

Agenda Item	6.2
Report No	PLN/21/23

HIGHLAND COUNCIL

Committee: North Planning Applications Committee
Date: 7 March 2023
Report Title: 22/03972/FUL: Highland Council
Land 95m South of Kildonan House, Swordale Road, Evanton
Report By: Area Planning Manager

Purpose/Executive Summary

Description: Erection of 32 dwellings

Ward: 06 – Cromarty Firth

Development category: Local Development

Reason referred to Committee: Over 30 residential units

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

1.1 The application is for phase 2 of the site known as Teandallon which received an overall permission for a masterplan of 140 houses under permission ref: 19/05404/FUL in December 2020. This phase comprises the erection of 32 houses. Under the masterplan for the site the road layout and landscaping were approved and Phase 1 has now been constructed.

1.2 Phase 2 will consist of the following house mix:

Affordable:

- 3.No - 2 bed, 3-person villa
- 14.No – 3 bed, 5-person villa
- 4.No – 4 bed, 6-person villa
- 1.No – 3 bed, 6-person villa
- 1.No – 4 bed, 7-person villa

Private:

- 4.No – 3 bed semi-detached bungalow
- 4.No – 3 bed detached bungalow

The 24 affordable units will comprise 14.No social rent, 2.No low cost home ownership and 8.No mid market rent. The remaining 8.No units are private to buy.

The proposed houses will be a maximum of two storey in height and vary in their design.

1.3 The main access into the wider site is off Hermitage Street at the point it becomes Swordale Road. The road has been realigned to accommodate the development as approved under Phase 1. A further access into the site is to be formed off Thomas Maclver Street, however as per the masterplan for the site this will not be delivered until Phase 4 at the earliest.

1.4 Pre-Application Consultation: There was no pre application consultation in regard to this application however there was earlier Pre-Application Advice and public event held in 2018 in respect of the wider masterplan which has been implemented through Phase 1.

1.5 Supporting Information:

- Design Statement
- Drainage Impact Assessment

1.6 The following variations have been made to the application following validation:

- Road layout amended to omit road narrowing
- Amendments to design
- Revisions to design of Plot 55 (increase extent of stone cladding to frontage)
- Revisions to design of Plots 49 and 50 (increase area of stone cladding and addition of window to frontage)

- Revisions to design of Plot 66 (increase area of stone and addition of window to frontage)

2. SITE DESCRIPTION

2.1 The site is located in the south west of the village of Evanton and slopes down from Swordale Road which bounds the site to the north. The site to the south is currently an open field, although further future phases have been permitted here under the masterplan. Thomas Maclver Street is located to the southeast. Tighandallon House and open fields surround to the west. Ground works have taken place within the site which appears to have been used as a construction compound laydown area for Phase 1. The road into the site which goes through phase one has been formed.

There are no natural, built or cultural heritage designations within or adjacent to the site.

3. PLANNING HISTORY

3.1	07.02.2018	17/05900/PREAPP Pre-application advice - erection of 150 houses, deliver site for community use/school, and new road layout with associated services	CASE CLOSED
3.2	06.12.2019	18/01209/PAN - New development to provide approximately 150 new dwellings, providing a mixture of housing with community use, amenity areas, associated roads and services	CASE CLOSED
3.3	09.12.2023	19/05404/FUL – Erection of 140 houses	PERMISSION GRANTED

4. PUBLIC PARTICIPATION

4.1 Advertised: Unknown Neighbour: Ross-shire Journal

Date Advertised: 14 October 2022

Representation deadline: 13 December 2022

Timeous representations: 2

Late representations: 0

4.2 Material considerations raised are summarised as follows:

- a) Roads and Transport - Impact of increased traffic on road network, need for a by-pass
- b) Impact to road safety including to pedestrians, cyclists, conflicts with HGVs, blocking and damage of existing site accesses and speed of vehicles on Swordale Road and a lack of fixed speed signage displayed
- c) Lack of demand for housing
- d) Other allocated sites would have lesser impact on amenity
- e) Impact to residential amenity from construction noise and dust

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Development Plans** commented with regard to Developer Contributions setting out contributions due as follows:

- Primary School
- Secondary School
- Transport
- Active travel (seek advice from Transport Planning)
- Community facilities – Evanton Sport Centre improvements and car park extension to address capacity constraints and Averon Leisure Centre – expansion and upgrade of fitness suites and provision of dance studio
- Affordable Housing
- Green Infrastructure (per Open Space SG)
- Public Art

5.2 **Flood Risk Management Team** confirm no objections to the proposals. Confirm that they are content with the drainage proposals, the current phase will drain into the existing drainage network and SUDs basin. It is noted that there is no flooding from the network within this phase. However, flooding is predicted during exceedance (1 in 200 year plus climate change) events in the existing network which should have been considered during the design of that phase. A condition is recommended to secure a final detailed drainage design which shall require to be in accordance with Sewers for Scotland and suitable for vesting by The Highland Council and Scottish water.

5.3 **Historic Environment Team - Archaeology** have no objections however note that the site lies within an area of archaeological potential and therefore recommend a condition which requires an evaluation of the site prior to works starting to establish the archaeological content and potential on site.

5.4 **Transport Planning** did not raise any objections and requested conditions to secure the following information:

- Residential Travel Pack
- Construction Traffic Management Plan
- Finalised details on drainage design

Note that the proposed layout forms a loop road that connects with a new road network being promoted through 19/05404/FUL. The loop road comprises a 5.5m wide road with 2m wide roadside footways. The horizontal alignment of the loop road comprises two 90-degree angle bends, as advised, revised drawings remove the road narrowing traffic calming features which were initially proposed.

5.5 **Scottish Water** confirm no objections and note that there is currently sufficient capacity in the Assynt Water Treatment Works to service the development. A formal

application to connect to this would require to be submitted directly to Scottish Water upon which further investigations may be required.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 National Planning Framework 4 (Adopted 13 February 2023):

- 1 – Tackling the climate and nature crises
- 3 - Biodiversity
- 7 - Historic assets and places
- 13 - Sustainable Transport
- 14 – Design, quality and place
- 15 – Local living and 20-minute neighbourhoods
- 16 – Quality homes
- 21 – Play, recreation and sport
- 22 – Flood risk and water management

6.2 Highland Wide Local Development Plan (2012):

- 28 - Sustainable Design
- 29 – Design Quality and Place-making
- 31 - Developer Contributions
- 32 – Affordable Housing
- 34 - Settlement Development Areas
- 51 – Trees and Development
- 56 – Travel
- 57 – Natural, Built and Cultural Heritage
- 61 – Landscape
- 64 – Flood Risk
- 65 – Waste Water Treatment
- 66 – Surface Water Drainage
- 75 – Open Space

6.3 Inner Moray Firth Local Development Plan (2015):

Within Evanton Settlement Development Area – allocated site for housing EV1 – Teandallon East

6.4 Proposed Inner Moray Firth Local Development Plan (2022):

Located within Evanton on allocated site EV01 – Teandallon - Developer requirements: Development and phasing in accordance with planning permission 19/05404/FUL.

Policies:

- 1 – Low Carbon Development
- 4 - Greenspace
- 8 – Placemaking
- 10 – Increasing Affordable Housing
- 13 – Accessible and Adaptable Homes
- 14 – Transport

6.5 **Highland Council Supplementary Planning Policy Guidance**

- Developer Contributions (November 2018)
- Green Networks (Jan 2013)
- Highland Historic Environment Strategy (Jan 2013)
- Highland’s Statutorily Protected Species (March 2013)
- Managing Waste in New Developments (March 2013)
- Open Space in New Residential Developments (Jan 2013)
- Public Art Strategy (March 2013)
- Standards for Archaeological Work (March 2012)

7. **OTHER MATERIAL POLICY CONSIDERATIONS**

7.1 **Scottish Government Planning Guidance**

- Creating Places (The Scottish Government, June 2013)
- Designing Streets (The Scottish Government, 2010)
- PAN 61 – Sustainable Drainage Systems
- PAN 68 – Design Statements
- PAN 75 – Planning for Transport
- PAN 77 – Designing for Safer Places
- PAN 1/2011 Planning and Noise

8. **PLANNING APPRAISAL**

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy
 - b) planning history

- c) design and layout
- d) roads, access and parking
- e) drainage
- f) impact on the natural environment (including protected species and trees)
- g) amenity impacts
- h) developer contributions
- i) archaeology
- j) any other material considerations

Development plan/other planning policy

- 8.4 National Planning Framework 4 was adopted on 13 February 2023, all proposals therefore now have to be assessed against the policies of NPF 4 alongside the Highland-wide Local Development Plan and the adopted and proposed Inner Moray Firth Local Development Plans. As there is a live consent on site, with Phase 1 having already been built out the principle of development is supported. The main considerations are therefore ensuring that the layout and design of the houses, roads and drainage associated with this phase are appropriate.
- 8.5 The site is within Evanton settlement development area as defined in the adopted and proposed IMFLDP and on an allocated site EV1 (Teandallon East). There is a presumption in favour of such development under Policy 16 – Quality homes of NPF 4 which seeks to encourage, promote and facilitate the delivery of more high quality, affordable and sustainable homes, in the right location.
- 8.6 Policy 34 – Settlement Development Areas of the HwLDP provides a presumption in favour of development where all other policies of the development plan are complied with. Policy 14 of NPF 4 (Design, quality and place) requires all development to be designed to improve the quality of an area, and that proposals will be supported where they are consistent with the six qualities of successful places which are:
- Healthy
 - Pleasant
 - Connected
 - Distinctive
 - Sustainable
 - Adaptable.
- 8.7 Policy 28 of the HwLDP lists a number of criteria against which all developments are assessed. This includes the extent to which a proposal would impact on individual and community residential amenity and that proposals demonstrate sensitive siting and a high quality design which is in keeping with local character and historic and natural environment, this is further reinforced in Policy 29 – Design Quality and Placemaking.
- 8.8 All development requires to be assessed against Policy 1 of NPF4 ‘Tackling the climate and nature crises’ which states that when considering development proposals significant weight will be given to global and climate nature crises with the

intent of the policy being to encourage, promote and facilitate development that addresses the global climate emergency and nature crisis. The intended policy impacts include promoting local living and compact urban growth.

