

Agenda Item	7.10
Report No	PLS-15-23

HIGHLAND COUNCIL

Committee: South Planning Applications Committee
Date: 08 February 2023
Report Title: 22/05047/FUL: Rural House Ltd.
Land 120M East Of 125 Balmacaan Road, Drumnadrochit
Report By: Area Planning Manager – South

Purpose/Executive Summary

Description: Erection of house
Ward: 12 – Aird and Loch Ness
Development category: Local

Reason referred to Committee: More than 5 representations

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

- 1.1 This application is for the erection of a single house on the land 120m to the east of 125 Balmacaan Road in Drumnadrochit.
- 1.2 There is an existing agricultural field gate and access from Balmacaan Road to the western edge of the site adjacent and to the south of 125 Balmacaan Road.
- 1.3 An application for planning permission in principle (20/00382/PIP) on this site and the adjoining site was granted by Committee in November 2020. An application for full planning permission for a house (22/02622/FUL) on the adjacent plot was granted by Committee in October 2022.
- 1.4 Pre-Application Consultation: None
- 1.5 Supporting Information: None
- 1.6 Variations: None

2. SITE DESCRIPTION

- 2.1 The site is located between Balmacaan Road and Lewiston in Drumnadrochit. It comprises of an open field which slopes southeast from Balmacaan Road.
- 2.2 The neighbouring land to the north and southeast is residential, while to the northeast and southwest, the ground is agricultural – although development has commenced on the land to the southwest for 22/02622/FUL. A long-established screen of trees runs along the rear of the housing at Lewiston.
- 2.3 The nearby housing on Balmacaan Road, which is elevated above the site, is relatively modern, with a succession of relatively recent housing. The housing stock at Lewiston is generally older.
- 2.4 A footpath from Balmacaan Road to Lewiston runs along the western edge of the adjacent site 22/02622/FUL.

3. PLANNING HISTORY

- | | | | |
|-----|------------|--|--|
| 3.1 | 20.09.2022 | 22/02622/FUL Erection of house with associated access and drainage arrangements at Land 55M South Of 125 Balmacaan Road, Drumnadrochit | Planning permission granted |
| 3.2 | 03.11.2020 | 20/00382/PIP Erection of house at Land 60m southeast of 125 Balmacaan Road Drumnadrochit | Planning permission in principle granted |
| 3.3 | 04.10.2019 | 19/02521/PIP Erection of dwelling house and formation of site access | Planning permission refused |

4. PUBLIC PARTICIPATION

4.1 Advertised: Inverness Courier: Unknown Neighbour

Date Advertised: 18.11.2022

Representation deadline: 02.12. 2022

Timeous representations: 5

Late representations: 0

4.2 Material considerations raised are summarised as follows:

- a) Impact on view, amenity and privacy
- b) Housing should be 1½-storey
- c) Protection of landscaping strip
- d) Strategic gap between Lewiston and Drumnadrochit
- e) Wildlife
- f) Footpath – Balmacaan Road to Lewiston

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

None undertaken.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

- 28 - Sustainable Design
- 29 - Design Quality and Place-making
- 30 - Physical Constraints
- 31 - Developer Contributions
- 34 - Settlement Development Areas
- 57 - Natural, Built and Cultural Heritage
- 64 - Flood Risk
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage

6.2 Inner Moray Firth Local Development Plan 2015

DR3 Land at Lewiston. Area 1.1ha. Maximum capacity of 2 houses; provision of visually continuous and permanent green corridor through the site and adjoining land.

6.3 Highland Council Supplementary Planning Policy Guidance

Access to Single Houses and Small Housing Developments (May 2011)

Developer Contributions (March 2018)

Flood Risk and Drainage Impact Assessment (Jan 2013)

Sustainable Design Guide (Jan 2013)
Trees, Woodlands and Development (Jan 2013)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

Scottish Planning Policy (as amended December 2020)
Revised Draft National Planning Framework 4 (NPF4)

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

8.3 The key considerations in this case are:

- a) compliance with the development plan and other planning policy
- b) design and layout
- c) amenity and privacy
- d) trees and wildlife
- e) footpath
- f) developer contributions
- g) any other material considerations

Development plan/other planning policy

8.4 The Development Plan consists of the Highland-wide Local Development Plan and the Inner Moray Firth Local Development Plan.

8.5 The development sits within the village of Drumnadrochit. The most relevant Development Plan policy is the allocation DR3 Land at Lewiston in the IMFLDP 2015. This notes that the site has an area of 1.1ha, with a maximum capacity of 2 houses; and the provision of a visually continuous and permanent green corridor through the site and adjoining land.

8.6 Planning permission (20/00382/PIP) has already been granted for development on this site. Subject to submission of an application for matters specified in condition, it would be possible for the applicant to implement this permission. As this is a new application for planning permission it requires to be assessed on its merits.

- 8.7 In addition to the current allocation, the proposal has to be assessed against the more general policies in the HWLDP:
- HwLDP Policy 28 (Sustainable Design) assesses development against a number of criteria and the most relevant in this case are: impact on cultural heritage; and sensitive siting and high-quality design.
 - HwLDP Policy 29 (Design Quality and Place Making) seeks the design of new development to make a positive contribution to the architectural and visual quality of the place.
 - HwLDP Policy 57 (Natural, Built & Cultural Heritage) in respect of the form and scale of development and the impact on its setting. Provided the proposed development will not have an unacceptable impact on the amenity and heritage resource, it will be supported.
- 8.8 The general policies of the Highland-wide Local Development Plan support development that is accessible by public transport, cycling and walking, and can demonstrate sensitive siting and high-quality design that is compatible with surrounding land uses. With regard to the proposed plan, the priorities for Drumnadrochit include the requirement to preserve the greenspaces and green corridors that permeate through the settlement and enhance their role as active travel routes.
- 8.9 Subject to the proposal having no significant detrimental impact on townscape, cultural heritage assets, existing infrastructure and community and residential amenity the proposal would comply with the Development Plan.

Design and Layout

- 8.10 The site is located between Balmacaan Road and Lewiston in Drumnadrochit. On plan, the existing character of these streets comprises a linear pattern of low-density housing located either side of this agricultural field. However, on the ground, the development sites relate more to Balmacaan Road rather than Lewiston given the well-established screen of trees to the north (rear) of the Lewiston houses. The existing houses adjacent to the site at Balmacaan Road are single storey with wet harl finishes and slate effect concrete roof tiles.
- 8.11 Planning permission was recently granted for a house on the adjacent site to the west (22/02622/FUL). This adjacent house is to be 1½-storeys, with the upper floor using a developed roof space. It will be rectangular in form (18.1m x 10.2m at its maximum), utilising traditional materials including vertical larch cladding, sections of stone cladding, metal sheet roofing, and timber windows and doors. A lean-to 'extension' is to be added to the north elevation.
- 8.12 The proposed house is placed centrally within the large plot, being approximately 30m from the house on the adjacent site to the west (22/02622/FUL); 17m from the boundary with the houses to Balmacaan Road to the northwest; 24m from the housing to the east; and 33m from the boundary with the houses to Lewiston to the south.
- 8.13 It will have an 'L-plan' footprint, one wing of this being single storey, the other having a developed first floor with rooflights. The 1½ storey wing is placed on an east-west

axis, with the single storey wing running north-south. The main ground floor windows from the public rooms face south towards the established tree screening along the rear of the houses on Balmacaan Road. The two upper floor bedroom roof lights face southwest.

