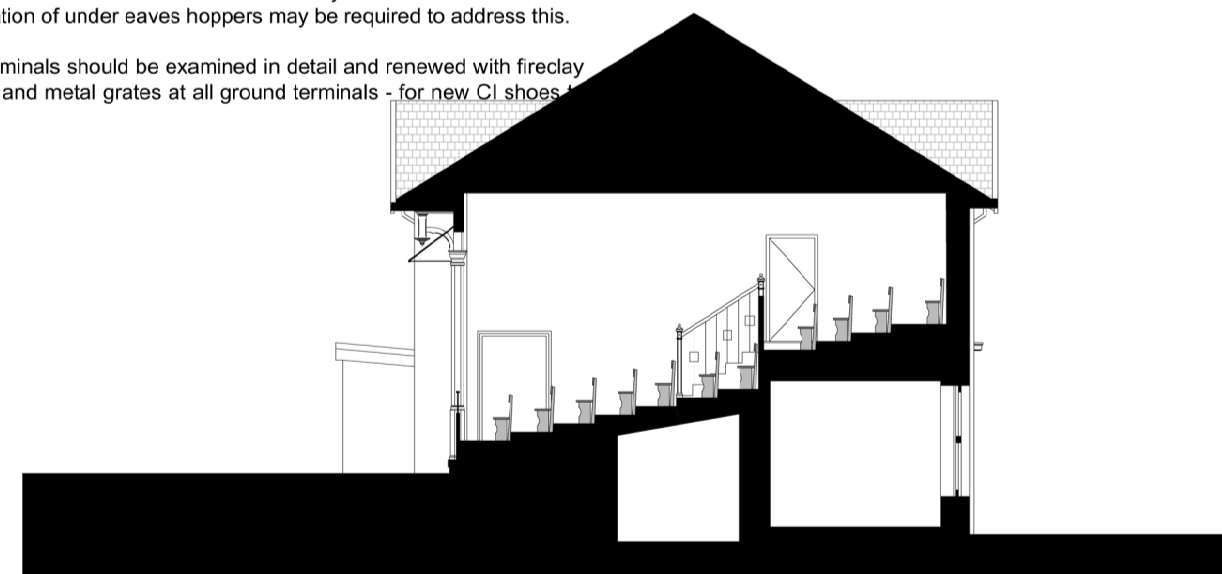
Isolated lime pointing and harling repairs required if larger wall repair package does not proceed

Storm porch doors and fanlights to be reinstated

Rainwater Goods
As part of re-roofing works the rainwater goods need a comprehensive reserving / substantive renewal and full redecoration - this needs to include new under-slate rafter brackets to correct falls, the extension of short thones to catch gablet projection valley water, the resizing of downpipes to capacities suitable for roof areas above, sealing and supporting of joints flying from eaves and verge projections. Any new installation should consider the renewal of downpipe hoddists with standing brackets to allow easier removal for cleaning, and the installation of sices at the base of downpipes leading to renewed gully heads and traps.

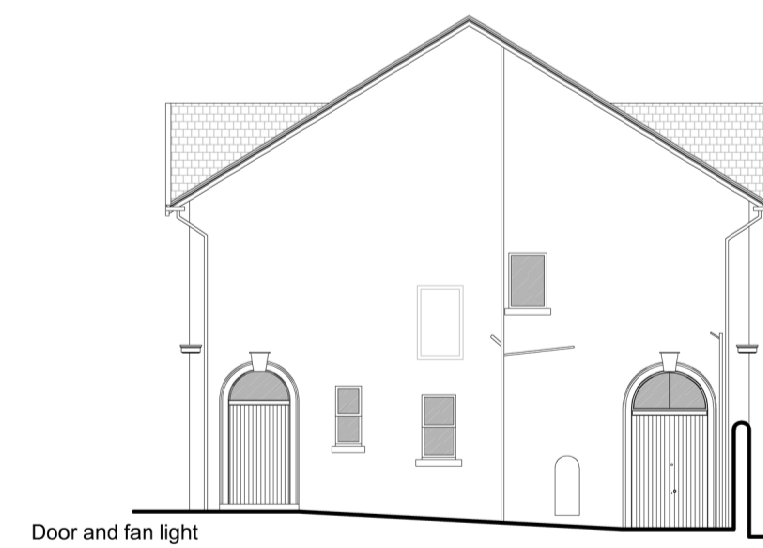
Redesign of the north west and north east valley and catchments will be required, as the failure of this detail is answerable for several major fabric defects within the building - the installation of under eaves hoppers may be required to address this.

Ground drainage terminals should be examined in detail and renewed with freely trapped gully heads and metal grates at all ground terminals - for new CI shoes lead into.



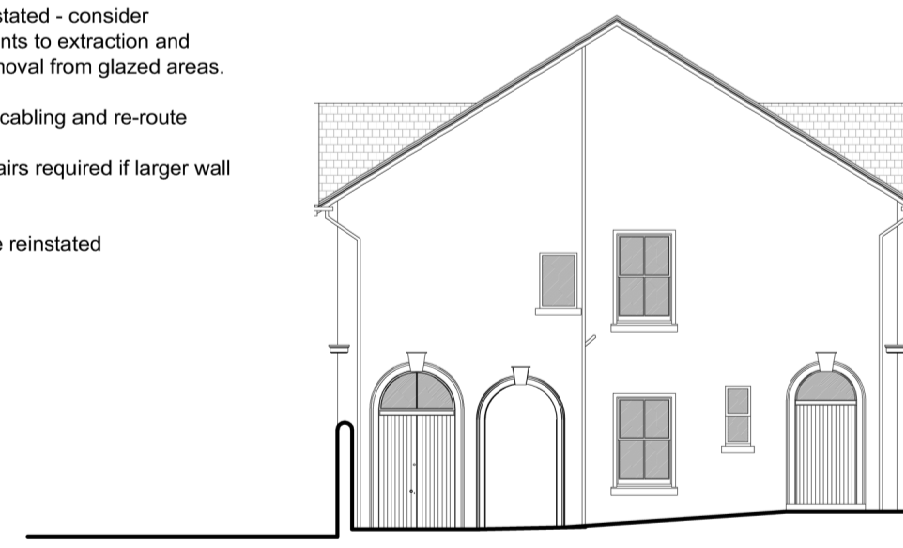
Typical Section through Stand 1:150

East Elevation 1:150



East Elevation
Glass to be reinstated to boarded windows with toughened frosted glass.