- 8.9 Policy 15 of NPF 4 – Local Living and 20-minute neighbourhoods requires proposals to contribute to local living and give consideration to the existing settlement pattern, and the level and quality of interconnectivity of the proposed development with the surrounding area.
- 8.10 Policy 13 – Sustainable Transport requires development to encourage, promote and facilitate walking, wheeling, cycling and public transport for everyday travel and reduce the need to travel unsustainably. These requirements are also reflected in Policy 56 – Travel of the HwLDP.
- 8.11 While the site is not identified as being at risk of flooding, consideration has to be given to Policy 22 – Flood risk and water management with particular reference to policy 22c) which requires rain and surface water to be dealt with via sustainable urban drainage systems with a presumption against any connections into the combined sewer. 21d) states that development proposals will be supported if they can be connected to the public water mains, this aligns with policies 65 – Waste Water Treatment, 66 – Surface Water Drainage of the HwLDP and Policy 3 – Water and Waste Water Infrastructure Impacts of the Proposed IMFLDP.
- 8.12 The approval for the wider site required Protected Species surveys to be undertaken due to the proximity to the River Sgitheach. Policy 4 – Natural Places of NPF 4 states that where there is reasonable evidence to suggest that a protected species is present on a site or may be affected by a proposed development, steps must be taken to establish its presence. This is also a requirement of Policy 58 – Protected Species which requires Protected Species Surveys and mitigation to protect species should there be potential impacts.
- 8.13 Policy 3 – Biodiversity of NPF 4 applies to all development proposals. This seeks to protect biodiversity. Reverse biodiversity loss, deliver positive effects from development and strengthen nature networks. For local developments such as this one (albeit on a wider development site) Policy 3c states that proposals for local development will include measures to conserve, restore and enhance biodiversity, in accordance with national and local guidance. Measures should be proportionate to the nature and scale of development. Policy 2 of the Proposed IMFLDP requires enhancement to biodiversity in development and if adopted will seek a developer contribution to enhance biodiversity in future.

Planning History

- 8.14 Planning permission was granted for a masterplan covering the wider Teandallon site in 19/05404/FUL. Detailed planning permission is required for this phase as planning permission in principle has not been granted on the site, with the original detailed consent being for a total masterplan of 140 units and detail of Phase 1 (40 affordable units). The approved masterplan comprised a total of 7 phases. The layout and design of the subsequent phases to follow has not yet been granted. Approval of this application would mean a total of 72 of the 140 approved units would be permitted in detail.

As there is a live consent on site, with Phase 1 having already been built out the principle of development is supported. The main considerations are therefore ensuring that the layout and design of the houses, roads and drainage associated with this phase are appropriate.

Design and Layout

- 8.15 The proposed layout is largely in keeping with the indicative layout which was approved under the wider consent 19/05404/FUL and reflects that of the earlier phase in terms of its density and plot ratios. It will be served by a loop road which adjoins the main spinal road serving the existing and proposed phases (Drummond View). The principal elevation of all houses shall overlook the street providing natural surveillance and active street frontages within the development as required by Designing Streets. Car parking spaces are located to the side of the units which shall reduce the dominance of cars on the streetscape all of which is supported.
- 8.16 Plots 41 – 48 on the northern side of the site shall be semi-detached 3-bedroom villas, these shall have a mix of continual ridge line, or be stepped to take into account the levels on this part of the site, there are no significant issues with the siting or design of houses on these plots. The end of the loop road comprises Plots 49 and 50 which are private 3-bedroom bungalows. Concern had initially been raised about the design of these given their prominence at the end of the street. The design has been revised slightly to provide additional stone cladding and add a small window to each house which provides an improved focal point at the end of the street, the dual frontages also help to address this.
- 8.17 The western side of the site (Plots 51 – 54) comprises 3-bedroom semi-detached bungalows, stepped to take into account the slope, these are bookended by plots 50 and 65 which are private bungalows.
- 8.18 The south of the site comprises a mix of semi-detached 3 bed 5 person villas and 2 bed 3 person villas. There are no issues with the principle of this however concern was raised around a lack of overlooking to the remote footpath to the south. The rear elevations have an open plan kitchen and dining room with French doors and kitchen window to the rear elevation such rooms are one of the main habitable rooms of the house – the houses here also sit elevated above the path which should result in a degree of overlooking. The path is unlit however there is a lit and fully surfaced path within immediate vicinity to the remote path which could also be utilised, with this in mind it is not considered that there is a significant issue with there being no direct overlooking to the remote path network. The remote path will require to be subject to part of the maintenance agreement which shall be secured by condition.
- 8.19 The area inside the loop road shall accommodate 11 units, all fronting the road with shared boundary fences which separate the rear gardens. These are a mix of 2, 3 and 4 bed semi-detached villas and one private bungalow.
- 8.20 The mix of single and 2 storey house types across the site alongside the changes in level is considered to provide a varied streetscape. Materials across this phase shall comprise white/off white dry dash render with areas of random coursed reconstituted stone panels, the roofs shall be finished in flat, dark grey concrete tiles. The

materials are considered to be acceptable, and it is recommended that a further specification of these is secured by condition.

- 8.21 The principle of the road layout was established in the indicative layout defined within the permission for the wider site, the layout, density and mix of units ties in with the phase which has already been constructed and it is considered that this can be supported. Open space has been agreed through the earlier consent. For this phase it is submitted that 16,000m² will be provided to the south of the site as agreed in the phasing plan associated with the masterplan. This shall be delivered as part of this phase.

Roads, access and parking

- 8.22 The re-alignment of Swordale Road has been completed therefore the access into the wider site is accepted for this phase. The internal road has been considered by Transport Planning who had no objections subject to the conditions. Roads within the site are to be adopted and will therefore be maintained by the Council.
- 8.23 The plans show two spaces within each plot, alongside a parking lay-by which shall accommodate a further two formal car parking spaces. Opportunities for on street parking are denoted on plan. This has not raised any objection from Transport Planning and the parking arrangements are therefore considered to be acceptable.
- 8.24 The remote footpath and landscaping to the south of the site are to be delivered through these phases as approved under 19/05404/FUL which includes the remote foot link over the watercourse to the south of the site. There are no further footpath links through this phase which are to be delivered within the landscaping plans under subsequent phases.

A condition is recommended to secure this through this consent for the avoidance of doubt. The formal footpath link connecting into Thomas MacIver Street has already been provided in the earlier phase. There are no issues with pedestrian access/links through this phase.

- 8.25 Concern is raised in representations around road safety and vehicle conflicts at the junction with Swordale Road. Comments also state that there should be a 'by-pass' to accommodate the development and concern is also raised around a lack of signage on the road. A Transport Assessment was carried out under 19/05404FUL which assessed capacity of the existing junctions on the road network to ascertain whether these could accommodate the additional traffic. This concluded that there was no requirement for a road bridge, or bypass to support development of this site. In order to address the increase in traffic, pedestrians and cyclist upgrades to improve the surrounding road network were approved and implemented under Phase 1, this included:

- Junction of Livera Street and Chapel Road - raised junction
- Priority road marking altered at the junction of Chapel Road and Hermitage Street
- Raised junction at the junction of Hermitage Street/Assynt Place
- Traffic calming feature on Hermitage Street to the west of the junction with Teandallon Place

- Re-alignment of Hermitage Street/Swordale Road

The roads have been reduced to 20mph to improve road safety in order to address the increase in vehicles, pedestrians and cyclists. As the development progresses there will be further footpath and links to the village which shall provide further opportunities to segregate cyclists and pedestrians from vehicles as the number of people accessing the area increases. There is no uplift in units which would mean that any of the road safety measures require to be scrutinised afresh. It is therefore considered that the mitigation which has been provided is sufficient to address road safety issues raised.

- 8.26 Confirmation was sought regarding road signage as it was noted within the representations that this was lacking. It is understood that all signage is in the process of being installed as required under the Road Construction Consent therefore all signage should be complete in due course. The process of securing this is a separate issue to the consideration of this planning application.
- 8.27 It is acknowledged that there will be an increase in HGV and construction related traffic across the road network once development commences on this phase. It is recommended that a construction phase Traffic Management plan including a routing plan is secured by condition in order to allow an assessment of the impacts on the local road network including during school times in the interest of amenity and road safety.
- 8.28 Concern is also raised around impacts to existing private access points which are privately owned. Given the standard to which the road has been constructed it is not considered that this should cause issue, however in the event that there is damage to private accesses/property then it would be a matter for the individual to resolve with the contractors and developer and this is not material to the consideration of this planning application.
- 8.29 The proposal is considered to comply with Policy 13 – Sustainable Transport of NPF 4, Policy 56 – Travel of the HwLDP and Policy 14 – Transport of the Proposed IMFLDP.

Drainage

- 8.30 The current phase will drain into the existing drainage network and SUDs basin which have all been constructed under phase 1. The Flood Risk Management Team recommend a condition to secure a final drainage design which shall require to be in accordance with Sewers for Scotland and suitable for vesting by the Council and Scottish Water under a Section 7 agreement. There are no flood constraints on site and the proposal is therefore considered to comply with policy 22 – Flood risk and water management of NPF 4, and 64 – Flood Risk, 65 – Waste Water Treatment and 66 – Surface Water Drainage of the HwLDP.

Impact on natural environment (including species and trees)

- 8.31 The Protected Species Surveys submitted as required in condition 19 of the earlier consent found that there is potential for otter and bats to be impacted by the development. A Species Protection Plan was provided which requires mitigation including fitting escape ramps to any open excavations, capping of any exposed pipe

systems and restriction of speed limits to avoid incidents with otters and other wildlife. Timing of works and tree felling is to be restricted and bat boxes installed in order to mitigate impacts to bats. An Environmental Clerk of Works (ECoW) is to be employed to ensure implementation of the Species Protection Plan. It is recommended that appointment of an ECoW is secured by condition to ensure implementation of the SPP and NatureScot licence requirements as required. The proposal is therefore considered to comply with Policy 4 – Natural Places of NPF 4 and Policy 58 – Protected Species of the HwLDP.

- 8.32 The approval for the wider site (19/05404/FUL) has approved landscaping plans to the south of the site, part of which has been mostly implemented with exception of some seeding due to weather conditions under Phase 1 which includes a SUDS pond, such features are recognised as providing biodiversity benefits. Landscaping also includes areas of woodland planting, wildflowers and wildlife corridors which should exceed trees lost. 6m riparian buffers are to be retained adjacent to watercourses to encourage establishment of a green wildlife corridor to the south of the site, overall this should provide biodiversity gain in the longer term, the proposal is therefore considered to comply with Policy 3 – Biodiversity of NPF 4.