- 8.14 The footprint is around 12m x 17.8m at its maximum extent, with the width of each wing being 5m and 6.1m. The external materials include vertical larch cladding, sections of stone cladding, metal sheet roofing and timber windows and doors.
- 8.15 While the house would be located in a backland position in relation to the properties in Balmacaan Road, the wider site is allocated for two houses - allocation DR3 Land at Lewiston in the IMFLDP 2015 - and the access point is fixed. The site is accessed using the existing field gate, and is opposite No.s 94 and 96 Balmacaan Road to the west. The access road runs to the north of the proposed property with parking and turning for up to 3 cars to be located to the northeast of the house. The access point is to be upgraded to meet SDB3 standard and will be shared with the adjacent site to the west.
- 8.16 The established tree screen runs along the southern boundary of the plot. The plans show that a 15m wide landscaping strip / buffer zone along this southern boundary is to be protected by fencing for the duration of the works. This matches the requirement of the adjacent site to the west, and the planning permission in principle granted in November 2020. Accordingly, the visually continuous and permanent green corridor through the site to the adjoining fields to the northeast and southwest, as identified by the IMFLDP allocation DR3, will be retained.
- 8.17 The overall design and layout, including the massing, scale and height of the proposed house, together with the external materials, are considered to be consistent with the house on the adjacent site to the west and are considered to be acceptable and accords with the Development Plan policies.

Impact on amenity and privacy

- 8.18 The site sits below the houses on Balmacaan Road and above those at Lewiston. The site and the houses at Lewiston share an established screen of trees. The site is also generously sized and the house is to be placed centrally and carefully orientated within the plot. These factors are such that it is not considered that the proposal will result in any direct intervisibility with housing to the north or south, or result in overlooking, and therefore not significantly impact on any established amenity and privacy. Members will note that there is no right to a view over adjacent land from an existing property.

Trees and wildlife

- 8.19 The site forms part of the agricultural fingers of land in the village and undoubtedly provide a resource to wildlife. However, the low density of housing proposed (22/02622/FUL and 22/05074/FUL), along with the existing area of mature trees to the southeastern side of the sites will still allow for the passage of animals through and around the proposed housing.

- 8.20 Members may recollect that during the consideration of the application on the adjacent site to the west (22/02622/FUL) by Committee in October 2022, it was noted that preparatory groundworks had been undertaken on the allocated site DR3. Following several subsequent site visits and discussion with the agent, the unauthorised ground works were modified to reinstate some of the ground subject to the preparatory ground works, and clearly establish the 15m deep buffer zone by the placement of Herras fencing to the north of the established screen of trees between the allocated site DR3 and the houses at Lewiston. It is now considered that the development of the adjacent site to the west (22/02622/FUL) and the current application site (22/05074/FUL) can now proceed without detriment to this buffer.
- 8.21 The retention of this Herras fencing as a safeguarding barrier for the protection of these trees during the course of development works can be controlled by condition.

Footpath

- 8.22 Representations refer to the path between Balmacaan Road and Lewiston. Members will note that this was referred to in the previous approvals [20/00381/PIP (at condition 12); and 22/02622/FUL (at condition 4)] with improvement works to this path. This path lies to the western edge of the adjacent application site (22/02622/FUL) only. Nevertheless, it is considered to be appropriate to have some upgrade works to the path undertaken as the developer is likely to use and benefit from the path. This can be controlled by condition.

Developer contributions

- 8.23 Developer contributions were paid at planning permission in principle stage.

Other material considerations

- 8.24 There are no other material considerations.

Non-material considerations

- 8.25 None

Matters to be secured by Legal Agreement / Upfront Payment

- 8.26 None

9. CONCLUSION

- 9.1 The application is for a single house on land allocated by the Inner Moray Firth Local Development Plan, as site DR3, for two houses. The allocation notes that there should be provision of a continuous and permanent green corridor through the site and adjoining land. This can be achieved. It is considered that this existing agricultural field can be developed in accordance with the requirements of the allocation.
- 9.2 The proposed siting and design appears to fit the site while respecting the form of surrounding houses without any significant adverse impact on amenity.

9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

10.1 Resource: Not applicable

10.2 Legal: Not applicable

10.3 Community (Equality, Poverty and Rural): Not applicable

10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation N

Revocation of previous permission N

Subject to the above actions, it is recommended to **GRANT** the application subject to the following conditions and reasons:

1. In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

Reason: To accord with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

2. No built development shall be undertaken within a buffer zone to the north side of the 'landscape strip' to the south-eastern boundary of the site, as shown on approved Plans No.546 PL 005 and No.546 PL 006 docketted hereto. For the avoidance of doubt, the buffer zone shall be protected by temporary Herras type fencing for the duration of any development works prior to the commencement of any development on site.

Reason: In order to protect the existing landscaping strip and to clarify the terms of the permission.

3. Prior to the commencement of development, a detailed plan of and specifications for improvements to the path between Balmacaan Road and West Lewiston on the western edge of the site shall be submitted to and approved in writing by the Planning Authority. The works shall be implemented as approved by the developer before the first occupation of either house. For the avoidance of doubt the walking tunnel of the path shall be cleared to a height of 3m with 1m verges and the path upgraded to a width of between 0.6m and 1.2m built to the standards of the Lowland Path Construction Guide and Upland Path Construction Standards.

Reason: In order to improve public footpath access.

4. The air source heat pump shall be installed in accordance with the noise standards within the Microgeneration Scheme guidance: - MCS 020 MCS Planning Standards for Permitted Development Installations of Wind Turbines and Air Source Heat Pumps on Domestic Premises.

Reason: In order to clarify the terms of the permission and in the interests of amenity.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

A supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Surface water soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

