

Agenda Item	7.8
Report No	PLS-13-23

HIGHLAND COUNCIL

Committee: South Planning Applications Committee
Date: 08 February 2023
Report Title: 22/03922/FUL: The Highland Council
Town House car park, Castle Street, Inverness
Report By: Area Planning Manager – South

Purpose/Executive Summary

Description: Change of use and alteration of former public toilet building to form Sustainable Energy Centre, with associated improvement of adjacent public realm

Ward: 14 – Inverness Central

Development category: Local

Reason referred to Committee: Planning Manager's discretion, Levelling-Up Funding Project

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

- 1.1 The project at the Town House car park is part of Highland Council's Inverness Zero-carbon cultural regeneration and levelling-up programme.
- 1.2 The Town House car park toilet-block is proposed for partial demolition (of the upper level) and the creation of a 2-storey energy centre (air-source heat pumps; ASHP) to provide sustainable heating to the Inverness Castle re-development. The building will be slightly higher than existing and will be clad in an aluminium louvred-panels to allow airflow to all sides and roof. Associated with this, the public realm to the existing stairs and adjacent areas will be upgraded. The lower level is accessed directly from the car park, the upper level from Castle Wynd; the site and adjacent areas are all in the ownership of Highland Council.
- 1.3 Pre-Application Consultation: no formal pre-application advice; Inverness Castle team discussions.
- 1.4 Supporting Information: ASHP data; Design Statement; External Lighting Design; External Views; Noise Impact Assessment.
- 1.5 Variations: Design amendments to reduce the height of the proposal; amended drawings received 06.01.2023.

2. SITE DESCRIPTION

- 2.1 The existing building is a utilitarian two storey block, which straddles Castle Wynd on the west and the Castle Street car park on the east, its upper floor being accessible from Castle Wynd and its lower floor being accessible from the Castle Street car park. At its lower level, the building currently accommodates a small storage space, office and toilet, but is otherwise given over to an infilled solum space. At its upper level the building is laid out as separate male and female public toilets, which are dated and out of commission. It is built primarily of masonry, with rendered block work walls with some stone cladding to the upper level, concrete floors and a flat roof punctuated by roof lights. In the past, the building has had problems with members of the public accessing the flat roof area, which has resulted in metal railings being added to some of the perimeter of the building. The building is set off the southern gable of Inverness Townhouse, and the space between the two is occupied by a functional but otherwise uninspiring public stair, which does not encourage footfall from Castle Street onto Castle Wynd, or vice versa.
- 2.2 The site is within the Inverness Riverside Conservation Area, as well as the setting of the A-listed Inverness Castle and Townhouse; there are also B-listed buildings opposite on the eastern side of Castle Street (No.s 35-51 odds). This is therefore a very sensitive site in terms of built and cultural heritage. The existing building is however of very low architectural value, and its redevelopment is (in principle) welcomed.

3. PLANNING HISTORY

3.1	11.11.2022	22/04025/CON Demolition of upper level of toilet block	Conservation Area Consent Granted
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4. PUBLIC PARTICIPATION

4.1 Advertised: Section 65 - Affecting Conservation Area; Unknown Neighbour

Date Advertised: 23.09.2022

Representation deadline: 14.10.2022

Timeous representations: 1

Late representations: 0

4.2 Material considerations raised are summarised as follows:

- a) Quality of design
- b) Quality of materials
- c) Impact on the setting of the Castle

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Crown and City Centre Community Council:** No response received.

5.2 **Historic Environment Team – Archaeology:** “Although this area may have been altered significantly by development in the past century or so, it remains within an area of archaeological potential. This has been evidenced by early prehistoric deposits found at a considerable depth below the existing ground surface during development in the immediate area. As such, any areas where ground-breaking is required (below current hard surfaces, or following any proposed demolition), should be carried out under archaeological monitoring.

While the risk of encountering buried deposits is not such as to warrant a full excavation, it is important that the nature and extent of any features is identified and recorded before destruction. Site clearance work should be done under archaeological supervision so that, if necessary, any recording can be done without causing undue delay or inconvenience for the development.

This work is relevant for any initial site clearance or groundworks required and any associated works, services or access. A controlled topsoil strip will ensure that any features uncovered will be adequately recorded, while causing minimum delay to the development. The applicant will need to engage the services of a professional archaeologist. The work will result in a report which will be lodged in the Highland Historic Environment Record (HER), where it may be consulted for research. Archaeological contractors are asked to send copies of such reports direct to us. We will advise you of receipt and confirm that they form a satisfactory record.”

5.3 **Environmental Health – Contaminated Land Unit:** “Having checked our database, historical Ordnance Survey maps and aerial photos, there does not appear to be a potential source of contamination onsite. The Highland Council's property database for this site has an Asbestos Management Survey dated to 2013 which did not record any suspected asbestos containing material based on a visual inspection of accessible areas. Therefore, further information is not required to support the application.”

5.4 **Environmental Health:** “It is understood that the application involves the installation and operation of an array of Air Source Heat Pumps (ASHP) with associated infrastructure, to provide energy for the refurbished Castle Building. There is the potential for noise from this development to impact on the amenity of nearby sensitive receptors.

As requested in previous correspondence, a noise impact assessment has been undertaken and a report provided (22568-R01-A, dated 20th January 2023) The report assumes a worst-case scenario of all thirteen ASHP operating simultaneously, which is unlikely to be the case. It confirms that, unattenuated, the noise from the proposed development has the potential to impact on the amenity of nearby receptors. Mitigation measures (comprising a noise barrier) are proposed to be incorporated in the development to address this issue and to reduce noise levels.

The report presents a measured night-time background sound level of 37dB and predicts that, outside the nearest noise sensitive receptor, the noise levels from the development (without attenuation) will have a rating level of 47dBA (which includes an additional penalty for the tonality and intermittency of the sound of 5dB). The report confirms that this is 10dB above the background sound level and, in accordance with BS4142, this is likely to be an indication of a significant adverse impact.

Following the installation of a noise barrier, the report predicts noise levels to reduce by 6dB, resulting in a rating level of 41dBA outside the nearest dwellings. This is 4dB above the measured background level and, in accordance with BS4142, this is below the difference (5dB) at which there is likely to be an adverse impact.

It is noted that this predicted external rating level includes a subjective penalty of 5dB for the tonality and intermittency. This appears a reasonable assumption, however, should the actual noise happen to have more pronounced characteristics, a higher penalty could be required and additional noise mitigation may be necessary to meet the recommended Condition.

It is noted that the proposed noise barrier does not extend to the castle-side and the noise from the proposed development may have an impact on this area. The noise assessment has not addressed this aspect.

Based on the information provided, and given that the report has assumed a ‘worst-case’ scenario, this Service has no objection to the development, subject to the following Condition being attached.”

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

28 - Sustainable Design
29 - Design Quality and Place-making
30 - Physical Constraints
31 - Developer Contributions
34 - Settlement Development Areas
57 - Natural, Built and Cultural Heritage
58 - Protected Species
66 - Surface Water Drainage
67 - Renewable Energy Developments
68 - Community Renewable Energy Developments
72 - Pollution
73 - Air Quality
77 - Public Access

6.2 Inner Moray Firth Local Development Plan 2015

No site-specific policies

6.3 Inner Moray Firth Proposed Local Development Plan 2022

No site-specific policies

6.5 Highland Council Supplementary Planning Policy Guidance

Highland Historic Environment Strategy (Jan 2013)
Highland's Statutorily Protected Species (March 2013)
Highland Renewable Energy Strategy and Planning Guidelines (May 2006)
Inverness City Centre Development Brief (Feb 2018)
Standards for Archaeological Work (March 2012)
Sustainable Design Guide (Jan 2013)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

Scottish Planning Policy (as amended December 2020)
Revised Draft National Planning Framework 4
Designing Streets
Creating Places

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

- 8.2 Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states that, the Planning Authority must pay special attention to the desirability of preserving or enhancing the character or appearance of the Inverness (Riverside) Conservation Area.

Determining Issues

- 8.3 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.4 The key considerations in this case are:
- a) compliance with the development plan and other planning policy
 - b) siting, layout and design
 - c) impact on the setting of Inverness Castle and Town House
 - d) impact upon the Inverness Riverside Conservation Area
 - e) noise impacts upon surrounding amenity
 - f) landscaping to the public realm.

Development plan/other planning policy

- 8.5 The introduction of a new building to this sensitive context, within the city-centre, raises many issues. Policies 28 - Sustainable Design, 29 – Design Quality and Place-making and 34 – Settlement Development Areas, require that proposals demonstrate sensitive siting and high-quality design in-keeping with local character and the historic environment. It is worth noting that the car park is a mixed-use development site (linked to the Castle and Bridge Street) within the Inverness City Centre Development Brief, which could result in the energy centre being absorbed into a larger development in the future.
- 8.6 The site is within the Inverness Riverside Conservation Area, as well as the setting of the A-listed Inverness castle and Town House; there are also B-listed buildings opposite on the eastern side of Castle Street (No.s 35-51 odds). There is a requirement to judge proposals in terms of their impact upon the natural, built and cultural heritage features identified by Policy 57 of the HwLDP. This policy states that developments are suitable where they can be demonstrated not to have an unacceptable impact on the protected amenity and heritage resource.
- 8.7 Subject to the proposal having no detrimental impact on the built and natural environment in terms of siting, layout and design; as well as on surrounding amenity, the proposal would comply with the Development Plan.

Siting, layout and design

- 8.8 The site for this energy centre has been chosen for its proximity to Inverness Castle, which it is servicing, and because there was a redundant building which could be

sustainably re-developed. There are three elements of the design for consideration: the building form, the building skin and the public realm proposals.