Amenity Impacts

- 8.33 Concern has been raised around impact to neighbouring amenity through the construction phase of the development. Construction inevitably results in disturbance, vibration, noise, and dust which can adversely impact upon the amenity of nearby residents. Such impacts by their nature are temporary, restricted to the construction activity alone. Construction traffic travelling through residential areas also raises safety issues. It is therefore appropriate to require a Construction Noise Management Plan and Dust Suppression plan to be submitted. These can be secured through a condition relating to construction environmental management.
- 8.34 As considered under 19/05404/FUL, given the distance to, and orientation of, the proposed properties it is unlikely that Tighandallon House would experience impacts on privacy. Nevertheless, the proposal includes tree planting along the west boundary between the proposed houses and Tighandallon House. There is existing vegetation around this property which provides a high level of screening, but it is understood that the applicant previously agreed to provide screening following a request from the occupier. The proposed tree planting will help provide this, whilst also helping provide wildlife linkages.

Archaeology

- 8.35 The Historic Environment Team note that there is archaeological potential on the site and request a condition to secure a Watching Brief before works start on site in order to ensure that any finds can be identified, investigated and recorded before development.

Developer Contributions

- 8.36 Policy 16 Quality homes with reference to part c) highlights that accessible homes and affordable homes such as those provided within this development will be supported. Policy 16e) states that development proposals for housing must make

provision for 25% affordable homes unless there are exceptional circumstances, the number of affordable units being delivered on this phase exceeds 25%, the tenure mix being 14 social rented, 2 low cost home and 8 mid market rental properties the proposal therefore complies with Policy 16 of NPF 4, Policy 31 – Developer Contributions and Policy 32 – Affordable Housing of the HwLDP alongside the related Supplementary Guidance. The wider site is already subject to a Section 75 Agreement to collect contributions toward the expansion or relocation of a fitness room and the creation of a new dance studio at Averon Leisure Centre. Furthermore, all housing developments within Kiltearn Primary School catchment are expected to contribute towards a car park extension at Evanton Sports Centre to address capacity constraints. A contribution toward upgrading the play area to the east of the site has already been paid. The number of units proposed as part of this phase remains as per the masterplan and as such no further contributions are required as part of this application.

Other material considerations

8.37 There are no other material considerations.

Non-material considerations

- 8.38
- a) claims of conflicts of interest
 - b) devaluation of property
 - c) damage to existing temporary signage unrepaired

One of the representations sought clarity over the following matters:

- Measurements and height of houses in relation to Tighnadallon

The nearest house to Tighnadallon is a bungalow of plot 49 measuring 6m to the ridge and located approx. 45m to the east, the existing ground level is to be cut in order the lower the position of the house on the hillside, its appears therefore that this will sit at a lower level than Tighnadallon with the remainder of the houses stepping down the slope.

- Use of neighbouring address in correspondence

This appears to relate to the address point which was created for the site for the purpose of advertising the application as land close to an existing property.

- Information on shared boundary treatments to Tighnadallon including detail on impact to boundaries caused by vibration

There is an existing timber fence which appears to have been recently installed on the boundary and the landscape plan requires tree planting along this boundary to be secured by condition and planted in this phase. Any damage/impact to boundaries will be a matter for the resident to resolve with the contractor/developer and is not material to the consideration of this planning application.

- Time scales of ground works adjacent to Tighnadallon
- d) Concern raised around a lack of consultation with contractors/developer with community around issues arising from the current Phase 1 development.

A condition is recommended under the Construction Environmental Management Plan to provide detail on the means and method of communicating environmental management on site to relevant parties, this can be worded to including neighbouring properties.

Matters to be secured by Legal Agreement

- 8.39 In order to mitigate the impact of the development on infrastructure and services the following matters require to be secured prior to planning permission being issued:
- a) None – the site is already subject to a Section 75 Agreement and contributions will be requested in line with the agreement

9. CONCLUSION

- 9.1 The principle of development on the site is established through the masterplan approved under 19/05404/FUL. The layout, siting, design and infrastructure arrangements and impacts to amenity and the natural environment have been considered and mitigated through the design of the proposal both through 19/05404/FUL and conditions which are recommended to be attached to this consent.
- 9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: The proposed development has been designed in a manner which encourages the reduction in use of the private car and facilitates active travel. Further, the properties are to be provided with facilities for electric car charging
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued	N
Notification to Scottish Ministers	N
Conclusion of Section 75 Obligation	N

Revocation of previous permission N

Subject to the above actions, it is recommended to **GRANT** the application subject to the following conditions and reasons

1. The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

Reason: In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

2. For the avoidance of doubt the landscaping to the south of the phase 4 housing in the shall be delivered as part of this phase and in accordance with the indicative approved landscape plan drawing no. HC 106.22.SL-02 rev A unless otherwise agreed in writing by the Planning Authority.

Reason: As the approved phasing plan denotes landscaping to be delivered in Phase 3 – this phase (Phase 2) comprises phases 2 and 3 under the original planning permission.

3. All roads and pavements within the application site shall be formed to base course level prior to the first occupation of any of the residential units within this phase. Thereafter, the final wearing surface shall be applied concurrently with the construction of the last residential unit within the phase in question, or upon the expiry of a period of three years from the date of first occupation within that phase, whichever is the sooner

Reason: To ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity.

4. No development or work (including site clearance) shall commence until a programme of work for the survey, evaluation, preservation and recording of any archaeological and historic features affected by the proposed development/work, including a timetable for investigation, has been submitted to, and approved in writing by, the Planning Authority. The approved programme shall be implemented in accordance with the agreed timetable for investigation

Reason: In order to protect the archaeological and historic interest of the site.

5. Prior to first occupation of the development hereby approved a detailed Residential Travel Pack, which sets out options for residents for reducing dependency on the private car, shall be submitted to, and approved in writing by, the Planning Authority. For the avoidance of doubt this shall include:

- Timetables for all buses serving or passing close to the site;
- Timetables for train services from Alness and details of access to Alness station by all modes including walking and cycling;
- Maps and details of active travel opportunities;

- Descriptive information of active travel routes to nearby facilities and attractions and, public transport routes to those out with walking distance;
- Information relating to school travel; and,
- Taxi Services.

The Residential Travel Pack shall be provided to each property within the relevant phase on first occupation of each property.

Reason: In order to reduce dependency on the private car and to encourage greater use of public transport.

6. No development shall commence on site until a construction phase Traffic Management Plan (including a routing plan for construction vehicles and a wear and tear agreement for the route) has been submitted to, and approved in writing by, the Planning Authority. This shall detail construction traffic routes, construction site operating times, removal of material from the site, and provide a commitment to no deliveries or heavy goods movements immediately before or after school pick up or drop off times for Kiltearn Primary School.

Thereafter the approved traffic management plan shall be implemented prior to development commencing and remain in place until the development is complete.

Reason: In the interests of road safety, to limit the impacts on the local road network, and to limit the amenity impacts of the construction phase of the development on local residents.

7. Car parking spaces shall be provided and formed in accordance with The Highland Council's Roads and Transportation Guidelines for New Developments, as detailed on the plans hereby approved, prior to first occupation of the element of the development to which it relates, thereafter being maintained for this use in perpetuity.

Reason: To ensure adequate provision for car parking.

8. No development shall commence until a scheme detailing electric vehicle charging points, has been submitted to and approved in writing by the planning authority. This shall include:
 - i. identification of locations for communal electric vehicle charging points in the communal parking areas in each associated phase or sub-phase and these charging point locations are to be made available to The Highland Council or other public body for the installation of the charging point infrastructure;
 - ii. the provision of infrastructure, defined as the provision of cabling from the consumer unit within the property to an external point, to allow the charging of electric vehicles within the curtilage of each house in each phase or sub phase, where the house has in-curtilage car parking provision;

- iii. a timescale for implementation for infrastructure within each phase or sub phase; and iv. outline details of a communication pack to be provided to each household on first occupation explaining how they can access electric vehicle charging infrastructure.

The approved scheme shall be implemented in line with the approved timescales.

Reason: To facilitate the move toward the reduction in reliance of petrol and diesel cars

- 9. No development shall commence on this phase, until a Construction Environmental Management Document has been submitted to and approved in writing by the Planning Authority. The Document shall include:
 - a) details for the parking of vehicles of site operatives and visitors;
 - b) the loading and unloading of plant and materials;
 - c) the storage of plant and materials used in constructing the development;
 - d) the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;
 - e) wheel washing facilities;
 - f) measures to control the emission of dust and dirt during construction;
 - g) Pollution prevention plan;
 - h) Construction Noise, Vibration and Assessment and Mitigation Plan in accordance with BS5228 Code of practice for noise and vibration control on construction and open sites – Part 1: Noise
 - i) Site waste management plan;
 - j) Details of the appointment of an appropriately qualified Environmental Clerk of Works with roles and responsibilities;
 - k) Details of toolbox talks for all staff on breeding birds. For any works carried out within the breeding birds season, no works shall be carried out until such time as habitats have first been checked for breeding birds, and all pipes and voids shall be covered over at the end of each day to avoid birds nesting in openings.
 - l) Methods of monitoring, auditing, reporting and communication of environmental management on site and with the client, Planning Authority and other relevant parties;

m) Statement of responsibility to 'stop the job/activity' if in potential breach of a mitigation or legislation occurs.

Thereafter, development shall proceed in accordance with the approved Construction Environmental Management Document.

Reason: To protect the environment and safeguard the amenity of neighbouring properties and occupants from the construction and operation of the development.

10. No development shall commence until the final detailed drainage design to comply with Highland Council and Scottish Water guidance, has been submitted to and approved in writing by the Planning Authority in conjunction with the Roads Authority and Flood Risk Management Team.

Thereafter, all surface water drainage provision within the application site shall be implemented in accordance with the finalised drainage design and shall be completed prior to the first occupation of any of the development within that phase. All design shall be in accordance with Sewers for Scotland and suitable for vesting by The Highland Council and Scottish Water.

Reason: To ensure that surface water drainage is provided timeously and complies with the principles of SUDS; in order to protect the water environment.

11. No development shall commence until details of the material palette including colour of entrance doors has been submitted to and approved in writing by the Planning Authority. For the avoidance of doubt the doors shall not be all be in uniform in colour. Thereafter the development shall be completed in accordance with the approved details.