West Elevation 1:150



Door and fan light reinstated

Rev.	Description	By	Date
A	PV array removed from Stand roof	AMB	12.12.22

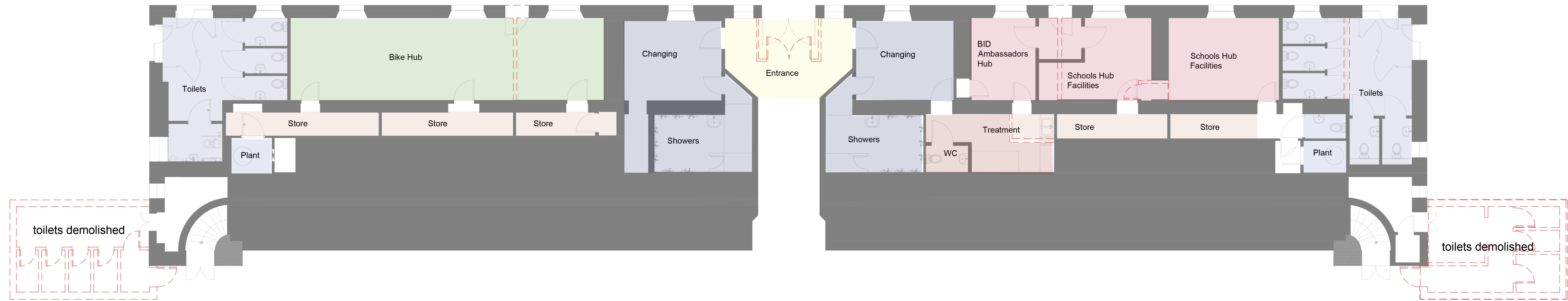
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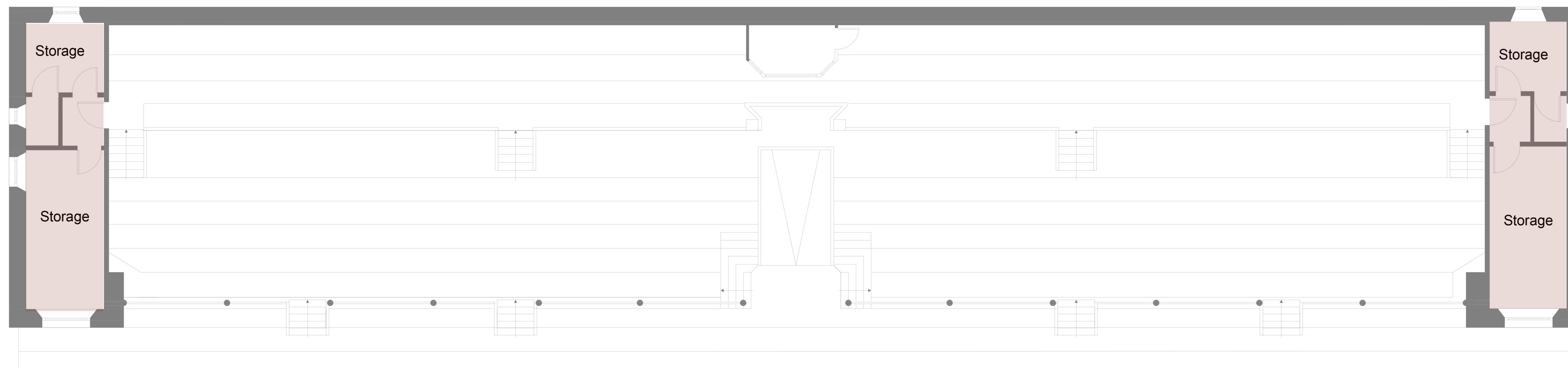
DEVELOPMENT AND INFRASTRUCTURE SERVICE

CLIENT	SCALE
PROJECT	1:150
CONTACT	DATE
Colin Henderson	26.08.22
DRAWN BY	AD
CHECKED BY	CH
PURPOSE OF ISSUE	PAPER SIZE
Planning	A1

PROJECT NUMBER	ORDINATOR	VOLUME OR SYSTEM	LEVELS AND LOCATIONS	TYPE	ROLE	CLASSIFICATION	NUMBER	REV
D122026	- THC - ZZ	- XX	- DR - A	PM_40_50_63	0005	- A		



Proposed Stand GF floor plan



Proposed Stand FF floor plan



Rev.	Description	By	Date

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DEVELOPMENT AND INFRASTRUCTURE SERVICE

CLIENT	SCALE
PROJECT	1:100
CONTACT	DATE
Colin Henderson	26.03.22
DRAWING TITLE	DRAWN BY
Proposed NMP stand floor plan	AD
PURPOSE OF ISSUE	CHECKED BY
Planning	CH
	PAPER SIZE
	A1

PROJECT NUMBER	ORIGINATOR	VOLUME OR SYSTEM	LEVELS AND LOCATIONS	TYPE	ROLE	CLASSIFICATION	NUMBER	REV
D122026	- THC -	ZZ	- XX	- DR	- A	PM_40_50_63	0006	-