- 8.9 The existing building form is a rectilinear plan set perpendicular to the South gable of Inverness Town House, with its back against the retaining wall that forms the edge of Castle Wynd. The building does not meet the retained landform at its South end, leaving a wedge-shaped void and has an expanse of flat roof, which serves to exaggerate the building's scale when looked at from the castle esplanade or when approached from the top of Castle Wynd. The proposed building is instead directly influenced by the surrounding context. Firstly, the South end of the building is realigned to follow the existing retaining-wall, filling in the existing wedge-shaped void and connecting the building, literally, to the sloping grass embankment. The expansive flat roof is then replaced with a geometrically faceted pitched roof, which slopes in three directions with the gradient of each pitch precisely aligned with the slope of the topography on each elevation. The rise and fall of the roof pitches following the ground line serves to create a strong and natural relationship between the building and its context whilst creating a dynamic form that, although taller at its high points than the existing roof, makes the building appear far smaller from the key surrounding viewpoints. The roof-height matches the existing on the east/car park side but rises to points 2.1/33.2m higher left/right on the western/Castle Wynd side. In strengthening the building's relationship to the landscape, the sense of the building acting as an anchor or gateway to the wider Castlehill site is also reinforced.
- 8.10 The building skin is intended to have a modulated and faceted surface, allowing through airflow and giving a deeply textured appearance. The building will have an ordered façade split into equal bays with a vertical emphasis, each approximately two metres wide. A saltire grid is then applied to each bay, creating elongated rhomboid voids into which bespoke cladding elements are inserted; this pattern is reflective of the ceiling structure of the Castle's new link building. In this way, the two developments will be inherently related and should read as part of an architectural family. The intention is for the bespoke cladding elements to be coloured in subtly different tones of pinks, reds and greys, so as to give a similar visual effect to the different tones in the natural stone of the Castle and Town House buildings that stand either side. Further variation is then introduced through the degree to which each cladding element is 'open'. In order to provide free air flow to the ASHP equipment, the cladding elements are designed in four permutations: closed, 75% open, 50% open and 25% open. This is achieved by taking the rhomboid shape of each cladding element and pulling the centre point outwards to create a shallow pyramid. Two facets of the pyramid are then removed to provide an open area and the centre point is moved up or down to create less or more free area accordingly. As well as providing free air flow, the variations in the pyramid form and the percentage of open area serve to animate the façade and provide glimpsed views through to the workings behind whilst also enhancing the effect of a honed or tooled stone or jewel mentioned above.
- 8.11 Ultimately, the acceptability of this proposal lies in the quality, detailing and colour of the metal cladding panels; a condition is added for a full-scale sample to be provided on site, for written approval.

Impact on the setting of Inverness Castle and Town House

- 8.12 The proposed re-development of the toilet-block has chosen a contemporary form and materiality, a principle we generally support, even in heritage-sensitive locations. As noted above, much rests on the exact appearance and quality of the cladding, which will define its visual impacts and suitability within this context. While both the Castle and Town House are the highest level of listing (Category A), they are both very large and townscape-dominant buildings; as such, we would not expect the relatively subordinate scale of the proposal to adversely affect their setting, even with a contemporary design and materiality. The same applied to the listed buildings opposite on Castle Street, which are less directly affected.

Impact upon the Inverness Riverside Conservation Area

- 8.13 As set out above, the modern design may not be visually consistent with the character and appearance of the heritage townscape, but it will hopefully add a level of innovation and interest which at the same time is not obtrusive.

Noise impacts upon surrounding amenity

- 8.14 The submitted Noise Impact Assessment has analysed the acoustic impacts arising from the ASHPs and machinery upon the surrounding environment, and in particular the closest residential accommodation (in the re-built building next to Chisholms), Consideration must also be given to pedestrians passing the energy centre on Castle Wynd.
- 8.15 The impacts upon surrounding amenity have, subject to condition, been found by Environmental Health to be acceptable. Condition 4 is added for the regulation of noise arising from the plant and associated machinery. Condition 5 is added for details of the acoustic mitigation within the proposed building.

Landscaping to the public realm

- 8.16 In delivering the energy centre, there is also an opportunity to dramatically improve the public realm, particularly within the Town House car park where a new pedestrian connection from Castle Street to Castle Wynd is proposed. This proposal will connect the new landscaping being delivered at Inverness Castle to the recently completed streetscape on lower Castle Wynd, carefully combining the material specifications of both schemes. The changes with the most impact will be the replacement of the existing staircase at the north end of the existing toilet block and the formation of a new pedestrian route along the South gable of the Town House. Currently, the existing staircase feels like a service access, which discourages public use and has no real resolution where it meets the car park, with users having to then navigate parking spaces and trafficked areas. As part of the proposals a new 3m wide straight stair with an intermediate landing is proposed. This new pedestrian area is 4.5m wide at the base of the stair, widening to 6.5m wide where it meets Castle Street introducing opportunities for people to linger and or congregate. To make the most of that opportunity, new tree planting, lighting and street furniture is proposed inclusive of public benches and covered and uncovered cycle storage, to promote active travel to and from the city centre. The surface finishes are specified to match

those of the recently completed streetscape works on lower Castle Wynd, which allows the public realm to feel as though it wraps itself around the Town House.

- 8.17 The proposed materials are a mixture of Caithness-stone paving and resin-bound gravel for the walkways, with Yorkshire stone facing to the new steps. Edgings/kerbs are in Scottish Whinstone, as are the bench facings which also have hardwood seats. New bollards, cycle-stands, planters and tree-grilles are in Corten^(R) steel; handrails are in stainless steel with integral lighting. Three new trees are proposed adjacent the car park, *Tilia tomentosa* (Silver Lime), and a new cycle-shelter.

Other material considerations

- 8.18 Public access/Core-Path: Castle Wynd is part of the Core Path Network but is already closed-off at its upper end by the Inverness Castle re-development site (under application 21/00100/FUL). A condition shall be added to update the Access Management Plan and signage already in-place, for the extended closure of Castle Wynd under this new proposal.

Non-material considerations

- 8.19 No non-material considerations have been raised in connection with the proposals.

Matters to be secured by Legal Agreement / Upfront Payment

- 8.20 None

9. CONCLUSION

- 9.1 The proposed energy centre is considered to be highly sustainable in its site and function, providing renewable energy to the Inverness Castle project as well as utilising a redundant existing building. The architecture is bold and dramatic, contemporary and innovative, but will ultimately rely on the final specification and design for the metal cladding panels (which require written approval via condition).
- 9.2 The proposed enhancements to the public realm are considered to be a significant improvement over the existing, with greatly improved materiality/detailing and better connectivity between Castle Street and Wynd.
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued N

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation N

Revocation of previous permission N

Subject to the above actions, it is recommended to **GRANT** the application subject to the following conditions and reasons:

Conditions and Reasons

1. In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

Reason: In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

2. No development or work (including site clearance) shall commence until proposals for an archaeological watching brief to be carried out during site clearance and excavation works, has been submitted to, and approved in writing by, the Planning Authority. Thereafter, the watching brief shall be implemented as approved.

Reason: In order to protect the archaeological and historic interest of the site.

3. Full-scale samples of the proposed wall-cladding, with proposed colour-finish(es) shall be submitted on-site, and approved in writing by, the Planning Authority prior to the commencement of such development. Thereafter, work shall progress in accordance with these approved details.

Reason: In order to ensure quality of design/materiality and protect important elements of the existing character and amenity of the site.

4. All plant, machinery and equipment associated with the development, shall be so installed, maintained and operated such that the rating level of noise does not exceed 41dBA when measured outside any noise-sensitive property, in accordance with BS 4142:2014+A1:2019, Methods for rating and assessing industrial and commercial sound.

Reason: In the interests of surrounding amenity.

5. Details of proposed acoustic mitigation within the energy centre building shall be submitted, and approved in writing by, the Planning Authority prior to the commencement of such development. Thereafter, work shall progress in accordance with these approved details.

Reason: In the interests of surrounding amenity.

6. The existing Access Management Plan and informative signage for the temporary diversion of the Core Path IN19.55 (for the duration of the Inverness Castle works under 21/00100/FUL) shall be updated to include the extended closure of Castle Wynd (under this new proposal) and submitted to and agreed in writing by the Outdoor Access and Long Distance Route Manager. The provisions contained within the updated Access Management Plan shall thereafter be implemented.

Reason: In the interests of public amenity.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning

permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under

Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

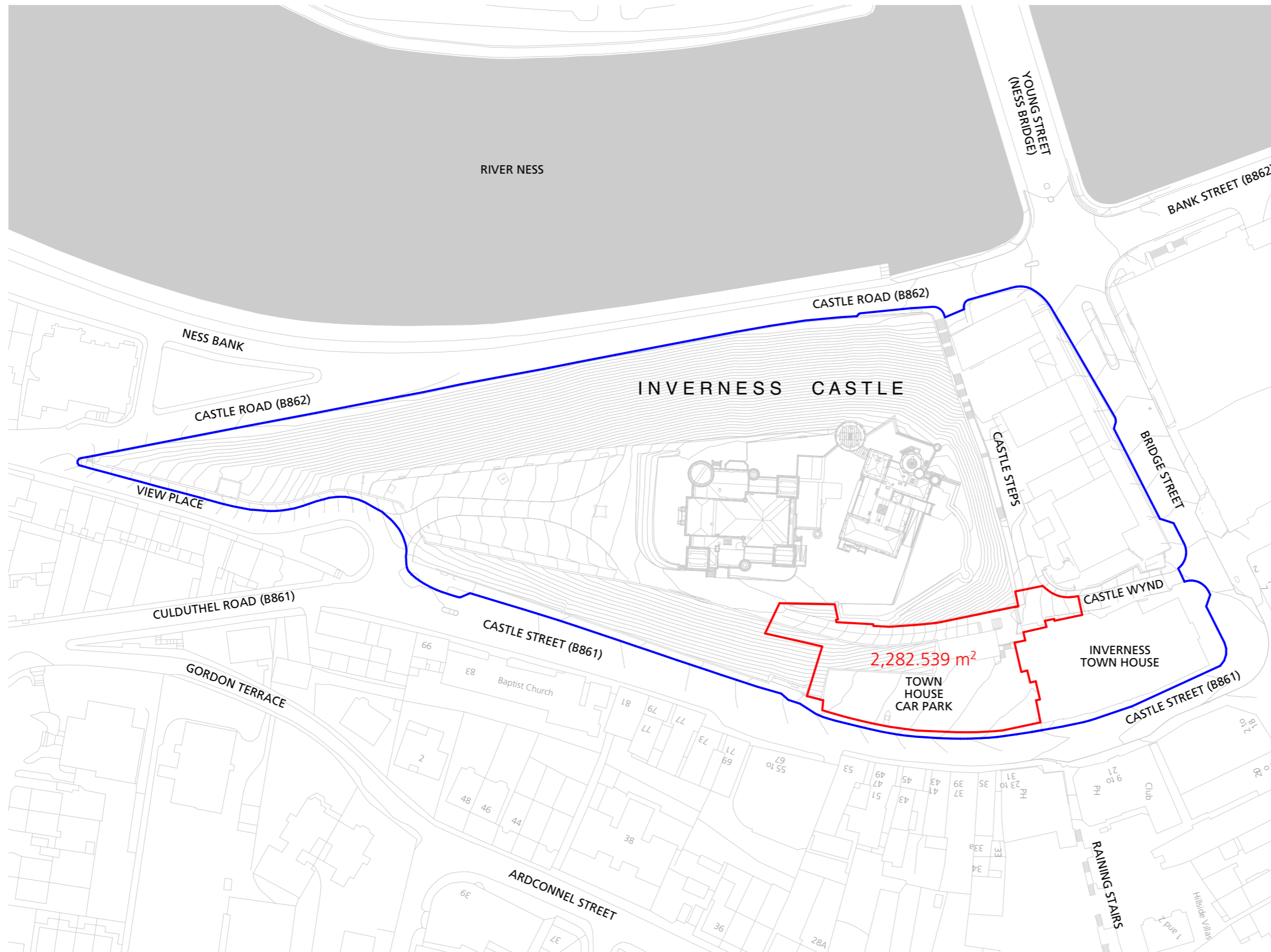
You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature: David Mudie
Designation: Area Planning Manager - South
Author: Norman Brockie
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 2139-LDN-EX-ZZ-DGA-A-001 LOCATION PLAN
Plan 2 2139-LDN-00-ZZ-DGA-A-002 PROPOSED SITE LAYOUT PLAN
Plan 3 2139-LDN-00-00-DGA-A-003 REV P01 PROPOSED GROUND FLOOR PLAN
Plan 4 2139-LDN-00-01-DGA-A-004 REV P01 PROPOSED FIRST FLOOR PLAN
Plan 5 2139-LDN-00-RF-DGA-A-005 REV P01 PROPOSED ROOF PLAN
Plan 6 2139-LDN-PL-ZZ-DEL-A-021 REV P02 PROPOSED ELEVATION PLAN - NORTH
Plan 7 2139-LDN-PL-ZZ-DEL-A-022 REV P02 PROPOSED ELEVATION PLAN - EAST
Plan 8 2139-LDN-PL-ZZ-DEL-A-023 REV P02 PROPOSED ELEVATION PLAN - SOUTH
Plan 9 2139-LDN-PL-ZZ-DEL-A-024 REV.P02 PROPOSED ELEVATION PLAN - WEST

Plan 10	DI18043-OPE-XX-XX-DR-L-900020 REV 01 LANDSCAPING PLAN	
Plan 11	2139-LDN-PL-ZZ-DSE-A-011 REV P01 SECTION PLAN	PROPOSED SITE
Plan 12	2139-LDN-PL-ZZ-DSE-A-012 REV P01 SECTION PLAN - 1-1	PROPOSED
Plan 13	2139-LDN-PL-ZZ-DSE-A-013 REV P01 SECTION PLAN - 2-2	PROPOSED
Plan 14	2139-LDN-PL-ZZ-DSE-A-014 REV P01 SECTION PLAN - 3 - 3	PROPOSED

Revision Notes:

Rev:	Date:	Description:	Drawn:	Reviewed:



- Denotes Site Boundary
- Denotes Applicant Ownership

NOTES:

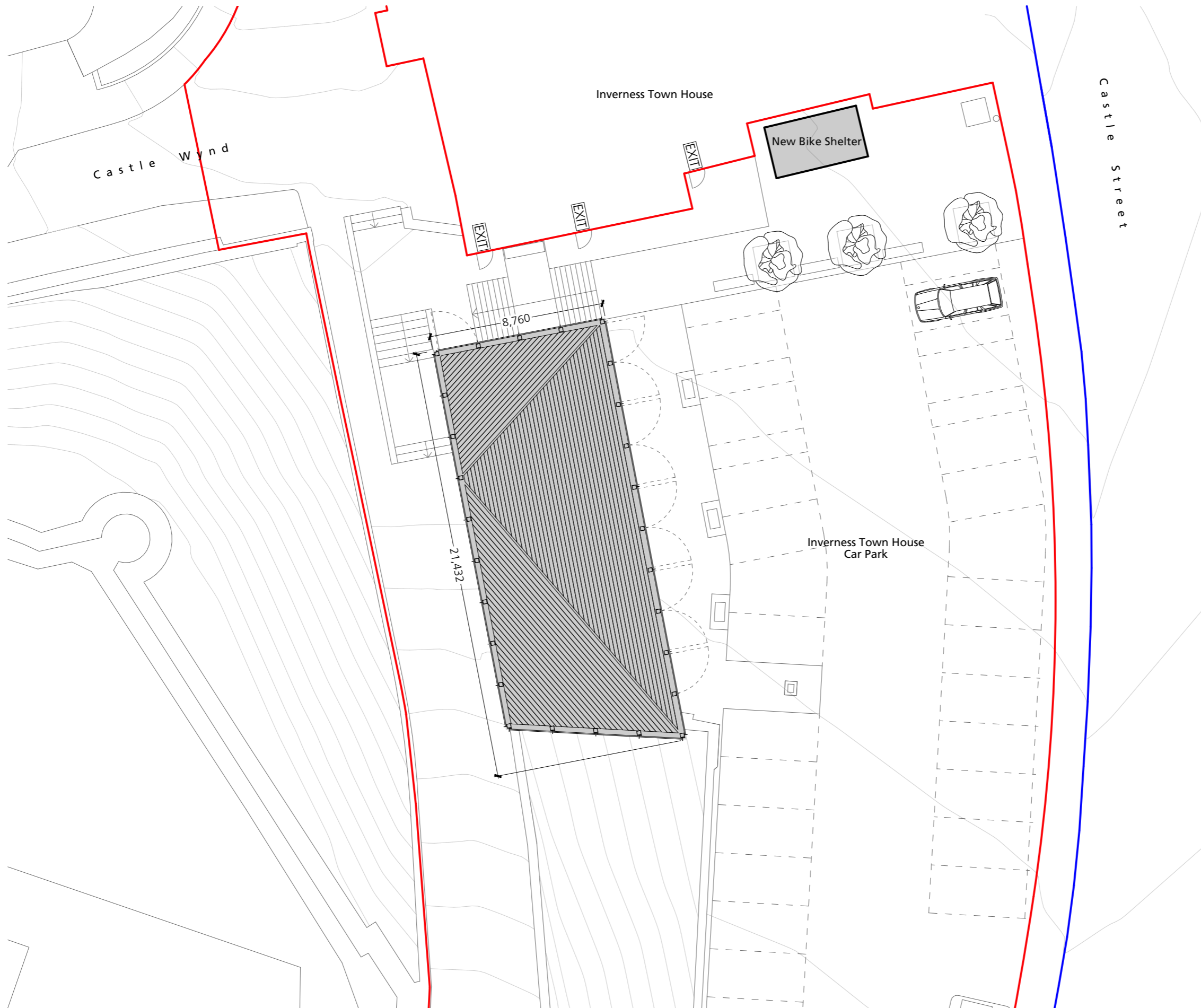
The contractor shall verify all dimensions on site and report any discrepancies in writing to LDN Architects before proceeding works.