Reason: To promote a sense of individuality and sense of place within the development, in the interests of visual amenity.

12. No development shall commence until a scheme for the maintenance, in perpetuity, of all on-site green spaces and/or woodland and/or sports facilities and/or play areas and/or other spaces, facilities, features or parts of the development that are not the exclusive property of any identifiable individual home owner (such as communal parking areas, the common entrances to flatted developments and estate lighting, and those elements of surface water drainage regimes not maintained either by the Council or Scottish Water), have been submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented in full and in accordance with the timescales contained therein.

Reason: To ensure that all communal spaces, facilities and landscaping areas are properly managed and maintained.

13. No development shall commence until a suitably qualified landscape consultant has been appointed and a work instruction issued enabling them to undertake the necessary supervision unhindered for the duration of the

project. The appointed landscape consultant must ensure that the approved Landscape Plan is implemented to the agreed standard and in accordance with the timescales in the Phasing Plan to be approved under Condition 1 above. Stages requiring supervision are to be agreed with the planning authority and certificates of compliance for each stage are to be submitted for approval. Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

Reason: In order to ensure that the approved landscaping works are properly undertaken on site

14. No development shall commence until a suitably qualified Arboricultural consultant has been appointed by the applicant and a work instruction issued enabling them to undertake the necessary supervision unhindered for the duration of the project. The appointed arboricultural consultant must ensure that all tree protection measures are implemented in accordance with the approved Tree Protection Plan and Arboricultural Method Statement. Stages requiring supervision are to be agreed in writing by the Planning Authority and certificates of compliance for each stage are to be submitted to and approved in writing by the Planning Authority.

Reason: In order to ensure the protection of retained trees, which are important amenity assets, during construction.

15. Notwithstanding the provisions of Article 3 and Schedule 1 of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended, revoked or re-enacted; with or without modification), no development shall take place within 6 metres of any watercourse without planning permission being granted on application to the Planning Authority.

Reason: To ensure that development which is normally permissible without the need for a planning application is carefully managed and does not encroach onto riparian buffer strips. Such buffers strips are required a) for the maintenance of watercourses within the application site, b) to account for natural watercourse migration, and c) in order to safeguard property from flood risk.

16. No residential unit shall be occupied until connection has been made for that residential property to the public water and waste water network.

Reason: In order to ensure that the water and sewerage infrastructure is provided timeously, in the interests of public health and environmental protection, and in order to comply with the policy requirements.

REASON FOR DECISION

The principle of development on the site is established through the masterplan approved under 19/05404/FUL. The layout, siting, design and infrastructure

arrangements and impacts to amenity and the natural environment have been considered and mitigated through the design of the proposal both through 19/05404/FUL and conditions which are recommended to be attached to this consent.

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Section 75 Obligation

You are advised that this planning permission is subject to a Section 75 Obligation signed under 19/05404/FUL. The terms of the obligation must be read in conjunction with the planning permission hereby approved. The terms of the obligation may affect further development rights or land ownership and you are therefore advised to consult with the Planning Authority if considering any further development

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Culverts

The culverted watercourse is close to, but out with, the development boundary. Care must be taken to ensure that groundworks do not damage the culvert.

Air Source Heat Pumps

You are advised that the proposed air source heat pumps must be installed in accordance with MCS 020 Planning Standards for Permitted Development Installations of Wind Turbines and Air Source Heat Pumps on Domestic Premises

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks and Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Road Construction Consent

You are advised that Road Construction Consent, including a bond, is required for the access road into the development. This must be obtained from TECS Roads prior to work commencing.

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Damage to the Public Road

Please note that the Council, under Section 96 of the Roads (Scotland) Act 1984, reserves the right to recover all costs for repairing any damage to the public road (and/or pavement) which can be attributed to construction works for this development

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Street Names

In line with the Council's Gaelic Language Plan and Policies, you are encouraged to consider the adoption of Gaelic or Gaelic-influenced street names in this development. For further guidance, you may wish to contact the Council's Gaelic Development Manager (01463 724287) or Comunn na Gàidhlig (01463 234138).

Permitted Development Rights

Please note that certain permitted development rights have been removed from the land covered by the permission, as explained in the conditions above. This means that certain developments, for which an application for planning permission is not ordinarily required, will now require planning permission. You are therefore advised to contact your local planning office prior to commencing any future developments.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature:

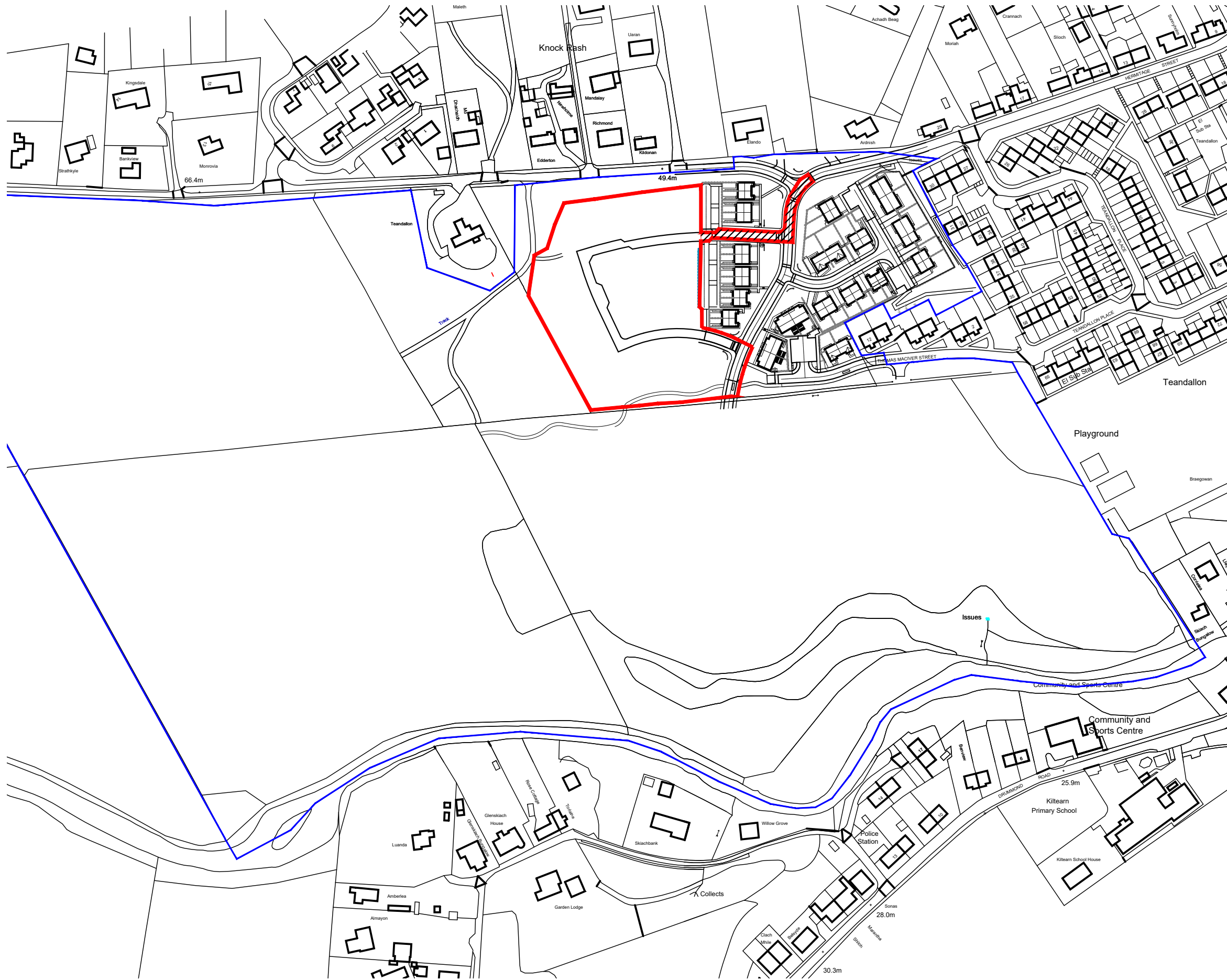
Designation: Area Planning Manager - North

Author: Laura Stewart

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

- Plan 1 - 4905-02-001 REV B - Location Plan
- Plan 2 - 4905-02-002 REV C - Site Layout Plan
- Plan 3 - 3854:105 REV C - Drainage Layout
- Plan 4 - 4905-01-010 - Site Sections
- Plan 5 - 4905-01-130 - 2 bed 3 person villa plans
- Plan 6 - 4905-01-140 - 2 bed 3 person villa (900mm step) Elevations
- Plan 7 - 4905-01-145 - 2 bed 3 person villa (900mm step) Elevations
- Plan 8 - 4905-01-230 - 3 bed 5 person villa plans
- Plan 9 - 4905-01-240 - 3 bed 5 person villa (900mm step) Elevations
- Plan 10 - 4905-01-330 - 4 bed 6 person villa plans
- Plan 11 - 4905-01-340 - 4 bed 6 person villa (900mm step) Elevations
- Plan 12 - 4905-01-430 - 2 bed 4 person and 3 bed 5 person villa plans
- Plan 13 - 4905-01-440 - 2 bed 4 person and 3 bed 5 person villa Elevations
- Plan 14 - 4905-01-530 - 4 bed 6 person and 4 bed 5 person villa plans
- Plan 15 - 4905-01-540 - 4 bed 6 person and 4 bed 5-person villa elevations
- Plan 16 - 4905-01-830 - 3 bed 5 person semi bungalow plans
- Plan 17 - 3854 101 REV C – Road Layout



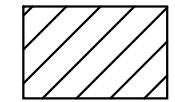
Note to Designers and Contractors

Under the CDM2015 regulations BSC has sought to eliminate or reduce risks where possible as part of the design process.

Significant residual risks, or areas of work that require special attention during construction, which have been identified by BSC, are indicated on project drawings by the following symbol ▲.

It is anticipated that other designers and contractors will co-operate to identify any potential construction hazards and to eliminate them where possible.

Measures to minimise residual hazards will be reviewed on a regular basis.