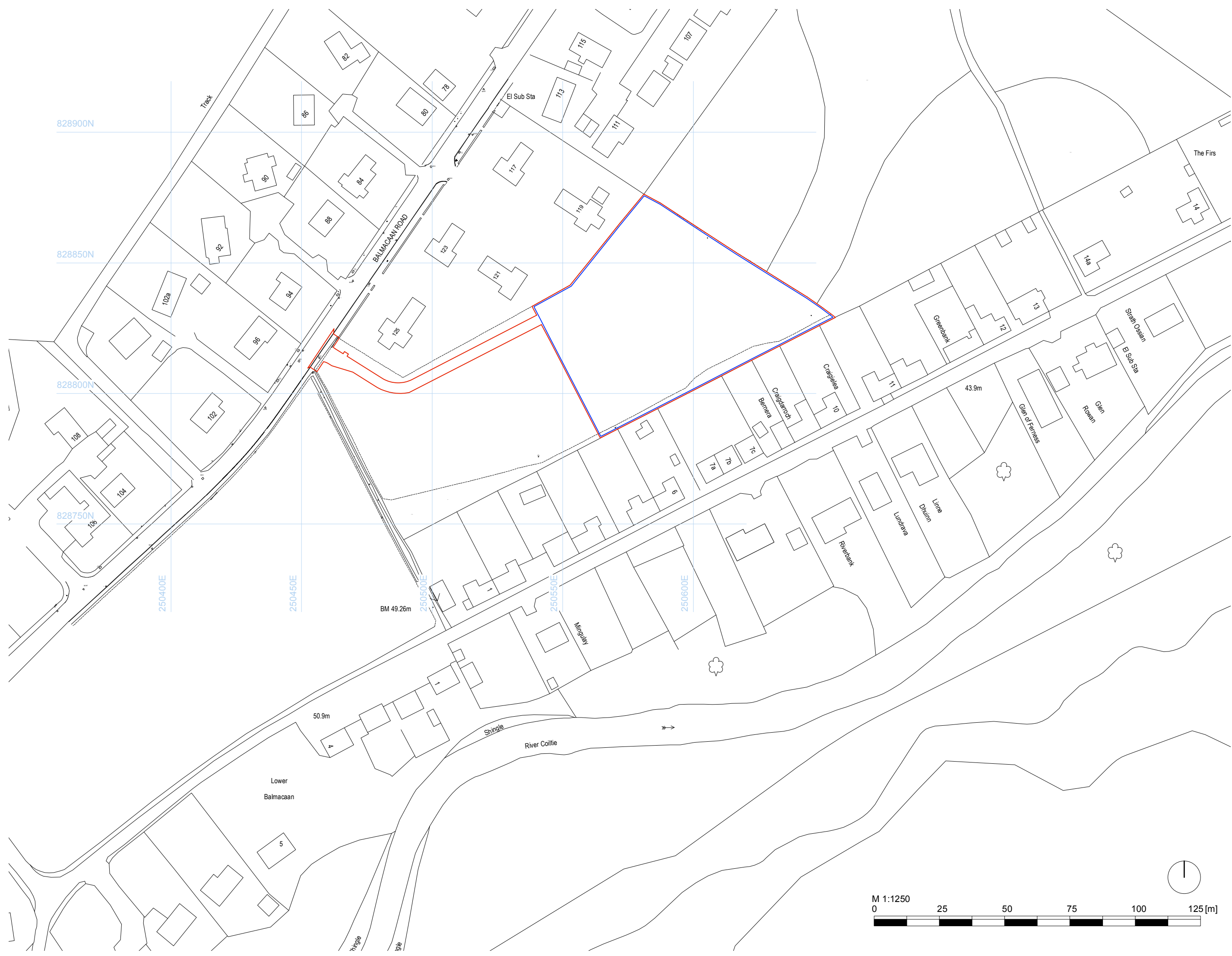
You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature: David Mudie
Designation: Area Planning Manager – South
Author: Lauren Neil
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 - 546 PL 001 - Location Plan
Plan 2 - 546 PL 003 – Existing Site Layout Plan
Plan 3 - 546 PL 004 – Visibility Splay
Plan 4 - 546 PL 005 – Proposed Site Layout Plan
Plan 5 - 546 PL 006 – Proposed Site Layout Plan
Plan 6 - 546 PL 101 – Proposed Ground Floor Layout
Plan 7 - 546 PL 102 - Proposed First Floor Layout
Plan 8 - 546 PL 111 – Proposed Elevations

Plan 9 - 546 PL 121 – Proposed Section

Plan 10 - 000001 – Landscaping Plan

NOTES:
 1. Do not scale from drawings, if in doubt seek clarification from architect.



REV	DESCRIPTION	BY	DATE
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R.HOUSE

6A Drynoch, Crossal, Isle of Skye, IV47 8SP
 tel 01478 612 899 studio@ruralhouse.net
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Project: Proposed R4L at Balmaccan Rd, Plot 2

Client: Lynden & Gloria Schofield

Drawing: Location Plan

Scale: 1:1250@A3	Drawn: SM	Checked: MM
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Status: Planning	Date: Sep 2022	REV:
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Drawing No: **546 pl 001**





NOTES:
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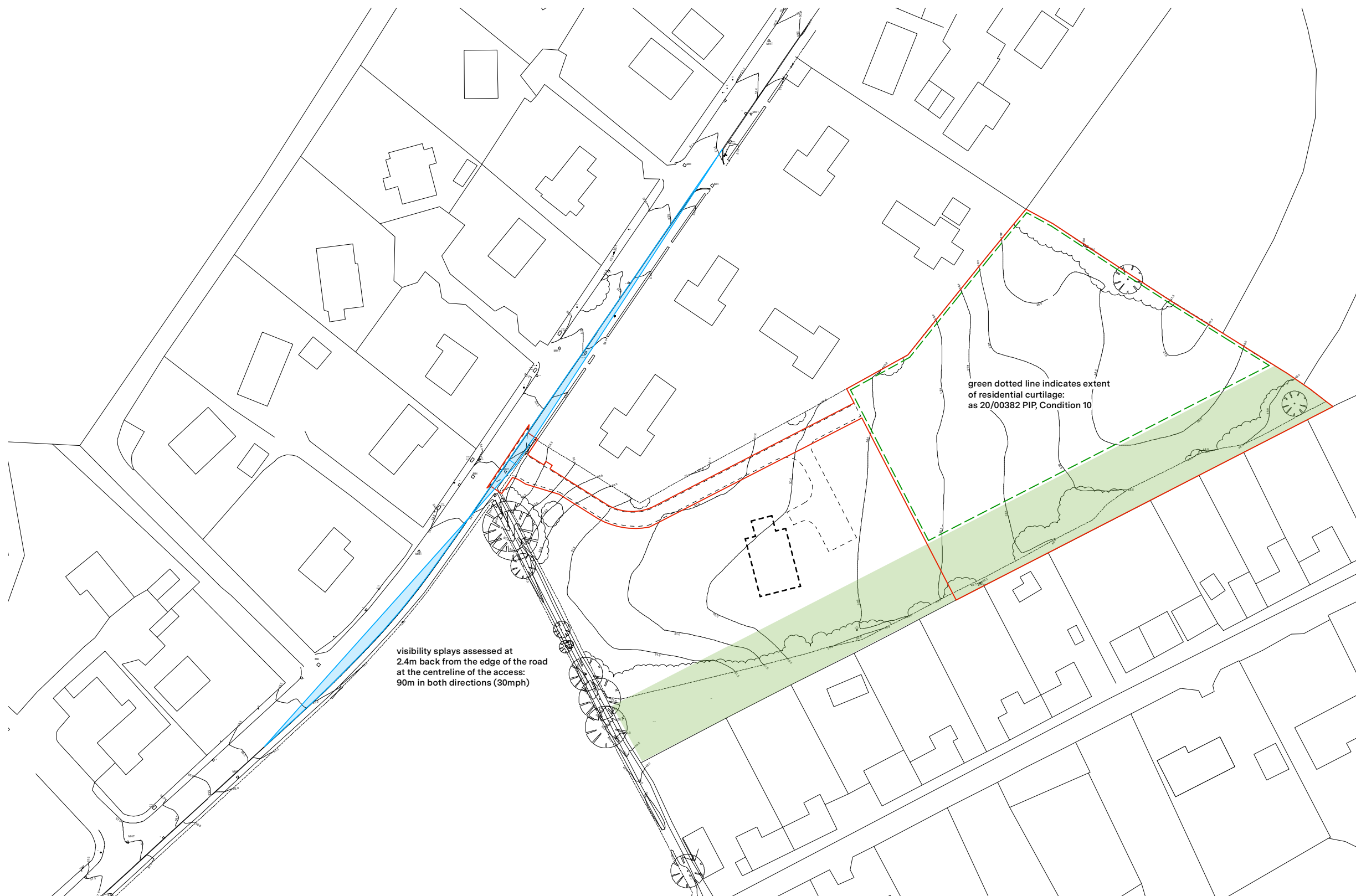
Project: Proposed R4L at Balmacaan Rd, Plot 2
 Client: Lynden & Gloria Schofield

