

Agenda Item	6.3
Report No	PLN/065/23

## HIGHLAND COUNCIL

**Committee:** North Planning Applications Committee  
**Date:** 12<sup>th</sup> September 2023  
**Report Title:** 22/06107/FUL: Dornoch Distillery Company Ltd  
Land 40M SW Of Dornoch Health Centre, Shore Road, Dornoch  
**Report By:** Area Planning Manager North

### Purpose/Executive Summary

**Description:** Erection of distillery and associated warehousing and visitor centre (as amended)  
**Ward:** 4 – East Sutherland and Edderton  
**Development category:** Local  
**Reason referred to Committee:** Managers Discretion

All relevant matters have been taken into account when appraising this application. It is considered that the proposal does not accord with the principles and policies contained within the Development Plan.

### Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report.

## 1. PROPOSED DEVELOPMENT

- 1.1 Planning permission is sought for the erection of a distillery, warehouses and visitor centre along with all roads, parking, footpaths, signage and drainage. The site would be accessed via an existing road which was recently installed to the north as part of the installation of a new car parking area. The proposal is intended to provide a much larger facility for the applicant's existing distilling enterprises which currently take place within a small unit located in Dornoch's Industrial Estate. The proposed development comprises of the following elements:

### Visitor Centre

- Visitor Reception, Shop and Sales area
- Tasting and education area
- Feature Whisky bar
- Private Tasting Room
- Whisky Lounge
- Staff Offices

### Bonded Warehouse and Storage

- 2,000 square metres of bonded cask storage split over two adjoining warehouse units
- Packing and distribution centre
- Lab Area
- Workshop

### Distillery

- 170,000 – 200,000 per annum whisky production
- Relocation of gin production facilities
- On site milling & malt storage facilities
- Laboratory facilities
- Bottling hall

- 1.2 The proposal also entails installation of a solar array to provide off-grid power to support the development as well as a ground source water supply. The distillery will operate from 0700 to 2000 daily depending on seasonal variations due to solar power output. The visitor centre (shop, tasting, exhibition and tour) will operate daily from 1000 to 1700 with the last tour at 1600, though there will likely be fewer tours during the period October to March inclusive. There will be a maximum of six tours per day of up to 12 people per tour, each tour will be fully accompanied and supervised by a member of staff.
- 1.3 Other than the existing building within the site (as detailed in para 2.1 below) there is no existing infrastructure.
- 1.4 Pre Application Advice was provided through the Council's formal advice service in May 2022. This indicated that the principle of development was broadly acceptable and highlighted a number of considerations which would be applicable when an application was submitted including design, access/parking, drainage and flood risk.

1.5 The application is supported by:

- Design and Access Statement (and updated Design Statement)
- Landscape and Visual Assessment
- Transport Statement
- Drainage Assessment
- Flood Risk Assessment
- Geo-Environmental and Geo-Technical Preliminary Review

1.6 The proposed layout has been amended to site the warehousing buildings closer to the western boundary in order to avoid the most significant areas of flood risk. Additional solar arrays have also been added.

## 2. **SITE DESCRIPTION**

2.1 The site is located to the south of Dornoch and contains a stone built former gasworks building dating back to the late 1800s (to be used as the visitor centre) as well as a large area of grassland to its south and south west. To the west lies a community garden, the Business Park to the north screened by trees with a recently completed car parking area also lying north east. The site is bounded by Shore Road to the east. The area to the south is open expansive grassland with attractive views to the coast. The nearest housing to the site, which lies east of Shore Road, is 50m around distant.

2.2 There are no natural, built or cultural heritage designations covering the site however the Dornoch Firth National Scenic Area lies around 170m to the south.

## 3. **PLANNING HISTORY**

3.1	28.02.2017	16/04758/FUL: Erection of golf-pro shop (with ancillary office and staff accommodation), driving range bays, formation of driving range and tennis court, demolition of existing building and all ancillary parking, engineering and landscaping	Application Permitted
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## 4. **PUBLIC PARTICIPATION**

4.1 Advertised: Unknown Neighbour / Schedule 3 Development

Date Advertised: 3<sup>rd</sup> February 2023 & 11.08.2023

Representation deadline: 17<sup>th</sup> February 2023 & 25<sup>th</sup> August 2023

Timeous representations: 5 Support Comments from 4 existing businesses and 1 community group.

4.2 Material considerations raised are summarised as follows:

- a) Financial benefits arising from increased tourism;
- b) The development can provide an additional 'draw'
- c) The facility will be close to carbon neutral

- d) Its location is secluded from any viewpoints and will not be impeded on existing views
- e) Employment opportunities
- f) Revitalisation of existing gasworks building
- g) Retention of tourists in the area for longer with resultant increased spend

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet [www.wam.highland.gov.uk/wam](http://www.wam.highland.gov.uk/wam).

## 5. CONSULTATIONS

5.1 **Dornoch Community Council** did not respond to the consultation request.

5.2 **THC Environmental Health** have no objections. There should be any adverse impact due to the operational times proposed and attenuation from site with distance. Whilst sound levels may be audible they are predicated not to be at a level that would cause nuisance. The distillery would produce odour in association with the processes involved. However in my opinion the proposed impacts would be minimal when considering wind direction and dilution in the air.

5.3 **THC Contaminated Land** have no objections. The CL officer advises the following would however be required to be addressed:

In summary I agree a revised remediation strategy and validation report must be submitted and agreed with Council Contaminated Land Officers in advance of development/occupation, mainly due to the former use of the NE part of the site as a gasworks/slaughter house factory. The remediation statement must include consideration of the previously demonstrated issues associated with asbestos materials and hydrocarbon odours in the vicinity of the former gasworks buildings.

In relation to the hydrocarbon odours previously noted (2016) the consultants should offer their consideration of their former assessment works considering the more recent publication British Standards BS 10176:2020 Taking soil samples for determination of volatile organic compounds (VOCs) – Specification; and their proposals for VOC membrane and barrier pipe in the NE area. The 2016 risk assessment of the water environment (groundwater) concluded that there were substances present onsite such that the site groundwater is not deemed suitable for use; and water environment (surface water) that there may be a local issue with elevated background chromium. Without updated monitoring and assessment these conclusions remain and should be clearly outlined the PIR and in the updated remediation statement so there is no doubt that groundwater abstraction cannot be permitted at the site.

In addition the following matters must also be addressed further:

- The onsite SSE substation. In 2016 I understand this was to remain in situ. The current application appears to propose removal/relocation. Consideration of contamination around the sub-station is necessary.
- The 'Greenfield Site' stockpiled material. Demonstration that the stockpiled materials (including those termed made ground) are suitable for use is required. This must include information on their source; what testing frequency, suite, and suitability for commercial use assessment has been undertaken?



- If any groundworks in the former gasworks area uncover structures or further evidence of contamination, all works must be halted and appropriate assessment completed/assessments updated. This requirement should be clear in the remediation document and to all contractors, and
- The PIR report submitted in the Council Planning DMS does not include any appendices – drawings, former reports, walkover, etc.... An arrangement to provide the full Dec 2022, Ref 145213 DOC01 report.

A condition is requested to secure a scheme to deal with potential contamination on site.

- 5.4 **THC Archaeology** have no objections. The application lies within an area of archaeological potential. A condition is requested to secure a programme of work for the survey, evaluation, preservation and recording of any archaeological and historic features affected by the proposed development/work, including a timetable for investigation.
- 5.5 **THC Development Plans** have no objections and highlight policies relevant to the assessment of the application and required on-site developer contributions.
- 5.6 **THC Transport Planning** have indicated their support for the development could not be provided unless additional parking (including staff parking) has been provided. This has been addressed on the most recent submitted site layout plan. Transport Planning request conditions are added regarding a Construction Traffic Management Plan and Travel Plan.
- 5.7 **THC Flood Risk Management Team** object to the application. Their final consultation response is summarised below:

The Old Gas Works building is shown to be at medium to high risk of flooding from the Dornoch Burn. We would not object to a change of use of this building on the understanding that it does not result in an increase in the vulnerability, as defined under SEPA's Flood Risk and Land Use Vulnerability Guidance. The proposed new use is 'Least Vulnerable' and it is assumed that the current usage is 'Least Vulnerable'.

The proposed distillery and warehouses are also 'Least Vulnerable Uses' but are new buildings on the site and so under NPF4 should not be located in a flood risk area. The revised FRA determines the areas of the site at risk of fluvial flooding from the Dornoch Burn during a 1 in 200 year plus climate change probability flood event. This is shown in Figure 3 of the FRA, and the proposed new buildings on the site have been located outwith this area, which we welcome. Existing ground levels in the identified fluvial 'at risk' area should be retained to ensure that there is no impact on flood risk elsewhere.

The previous site layout included new buildings located on raised ground within the fluvial floodplain, with compensatory storage provided. This is not something that we can support as development within the fluvial floodplain should be avoided to ensure that there is no risk to new development or increased flood risk to others. We therefore welcome the changes to the layout that locate all of the buildings outside the areas at risk of fluvial flooding.

Coastal Flood risk has been considered based on climate change estimates for a 60-year lifespan development and additionally using SEPA's recommended 2100 climate change predictions. The results are shown in figures 4 and 5 of the FRA respectively. The proposed buildings are located outwith the area at risk based on a 60-year lifespan although they would be at risk under the recommended 2100 climate change scenario.

Some minor ground raising is proposed to mitigate against this risk. As the site is some distance from the coast and on the edge of the coastal floodplain we are content that ground raising would not result in increased flood risk to others and would not create an island of development. This is on the understanding that there would be no ground raising in the identified fluvial floodplain.

However, the principle of NPF4 Policy 22 is 'to strengthen resilience to flood risk by promoting avoidance as a first principle and reducing the vulnerability of existing and future development to flooding'. The proposed development is located in an area at risk of coastal flooding and, although suitable mitigation is available, it goes against the principle of avoidance and so we must maintain our objection to the application.

## **DRAINAGE**

A Proposed Site Drainage Strategy Plan (Drawing: (52)01 Rev B) and a brief 'Drainage Calculation Sheet' have been provided in support of the application. It is proposed that surface water runoff from new hardstanding will be directed to a SUDS basin before discharge into the Black Burn at pre-development greenfield rates. At this stage we are content that sufficient space has been set aside for SUDS and we are content with the proposed drainage strategy. We would require a condition that the final drainage design is submitted for review and approval. This shall include calculations to demonstrate that all storms up to and including a 1 in 200 year plus climate change storm event are managed within the site without increasing flood risk to others. Discharge into the watercourse shall be limited to the pre-development greenfield rate.

- 5.8 **Scottish Water** have no objection and highlight there is infrastructure within the site therefore its Assets Team should be consulted by the developer.
- 5.9 **NatureScot** initially objected to the application as it considered there was insufficient information to determine whether there would be any adverse impacts on the special qualities of the Dornoch Firth National Scenic Area. Following the submission of a Landscape and Visual Impact Assessment, NS advise that it does not consider that the development will adversely affect the NSA.

NS also provide the following advice with respect to European designated areas:

The development site is close to, and functionally connected to Dornoch Firth and Morrich More Special Area of Conservation (SAC) and Dornoch Firth and Loch Fleet Special Protection Area (SPA). The sites' status means that the requirements of the Conservation (Natural Habitats, &c.) Regulations 1994 as amended (the 'Habitats Regulations') apply or, for reserved matters, The Conservation of Habitats and Species Regulations 2017. Consequently, Highland Council is required to consider the effect of the proposal on these protected areas before it can be consented (commonly known as Habitats Regulations Appraisal). The NatureScot website has a summary of the legislative requirements. Our advice is that it is unlikely that the

proposal will have a significant effect on any qualifying interests of the SAC and SPA, either directly or indirectly. An appropriate assessment is therefore not required.

5.10 **SEPA** object to the application. Its final response notes the following:

We welcome the update to Flood Risk Assessment (FRA) to include the most up-to-date climate change allowances, as required following the publication of NPF4. We are satisfied that the FRA is based on appropriate methods and its representation of flood risk at the site is in line with all other evidence that is currently available.

We also welcome the changes to the 'Proposed Site Plan' (Revision M Draft Option 2A) to utilise the parts of the site which avoid any fluvial flood risk when considering the 1 in 200 year including climate change, in order that there will be no loss of floodplain capacity and resulting increase in flood risk elsewhere. However, the inclusion of future sea level rise on coastal flood risk, as required under NPF4, means that there is not enough land available outwith the coastal flood risk area for the proposed development. We acknowledge the efforts made to use land at the edge of the coastal flood risk area, where ground levels are largely above 4mAOD which compares to the design future flood level of 4.2mAOD. We also acknowledge that this is a least vulnerable land use and is unlikely to result in increased flood risk elsewhere. However, the proposal is, in part, for new development on greenfield land. This would introduce new buildings to a flood risk area thereby increasing the risk of flooding to people and property. For those areas which are currently undeveloped, we do not consider the exceptions criteria set out in NPF4 to be met and as a result proposals for land raising would not be acceptable in this instance. This means all development must be situated outwith the flood risk area, which is not feasible at this site. We have a shared duty with Scottish Ministers and other responsible authorities under the Flood Risk Management (Scotland) Act 2009 to reduce overall flood risk and promote sustainable flood risk management. The cornerstone of sustainable flood risk management is the avoidance of flood risk as a first principle, and this is set out in Policy 22 of NPF4.