Hatched area consented under 19/05404/FUL and not the subject of this development

B	28.09.22	FURTHER CHANGES TO LAYOUT AS DIRECTED BY PLANNING.	AJM
A	23.09.22	RED LINE BOUNDARY AMENDED.	AJM
REV	DATE	DESCRIPTION	DRN

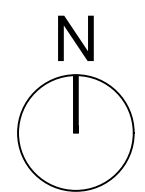
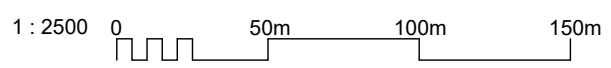
Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicouLTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PHASE 2, EVANTON
 32 UNITS
 HIGHLAND COUNCIL

LOCATION PLAN

STATUS:	PLANNING		
SCALE:	1 : 2500	DRAWN:	WKRC
PAPER SIZE:	A3	DATE:	Sep 2022
DWG No.	4905-02-001	REV.	B





Housing Mix (affordable)		
Plots 60-63	2B4P VILLA	3
Plots 41-48, 64,65, 56-59	3B5P VILLA	14
Plots 68, 71,72	4B6P VILLA	5
Plots 69	3B6P GFB VILLA	1
Plots 67	4B7P GFB VILLA	1
Housing Mix (private)		
Plots 51-54	3B SEMI BUNG	4
Plots 49, 50, 55, 66	3B DET BUNG	4
Total		32 Units
Parking		
All Plots	2x in curtailage	64
Visitor	off street	2
Visitor	on street	8
Total		64 Spaces plus 10 visitor

Note to Designers and Contractors

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Significant residual risks, or areas of work that require special attention during construction, which have been identified by BSC, are indicated on project drawings by the following symbol .

It is anticipated that other designers and contractors will co-operate to identify any potential construction hazards and to eliminate them where possible.

Measures to minimise residual hazards will be reviewed on a regular basis.

HOUSE TYPE LEGEND

- 2B3P VILLA**
PLOTS: 60-63
- 3B5P VILLA**
PLOTS: 41-48, 56-59, 64&65
- 4B6P VILLA**
PLOTS: 71&72
- 2B4P + A3B5P VILLA**
PLOTS: 69&70
- 4B6P + A4B5P VILLA**
PLOTS: 67&68
- 3B5P SEMI BUNG**
PLOTS: 51-54
- 3B5P DET BUNG**
PLOTS: 49, 50, 55, 66

Hatched area consented under 19/05404/FUL and not the subject of this development

Area previously approved in application 19/05404/FUL

C	21.11.22	TRAFFIC CALMING AMENDED, SURFACED FOOTWAY ADDED BOTH SIDES OF ROAD AND PLOT 55 FOOTPRINT UPDATED.	AJM
B	28.09.22	FURTHER CHANGES TO LAYOUT AS DIRECTED BY PLANNING.	AJM
A	23.09.22	RED LINE BOUNDARY AMENDED.	AJM
REV	DATE	DESCRIPTION	DRN

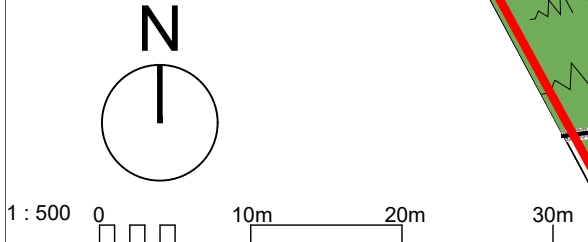
Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PHASE 2, EVANTON
 32 UNITS - 24 AFF AND 8 PD
 HIGHLAND COUNCIL AND COMPASS

SITE PLAN

STATUS:	PLANNING		
SCALE:	1 : 500	DRAWN:	WKRC
PAPER SIZE:	A3	DATE:	Nov 2022
DWG No.	4905-02-002		REV. C



Note to Designers and Contractors

Under the CDM2015 regulations BSC has sought to eliminate or reduce risks where possible as part of the design process.

Significant residual risks, or areas of work that require special attention during construction, which have been identified by BSC, are indicated on project drawings by the following symbol ▲.

It is anticipated that other designers and contractors will co-operate to identify any potential construction hazards and to eliminate them where possible.

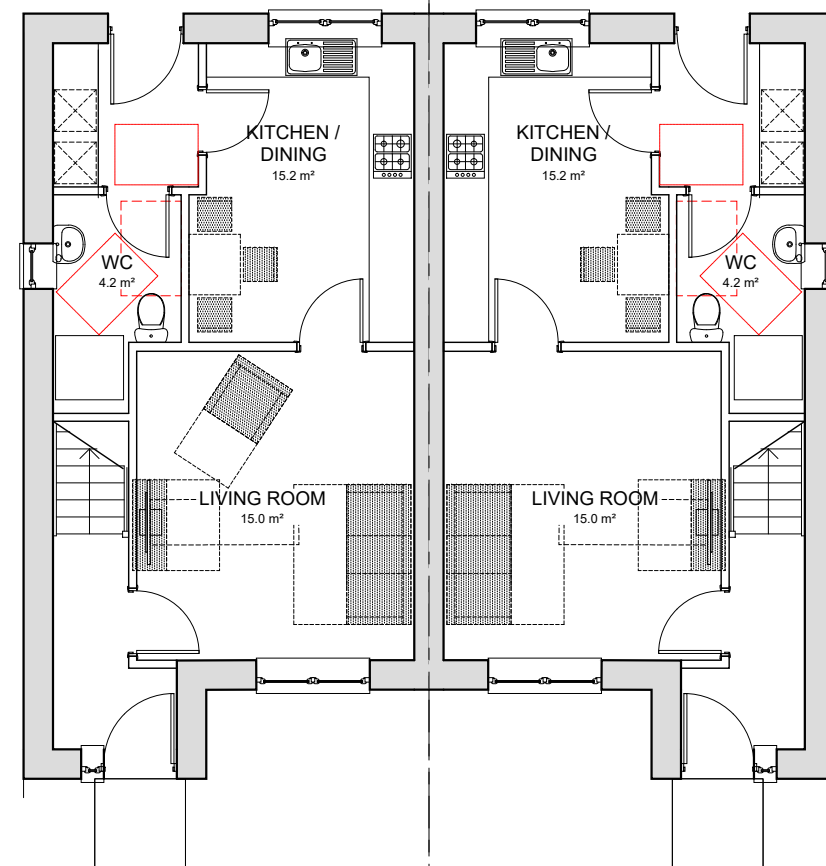
Measures to minimise residual hazards will be reviewed on a regular basis.

PLOTS 60-63



FIRST FLOOR PLAN

FIRST FLOOR PLAN



2B4P VILLA GROUND FLOOR PLAN
GIA 79.9 m²

2B4P VILLA GROUND FLOOR PLAN
GIA 79.9 m²

REV	DATE	DESCRIPTION	DRN

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38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

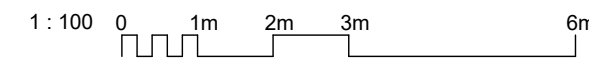
PHASE 2, EVANTON
 32 UNITS
 HIGHLAND COUNCIL

2B3P VILLA - PLANS

STATUS: **PLANNING**

SCALE: 1 : 100 DRAWN: WKRC
 PAPER SIZE: A3 DATE: Aug 2022

DWG No. **4905-01-130** REV.



Note to Designers and Contractors

Under the CDM2015 regulations BSC has sought to eliminate or reduce risks where possible as part of the design process.

Significant residual risks, or areas of work that require special attention during construction, which have been identified by BSC, are indicated on project drawings by the following symbol ▲.

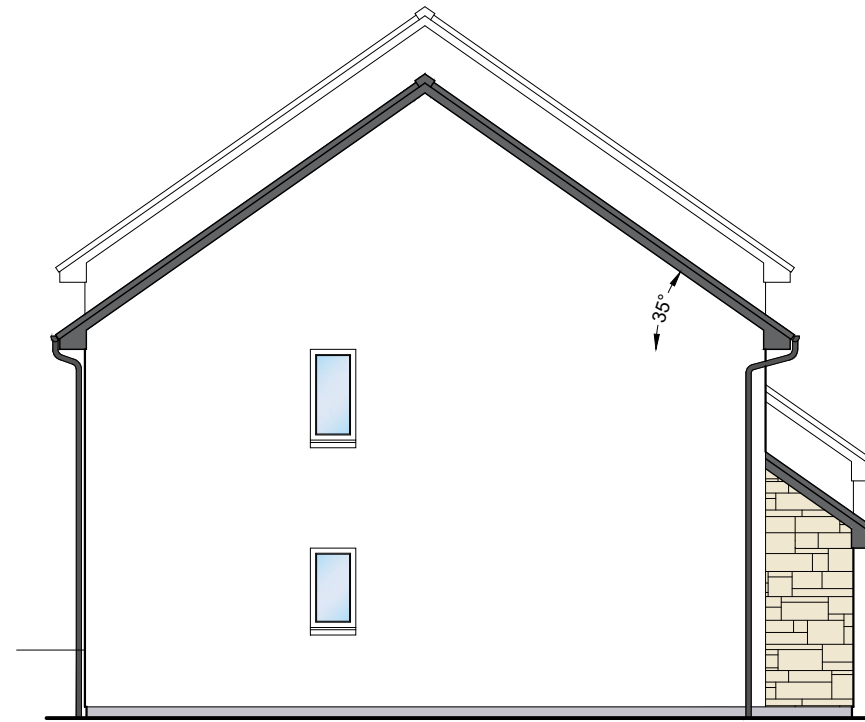
It is anticipated that other designers and contractors will co-operate to identify any potential construction hazards and to eliminate them where possible.

Measures to minimise residual hazards will be reviewed on a regular basis.