Drawing: Site Plan - As Existing

Scale: 1:500@A3	Drawn: SM	Checked: MM
Status: Planning	Date: Sep 2022	REV:

Drawing No: **546 pl 003**

NOTES:
 1. Do not scale from drawings, if in doubt seek clarification from architect.



visibility splays assessed at
 2.4m back from the edge of the road
 at the centreline of the access:
 90m in both directions (30mph)

green dotted line indicates extent
 of residential curtilage:
 as 20/00382 PIP, Condition 10

REV	DESCRIPTION	BY	DATE
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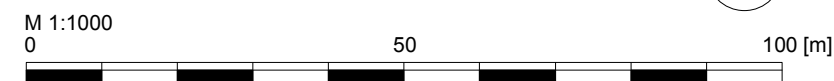
Project: Proposed R4L at Balmacaan Rd,
 Plot 2

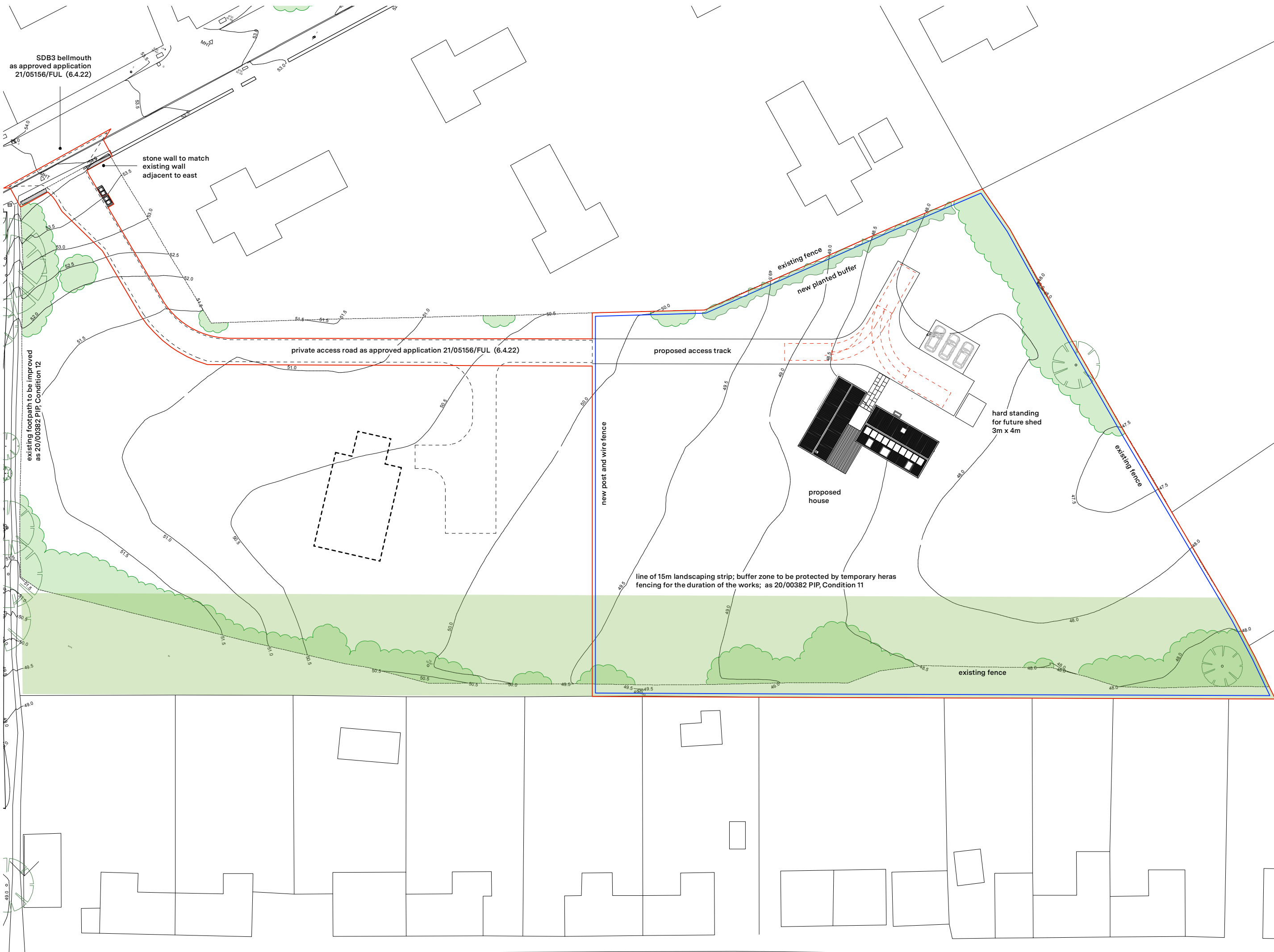
Client: Lynden & Gloria Schofield

Drawing: Visibility Splay / Residential
 curtilage

Scale: 1:1000@A3	Drawn: SM	Checked: MM
Status: Planning	Date: Sep 2022	REV:

Drawing No: **546 pl 004**





NOTES:
1. Do not scale from drawings, if in doubt seek clarification from architect.

General Notes

Access Track
100mm compacted gravel/whin dust or marble topping on 200mm compacted sub-base comprising locally found material where possible

Bellmouth
Bellmouth to be formed in accordance with Highland Council SDB3 standard details.

Parking Bay
40mm gravel on 200mm compacted sub-base comprising locally found material where possible

Water Supply
25mm supply pipe laid at a depth of 750-1350mm to connect to mains supply

Electricity Supply
16kva single phase underground connection to network subject to SSE quote

Foul Drainage
To main sewerage system via pumping station.

Rainwater
Surface water to be discharged in accordance with engineers details

Fire Access
- Minimum width of road between kerbs 3.7m
- Minimum width of gateways 3.5m
- Minimum clearance height 4.0m
- Minimum turning circle between kerbs 26.0m
- Minimum turning circle between walls 29.0m
- Minimum axle loading 14 tonnes

Vehicle access route provided to within 45m of the entrance door.