We continue to have no objection to the proposed visitor centre, which is the re-use of an existing building for an equal vulnerability use and therefore an exception under Policy 22a iii) and also the proposed solar farm which would fall under essential infrastructure and exception Policy 22a i). Although our Standing Advice has not yet been updated to reflect NPF4, there is still relevant information within this for recommendations on these types of development.

For your information in the event that the planning authority proposes to grant planning permission contrary to the advice SEPA gives on flood risk, the Town and Country Planning (Notification of Applications) (Scotland) Direction 2009 provides criteria for the referral to the Scottish Ministers of such cases.

## **6. DEVELOPMENT PLAN POLICY**

The following policies are relevant to the assessment of the application

### **6.1 National Planning Framework 4 (2023)**

Policy 1 - Tackling the Climate and Nature Crises

Policy 2 - Climate Mitigation and Adaptation  
Policy 3 - Biodiversity  
Policy 4 - Natural Places  
Policy 5 - Soils  
Policy 9 - Brownfield, Vacant and Derelict Land and Empty Buildings  
Policy 11 - Energy  
Policy 12 - Zero Waste  
Policy 13 - Sustainable Transport  
Policy 14 - Design Quality and Place  
Policy 15 - Local Living and 20 Minute Neighbourhoods  
Policy 22 - Flood Risk and Water Management  
Policy 23 - Health and Safety  
Policy 26 - Business and Industry  
Policy 28 - Retail  
Policy 30 - Tourism

## 6.2 **Highland Wide Local Development Plan 2012**

28 - Sustainable Design  
29 - Design Quality and Place-making  
31 - Developer Contributions  
34 - Settlement Development Areas  
41 - Business and Industrial Land  
42 - Previously Used Land  
43 - Tourism  
56 - Travel  
57 - Natural, Built and Cultural Heritage  
61 - Landscape  
64 - Flood Risk  
65 - Waste Water Treatment  
66 - Surface Water Drainage

## 6.2 **Caithness and Sutherland Local Development Plan 2018**

Within Mixed Use Allocation DN03 and Dornoch Settlement Development Area.

## 6.5 **Highland Council Supplementary Planning Policy Guidance**

Developer Contributions (November 2018)  
Flood Risk and Drainage Impact Assessment (Jan 2013)  
Sustainable Design Guide (Jan 2013)

## 8. **PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

## **Determining Issues**

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

## **Planning Considerations**

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy
  - b) siting and design
  - c) natural heritage
  - d) amenity impact
  - e) access and parking
  - f) flood risk and drainage
  - g) climate change and biodiversity
  - h) Impact on infrastructure and services and proposed mitigation (developer contributions)
  - i) any other material considerations

## **Development plan/other planning policy**

- 8.4 The application requires to be considered against National Planning Framework 4 which was adopted in February 2023 and forms part of the development plan alongside the Highland-wide Local Development Plan and in this instance, the Caithness and Sutherland Local Development Plan (CASPlan). Where there is incompatibility between NPF4 and Local Development Plans, NPF4 as the most up to date document will take primacy in the assessment.
- 8.5 The CASPlan allocates the site for mixed use development for the following uses: *Student accommodation, business, leisure, community, open space, recreation*; an allocation which is reflective of the planning position at the time of the Plan being adopted whereby a consent was in place covering the site for recreational usage (golf driving range). The proposed development, of which the main element is distillery usage, would fall largely under Class 5 of the Use Class Order (Industry). The Order does however allow some flexibility between use classes 4 (Business) and 5 (Industrial) therefore it can be considered that the usage is broadly in accordance with the development plan allocation.
- 8.6 A number of other general policies of NPF4 and Highland-wide Local Development Plan are relevant in the assessment of the application as listed in Sections 6.1 and 6.2. These policies largely set out the need to ensure proposals can be adequately serviced, amenity impacts are minimised and that development is proportionate to the location within which it sits. Both Plans highlight a need to encourage, promote and facilitate business and industry uses and that these will be supported where they are within allocated sites.

- 8.7 Based on the above, the development plan position is broadly favourable towards the proposed development subject to an assessment of detailed considerations which are reflected in the general policies of NPF4 and the HwLDP. It is however evident that NPF4 has introduced a considerably more restrictive approach to development within flood risk areas than was previously established under its predecessor, Scottish Planning Policy. This is also considered further below.

### **Siting and Design**

- 8.8 Dornoch is a settlement which has very much retained its historic character and charm particularly within the village centre with some more contemporary development introduced towards its fringes, such as the student accommodation which lies further north of the site. The site presents an opportunity to ensure the traditional building within the site can be retained and re-purposed as well as to provide a contemporary distillery building which is intended to act as focal point for both the business and visitors while also complementing the 20 minute neighbourhood and local living concepts promoted by NPF4.
- 8.9 The proposal has evidently been well considered with the overall design rationale detailed in the submitted Design and Access Statement which sets out how the scheme has evolved to take account of its wider location, immediate context as well as the site's history which, with the exception of a short period where it hosted an airfield, has been agricultural holdings possibly in conjunction with the use of the former slaughterhouse.
- 8.10 The two warehouse buildings, located towards the westernmost boundary of the site, have been designed as functional spaces reflective of their proposed usage for cask storage. These will be profiled to match the distillery with the gables facing east having sections of charred timber cladding to reinforce the connection to the other buildings.
- 8.11 Re-purposing and extension of the existing former gasworks/slaughterhouse as proposed will retain its traditional character through the inclusion of stone gables to each end. Whilst the proposed extension will introduce a more contemporary finish through the inclusion of zinc cladding, its overall form, shape and roof pitch mirrors that of the existing building. This is important given the location of the building immediately adjacent to Shore Road where it has potential to be viewed in association with existing traditional buildings east of the site. The proposed visitor centre, which will also provide an outdoor seating area, small shop and bar, will provide an attractive new addition to the area enhancing the overall tourist experience within Dornoch with potential to retain tourists in the area for longer periods of time with associated spin-off economic benefits; this is reflected in the support comments received on the application. In policy terms, the re-use of an existing building is supported at both local and national level. Should consent be granted, consideration should however be given to conditions reinforcing that the bar and shop are ancillary to the main use of the site as a distillery to ensure overall compatibility with the development plan.
- 8.12 Centrally within the site, the distillery building will be finished in a combination of zinc cladding and charred timber with a low pitched roof. Large expanses of glazing are

to be incorporated throughout to allow views through to the still house adding areas of interest while aiding in the breaking up of the overall mass. This feature will create further interest by appearing particularly striking when viewed in hours of darkness. Use of dark external materials also ensure the building, whilst adding a focal point, will appear relatively recessive in the landscape when viewed from further afield. In design terms, the proposed development is considered to be particularly high quality, has been designed to reflect the context of the site through use of both traditional and contemporary construction while providing welcoming public facing elevations. It therefore fully accords with the provisions of the development plan in this regard.

### **Natural Heritage**

8.13 The site lies around 170m north of the Dornoch National Scenic Area designated for special qualities including the following which may be of relevance to the proposed development:

- *The contrast between the enclosed west and expansive east*
- *A rich variety alluvial lands, dunes and links*
- *The tranquillity of an undeveloped coastline*

Development within NSAs is therefore required to ensure it does not detract from the quality or character of the landscape, the scale, siting and design are appropriate, and the design and landscaping are of a high standard. The assessment as set out in paragraphs 8.8 to 8.12 has concluded that the development is of a scale commensurate with the landscape within it sits and that the design and landscaping proposals are well considered, presenting a high quality addition to the area. The application however also requires to be assessed against the extent to which it addresses the quality and character of the NSA and specifically the above special qualities.

8.14 7 photomontages have been submitted to assist in the assessment of landscape and visual impact, ranging from 112m distant from the site to 14.8km, that have been identified as lying with the Zone of Theoretical Visibility. These demonstrate that the site will largely be seen only in short range views, with some screening afforded by existing and proposed landscaping around the perimeter of the site.

8.15 NatureScot have advised that based upon the information submitted we have concluded the proposal will not have a significant adverse effect on the integrity of the Dornoch Firth NSA or the objectives of the designation in particular noting the following:

- Rowan trees will be planted adjacent to the largest structure between this structure and the protected landscape.:
- The structures have been significantly separated.
- The largest structure has been angled such that it is now presented 'end-on' or 'angled' in relation to the majority of viewpoints.

This position, as set out by NatureScot, is agreed.

8.16 With respect to European Protected Areas, the development site is close to, and functionally connected to Dornoch Firth and Morrich More Special Area of

Conservation (SAC) and Dornoch Firth and Loch Fleet Special Protection Area (SPA). The sites' status means that the requirements of the Conservation (Natural Habitats, &c.) Regulations 1994 as amended (the 'Habitats Regulations') apply or, for reserved matters, The Conservation of Habitats and Species Regulations 2017. Consequently, Highland Council is required to consider the effect of the proposal on these protected areas before it can be consented (commonly known as Habitats Regulations Appraisal).

- 8.17 Following advice from NatureScot it is concluded that it is unlikely that the proposal will have a significant effect on any qualifying interests of the SAC and SPA, either directly or indirectly. An appropriate assessment is therefore not required. This conclusion has been reached based on the following considerations:
- The development site is sufficiently distant, contained and separate from the SAC and SPA to avoid significant disturbance to the interests of these protected areas, over and above that already present in this immediate area.
  - Surface water is suitably managed by SUDS basins and flow control prior to discharge and will benefit from additional attenuation and filtration along the Black Burn for 960 metres before reaching the SAC.

### **Amenity Impact**

- 8.18 The proposal has potential to impact on residential amenity through the creation of a new noise and odour source. This matter has been deliberated through Noise and Odour Impact Assessments which consider noise arising from both the distillery and the visitor centre in relation to the respective closest residential properties (defined as those with sleeping accommodation by the assessment). In relation to the distillery, the nearest residential properties are between 127m and 185m distant however this reduces to 50m in relation to the visitor centre albeit this only has potential to create noise through the formation of an external seating area.
- 8.19 Environmental Health have commented that there will not be any adverse impact due to the operational times proposed and attenuation from the site with distance. Whilst sound levels may be audible they are not predicated to be at a level that would cause nuisance. Should consent be granted, consideration should be given to reinforcing operating times through condition to ensure the development remains in accordance with the details that have been considered within the submitted assessments. This is equally applicable to opening hours for the proposed external seating area adjacent to the visitor centre which lies some 50m from existing housing. Recent experience has shown that the licencing process will not impose opening times prior to 1am despite potential for disturbance therefore should consent be granted some consideration should be afforded to conditions to address this matter through the planning process, if deemed enforceable.

### **Access and Parking**

- 8.20 The main vehicular and pedestrian access route is from the town centre, following Shore Road southwards towards the recently completed community car park. The main entrance from Shore Road is to the south of this existing car parking and will be extended into the site forming a one way system. A footpath runs adjacent to Shore Road which would link the distillery to the town centre for pedestrians.



- 8.21 A formal pedestrian crossing will be installed where dropped curbs have been provided, along with access to parking and accessible parking to the south of the visitor centre. The material of the proposed parking spaces and access road will be of a non porous tarmac, with surface water run-off drainage linked to the proposed additional SUDs pond. There will be 6no parking spaces in total to the south of the visitor centre, including one accessible parking space closest to the front door and approximately 18m away; the visitor centre also lies immediately south of the recent community car park which has been developed to provide parking to address current deficiencies in the town centre and could conceivably also be used by those visiting the site. There are also 4no Electric Vehicle charging points available in the car park, with additional charging spaces to be provided within the site for staff usage.
- 8.22 Graded access from the west landscaped area into the proposed reception at Visitor Centre provides inclusive access for guests and staff. Level access is continued throughout the entire ground floor of the building allowing open and free movement and all doorways and movement corridors have been designed to accommodate accessible use.
- 8.23 The proposed distillery access road will run from north to south before turning west behind the line of trees screening the distillery and warehouse. The entrance from the car park will be level and dropped curbs will be provided both sides to the pedestrian footpath. The road surface will be of non porous tarmac, as will the footpath. This will allow the surface water from both to be collected in the central swale ditch running alongside the road to the east and north. 7no staff parking spaces, including 1no accessible space and 4no electric car charging spaces have been allocated to the east of the distillery building as well as cycle parking. The material for these will be a porous open jointed paving similar to the Dornoch Community main car park, with surface water drainage attached to the drainage ditch. A turning yard is located to the west of the proposed distillery with a vehicular turning circle in excess of 13m. The road and yard geometry has been designed to allow articulated vehicles to manoeuvre and complete deliveries and collections. In particular the yard area will predominantly be used for fork lift activities, so is also of a hard standing non porous material with surface water drainage to the SUDs pond.
- 8.24 A central turning circle is to be provided for articulated vehicles, though most deliveries are by van. The two warehouses both have graded concrete entrance ramps and there is a small concrete pedestrian path forming an escape route to the south of the warehouses, which also provides forklift access to the rear. Both warehouses have loading bay doors facing north towards the band of trees, with level access for both inclusive and fork lift access to the storage, workshop and distribution areas.
- 8.25 Transport Planning have confirmed acceptance of the access strategy however requested additional parking which is now reflected in the submitted plans and referenced above.