ELECTRONIC DATA ISSUE
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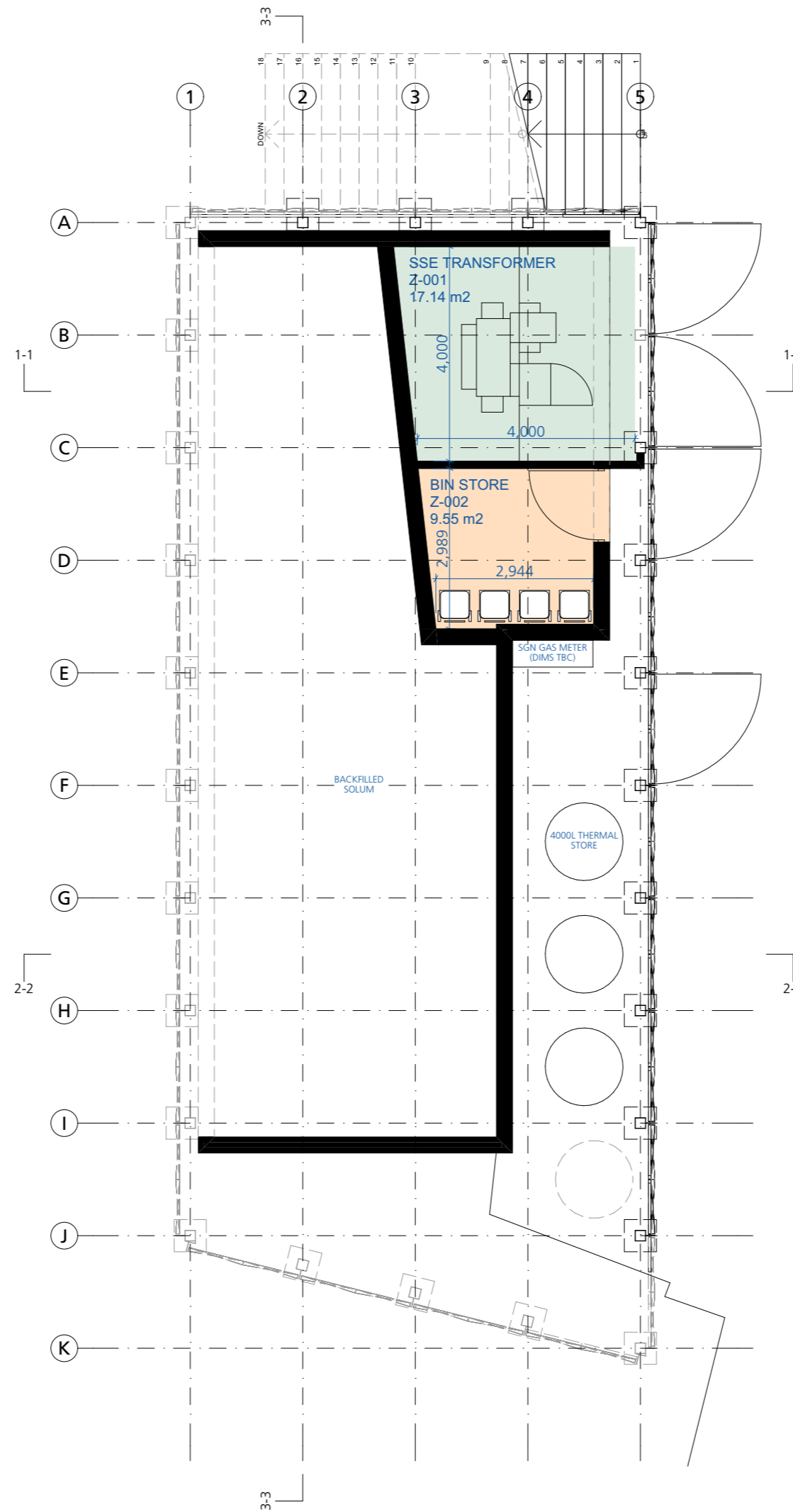
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Rev.	Date:	Description:	Drawn:	Reviewed:
P01	24.01.2023	AMEND: Floor plan updated.	RM	SM



NOTES:

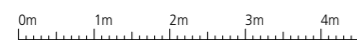
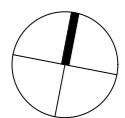
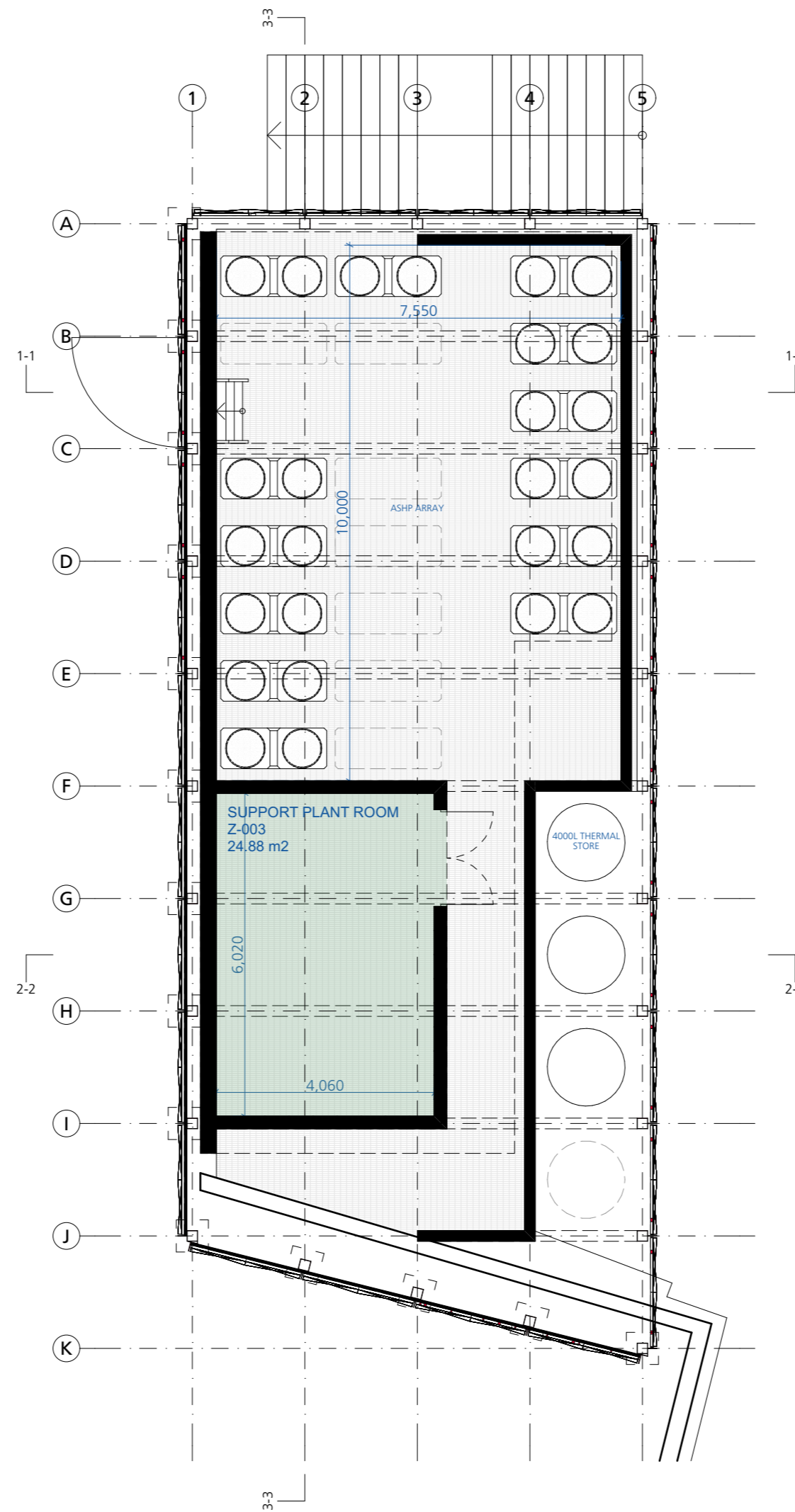
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Rev.	Date	Description	Drawn	Reviewed
P01	24.01.2023	AMEND: Floor plan updated.	RM	SM



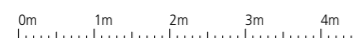
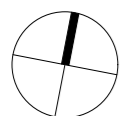
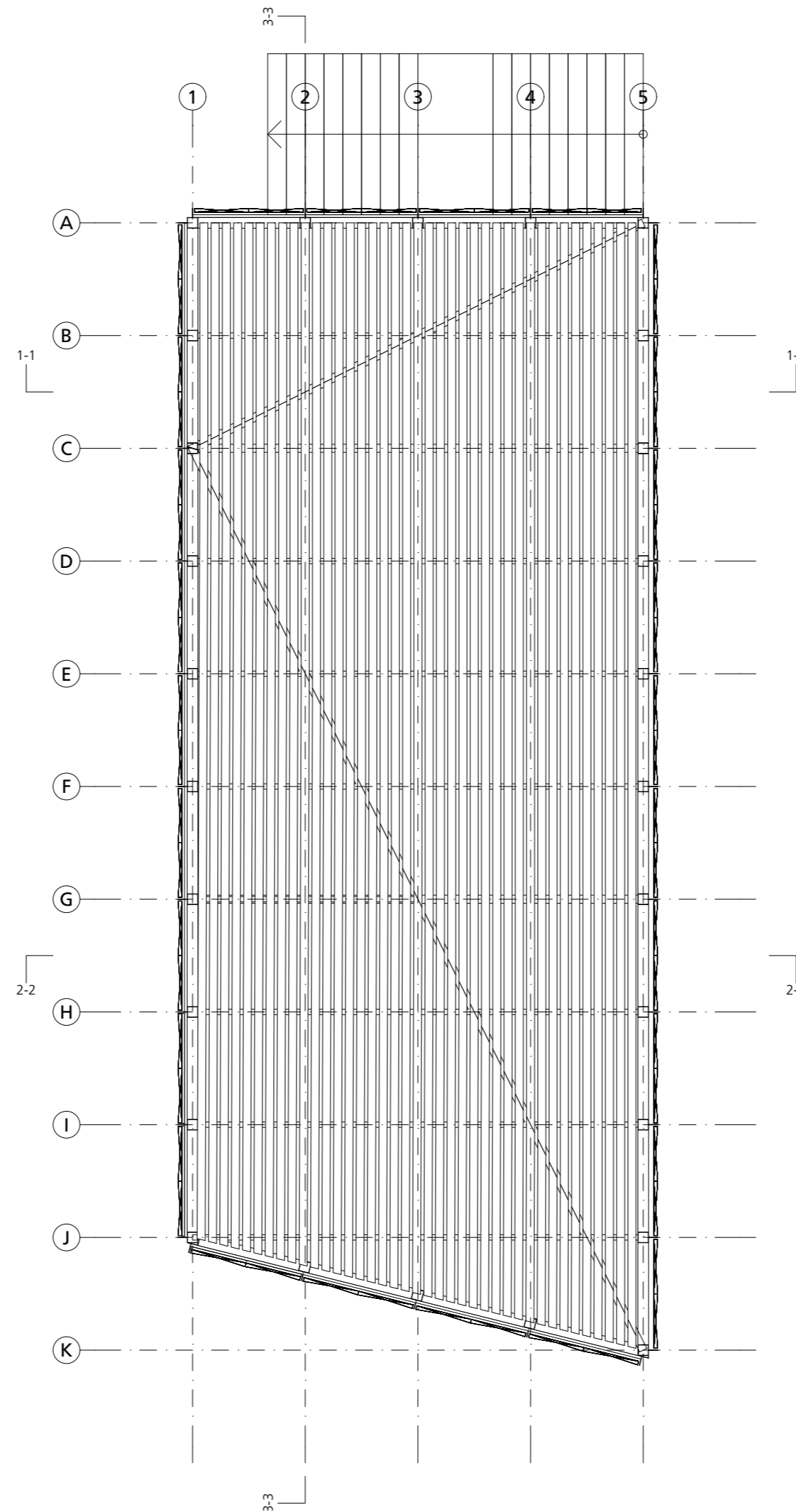
NOTES:

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Revision Notes:

Rev:	Date:	Description:	Drawn:	Reviewed:
P01	24.01.2023	AMEND: Roof plan updated.	RM	SM



NOTES:

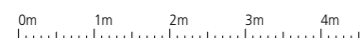
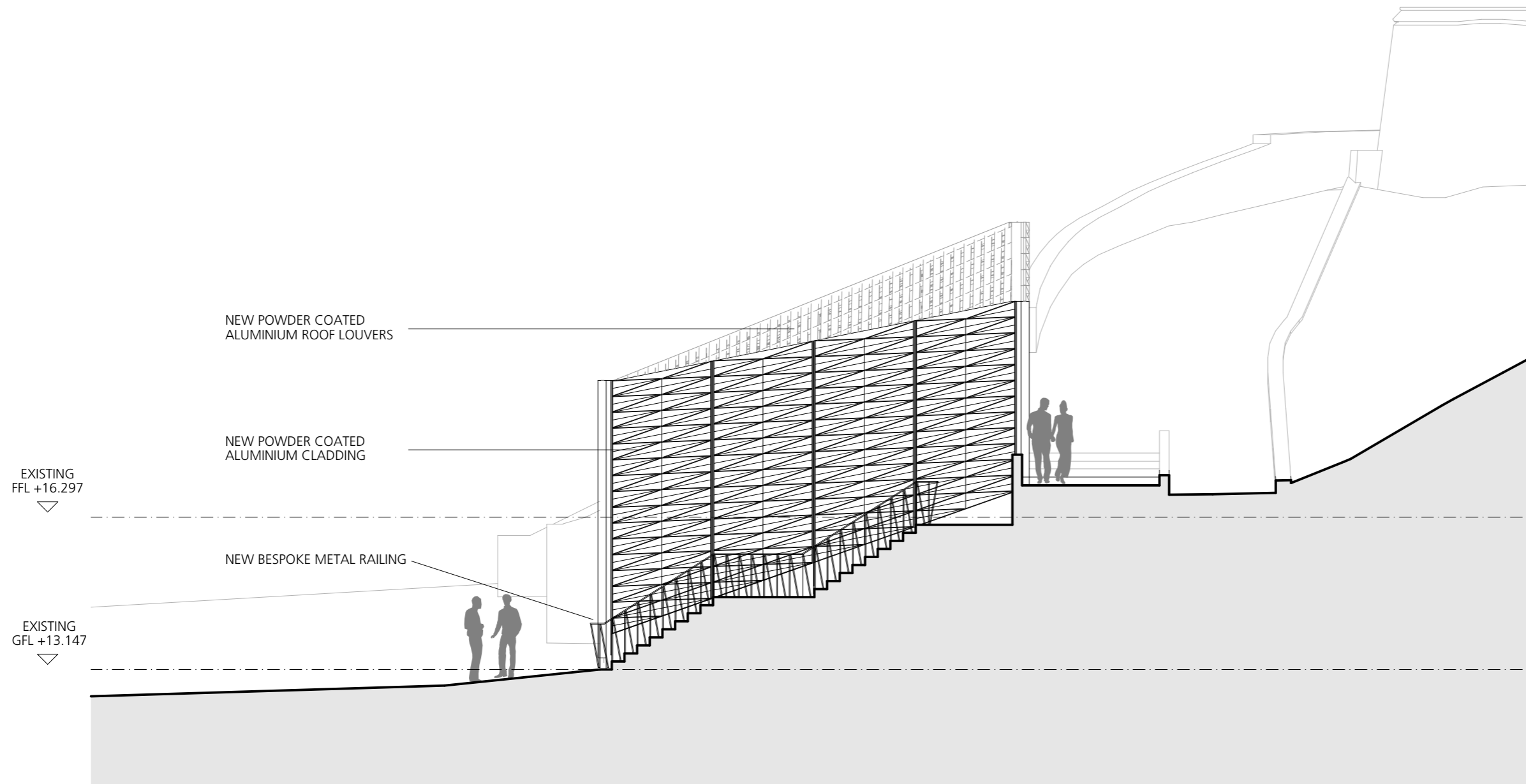
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Revision Notes:

Rev.	Date:	Description:	Drawn:	Reviewed:
P01	06.01.2023	AMEND: Reduced building height.	RM	SM
P02	24.01.2023	AMEND: Existing floor levels corrected.	RM	SM



NOTES:

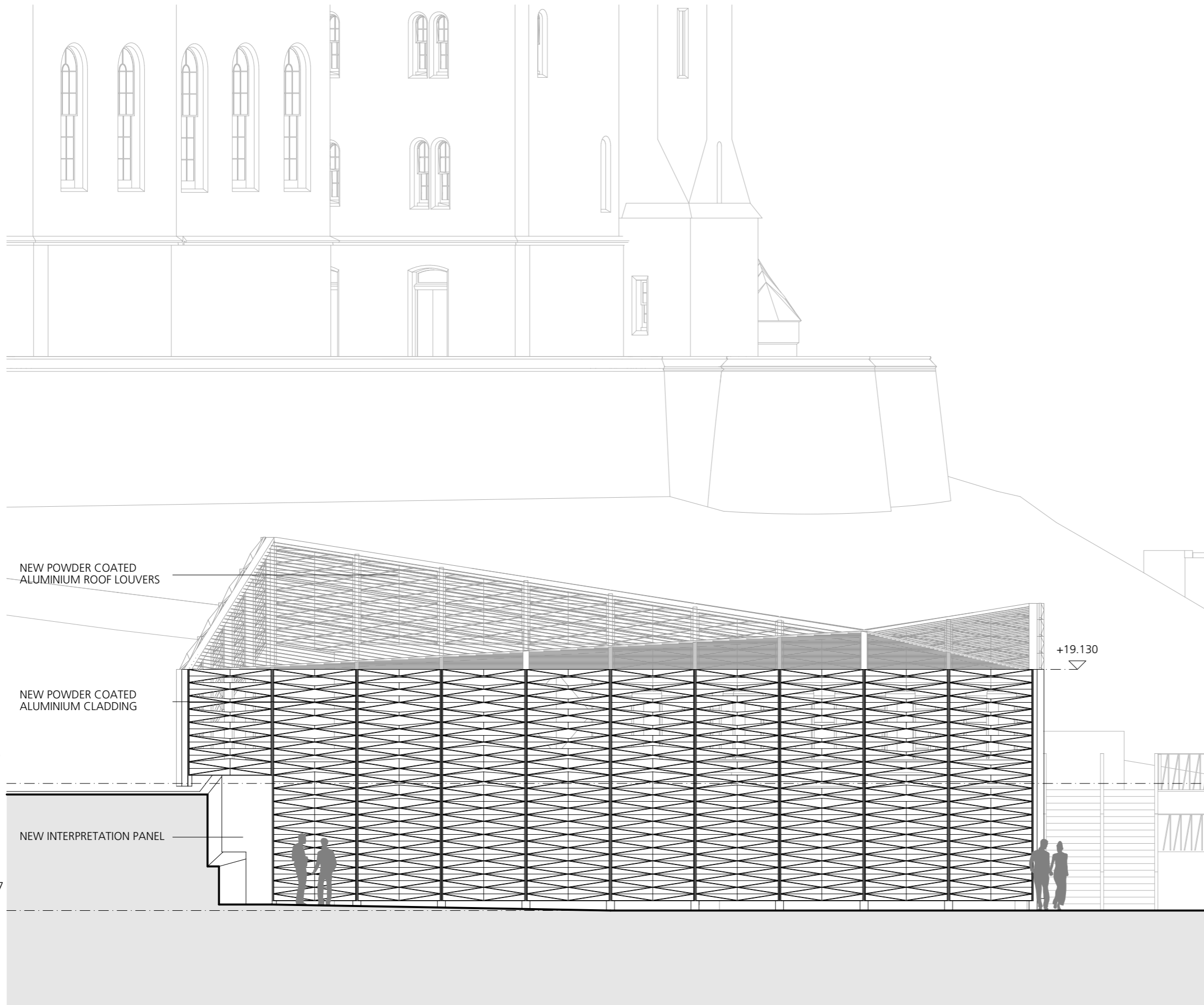
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P02	24.01.2023	AMEND: Existing floor levels corrected.	RM	SM



NOTES:

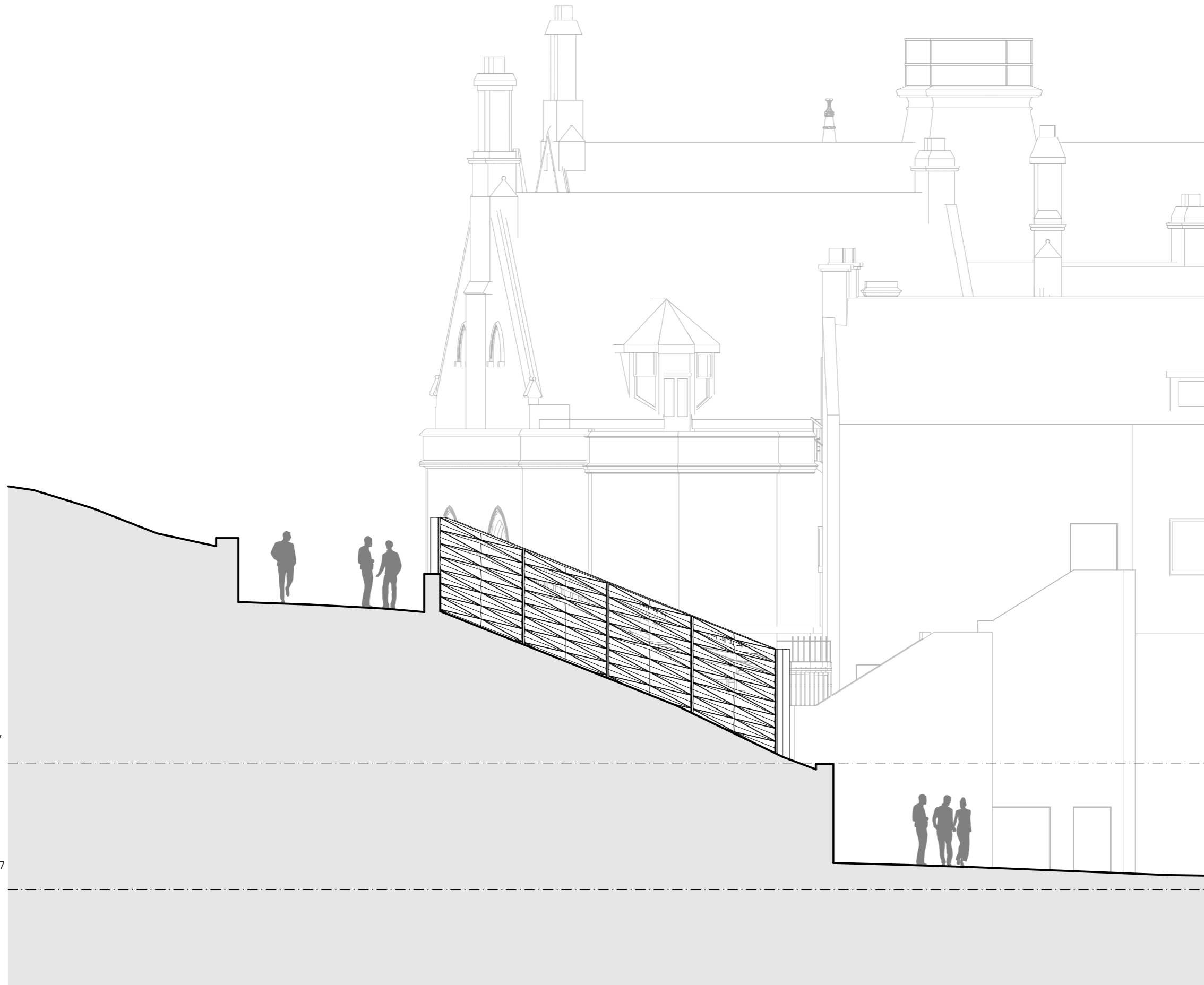
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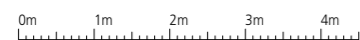
Revision Notes:

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P01	06.01.2023	AMEND: Reduced building height.	RM	SM
P02	24.01.2023	AMEND: Existing floor levels corrected.	RM	SM



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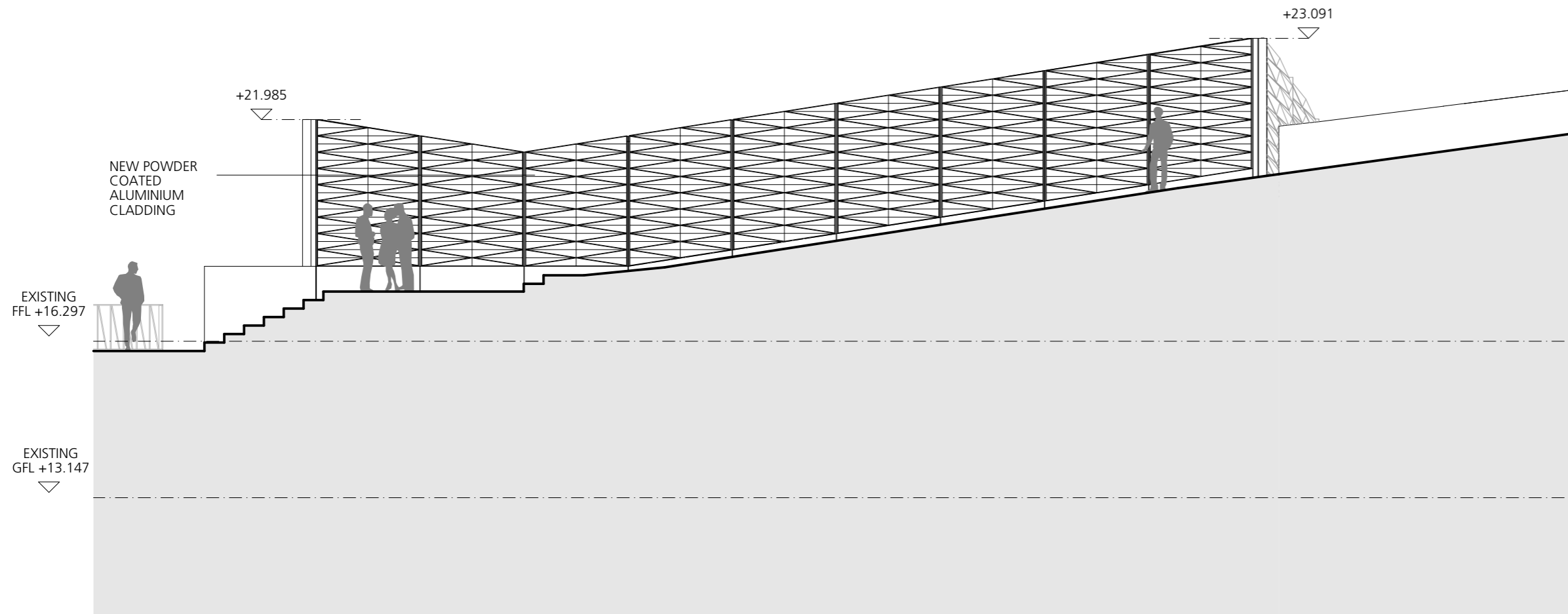
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HARD LANDSCAPE

PAVING
P1: Calithness paving
 600/450/300mm width x random length Calithness units. Laid in stretcher bond typically perpendicular with kerblines with minimum 100mm overlap between units. Mortared joints.
P2: Hard standing
 Notionally exposed aggregate/resin bound gravel surfacing to match Castle Esplanade proposals - buff colour. Build up to engineers specification.
P3: Existing Road Surfacing
 Existing road surfacing made good, with new line markings.

EDGINGS
E1: 200mm flush kerb
 Scottish Whinstone flush kerb, Dark grey, 200mm wide.
E2: 200mm upstand kerb
 Scottish Whinstone upstand kerbs, Dark grey, 200mm wide, 100mm high upstand.
E3: 100mm wide band
 Scottish Whinstone 100mm band, flush, Dark grey.

STEPS
ST1: Existing Steps
ST2: New Steps
 Concrete substructure with natural stone step units to match Inverness Castle proposals. Yorkstone Crosland Hill, flamed finish with contrasting nose.

FURNITURE
F1: Natural Stone clad bench with timber top
 Dark Grey Scottish Whinstone clad bench, concrete core with a hardwood timber top to match Inverness Castle proposals.
F2: Existing Bollard
F3: New Bollards
 Corten parking bollards nominally Streetlife 900m high to match Inverness Castle Proposals.
F4: CorTen Litter Bin
 To match Inverness Castle proposals, nominally Logic Street Furniture Thrimmer Litter Bin.
F5: Existing Phone Box
F6: Cycle stand
 Corten Cycle stand to match Inverness Castle proposals, nominally Streetlife.
F7: Existing Railing
F8: Raised Steel Metal Planter
 Raised Corten Steel Planter height 600mm, nominally Kinley planterline or similar.

F9: EV Charging Points
 With associated lighting
F10: Existing Pay and Display Machine
F11: Tree Grille
 Integrated corten tree grille as part of hard landscape tree planting system, nominally Green Blue Urban FTS Clyde Tree Grille, corten steel with natural weathered finish.
F12: Handrail
 Illuminated Handrail for new steps. Stainless steel with integral lighting to match Inverness Castle proposals.

F13: Existing Lampposts
F13: Tree Uplighter
 Indicative Position Only

STRUCTURES
B1: New Cycle Shelter
 Cycle Shelter structure as per architect's specification
B2: Feature Signage/Seating
 New bench/signage feature with integrated lighting per architect's specification

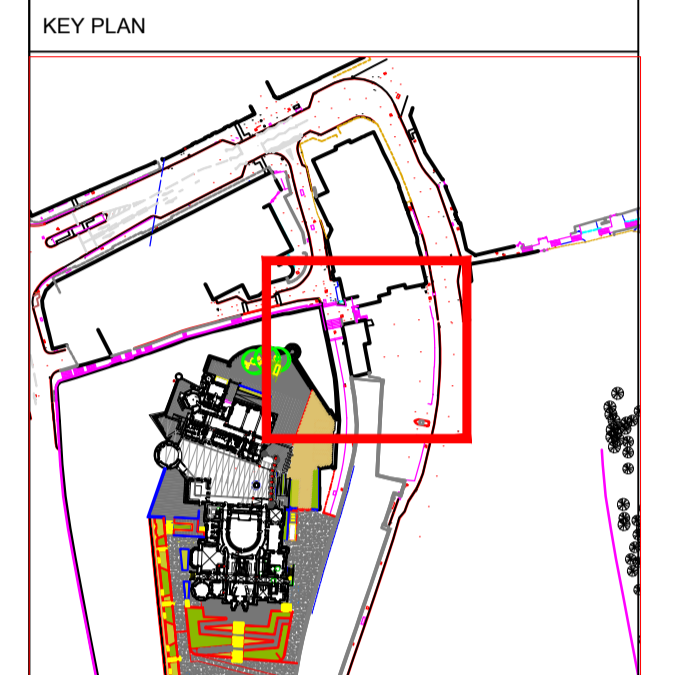
SOFT LANDSCAPE
TREES
T1: Specimen Street Tree
 Species: Tilia tomentosa
 Size: 30-35cm girth
 Root condition: Rootballed
 Clear stem: Min 2.2m
 Guying: Underground guyed
 Aeration/Irrigation: Proprietary aeration irrigation system
 Root barrier: Root barrier to be included to full perimeter of planting area.