In order to allow unobstructed access to a building for fire and rescue service personnel, a paved (or equivalent) footpath at least 900mm wide should be provided to the principal entrance, or entrances, of a building.

Every elevation which is provided with vehicle or pedestrian access for fire and rescue service personnel, should have a door giving access to the interior of the building.

Bin storage
Bin store to be located at junction of new track with Balmacaan Road



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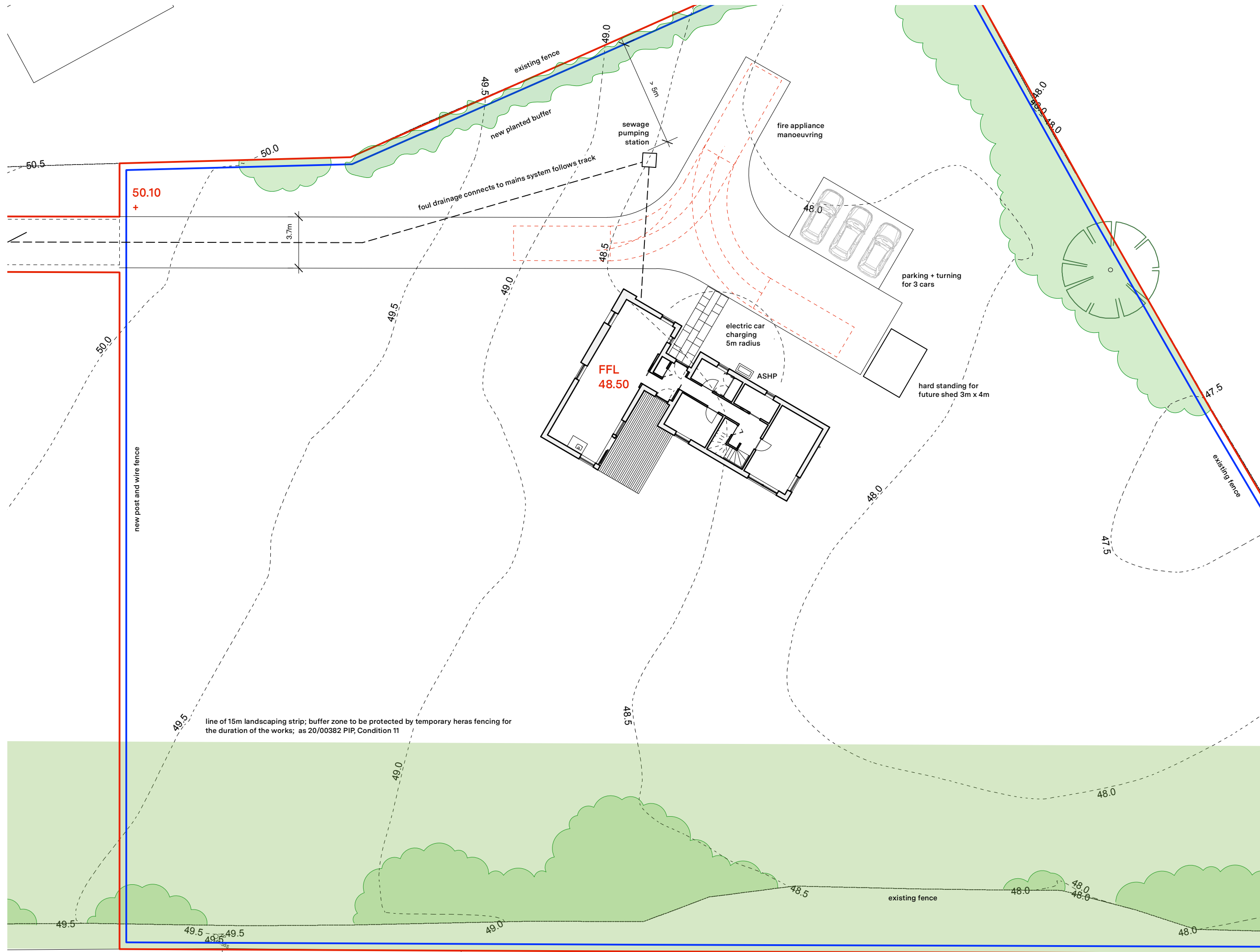
Project: Proposed R4L at Balmacaan Rd, Plot 2

Client: Lynden & Gloria Schofield

Drawing: Site Plan - As Proposed

Scale: 1:500@A3	Drawn: SM	Checked: MM
Status: Planning	Date: Sep 2022	REV:

Drawing No: **546 pl 005**



NOTES:
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Project: Proposed R4L at Balmacaan Rd, Plot 2