## Flood Risk and Drainage

- 8.26 The site is constrained in terms of flood risk, lying partially within both fluvial and coastal flood extents. This is reflected in the development allocation which acknowledges the potential for this to limit the extent and type of development for the site. It goes onto to specify that a Flood Risk Assessment for the site will be required with any design and layout complying with the following:
1. Land raising (with appropriate compensatory flood storage capacity) would be only be acceptable on the areas of previously developed land to the north and any buildings within this area have to be demonstrated to be outwith the area at risk of flooding, not create an island of development and be demonstrated to not to impact on flood risk elsewhere. Areas of previously developed land which are shown to be at risk of flooding may be suitable for car parking but should not be subject to any land raising.
  2. Greenfield areas of the site are only suitable for types of recreation and leisure uses which are less vulnerable to flood risk such as golf driving range or car park. Such proposal should not result in a change in ground levels (i.e. no land raising) and be designed so that they are flood resilient and do impact on water flows.
- 8.27 In addition to the site allocation, the application requires to be assessed against Policy 22 of National Planning Framework 4 which is concerned with flood risk and this supersedes Scottish Planning Policy with respect to this matter. NPF4 sets out a requirement for avoidance of flood risk areas in the 200 year plus up to date climate change scenario. Previously, under SPP, consideration of climate change was a recommendation only which is why SEPA have previously been able to accept a 20% climate change uplift prior to now.
- 8.28 This means the long term viability of the site must be taken into account and the 2100 climate change allowances applied in line with current policy. The Flood Risk Assessment initially submitted with the application was updated following the initial objections from the FRM Team and SEPA. This has led to the revised layout arrangement whereby the warehouse buildings have been re-sited to the western boundary to utilise the part of the site which avoids any fluvial flood risk due to the 1 in 200 year climate change allowance.
- 8.29 However the inclusion of future sea level rises on coastal flood risk, as required by NPF4 means that there is not enough land available outwith the coastal flood risk area for the proposed development. Policy 22 part a) sets out a range of criteria against which proposals within such areas should be considered against specifically setting out a narrow range of uses which are acceptable; these are:
- Essential infrastructure where the location is required for operational reasons;
  - Water compatible uses
  - Re-development of previously used sites in built up areas

With the exception of the existing building (assessed in para 3.1 below), the site is made up of greenfield land and would not address the above policy requirement. The proposal would introduce new buildings to a flood risk area thereby increasing the risk of flooding to people and property. For those areas which are currently undeveloped, as none of the exceptions set out above are met, proposals for land

raising would not be acceptable in policy terms in this instance. This means all development must be situated outwith the flood risk area, which is not feasible at this site. As such, SEPA and the Council's FRM Team are unable to support this application noting that there is a shared duty with Scottish Ministers and other responsible authorities under the Flood Risk Management (Scotland) Act 2009 to reduce overall flood risk and promote sustainable flood risk management. The cornerstone of sustainable flood risk management is the avoidance of flood risk as a first principle, and this is set out in Policy 22 of NPF4.

- 8.30 Whilst it is noted that land raising is not acceptable under policy for areas that are undeveloped, the FRM Team advised that the minor land raising (which is the mitigation for flood risk) proposed in this instance would not result in increased flood risk to others and would not create an island of development. The site is well located in this respect as there are no close by third party land owners which would be impacted by the land raising.
- 8.31 Neither SEPA nor the FRM Team have any objection to the proposed visitor centre, which is the re-use of an existing building for an equal vulnerability use and therefore an exception under Policy 22a iii) and also the proposed solar farm which would fall under essential infrastructure and exception Policy 22a i). The objection is instead focused on the distillery and warehouse buildings.
- 8.32 It is evident that NPF4 takes a much harder stance with regard to flooding by setting out very limited scenarios in which development may be acceptable in principle, by the requirement to incorporate the 2100 climate change scenario into Flood Risk Assessments and by focusing on avoidance meaning that even with mitigation in place, development may still ultimately be unable to comply with criteria detailed in part a). It is acknowledged that the developer has sought to address the requirements within Policy 22 through the updated assessment, revised layout and mitigation however unfortunately the proposal as it stands falls outwith the parameters of NPF4 and is contrary to the developer requirements detailed in CASPlan which also prohibit land raising within greenfield portions of the site. The Planning Authority recognise the need to take cognisance of the global climate change emergency and the need to ensure avoidance of flood risk areas as a first principle now introduced by NPF4; the comments of consultees in this respect are understood. The application does however effectively mitigate the risk of flooding to the distillery and warehouse buildings which can be implemented without recourse to any third party and the proposal has been amended to reflect the flood risk constraints such that the most significant areas of risk are avoided. Taking all factors into account the risk of the buildings flooding with mitigation in place is therefore low; the development simply cannot be entirely located outwith the flood plain within the available land holding. These circumstances including the 'least vulnerable use' classification, when considered alongside the material considerations referenced in this report including broad compliance with the development allocation in terms of Business/Industrial Use alongside the potential socio-economic benefits to the town and area, are considered to be sufficient in this particular instance to outweigh the development plan in this instance. The development of the site will see the final portion of the allocated DN03 allocation developed with no further development anticipated within the wider area. Conditions are attached to ensure the development proceeds in accordance with the site levels derived in the Flood Risk Assessment

and to ensure an Emergency Plan is in place should the access (which is not proposed to be raised) flood.

- 8.33 A Proposed Site Drainage Strategy Plan (Drawing: (52)01 Rev B) and a brief 'Drainage Calculation Sheet' have been provided in support of the application. It is proposed that surface water runoff from new hardstanding will be directed to a SUDS basin before discharge into the Black Burn at pre-development greenfield rates.
- 8.34 Sufficient space has been set aside for SUDS and the proposed drainage strategy is acceptable. Should consent be granted a condition could be attached that requires the final drainage design is submitted for review and approval. This shall include calculations to demonstrate that all storms up to and including a 1 in 200 year plus climate change storm event are managed within the site without increasing flood risk to others. Discharge into the watercourse shall be limited to the pre-development greenfield rate.

### **Climate change and Biodiversity**

- 8.35 All development now requires to be assessed Policy 1 - 3 of NPF4 which are intended to ensure development addresses climate change, reduces emissions and enhances biodiversity. A key element of the proposed development is the installation of vast quantities of solar panels in the southern portion of the site which the Design Statement notes is intended to generate 1 Megawatt of electricity to power the distillery and visitor centre including the distilling process equipment as well as car charging facilities. The proposal also incorporates thermal batteries with waste heat recapture and energy re-use processes to be employed. The combination of all the above technologies will ensure the development will generate the lowest possible carbon emissions as required by NPF4 Policies 1 and 2.
- 8.36 With the exception of the existing building the remainder of the site hosts managed agricultural land which is unlikely to accommodate biodiversity to any substantial degree. Enhancement is to be provided through incorporation of wildlife habitats:
- 2,450msq of Wetland SUDs and Swales with a biodiverse wildflower and grass vegetation coverage attracting insects, pollinators and aquatic life.
  - 707msq of mixed species eventual mature tree canopy providing food and habitat for insects, pollinators, birds and mammals.
  - 396msq of mixed species hedgerow providing food and habitat for insects, pollinators, birds and mammals as well as providing a screening function and wildlife corridor to the southern boundary.
  - Provision of high level nesting boxes for migratory birds such as the house martin. There are both house martins and swallows nesting within Dornoch.

There will also be well trodden, compacted earth demarcated walking routes within the open area of rough grassland to encourage a more defined pedestrian route, therefore improving the opportunity for wildlife enrichment. Overall the proposal is considered to accord with the requirements of Policy 3 of NPF.

### **Impact on infrastructure and services and proposed mitigation (developer contributions**

- 8.37 As a new commercial proposal the application requires to be assessed against the provisions of the Developer Contributions SG however in this instance, there are no identified infrastructure projects to which the project would be required to contribute to and no monetary requirements have been identified by consultees. The proposal address green network requirements through the schedule of planting and other measures as detailed in para 8.36. The re-use of the existing building within the site is considered sufficient to address public art requirements.

### **Procedural Matters**

- 8.38 Due to the objection that has been received from SEPA who are a statutory consultee, if consent is granted then the application requires to be referred to Scottish Ministers who have the opportunity to 'call in' the application for their own determination.

## **9. CONCLUSION**

- 9.1 The application seeks consent for a new distillery with related visitor centre and warehousing within a mixed use allocation in the defined Dornoch Settlement Development Area. The site is well positioned and well connected to the town centre through active travel links, and development will provide a high quality design the design has been rationalised through the submitted supporting information. The development has potential to provide an additional facility for the town with resultant positive socio-economic benefits through job creation and associated spin-off benefits including longer visitor retention. It also complies whole heartedly with the wider ethos of NPF4 to reduce climate emissions and enhance biodiversity through a package of measures as detailed in this report.
- 9.2 The proposal however does not sit comfortably with the provisions of the CASPlan allocation with regard flood risk and it does not fully comply with the requirements of Policy 22 of National Planning Framework 4 with regards to the distillery and warehousing elements by virtue of its position within flood plain. The proposal has been amended to reflect an updated Flood Risk Assessment and proposes mitigation in the form of minor land raising and the layout has been amended to avoid the worst areas of flooding. The mitigation measures proposed will not have an adverse impact on any other third parties given the location of the site. As reflected in the assessment, taking a pragmatic view reflective of this position and when considering other material considerations and the proposal's potential to provide employment opportunities it is considered that there are sufficient factors that outweigh the development plan in this particular instance.
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal does not accord with the principles and policies contained within the Development Plan however is acceptable in terms of applicable material considerations largely its broad compliance with the Caithness and Sutherland LDP allocation as a whole (business usage) as well as wider socio-economic factors through job creation and expansion of a existing established business.

## 10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: The proposal includes a range of measures to minimise carbon emissions from the new buildings as detailed in this report.
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

## 11. RECOMMENDATION

<b>Action required before decision issued</b>	N	
Notification to Scottish Ministers	Y	<b>SEPA objection</b>
Conclusion of Section 75 Obligation	N	
Revocation of previous permission	N	

**Subject to the above actions**, it is recommended to **GRANT** the application for the subject to the following conditions and reasons:

1. The development hereby approved shall be undertaken strictly in accordance with the details set out in the submitted application form, plans and supporting information.  
**Reason:** To mitigate flood risk.
2. No development shall commence until a scheme to deal with potential contamination on site has been submitted to and agreed in writing by the Planning Authority. The scheme shall include:
  - a) the nature, extent and type of contamination on site and identification of pollutant linkages and assessment of risk (i.e. a land contamination investigation and risk assessment), the scope and method of which shall be submitted to and agreed in writing by with the Planning Authority, and undertaken in accordance with PAN 33 (2000) and British Standard BS 10175:2011+A2:2017 Investigation of Potentially Contaminated Sites - Code of Practice;
  - b) the measures required to treat/remove contamination (remedial strategy) including a method statement, programme of works, and proposed verification plan to ensure that the site is fit for the uses proposed;
  - c) measures to deal with contamination during construction works;

d) in the event that remedial action be required, a validation report that will validate and verify the completion of the agreed decontamination measures;

e) in the event that monitoring is required, monitoring statements shall be submitted at agreed intervals for such time period as is considered appropriate by the Planning Authority.

No development shall commence until written confirmation has been received that the scheme has been implemented, completed and, if required, monitoring measurements are in place, all to the satisfaction of the Planning Authority.

**Reason:** In order to ensure that the site is suitable for redevelopment, given the nature of previous uses/processes on the site.

3. No development or work (including site clearance) shall commence until a programme of work for the survey, evaluation, preservation and recording of any archaeological and historic features affected by the proposed development/work, including a timetable for investigation, has been submitted to, and approved in writing by, the Planning Authority. The approved programme shall be implemented in accordance with the agreed timetable for investigation.

**Reason:** In order to protect the archaeological and historic interest of the site

4. No development shall commence until a Construction Traffic Management Plan (CTMP) shall has been submitted to and approved in writing by the Planning Authority in association with the Roads Authority. The CTMP shall include:
- Following appointment of a main contractor, the provision of a construction programme together with details of the number and type of vehicle movements that will be generated, and the routes to be taken, at each stage of construction.
  - Measures to ensure that construction traffic adheres to agreed routes.
  - Proposed traffic management measures on the access route/s to site. Measures such temporary speed limits, suitable temporary signage, road markings and the use of speed activated signs should be considered.
  - Proposed measures to mitigate the impact of general construction traffic on the local road network following detailed assessment of the relevant roads.
  - In this regard a dilapidation survey of Shore Road shall be undertaken by the developer. The local roads office must be given the opportunity to be represented at the survey and thereafter shall be provided with a full copy of the survey report. The roads office shall be given at least one week's notice of the intended survey date.
  - A further survey of the road will be required at the end of the construction period, and any damage attributable to development traffic shall be made good by the developer to the satisfaction of the roads authority
  - A procedure for the regular monitoring of road conditions and the implementation of any remedial works required during the construction period.
  - Measures to ensure that all affected public roads are kept free of mud and debris arising from the development. In this regard a vacuum enabled road sweeper shall be available for the duration of the construction period.

- Depending on the level of traffic to be generated, consultation with stakeholders, including local community representatives, may be necessary regarding the detailed content of the CTMP.