PLOTS 60&61



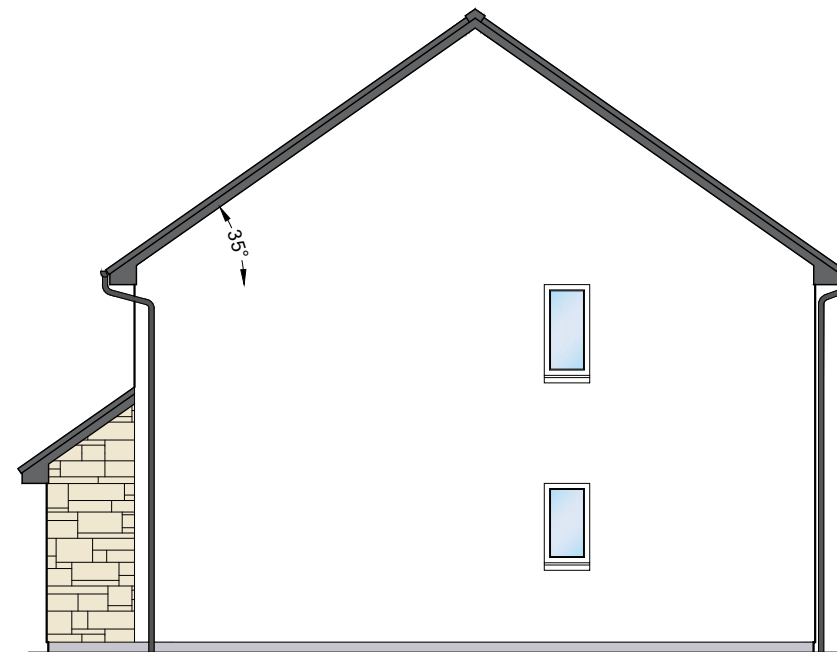
FRONT ELEVATION



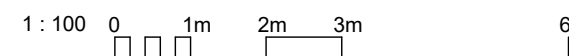
GABLE ELEVATION



REAR ELEVATION



GABLE ELEVATION



REV	DATE	DESCRIPTION	DRN
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Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
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 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PHASE 2, EVANTON
 32 UNITS
 HIGHLAND COUNCIL

2B3P VILLA - ELEVATION 900MM STEP

STATUS: **PLANNING**

SCALE:	1 : 100	DRAWN:	WKRC
PAPER SIZE:	A3	DATE:	Aug 2022

DWG No.	4905-01-140	REV.	
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Note to Designers and Contractors

Under the CDM2015 regulations BSC has sought to eliminate or reduce risks where possible as part of the design process.

Significant residual risks, or areas of work that require special attention during construction, which have been identified by BSC, are indicated on project drawings by the following symbol ▲.

It is anticipated that other designers and contractors will co-operate to identify any potential construction hazards and to eliminate them where possible.

Measures to minimise residual hazards will be reviewed on a regular basis.

PLOTS 62&63



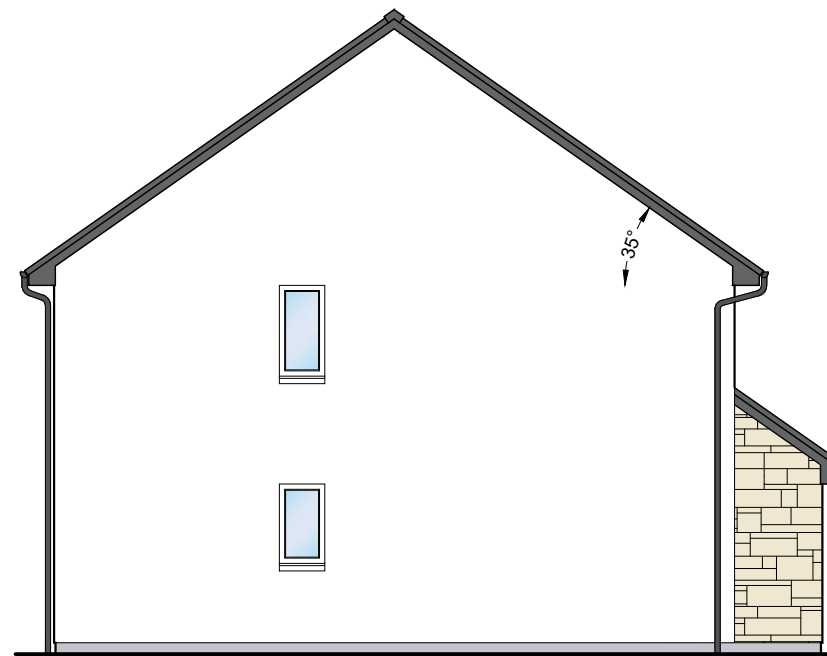
FRONT ELEVATION



GABLE ELEVATION



REAR ELEVATION



GABLE ELEVATION 1:200

REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
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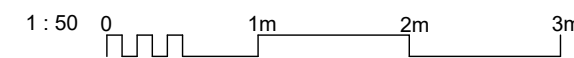
PHASE 2, EVANTON
 32 UNITS
 HIGHLAND COUNCIL

2B3PVILLA - ELEVATION -900MM STEP

STATUS: **PLANNING**

SCALE: 1 : 50 DRAWN: WKRC
 PAPER SIZE: A3 DATE: Aug 2022

DWG No. **4905-01-145** REV.



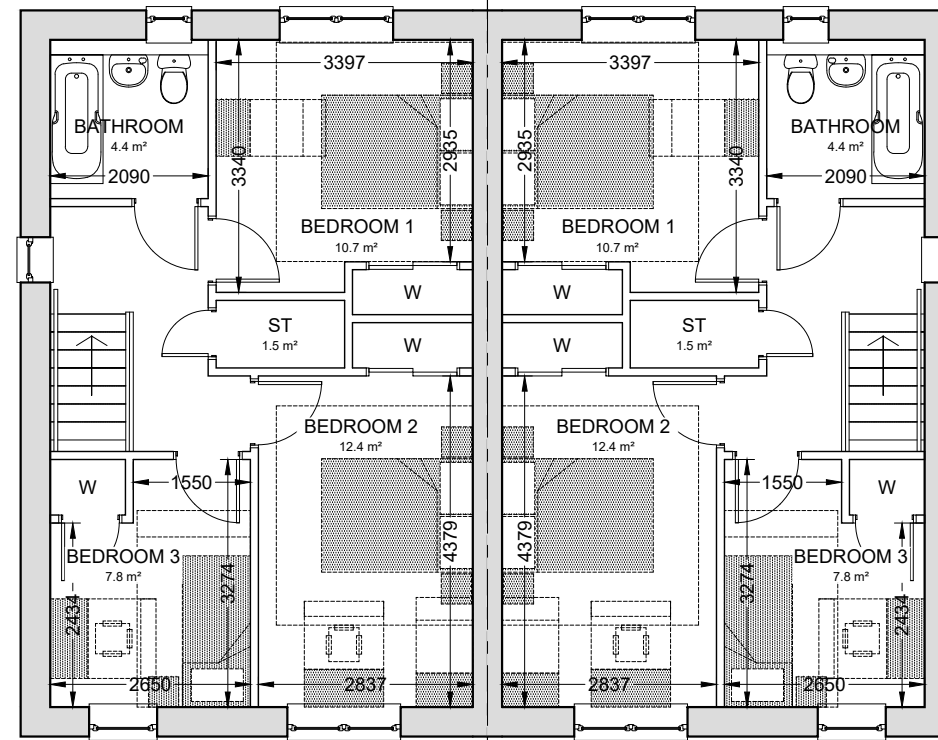
Note to Designers and Contractors

Under the CDM2015 regulations BSC has sought to eliminate or reduce risks where possible as part of the design process.

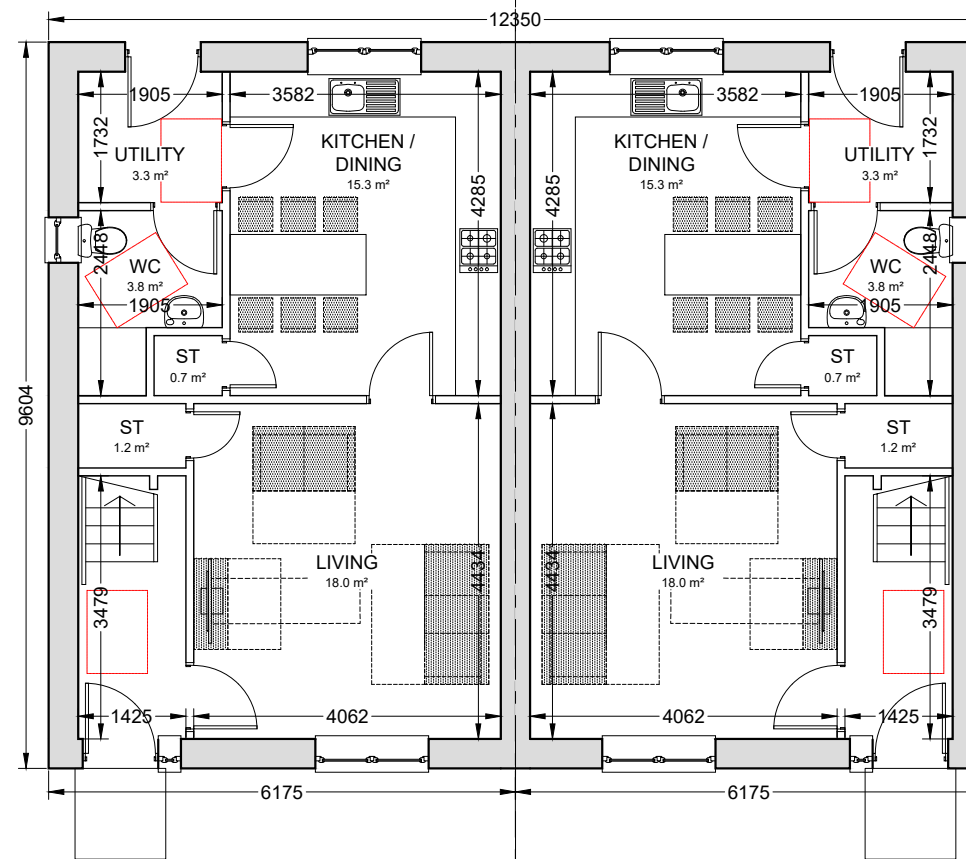
Significant residual risks, or areas of work that require special attention during construction, which have been identified by BSC, are indicated on project drawings by the following symbol \blacktriangle .

It is anticipated that other designers and contractors will co-operate to identify any potential construction hazards and to eliminate them where possible.

Measures to minimise residual hazards will be reviewed on a regular basis.