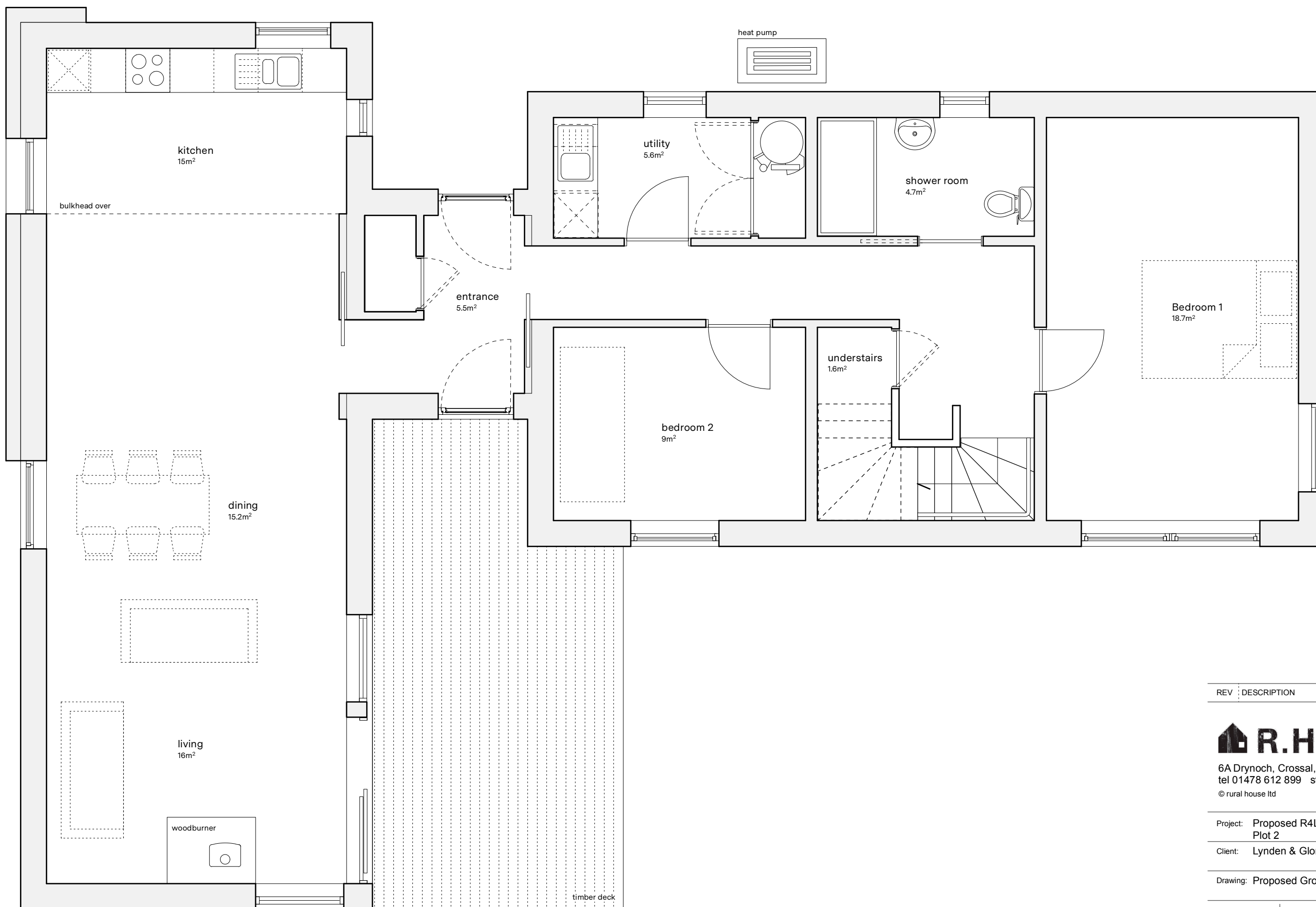
Client: Lynden & Gloria Schofield

Drawing: Site Plan - As Proposed (detail)

Scale: 1:250@A3	Drawn: SM	Checked: MM
Status: Planning	Date: Sep 2022	REV:

Drawing No: **546 pl 006**

NOTES:
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Client: Lynden & Gloria Schofield

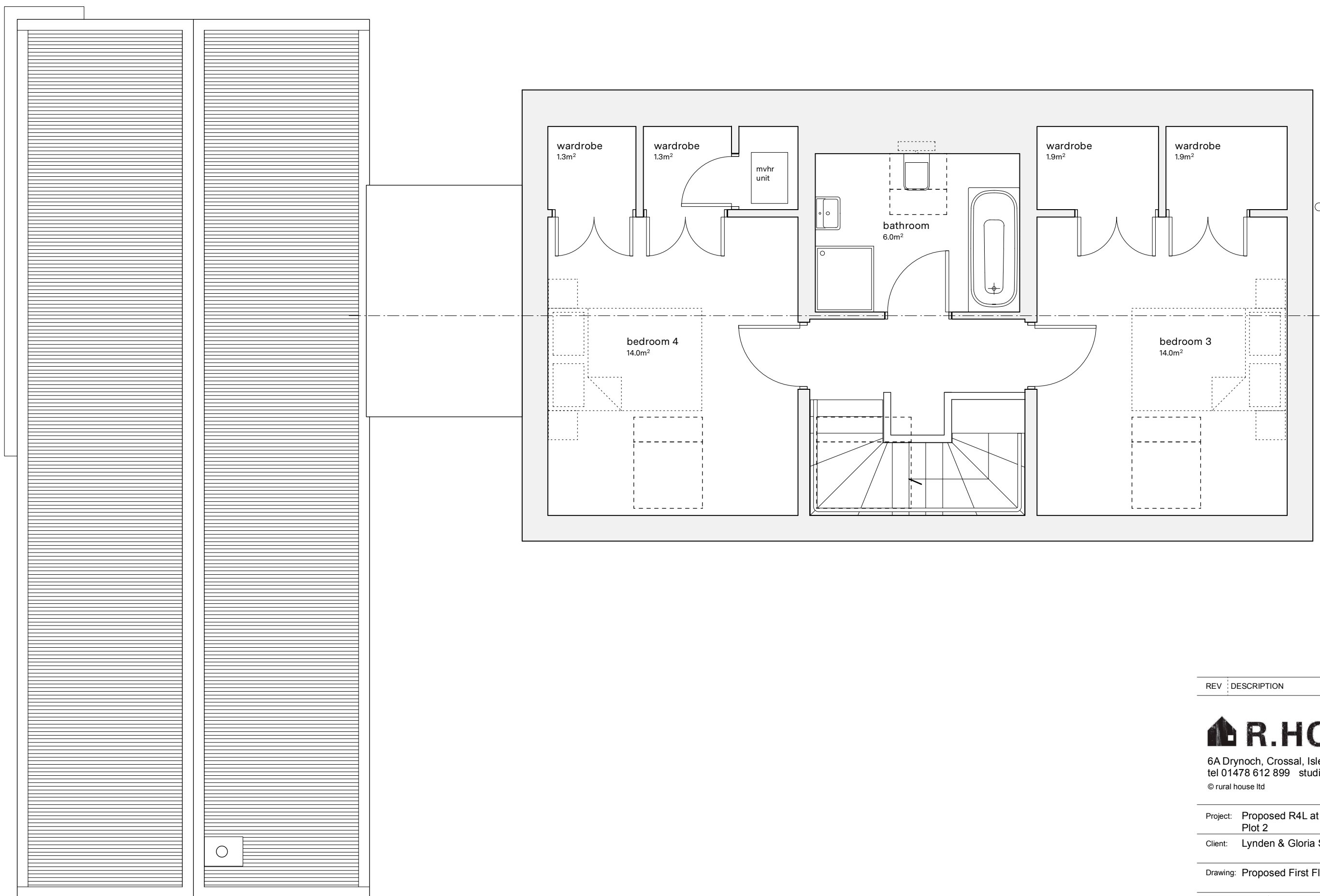
Drawing: Proposed Ground Floor Plan

Scale: 1:50 @A3	Drawn: SM	Checked: MM
Status: Planning	Date: Sep 2022	REV:

Drawing No: **546 pl 101**



NOTES:
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Project: Proposed R4L at Balmacaan Rd, Plot 2