It is recommended that no works at the application site shall commence until the full details of the Construction Traffic Management Plan (CTMP) have been agreed in consultation with the local Roads Office. The CTMP shall remain in place for the duration of the construction phase.

**Reason:** To mitigate the impact of the construction phase on the local road network.

5. No development shall commence until the finalised drainage design is submitted to and approved in writing by the Planning Authority. This shall include calculations to demonstrate that all storms up to and including a 1 in 200 year plus climate change storm event are managed within the site without increasing flood risk to others. Discharge into the watercourse shall be limited to the pre-development greenfield rate.

**Reason:** To ensure the site can be adequately drained and flood risk to others is mitigated.

6. Prior to the first occupation of the development the Travel Plan Framework included in the submitted Transport Statement shall be developed into an Operational Travel Plan and submitted to and agreed in writing by the Planning Authority. This shall include appointment of a Travel Plan Coordinator.

**Reason:** To reduce reliance on the private car.

7. Prior to the first use of the development an Emergency Plan detailing measures to facilitate access and egress in a flood event shall be submitted to and agreed in writing by the Planning Authority. Once implemented the development shall ensure the agreed Emergency Plan remains a live document and in place in perpetuity.

**Reason:** To detail measures to ensure access and egress can be maintained during a flood event.

8. Prior to the first occupation of the development hereby approved, the car parking and access arrangements detailed on approved plan ref. (L)02 Rev N shall be completed in full and made available for use. Thereafter, all car parking spaces shall be maintained for this use in perpetuity.

**Reason:** To ensure sufficient car parking for the development is accommodated.

9. All landscaping works shall be carried out in accordance with the scheme and plans approved as part of this permission. All planting, seeding or turfing as may be comprised in the approved scheme and plans shall be carried out in the first planting and seeding seasons following the commencement of the development, unless otherwise stated in the approved scheme. Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.



**Reason:** In order to ensure that a high standard of landscaping is achieved, appropriate to the location of the site.

10. There shall be no ground raising in any of the areas identified in the submitted Flood Risk Assessment dated July 2023 as being risk of fluvial flooding from the Dornoch Burn during a 1 in 200 year plus climate change probability flood event.

**Reason:** To mitigate the risk of flooding.

## **REASON FOR DECISION**

All relevant matters have been taken into account when appraising this application. It is considered that the proposal does not fully accord with the principles and policies contained within the Development Plan however is acceptable in terms of applicable material considerations largely its broad compliance with the Caithness and Sutherland LDP allocation as a whole (business usage) as well as wider socio-economic factors through job creation and expansion of an existing established business.

Signature:

Designation: Area Planning Manager North

Author: Gillian Pearson

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

- Plan 1 - LOCATION PLAN - (L)00 REV B
- Plan 2 - PROPOSED SITE LAYOUT PLAN - (L)02 REV N
- Plan 3 - LANDSCAPING PLAN - (90)01
- Plan 4 - LANDSCAPING PLAN - (90)02 REV A
- Plan 5 - DRAINAGE LAYOUT PLAN – PROPOSED- (52)01 REV C
- Plan 6 - PROPOSED ELEVATION PLAN – WAREHOUSE - (2)30 REV F
- Plan 7 - FIRST FLOOR PLAN – (1)21 REV E
- Plan 8 - PROPOED FLOOR PLAN - DISTILLERY GROUND AND FIRST FLOOR - (1)20 REV E
- Plan 9 - PROPOSED ELEVATIONS - (2)21 REV G
- Plan 10 - PROPOSED FLOOR PLAN - WAREHOUSE 1 + 2 - (1)30 REV C
- Plan 11 - PROPOSED ELEVATIONS - (2)20 REV G
- Plan 12 - EXISTING GROUND FLOOR PLAN – GASWORKS - (1)01 REV C
- Plan 13 - EXISTING ROOF PLAN – GASWORKS - (1)02 REV A

Plan 14 - EXISTING ELEVATION PLAN - GASWORKS SOUTH AND WEST - (2)02 REV C

Plan 15 - PROPOSED GROUND FLOOR PLAN - VISITOR CENTRE - (1)10 REV C

Plan 16 - PROPOSED SECTION PLAN - VISITOR CENTRE SECTIONS - (3)02 REV A

Plan 17 - PROPOSED ROOF PLAN - VISITOR CENTRE - (1)11 REV A

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Denotes the application site  
17,641m<sup>2</sup> (4.359 Acres)

Denotes other land within the control of the applicant

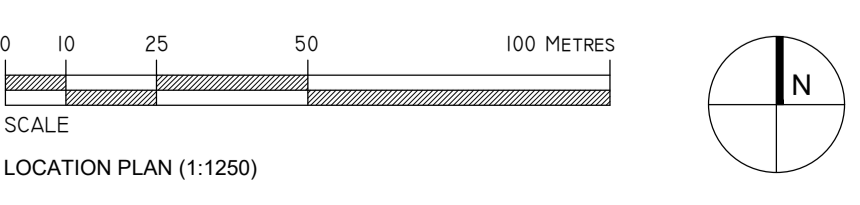


Revision/Date	Description	By
A Dec 22	Updated for Planning submission	MDK
B Dec 22	Boundary Adjustments	MDK

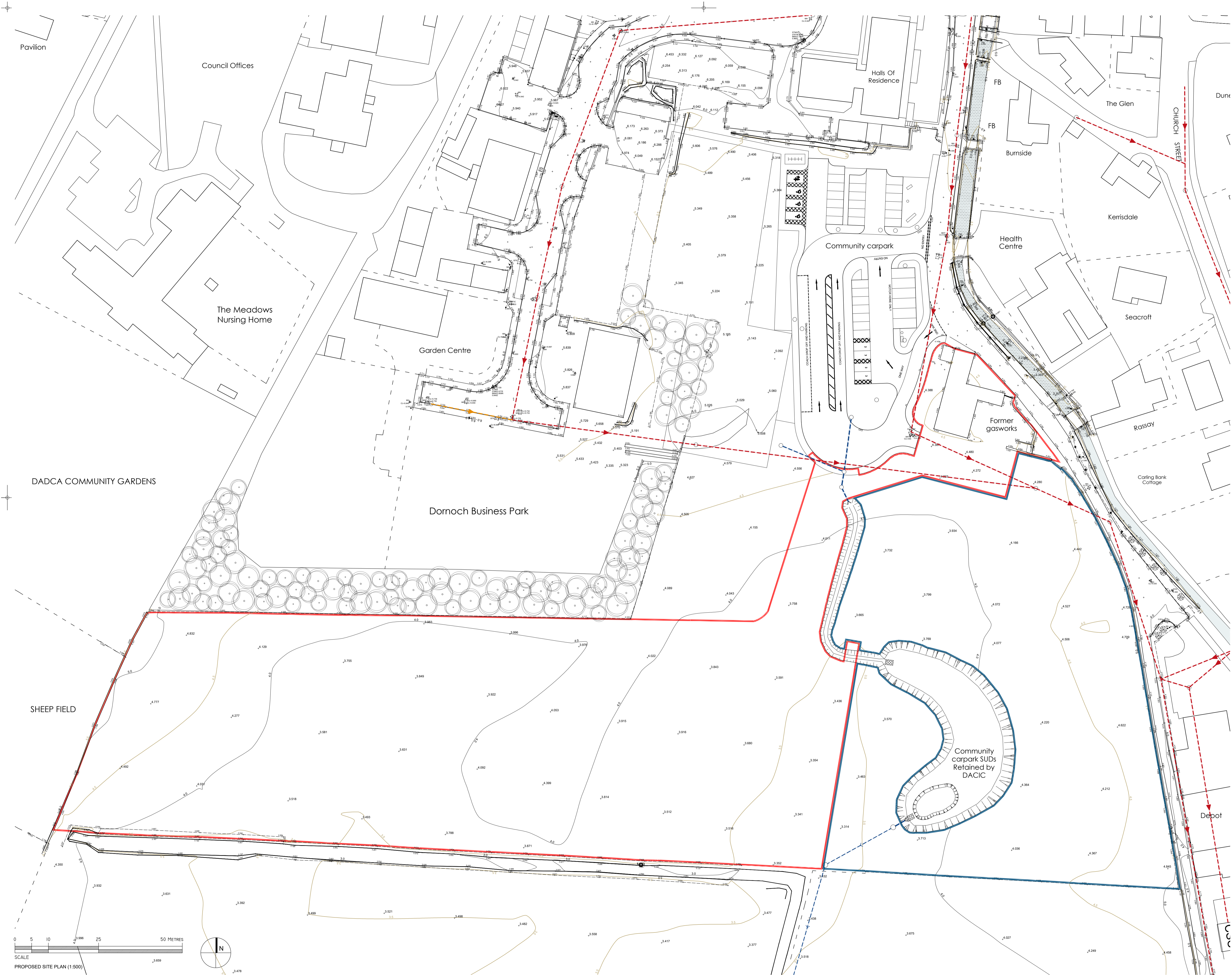


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Client Dornoch Distillery Co. Ltd			
Project Dornoch South			
Drawing Title Location Plan			
Scale 1:1250 @ A1	Date March 22	Drawn by MDK	Checked by RW
Job No. DOR 2202	Drawing No. (L)00	Revision B	Issued for -
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Revision/Date	Description	By
A Dec 22	Updated for Planning submission	MDK
B Dec 22	Boundary adjustments	MDK



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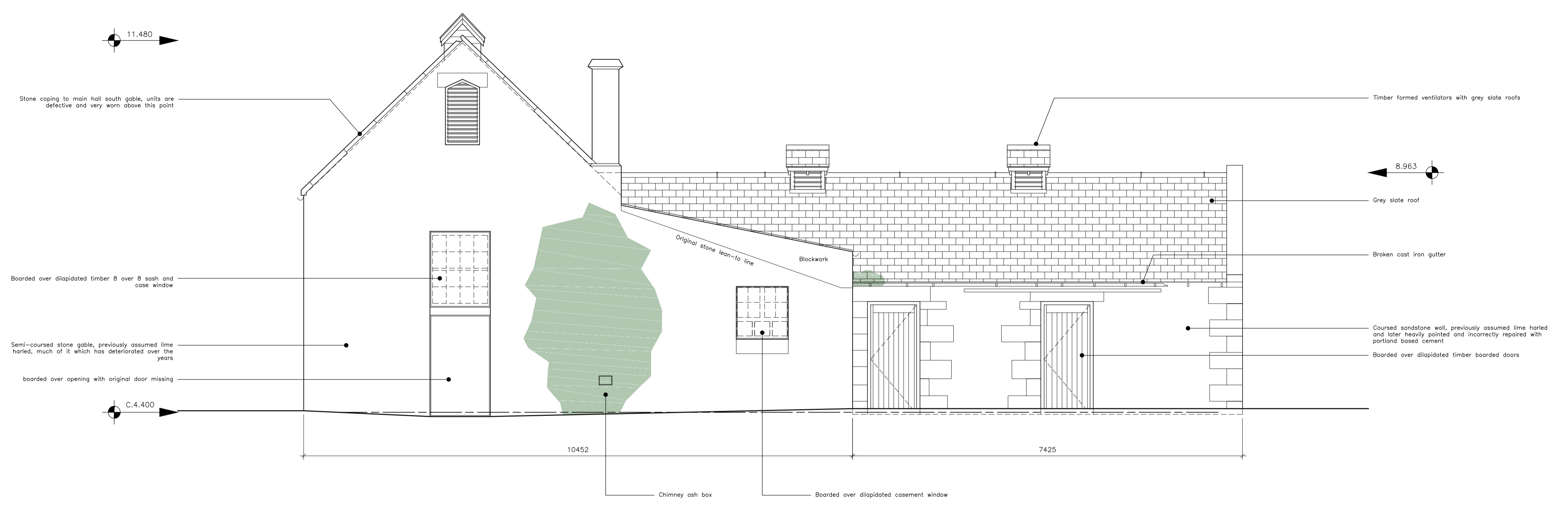
Client Dornoch Distillery Co. Ltd			
Project Dornoch South			
Drawing Title Existing Site Plan			
Scale 1:500 @ A1	Date March 22	Drawn by MDK	Checked by RW
Job No. DOR 2202	Drawing No. (L)01	Revision B	Issued for -
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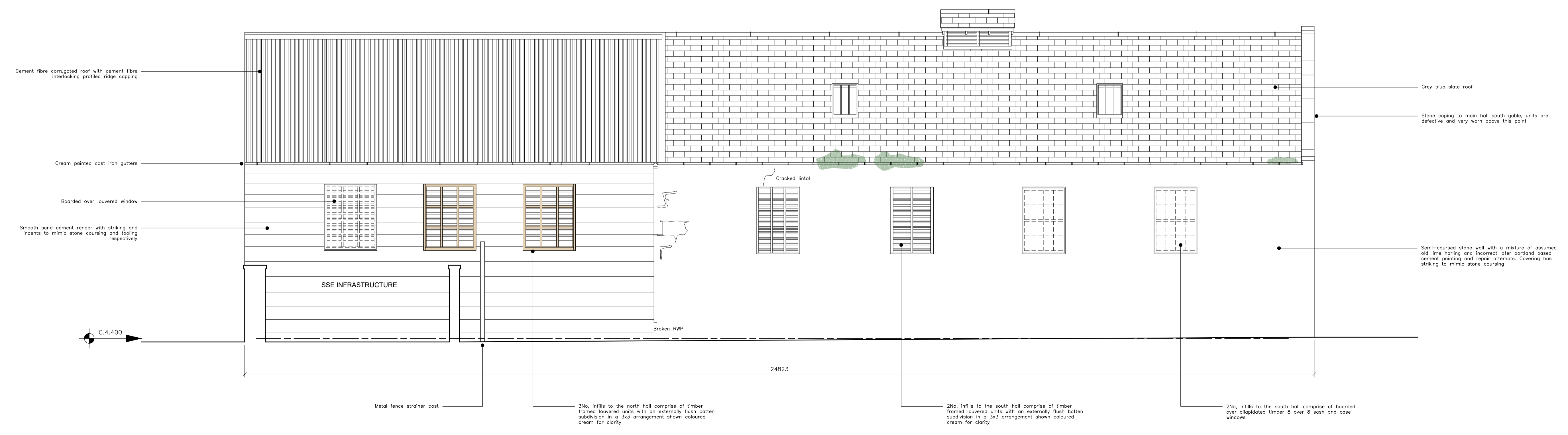
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**PROJECT SPECIFIC NOTES**