FIRST FLOOR PLAN



3B5P VILLA GROUND FLOOR PLAN
GIA 98.7 m²

PLOTS 41-48, 56-59, 64&65

REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

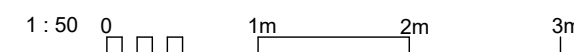
PHASE 2, EVANTON
 32 UNITS
 HIGHLAND COUNCIL

3B5P VILLA - PLANS

STATUS: **PLANNING**

SCALE:	1 : 50	DRAWN:	WKRC
PAPER SIZE:	A3	DATE:	Aug 2022

DWG No.	4905-01-230	REV.	
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Note to Designers and Contractors

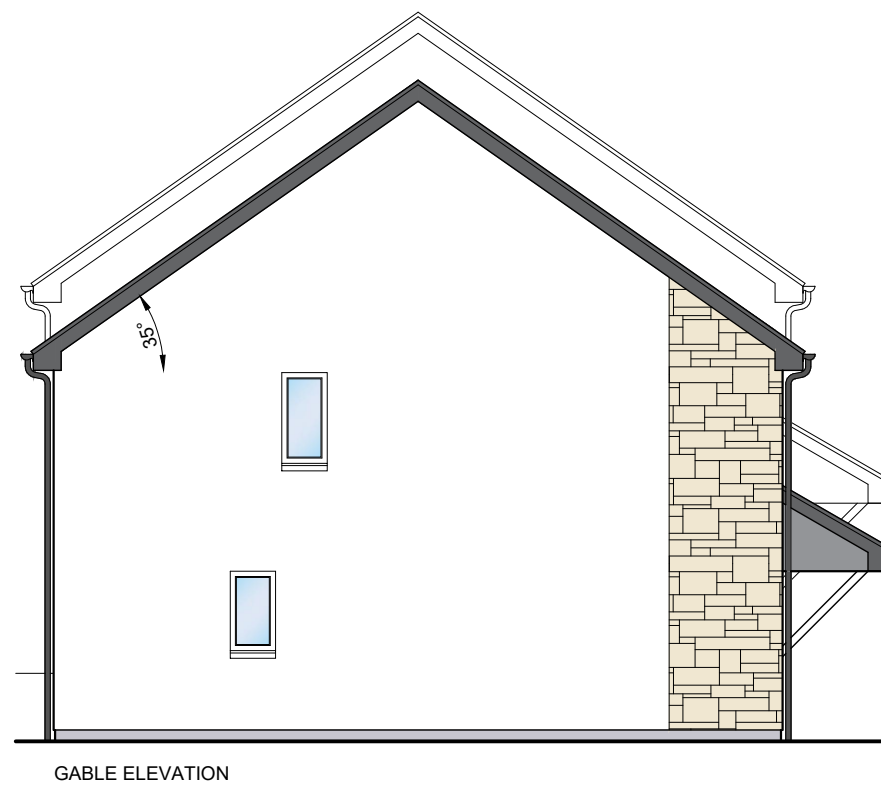
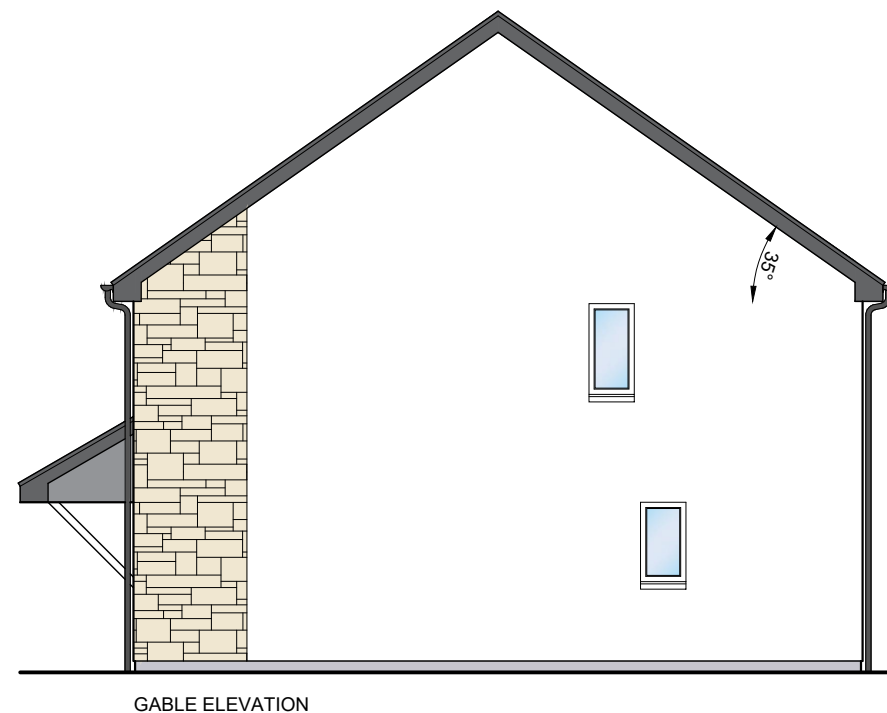
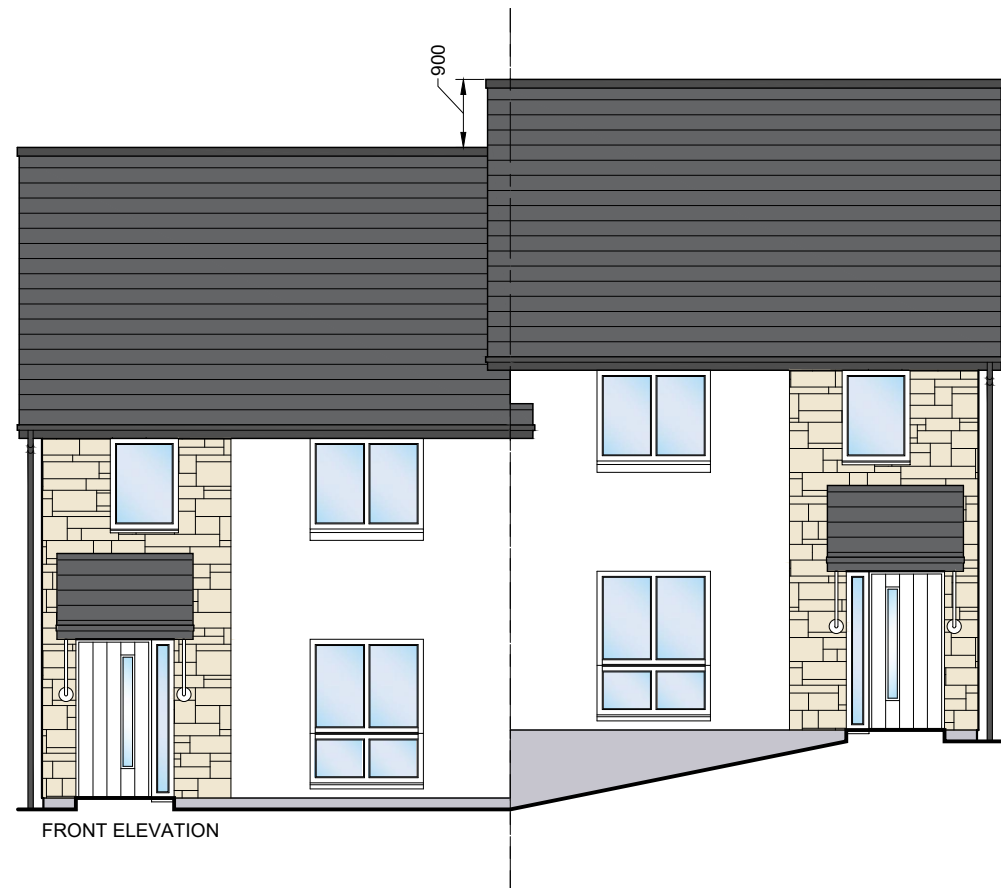
Under the CDM2015 regulations BSC has sought to eliminate or reduce risks where possible as part of the design process.

Significant residual risks, or areas of work that require special attention during construction, which have been identified by BSC, are indicated on project drawings by the following symbol \blacktriangle .

It is anticipated that other designers and contractors will co-operate to identify any potential construction hazards and to eliminate them where possible.

Measures to minimise residual hazards will be reviewed on a regular basis.

PLOTS 56-59



REV	DATE	DESCRIPTION	DRN
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Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

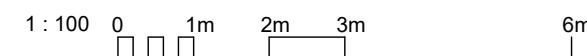
PHASE 2, EVANTON
 32 UNITS
 HIGHLAND COUNCIL

3B5P VILLA - ELEVATION 900MM STEP

STATUS: **PLANNING**

SCALE:	1 : 100	DRAWN:	WKRC
PAPER SIZE:	A3	DATE:	Aug 2022

DWG No.	4905-01-240	REV.	
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Note to Designers and Contractors

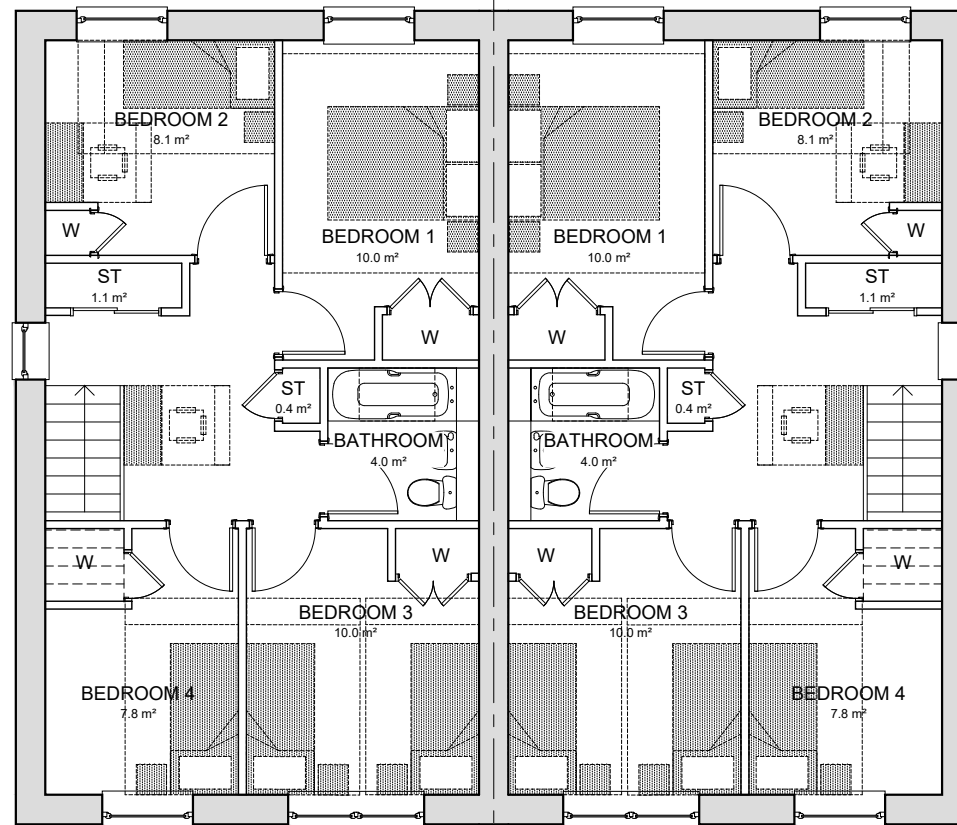
Under the CDM2015 regulations BSC has sought to eliminate or reduce risks where possible as part of the design process.