PLANTING MIXES
S1: Planter mix
 Sedum spectabile 'Autumn Joy' 9cm
 Salvia nemorosa 'Caradonna Compacta' 9cm
 Briza media 9cm
 Sesleria autumnalis 9cm
 Potentilla 'Ron McBeath' 9cm
 Helleborus x hybridus in var. 9cm
 Euonymus alatus compactus 5L pot

- NOTES**
- This drawing is to be read in conjunction with all other drawings and specifications.
 - Do not scale off this drawing. Written dimensions to be taken only.
 - Any discrepancies found between this drawing and other drawings and specifications in the construction documents must be referred to the Landscape Architect prior to work commencing.
 - This drawing must not be copied in whole or in part without prior written consent of Optimised Environments Ltd.

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CDM INFORMATION
 1. To be completed



Issue	Revision	Initial	Date
01	LDN Feedback	LH	30.08.22

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 0161 696 7500 | manchester@openenvironments.com

Client
The Highland Council

Project
Inverness Castle
Inverness

Drawing Title
Inverness Castle SEC
General Arrangement

Scale Bar
 1m 2m 3m 4m 5m North

Scale: 1:100@A1 Date: AUG 2022

By: LH Status: PLANNING

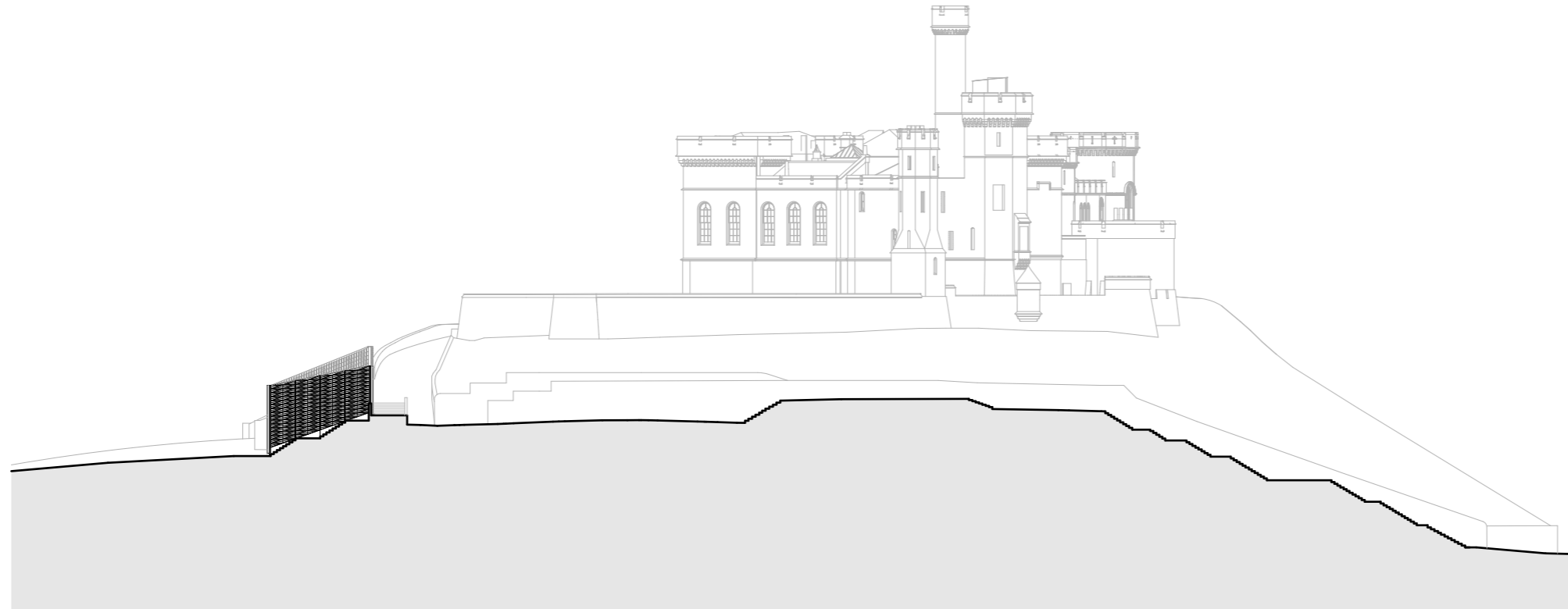
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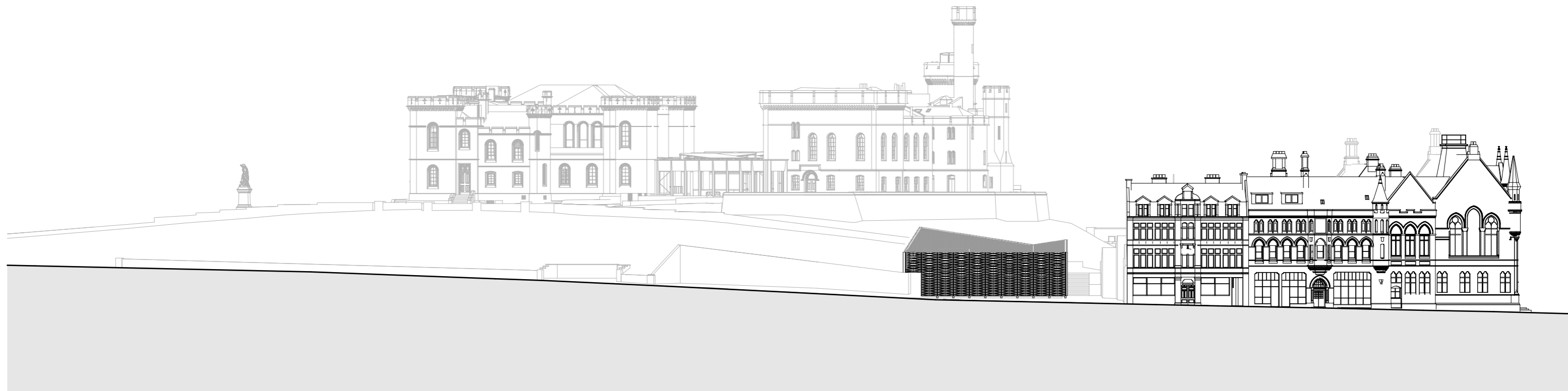
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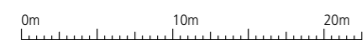
Rev:	Date:	Description:	Drawn:	Reviewed:
P01	24.01.2023	AMEND: Reduced building height.	RM	SM



1:500 SECTION THROUGH CASTLE STAIRS



1:500 SECTION THROUGH CASTLE STREET



NOTES:

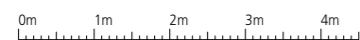
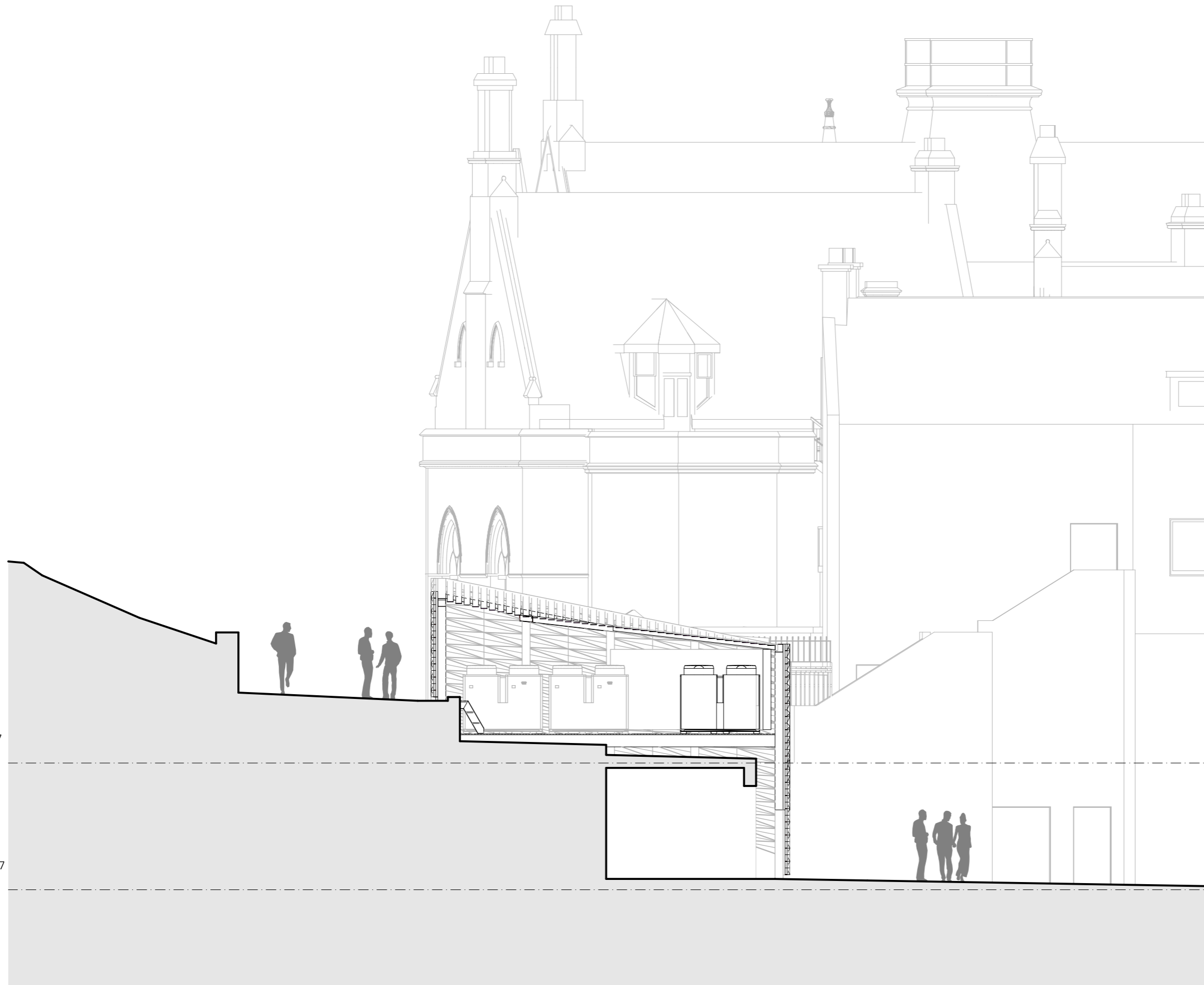
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Project:
 Sustainable Energy Centre