SOUTH ELEVATION (1:50)



WEST ELEVATION (1:50)

Revision/Date	Description	By
A August 22	Title box amendment	MDK
B Sept 22	Minor enhancements and annotation added	MDK
C Sept 22	Updated for Planning submission	MDK

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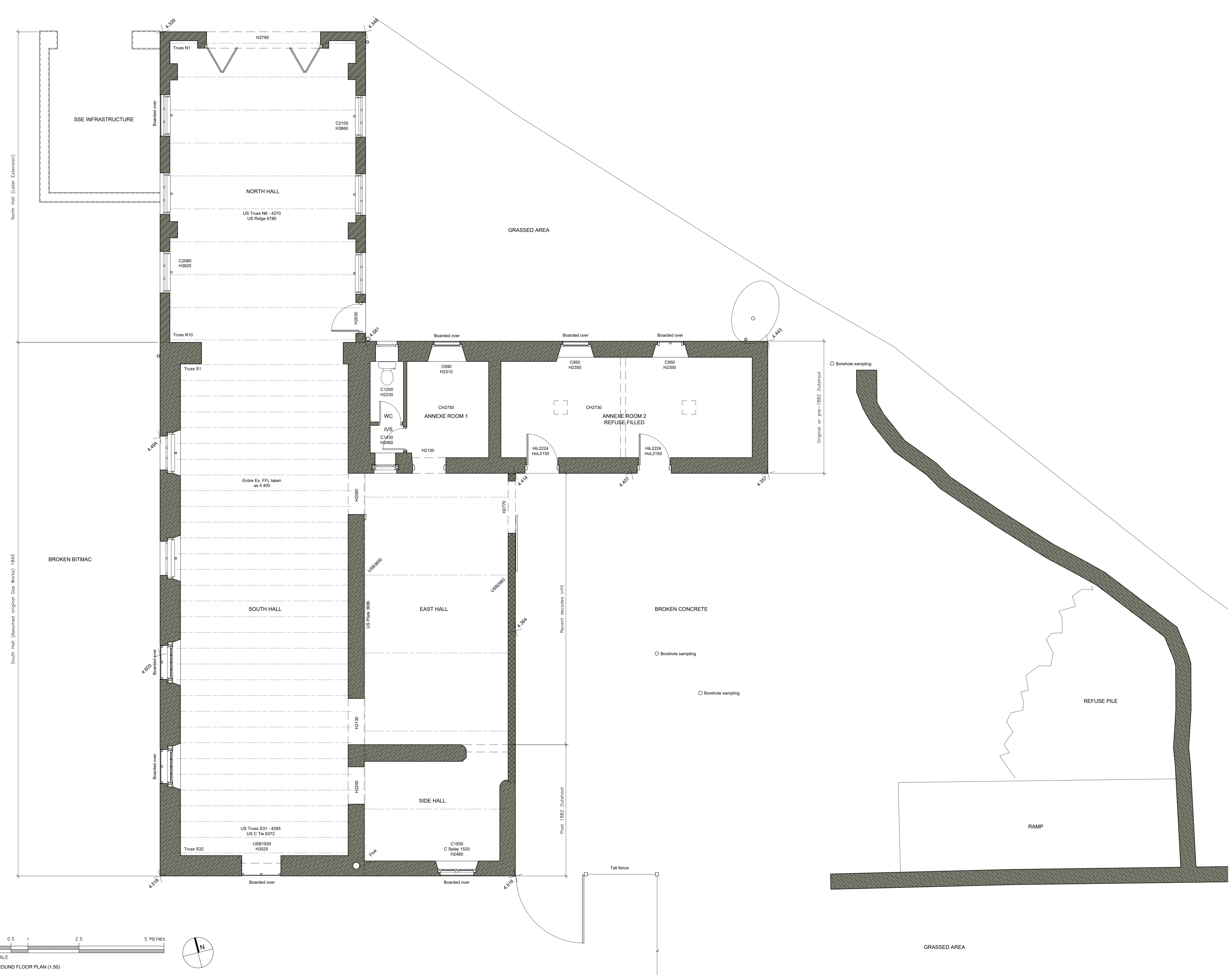
<b>Client</b> Dornoch Distillery Co. Ltd			
<b>Project</b> Dornoch South			
<b>Drawing Title</b> Existing Gasworks South and West Elevations			
<b>Scale</b> 1:50 @ A1	<b>Date</b> March 22	<b>Drawn by</b> MDK	<b>Checked by</b> RW
<b>Job No.</b> DOR 2202	<b>Drawing No.</b> (2)02	<b>Revision</b> C	<b>Issued for</b> -
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**PROJECT SPECIFIC NOTES**

GIA = 210.8m<sup>2</sup>



Revision/Date	Description	By
A August 22	Title box amendment	MDK
B Sept 22	Building perimeter GL and FFL added	MDK
C Dec 22	Updated for Planning submission	MDK

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<b>Client</b> Dornoch Distillery Co. Ltd			
<b>Project</b> Dornoch South			
<b>Drawing Title</b> Existing Gasworks Ground Floor Plan			
<b>Scale</b> 1:50 @ A1	<b>Date</b> March 22	<b>Drawn by</b> MDK	<b>Checked by</b> RW
<b>Job No.</b> DOR 2202	<b>Drawing No.</b> (101)	<b>Revision</b> C	<b>Issued for</b> -
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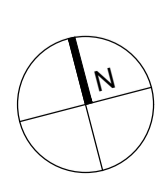
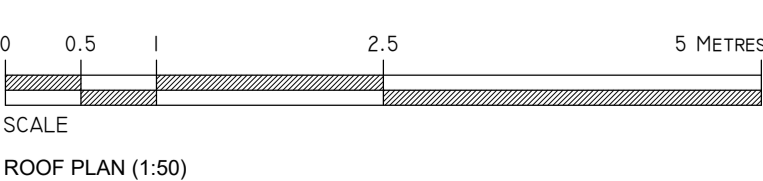
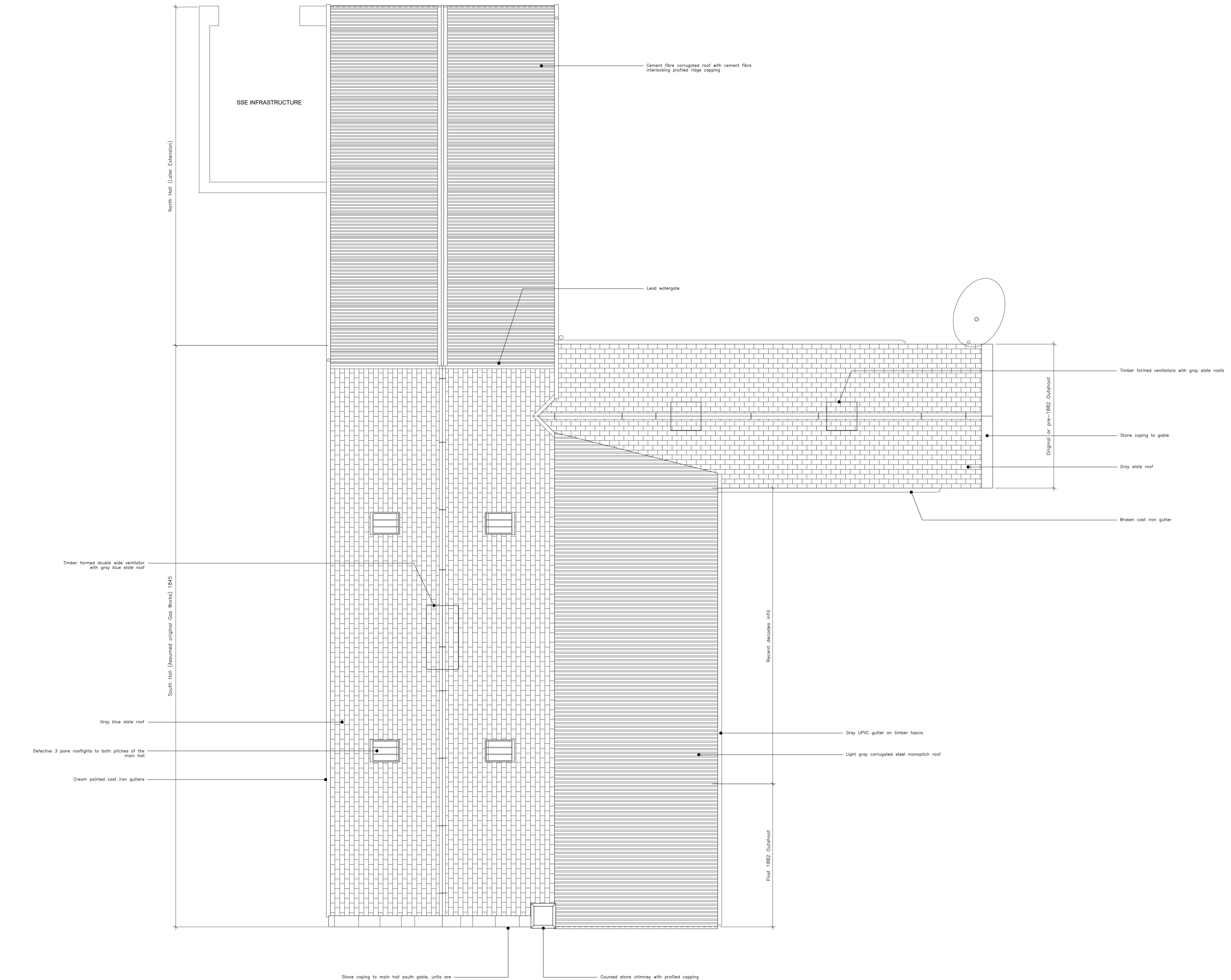
**PROJECT SPECIFIC NOTES:**

Revision/Date	Description	By
A Dec 22	Updated for Planning submission	MDK

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<b>Client</b> Dornoch Distillery Co. Ltd			
<b>Project</b> Dornoch South			
<b>Drawing Title</b> Existing Gasworks Roof Plan			
<b>Scale</b> 1:50 @ A1	<b>Date</b> March 22	<b>Drawn by</b> MDK	<b>Checked by</b> RW
<b>Job No.</b> DOR 2202	<b>Drawing No.</b> (1)02	<b>Revision</b> A	<b>Issued for</b> -
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ROOF PLAN (1:50)





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- Visitor Centre Legend**
- V1. Visitor Centre
  - V2. Existing sub-station to be removed (subject to SPEN consent).
  - V3. Proposed projecting entrance facing the community carpark with area of hardstanding linking up the courtyard and distillery footpath.
  - V4. Existing road tail by carpark developer to be adopted for Visitor Centre accessible, EV charging, staff and limited customer parking.
  - V5. Area for welcome signage and landscaping feature.
  - V6. North pedestrian access to be filled.
  - V7. Entire area within the walled garden to be hard landscaped.
  - V8. Visitor centre limited parking to be spread out as to not obstruct full views from the courtyard, non-permeable surface.
  - V9. Non-developed grounds generally to the east of the site.
  - V10. Public access route to be clearly delineated, wayfinding, info boards and benches to be included. Footbridge over swale shown.
  - V11. Refuse storage area with all wheeled bins being contained within a timber clad enclosure close to refuse vehicle pick up point in VC carpark.