Significant residual risks, or areas of work that require special attention during construction, which have been identified by BSC, are indicated on project drawings by the following symbol **▲**.

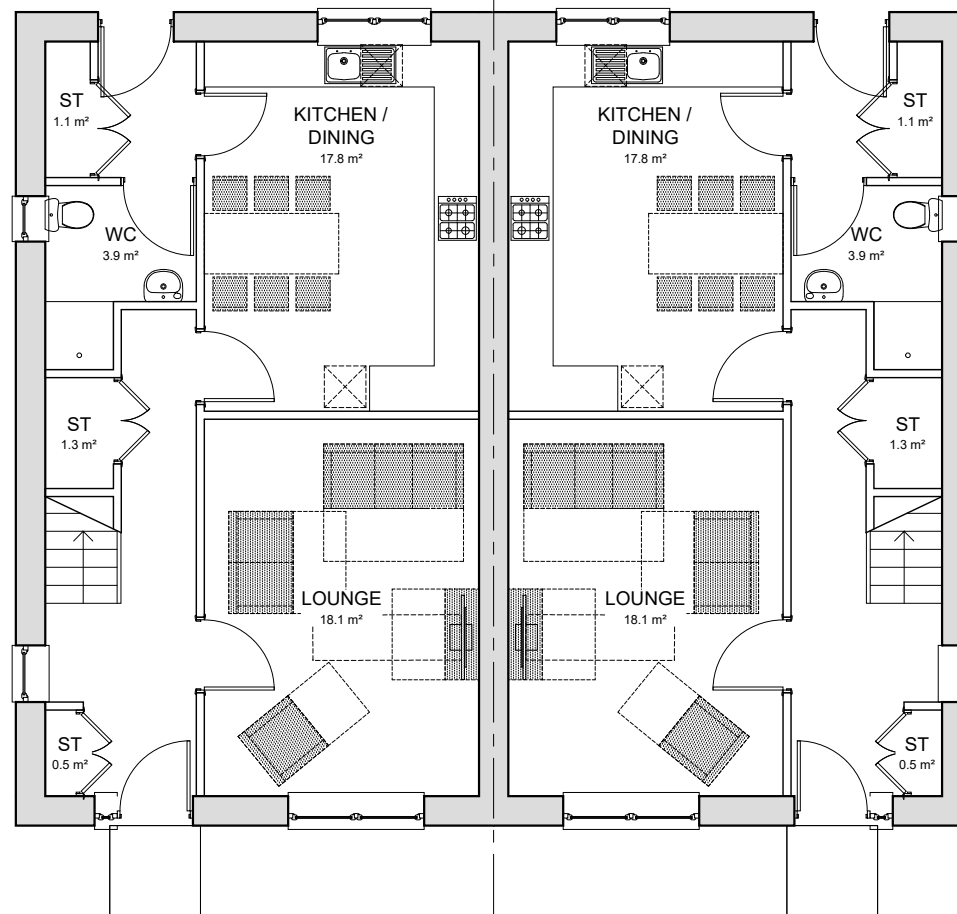
It is anticipated that other designers and contractors will co-operate to identify any potential construction hazards and to eliminate them where possible.

Measures to minimise residual hazards will be reviewed on a regular basis.

PLOTS 71&72



FIRST FLOOR PLAN



4B6P VILLA GROUND FLOOR PLAN
GIA 114.5 m²

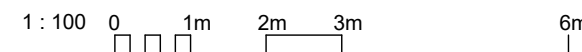
REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PHASE 2, EVANTON
 32 UNITS
 HIGHLAND COUNCIL
 4B6P VILLA - PLANS

STATUS:	PLANNING		
SCALE:	1 : 100	DRAWN:	WKRC
PAPER SIZE:	A3	DATE:	Aug 2022
DWG No.	4905-01-330		REV.



Note to Designers and Contractors

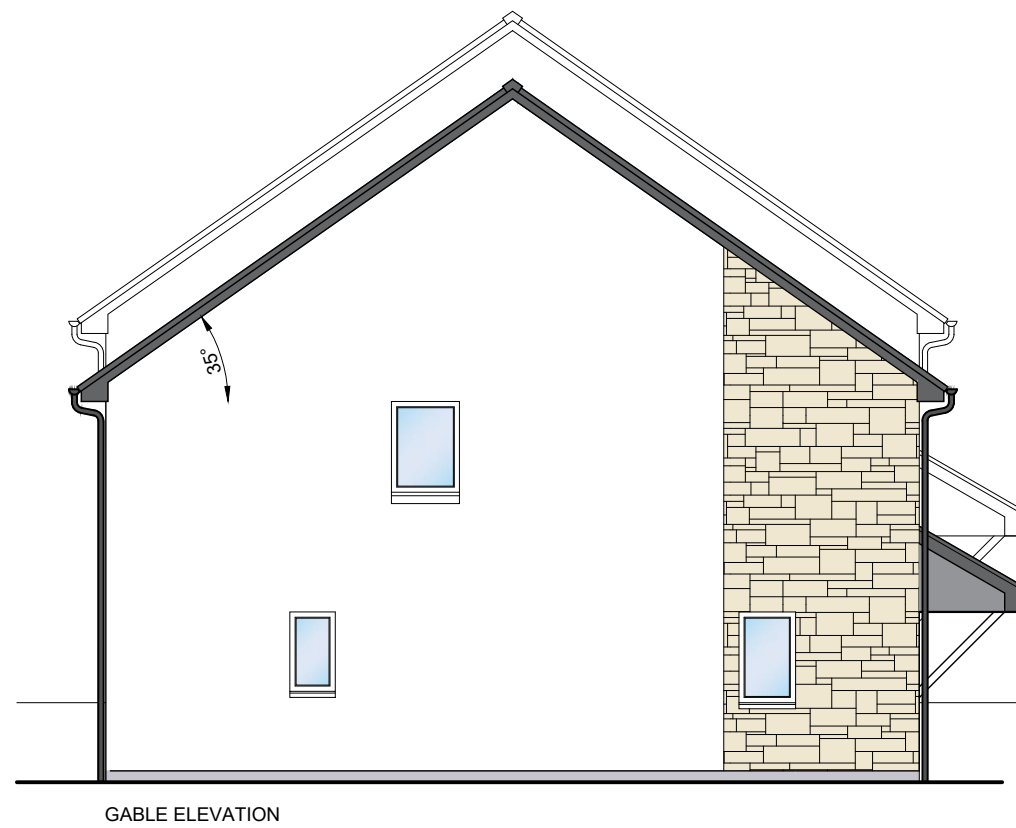
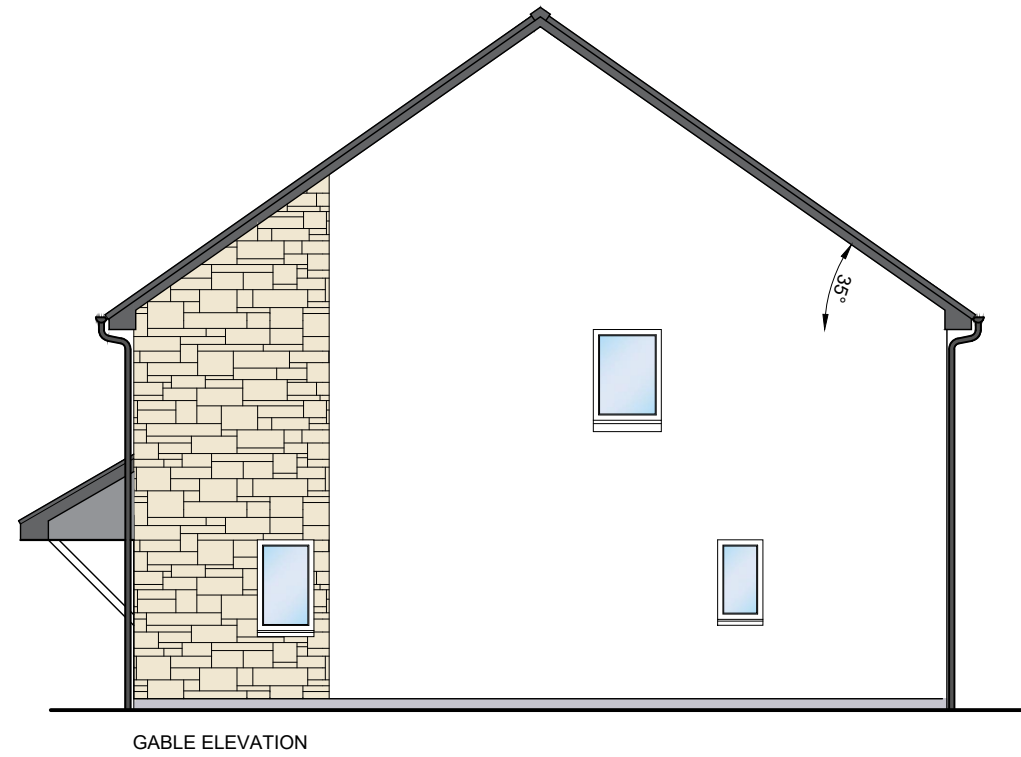
Under the CDM2015 regulations BSC has sought to eliminate or reduce risks where possible as part of the design process.

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It is anticipated that other designers and contractors will co-operate to identify any potential construction hazards and to eliminate them where possible.

Measures to minimise residual hazards will be reviewed on a regular basis.

PLOTS 71&72



REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PHASE 2, EVANTON
 32 UNITS
 HIGHLAND COUNCIL

4B6P VILLA - ELEVATIONS 900MM STEP

STATUS: **PLANNING**

SCALE:	1 : 100	DRAWN:	WKRC
PAPER SIZE:	A3	DATE:	Aug 2022

DWG No.	4905-01-340	REV.	
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