Client: Lynden & Gloria Schofield

Drawing: Proposed First Floor Plan

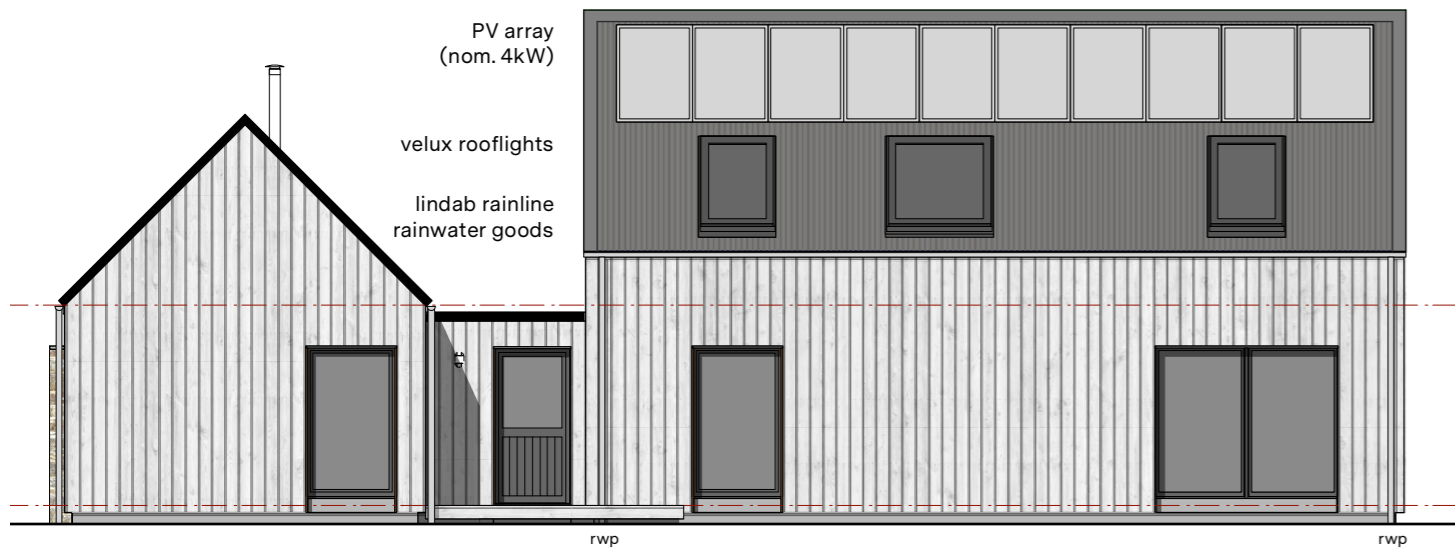
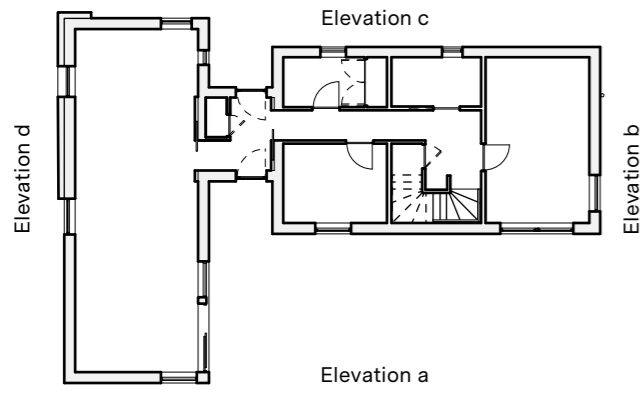
Scale: 1:50 @A3	Drawn: SM	Checked: MM
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Status: Planning	Date: Sep 2022	REV:
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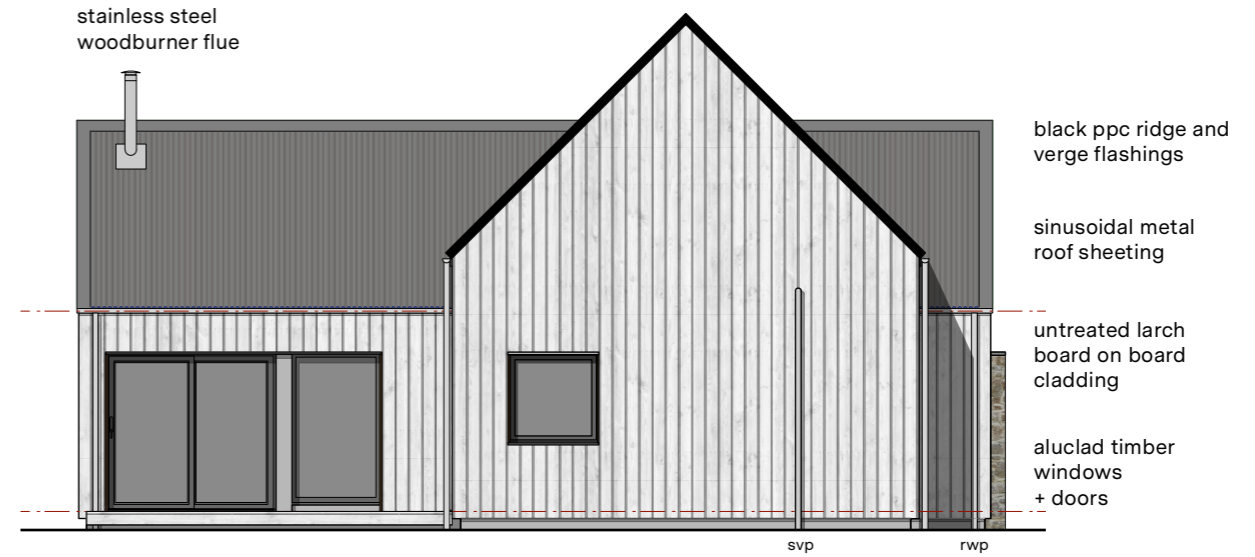
Drawing No: **546 pl 102**



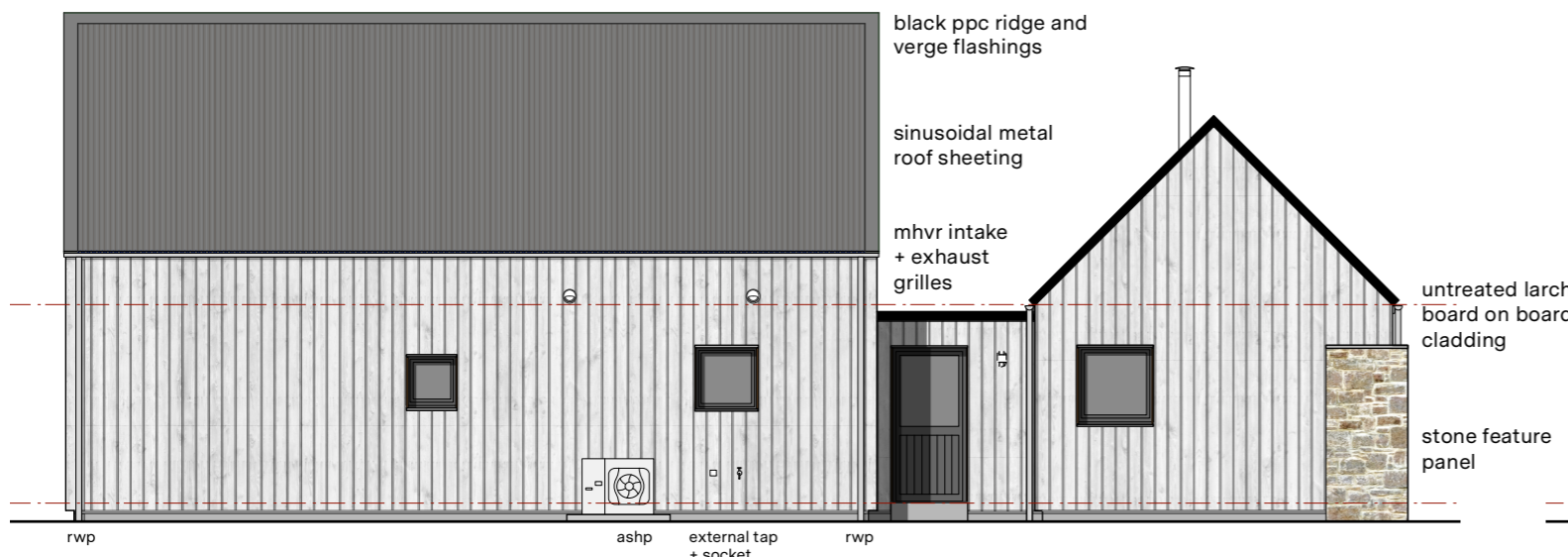
NOTES:
1. Do not scale from drawings, if in doubt seek clarification from architect.