- Distillery Legend**
- D1. Distillery and Warehouse site access formed at the south most point of the community car park. Road surface to be non-permeable and graded towards Swale.
  - D2. Staff and trade visitor parking, EV charging and accessible space provided, parking to be permeable. Perforated pipework below as part of the road and footpath Swale.
  - D3. General 6m wide distributor road widening to 7.3m wide at the north of the Distillery.
  - D4. Hard landscaped entrance plaza including cycle & e-bike charging spaces.
  - D5. Distillery process waste solution comprising of sump chamber pumping waste into two vertical bio-filters and thereafter into an underground 10,000 litre storage and pumping tank to raise the waste material in order to drain to the main combined sewer.
  - D6. SUDS pond for the proposed roof and hard standing surface water run off for the entire site including the Visitor Centre.
  - D7. Swale running along the south boundary into the SUDS pond which will pick up the surface water drainage from the Warehouse and Distillery roofs and any non-permeable hardstanding.
  - D8. Yard areas and turning circle.
  - D9. External barley and pot still storage tanks with bund.
  - D10. Distillery foul waste to connect into the process waste system post bio-filter sampling chamber.
  - D11. SUDS pond to connect into future IC at this point, downstream pipe to burn increased in size or hydro brake fitted at pond outflow.
  - D12. Road and footpath swale to the south side of the main site access road.
  - D13. Thermal batteries and boiler located to south of distillery.
  - D14. South facing solar farm on framing, 2x1m panels at an angle of 30°.
  - D15. 1000mm High fence between the southern boundary and the footpath comprising of green metal posts with 'V' mesh between. Fence rises to 2000mm at the footpath to include a personnel gate, unequal vehicle gate prior to reducing back to 1000mm along the north boundary.
  - D16. Corren steel illuminated bollards at key parking and crossing areas.
  - D17. Screening hedge maintained at 2m height by 1.5m width

- Warehousing Legend**
- W1. Two warehouses shown here with basic 5.9 x 6.8m bay portal frames with gable adjustment for spans. General principle of max 1,000m<sup>2</sup> Class 1 Storage building with no fire suppression has been applied. Building distances to boundary will require fire protection to the west and north walls. Compartment wall required between Warehouses 1 and 2 or fire suppression to be installed. Warehouses incorporate a lab, workshop, stock store and a temp and humidity controlled long term cask store.
  - W2. Access formed in boundary to provide means of escape from flooding only for pedestrians.

Revision/Date	Description	By
A April 22	General amendments post client meeting of the 28th April 2022	MDK
B June 22	Warehouses reorientated, slight road adjustments, wetland pond added and compensatory storage strategy amended and incorporated within the SUDS pond.	MDK
C July 22	General amendments post client meeting of the 4th July 2022.	MDK
D August 22	Updated for all pending comments.	MDK
E Sept 22	Boundary adjustments, distillery foul adjusted	MDK
F Sept 22	Fence + gates added, north + west boundaries to distillery + warehouses enhanced.	MDK
G Nov 22	General updates post 21/09 client meeting + 22/10 Fairhurst video call.	MDK
H Nov 22	Updated for all pending comments.	MDK
J Nov 22	Updated for Planning submission.	MDK
K Nov 22	Boundary adjustments.	MDK
L Jan 23	Future Warehouse 3 removed	RW
M July 23	Updated for Planning re-submission	RW
N Aug 23	3no Parking & 8no Cycle spaces added	RW

**LEASK Architects**

The Tech Shed, Humble, EH36 5PJ  
T: 0131 6775000 W: www.leaskarchitects.co.uk E: admin@leaskarchitects.co.uk

Client: Dornoch Distillery Co. Ltd

Project: Dornoch South

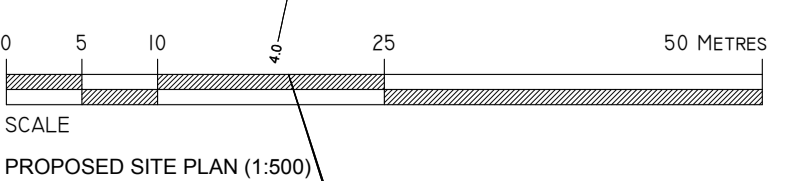
Drawing Title: Proposed Site Plan

Scale	Date	Drawn by	Checked by
1:500 @ A1	March 22	MDK	RW

Job No.	Drawing No.	Revision	Issued for
DOR 2202	(L)02	N	-

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SOLAR FARM  
2348m<sup>2</sup> GROUND PANELS  
296m<sup>2</sup> WAREHOUSE PANELS  
280m<sup>2</sup> DISTILLERY PANELS  
TOTAL 2924m<sup>2</sup>





**GENERAL DRAWING NOTES**

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**PROJECT SPECIFIC NOTES**

**DISTILLERY HALL NATURAL VENTILATION STRATEGY**

The area of distillery hall envelope (comprising all walls and roof) is 860m<sup>2</sup>. 2.5% of this equate to 21.5m<sup>2</sup>.

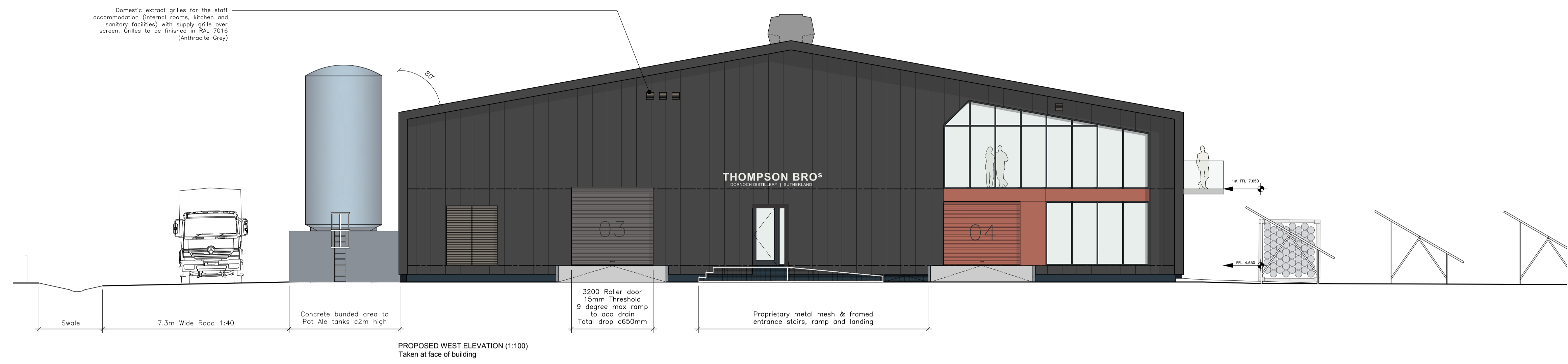
The proposed Mackridge roof ventilators with a throat size of 914mm provide a 60% free flow area resulting in 10.78m<sup>2</sup> of natural ventilation at the ridge.

The proposed Kingspan acoustic wall ventilators provide a 50% free flow area resulting in 11.85m<sup>2</sup> of natural ventilation at the base of the external walls.

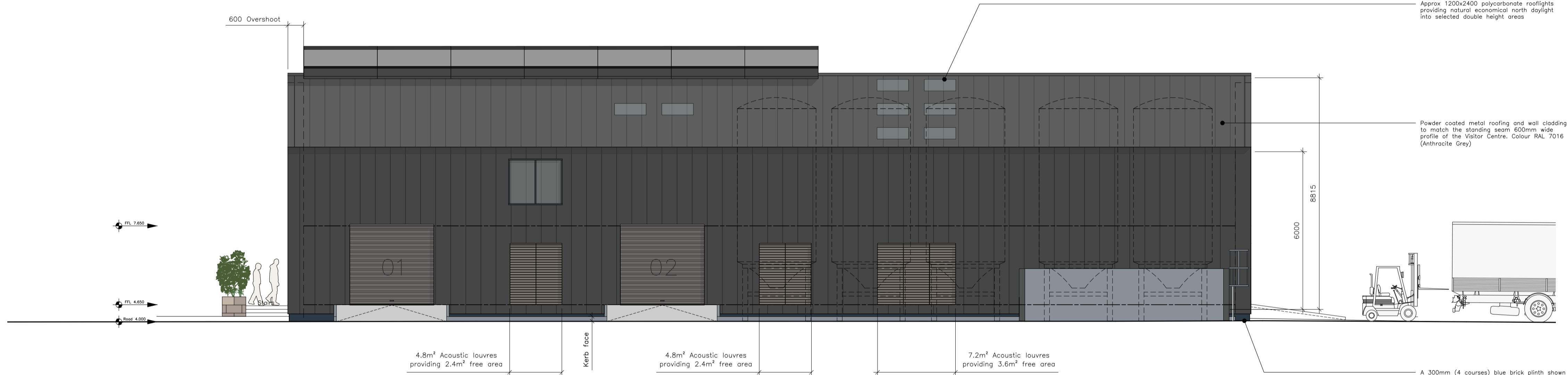
The combined wall and roof natural ventilation areas is 22.63m<sup>2</sup> which is in excess of the minimum requirement.

**BOTTLING HALL, VATTING TANKS AND SPIRIT RECEIVERS AREA VENTILATION**

Natural ventilation has been shown as 2.5% of the various areas envelopes.



PROPOSED WEST ELEVATION (1:100)  
Taken at face of building



PROPOSED NORTH ELEVATION (1:100)  
Taken 2500mm from face of building



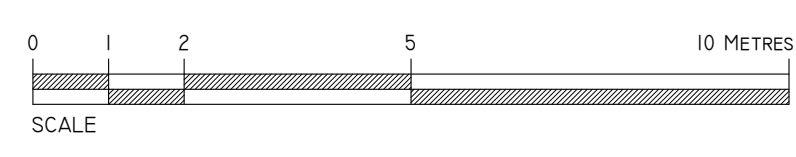
PROPOSED NORTH ELEVATION (1:100)  
Taken 5000mm from face of building

Revision/Date	Description	By
A August 22	Updated to align with plan changes	MDK
B August 22	Title box updated	MDK
C Sept 22	Clear timber cladding option shown on east gable for consideration	MDK
D Dec 22	FFL and low level ground grading added, natural timber clad option removed	MDK
E Dec 22	Ridge ventilator adjusted, curtain walling updated and additional material notes added.	MDK
F Dec 22	Updated for Planning submission	MDK
G July 23	Updated for Planning re-submission	RW



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Client Dornoch Distillery Co. Ltd			
Project Dornoch South			
Drawing Title Proposed Distillery North & West Elevations			
Scale 1:100 @ A1	Date March 22	Drawn by MDK	Checked by RW
Job No. DOR 2202	Drawing No. (2)21	Revision G	Issued for -
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PROPOSED NORTH & WEST ELEVATIONS (1:100)

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**PROJECT SPECIFIC NOTES**

**DISTILLERY HALL NATURAL VENTILATION STRATEGY**

The area of distillery hall envelope (comprising all walls and roof) is 860m<sup>2</sup>. 2.5% of this equate to 21.5m<sup>2</sup>.

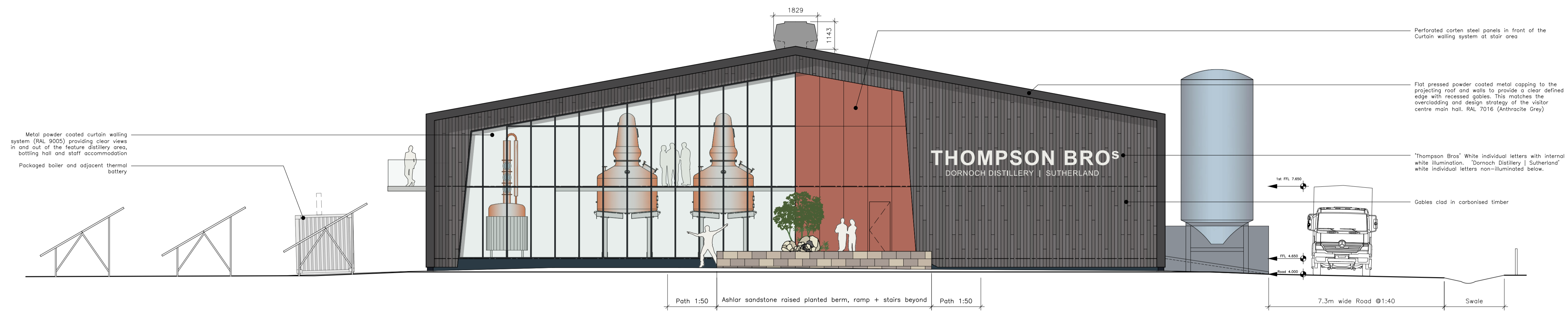
The proposed Mackridge roof ventilators with a throat size of 914mm provide a 60% free flow area resulting in 10.78m<sup>2</sup> of natural ventilation at the ridge.

The proposed Kingspan acoustic wall ventilators provide a 50% free flow area resulting in 11.85m<sup>2</sup> of natural ventilation at the base of the external walls.