Architect's Project No.:
 F2139

Client:
 The Highland Council

Client's Project No.:
 DI22025

Information Set:
 (PL)

Drawing No.:
 2139-LDN-PL-ZZ-DSE-A-013

Drawing Title:
 Proposed Section 2-2

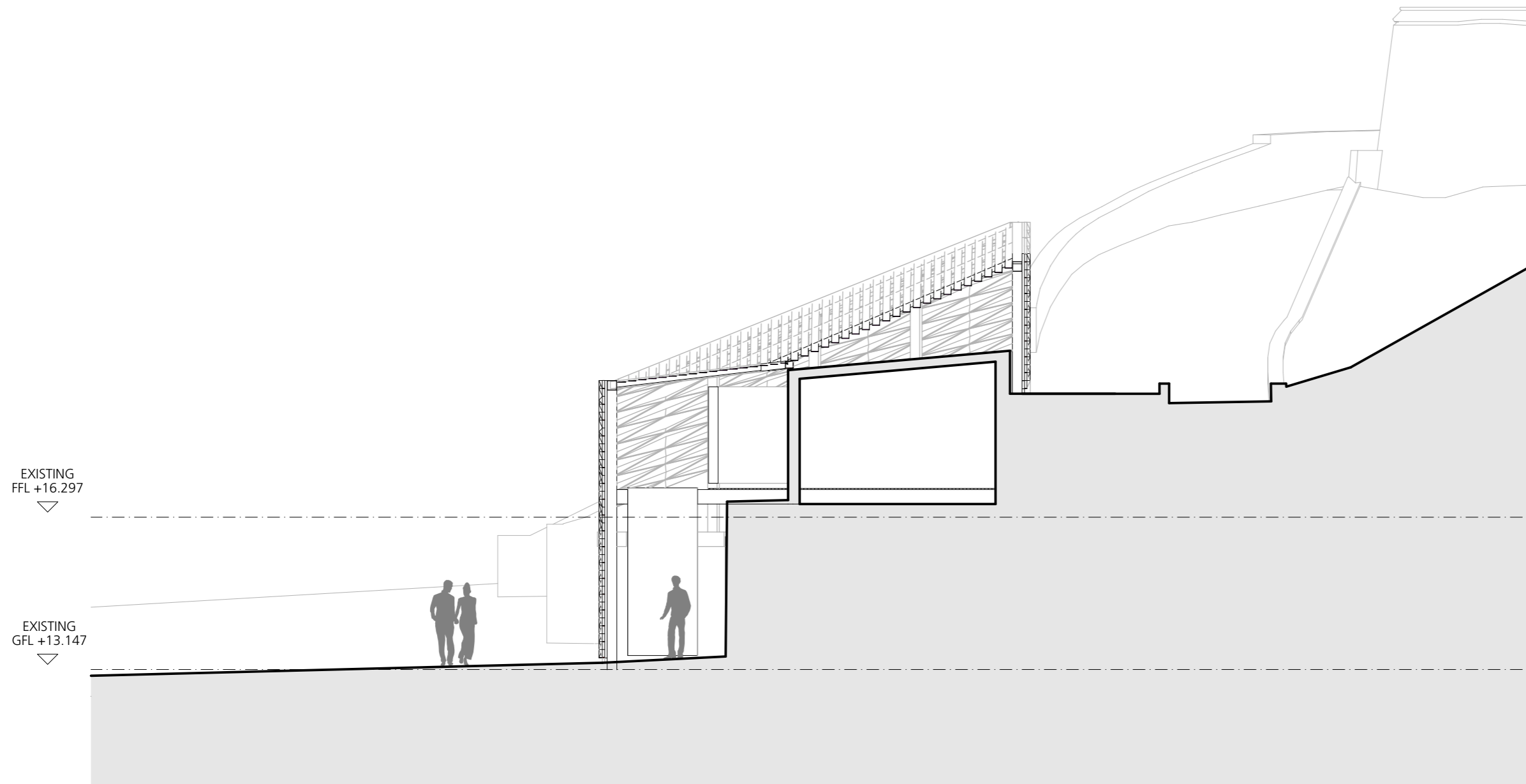
Date: 01 August 2022
 Scale / Format: 1:100 @A3
 Drawn By: RM
 Reviewed By: SM

Status:
 A1 - PLANNING PERMISSION

Revision:
 P01

Revision Notes:

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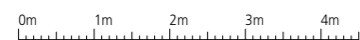


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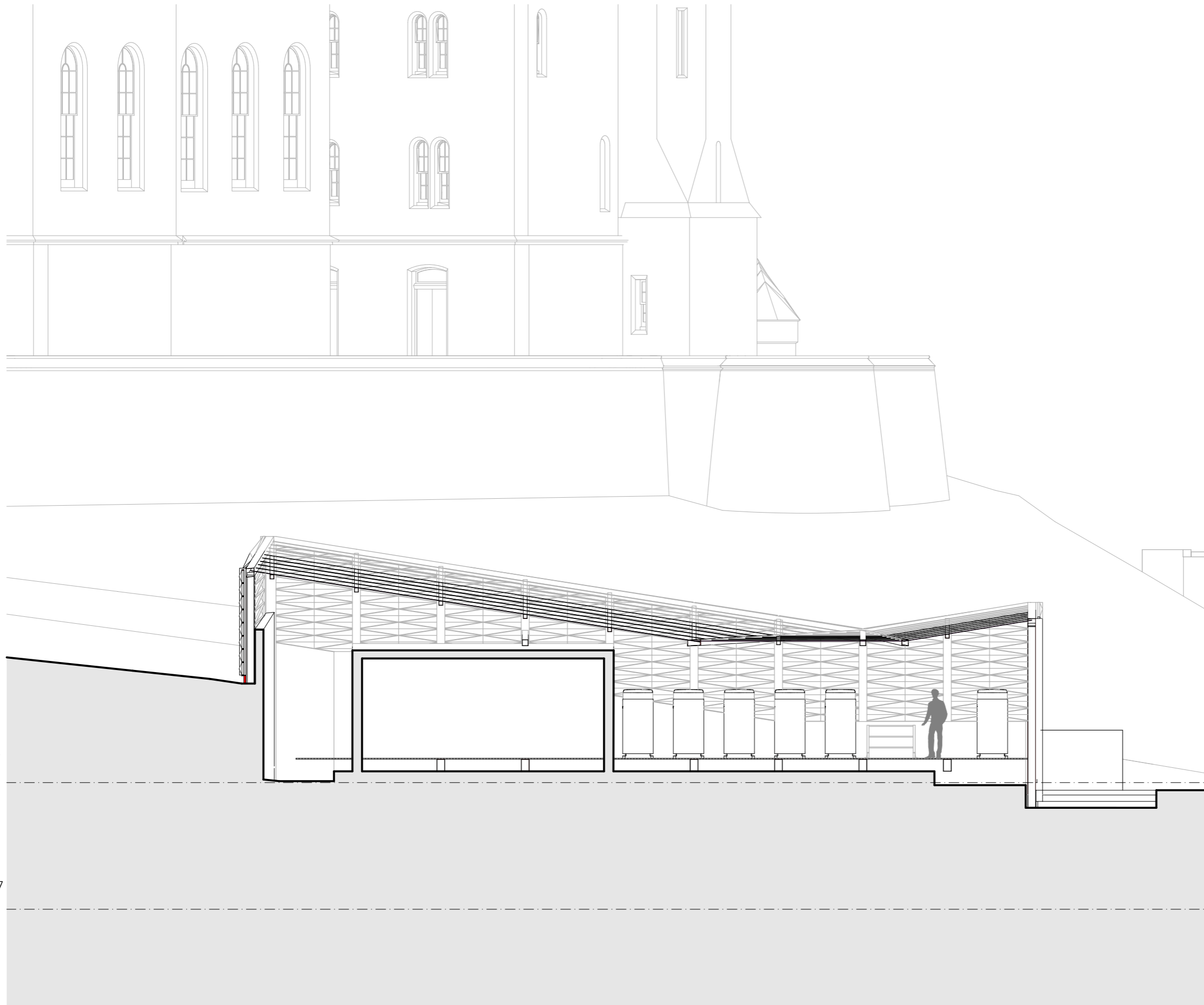
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