Elevation a



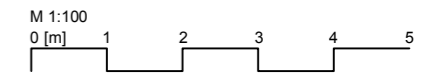
Elevation b



Elevation c



Elevation d



REV	DESCRIPTION	BY	DATE

R.HOUSE

6A Drynoch, Crossal, Isle of Skye, IV47 8SP
tel 01478 612 899 studio@ruralhouse.net
© rural house ltd

Project: Proposed R4L at Balmacaan Rd, Plot 2

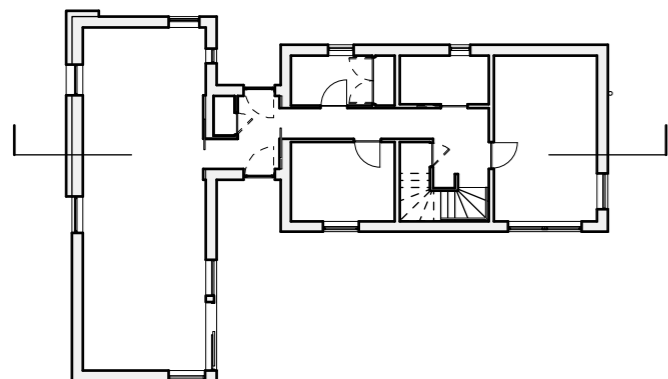
Client: Lynden & Gloria Schofield

Drawing: Proposed Elevations

Scale: 1:100@A3	Drawn: SM	Checked: MM
Status: Planning	Date: Sep 22	REV:

Drawing No: **546 pl 111**

NOTES:
 1. Do not scale from drawings, if in doubt seek clarification from architect.



REV	DESCRIPTION	BY	DATE
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R.HOUSE

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 tel 01478 612 899 studio@ruralhouse.net
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Project: Proposed R4L at Balmacaan Rd,
 Plot 2

Client: Lynden & Gloria Schofield

Drawing: Proposed Section

Scale: 1:50@A3	Drawn: SM	Checked: MM
Status: Planning	Date: Sep 22	REV:

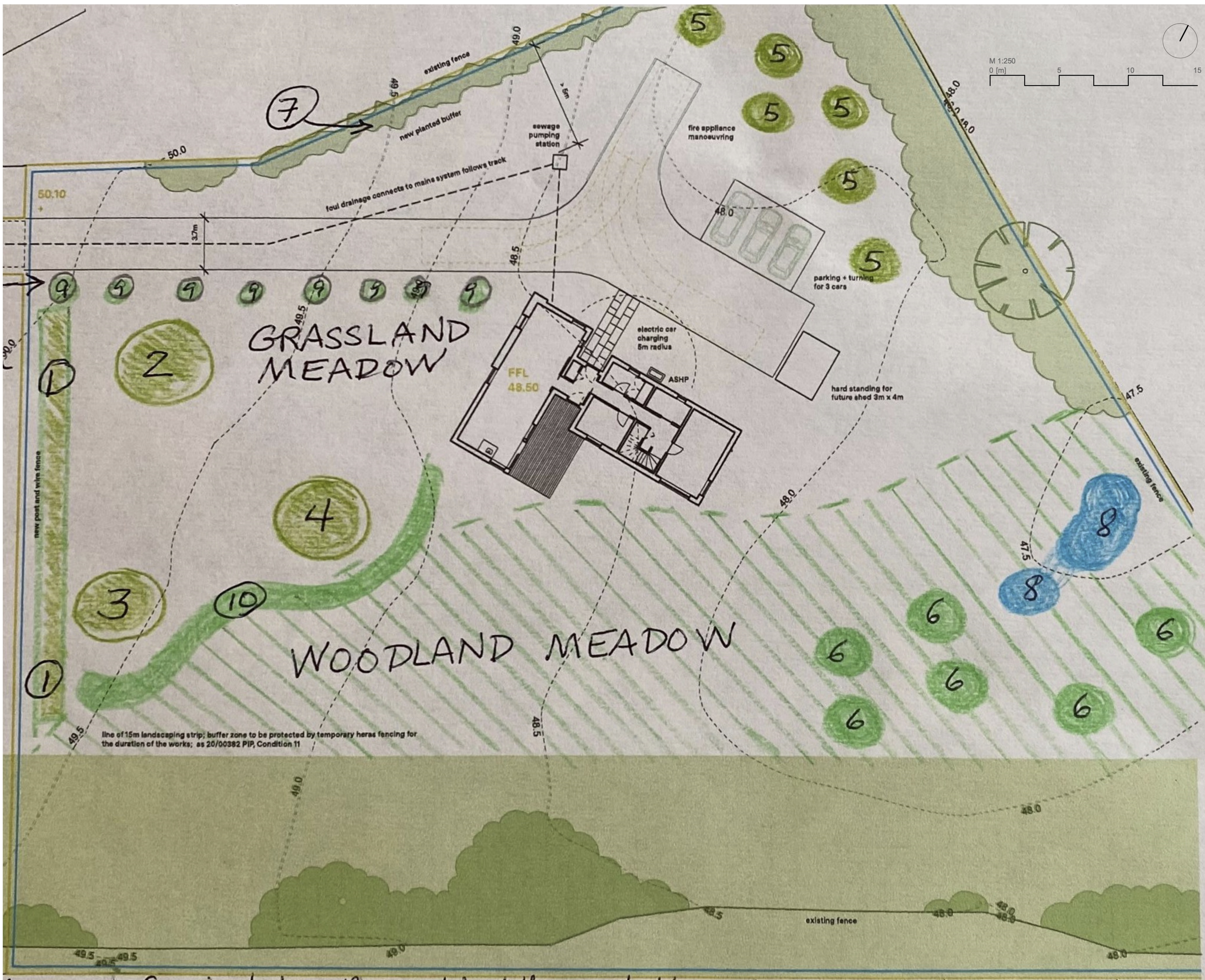
Drawing No: **546 pl 121**

LANDSCAPING PLAN

Provided by Applicant
 Cross reference with submitted specification

1. Hedgerow of mixed hawthorn, blackthorn & elder
2. Horse chestnut
3. Oak
4. Larch (European)
5. Apple, crabapple, plum
6. Alder, willow, poplar
7. Whitebeam, guelder rose, dog rose, holly
8. Pond(s)

All new boundary enclosures to be standard 3ft 6 stob and wire stock-proof fence



line of 15m landscaping strip; buffer zone to be protected by temporary heras fencing for the duration of the works; as 20/00382 PIP, Condition 11