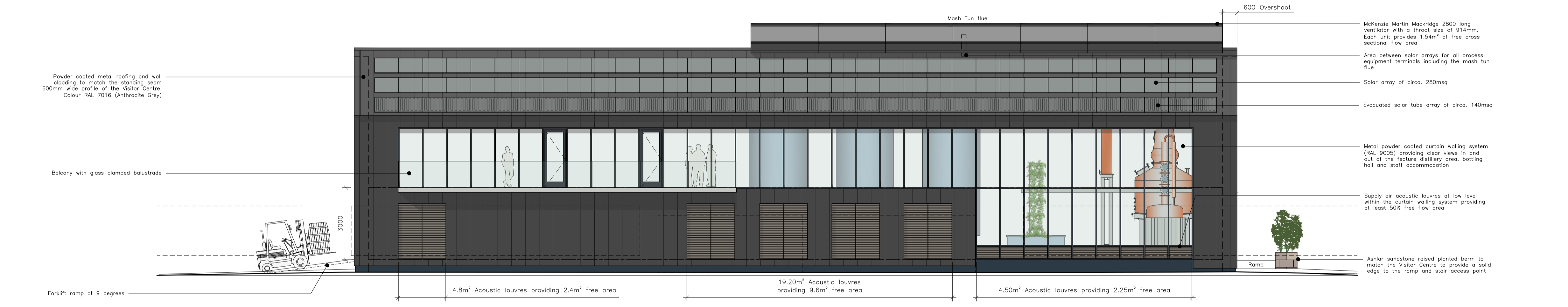
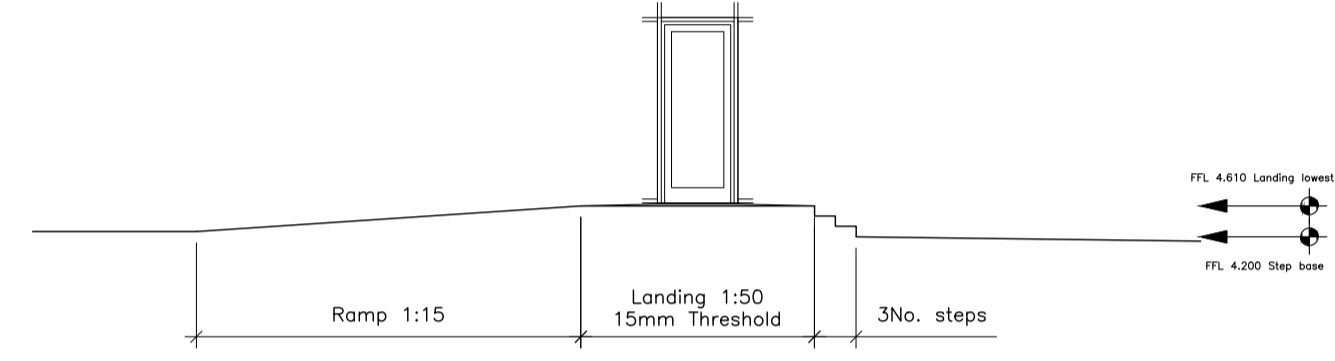
The combined wall and roof natural ventilation areas is 22.63m<sup>2</sup> which is in excess of the minimum requirement.

**BOTTLING HALL, VATTING TANKS AND SPIRIT RECEIVERS AREA VENTILATION**

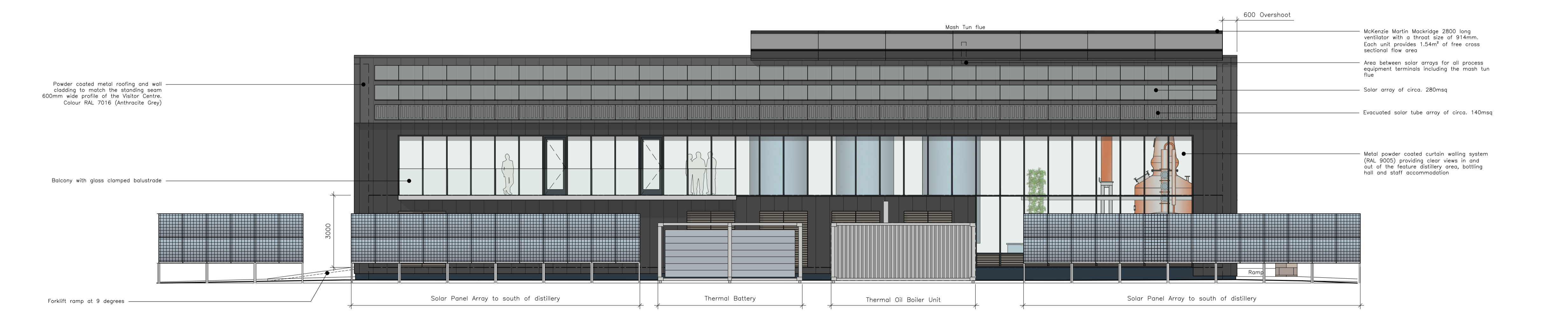
Natural ventilation has been shown as 2.5% of the various areas envelopes.



PROPOSED EAST ELEVATION (1:100)  
Taken 2500mm from face of building



PROPOSED SOUTH ELEVATION (1:100)  
Taken at 2500mm from face of building



PROPOSED SOUTH ELEVATION (1:100)  
Taken at 5000mm from face of building

Revision/Date	Description	By
A August 22	Updated to align with plan changes	MDK
B August 22	Title box updated	MDK
C Sept 22	Clear timber cladding option shown on east gable for consideration	MDK
D Dec 22	FFL and low level ground grading added, natural timber clad option removed	MDK
E Dec 22	Ridge ventilator adjusted, curtain walling updated and additional material notes added.	MDK
F Dec 22	Updated for Planning submission	MDK
G July 23	Updated for Planning re-submission	RW



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T: 0131 6779000 W: www.leaskarchitects.co.uk E: admin@leaskarchitects.co.uk

Client  
Dornoch Distillery Co. Ltd

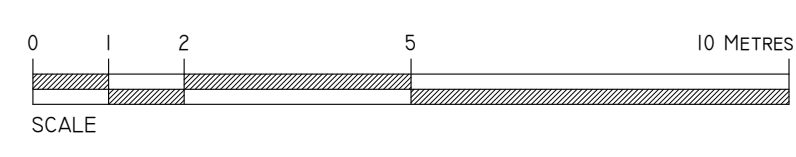
Project  
Dornoch South

Drawing Title  
Proposed Distillery South & East Elevations

Scale	Date	Drawn by	Checked by
1:100 @ A1	March 22	MDK	RW

Job No.	Drawing No.	Revision	Issued for
DOR 2202	(2)20	G	-

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PROPOSED SOUTH & EAST ELEVATIONS (1:100)





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PROJECT SPECIFIC NOTES

Ground Floor GIA	1045m <sup>2</sup>
First Floor GIA	600m <sup>2</sup>
<b>Total GIA</b>	<b>1645m<sup>2</sup></b>

Distillery Legend (Ground Floor)

- G1. Principal visitor entrance, glazed door with side screen.
- G2. Aluminum framed glazed curtain walling system at the key aspects of the distillery offering views of the key equipment from outside and long landscape views from inside.
- G3. Corten steel curtain walling panels at wall and similar abutments.
- G4. Stills positioned as to provide maximum visibility from the visitor centre approach.
- G5. Principal staff entrance and accessible visitor entrance, glazed door with side screen.
- G6. Thermal Oil Boiler Unit.
- G7. Thermal battery.
- G8. Double height insulated vehicle access doors.
- G9. Mobile spirit receiving vessels.
- G10. Proprietary malt bag cradles.
- G11. Mill room demountable wall section for future removal and replacement of the mill and hopper.
- G12. Pot Ale tank within a concrete bund.
- G13. Ashlar sandstone raised planted berm with ramp and stairs behind.

Distillery Legend (First Floor)

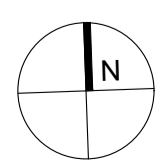
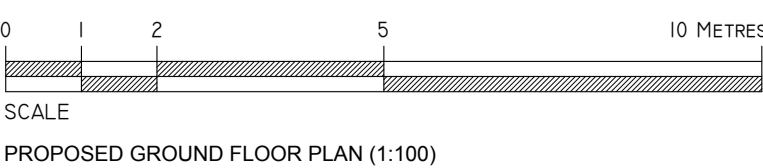
- F1. Internal observation window between staffed area and production zones such as the thoroughfare and distilling hall.
- F2. Internal glazed doors and side screens providing access to the observation deck and visual links between these areas.
- F3. Flexible open plan staff desk area.
- F4. Proprietary mezzanine deck from from either cold rolled steel or galvanised SHS and small section framing with an open grill flooring.
- F5. Gin still on skid with integral platform and direct access from both the mezzanine and ground floor. This also provides an internal ground to mezzanine link within the distilling hall.
- F6. Private tasting room with views to Dornoch Firth and balcony access.
- F7. Staff and visitor balcony area.

Revision/Date	Description	By
A August 22	Selected option updated with client comments	MDK
B August 22	Title box updated	MDK
C Nov 22	Options removed and east entrance access developed	MDK
D Dec 22	Updated for Planning submission	MDK
E July 23	Updated for Planning re-submission	RW



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Client Dornoch Distillery Co. Ltd			
Project Dornoch South			
Drawing Title Proposed Distillery Ground Floor Plan			
Scale 1:100 @ A1	Date March 22	Drawn by MDK	Checked by RW
Job No. DOR 2202	Drawing No. (1)20	Revision E	Issued for -
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**PROJECT SPECIFIC NOTES**

Ground Floor GIA 1045m<sup>2</sup>  
 First Floor GIA 600m<sup>2</sup>  
 Total GIA 1645m<sup>2</sup>

**Distillery Legend (Ground Floor)**

- G1. Principal visitor entrance, glazed door with side screen.
- G2. Aluminum framed glazed curtain walling system at the key aspects of the distillery offering views of the key equipment from outside and long landscape views from inside.
- G3. Corten steel curtain walling panels at wall and similar abutments.
- G4. Stills positioned as to provide maximum visibility from the visitor centre approach.
- G5. Principal staff entrance and accessible visitor entrance, glazed door with side screen.
- G6. Thermal Oil Boiler Unit.
- G7. Thermal battery.
- G8. Double height insulated vehicle access doors.
- G9. Mobile spirit receiving vessels.
- G10. Proprietary malt bag cradles.
- G11. Mill room demountable wall section for future removal and replacement of the mill and hopper.
- G12. Pot Ale tank within a concrete bund.
- G13. Ashlar sandstone raised planted berm with ramp and stairs behind.

**Distillery Legend (First Floor)**

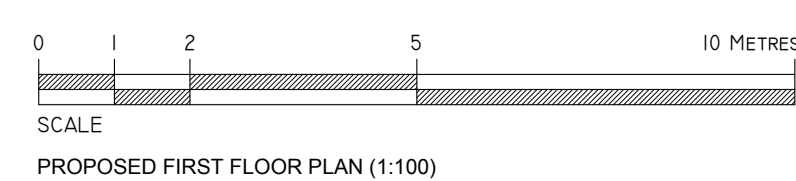
- F1. Internal observation window between staffed area and production zones such as the thoroughfare and distilling hall.
- F2. Internal glazed doors and side screens providing access to the observation deck and visual links between these areas.
- F3. Flexible open plan staff desk area
- F4. Proprietary mezzanine deck from from either cold rolled steel or galvanised SHS and small section framing with an open grill flooring.
- F5. Gin still on skid with integral platform and direct access from both the mezzanine and ground floor. This also provides an internal ground to mezzanine link within the distilling hall.
- F6. Private tasting room with views to Dornoch Firth and balcony access.
- F7. Staff and visitor balcony area

Revision/Date	Description	By
A August 22	Selected option updated with client comments	MDK
B August 22	Title box updated	MDK
C Nov 22	Options removed and east entrance access developed	MDK
D Dec 22	Updated for Planning submission	MDK
E July 23	Updated for Planning re-submission	RW



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 T: 0131 6775000 W: www.leaskarchitects.co.uk E: admin@leaskarchitects.co.uk

<b>Client</b> Dornoch Distillery Co. Ltd			
<b>Project</b> Dornoch South			
<b>Drawing Title</b> Proposed Distillery First Floor Plan			
<b>Scale</b> 1:100 @ A1	<b>Date</b> March 22	<b>Drawn by</b> MDK	<b>Checked by</b> RW
<b>Job No.</b> DOR 2202	<b>Drawing No.</b> (1)21	<b>Revision</b> E	<b>Issued for</b> -
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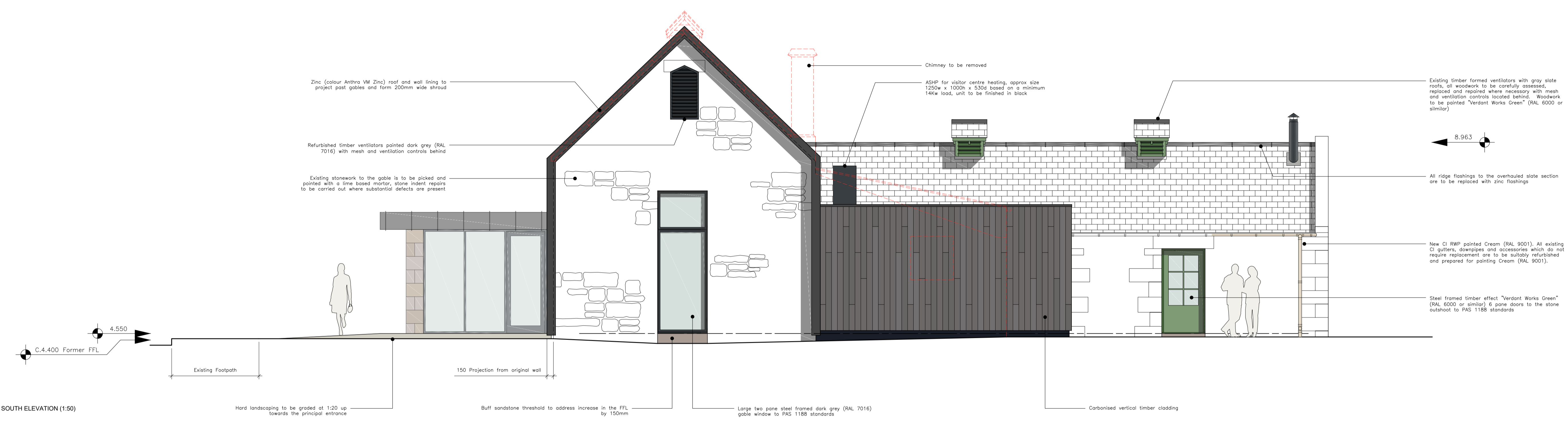


PROPOSED FIRST FLOOR PLAN (1:100)

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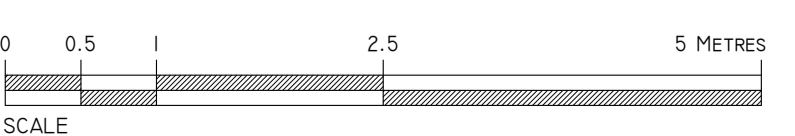
**PROJECT SPECIFIC NOTES**



**SOUTH ELEVATION (1:50)**



**WEST ELEVATION (1:50)**



**SCALE**

Revision/Date	Description	By
A Nov 22	Extension roofs adjusted, level notes added	MDK
B Dec 22	Updated for Planning submission	MDK

**LEASK Architects**

The Tech Shed, Humber, EH36 5PJ  
 T: 0131 6775000 W: www.leaskarchitects.co.uk E: admin@leaskarchitects.co.uk

<b>Client</b> Dornoch Distillery Co. Ltd			
<b>Project</b> Dornoch South			
<b>Drawing Title</b> Proposed Visitor Centre South and West Elevations			
<b>Scale</b> 1:50 @ A1	<b>Date</b> March 22	<b>Drawn by</b> MDK	<b>Checked by</b> RW
<b>Job No.</b> DOR 2202	<b>Drawing No.</b> (2)11	<b>Revision</b> B	<b>Issued for</b> -
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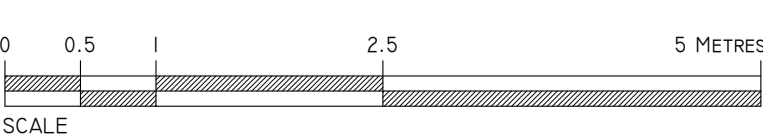
**PROJECT SPECIFIC NOTES**



NORTH ELEVATION (1:50)



EAST ELEVATION (1:50)



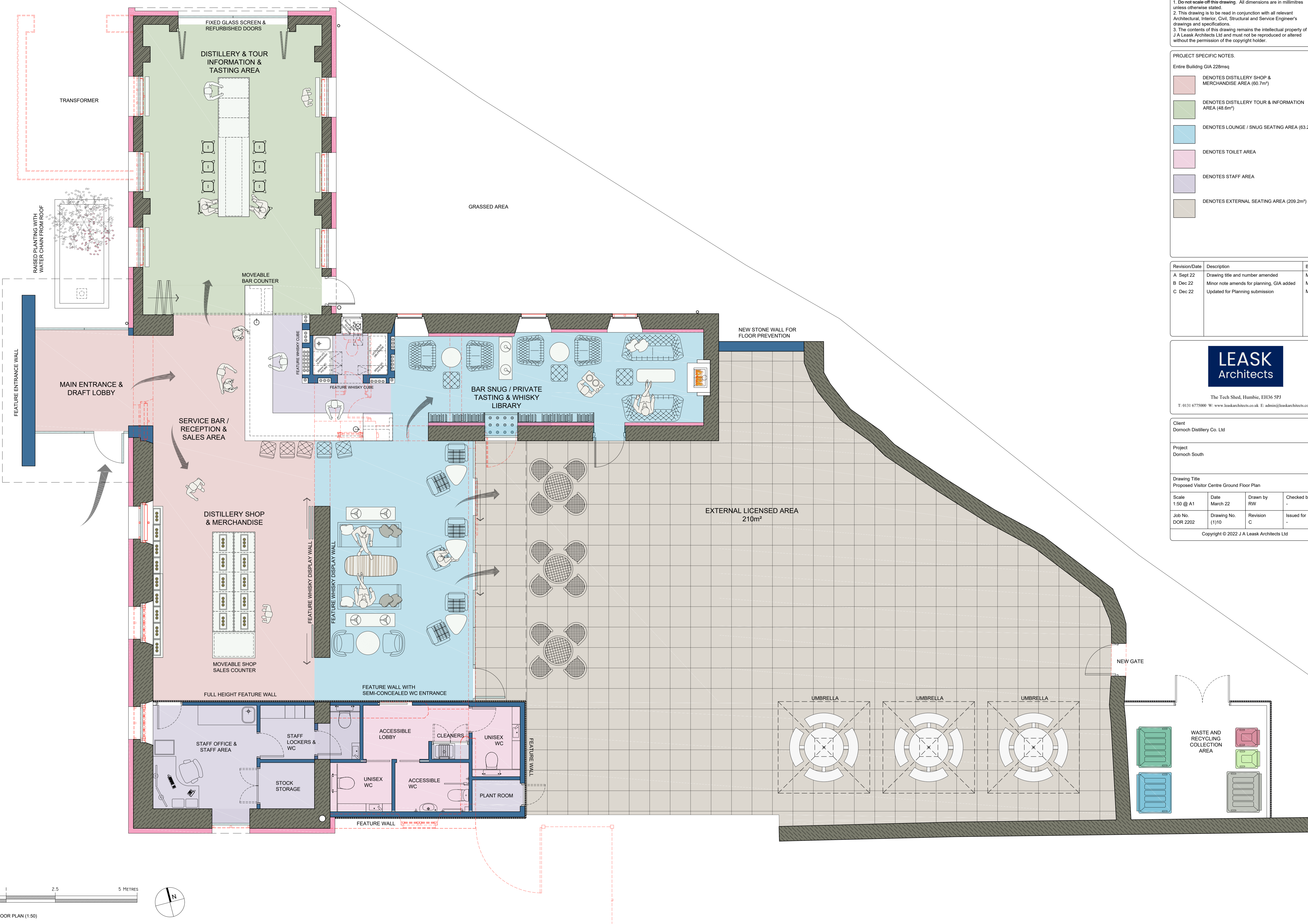
Revision/Date	Description	By
A Nov 22	Extension roofs adjusted, level notes added	MDK
B Dec 22	Updated for Planning submission	MDK

**LEASK Architects**

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 T: 0131 6775000 W: www.leaskarchitects.co.uk E: admin@leaskarchitects.co.uk

Client Dornoch Distillery Co. Ltd			
Project Dornoch South			
Drawing Title Proposed Visitor Centre North and East Elevations			
Scale 1:50 @ A1	Date March 22	Drawn by MDK	Checked by RW
Job No. DOR 2202	Drawing No. (2)10	Revision A	Issued for -
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**PROJECT SPECIFIC NOTES:**

Entire Building GIA 228msq

- DENOTES DISTILLERY SHOP & MERCHANDISE AREA (60.7m<sup>2</sup>)
- DENOTES DISTILLERY TOUR & INFORMATION AREA (48.6m<sup>2</sup>)
- DENOTES LOUNGE / SNUG SEATING AREA (63.2m<sup>2</sup>)
- DENOTES TOILET AREA
- DENOTES STAFF AREA
- DENOTES EXTERNAL SEATING AREA (209.2m<sup>2</sup>)

Revision/Date	Description	By
A Sept 22	Drawing title and number amended	MDK
B Dec 22	Minor note amends for planning, GIA added	MDK
C Dec 22	Updated for Planning submission	MDK

**LEASK Architects**

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 T: 0131 6775900 W: www.leaskarchitects.co.uk E: admin@leaskarchitects.co.uk

Client  
Dornoch Distillery Co. Ltd

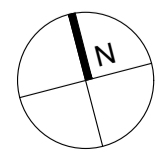
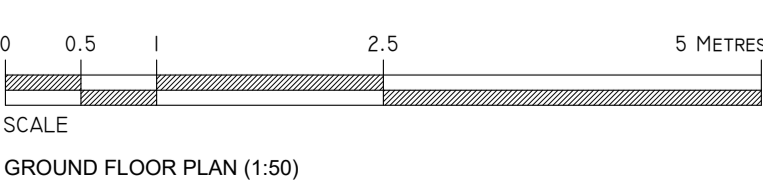
Project  
Dornoch South

Drawing Title  
Proposed Visitor Centre Ground Floor Plan

Scale	Date	Drawn by	Checked by
1:50 @ A1	March 22	RW	-

Job No.	Drawing No.	Revision	Issued for
DOR 2202	(1)10	C	-

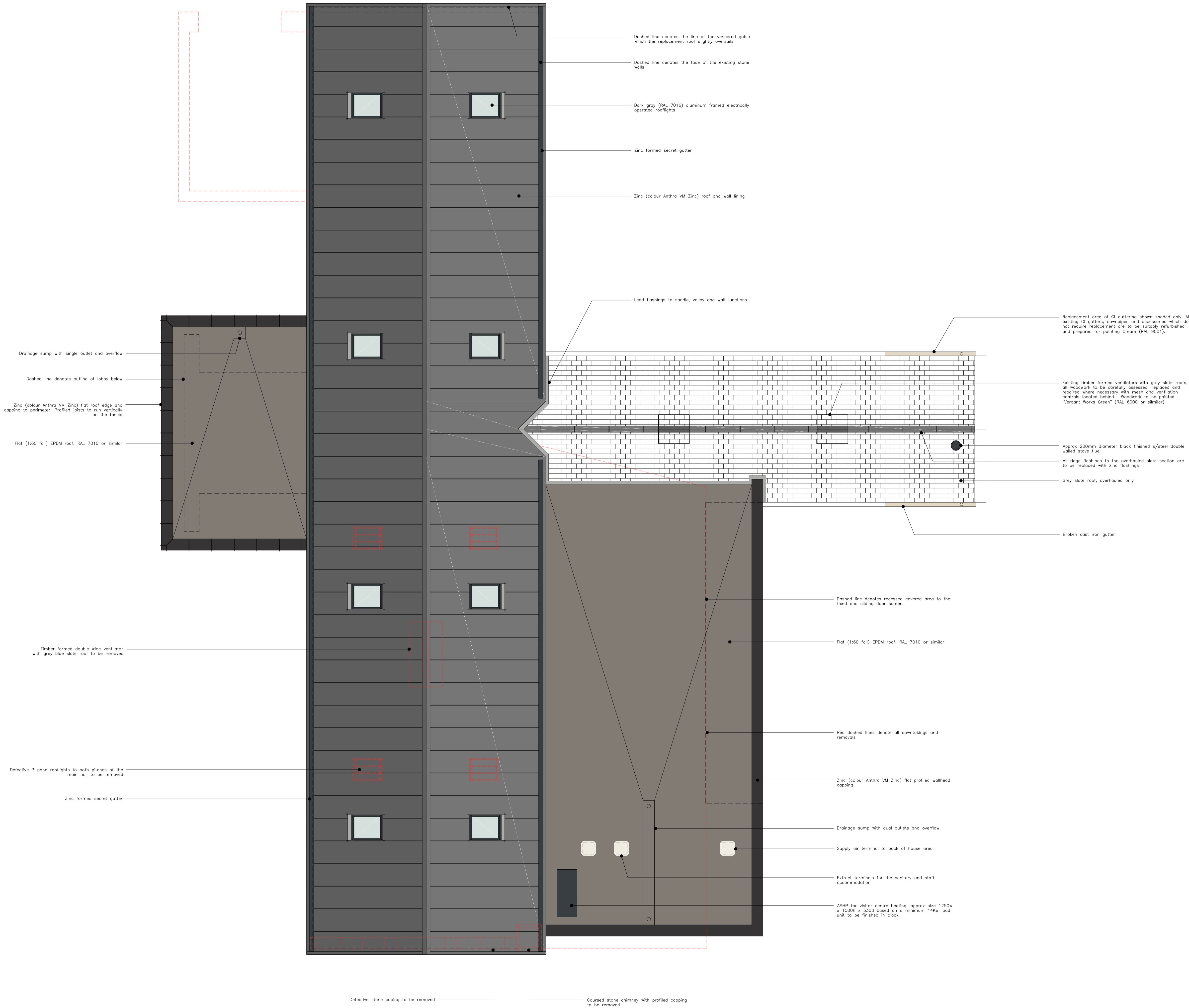
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**PROJECT SPECIFIC NOTES:**

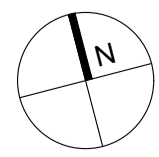
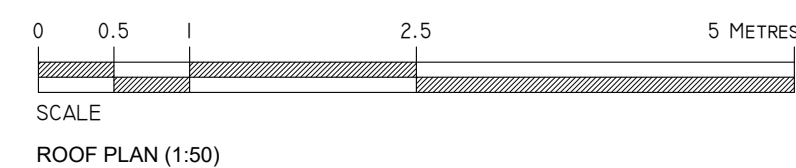


Revision/Date	Description	By
A Dec 22	Updated for Planning submission	MDK



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 T: 0131 6775000 W: www.leaskarchitects.co.uk E: admin@leaskarchitects.co.uk

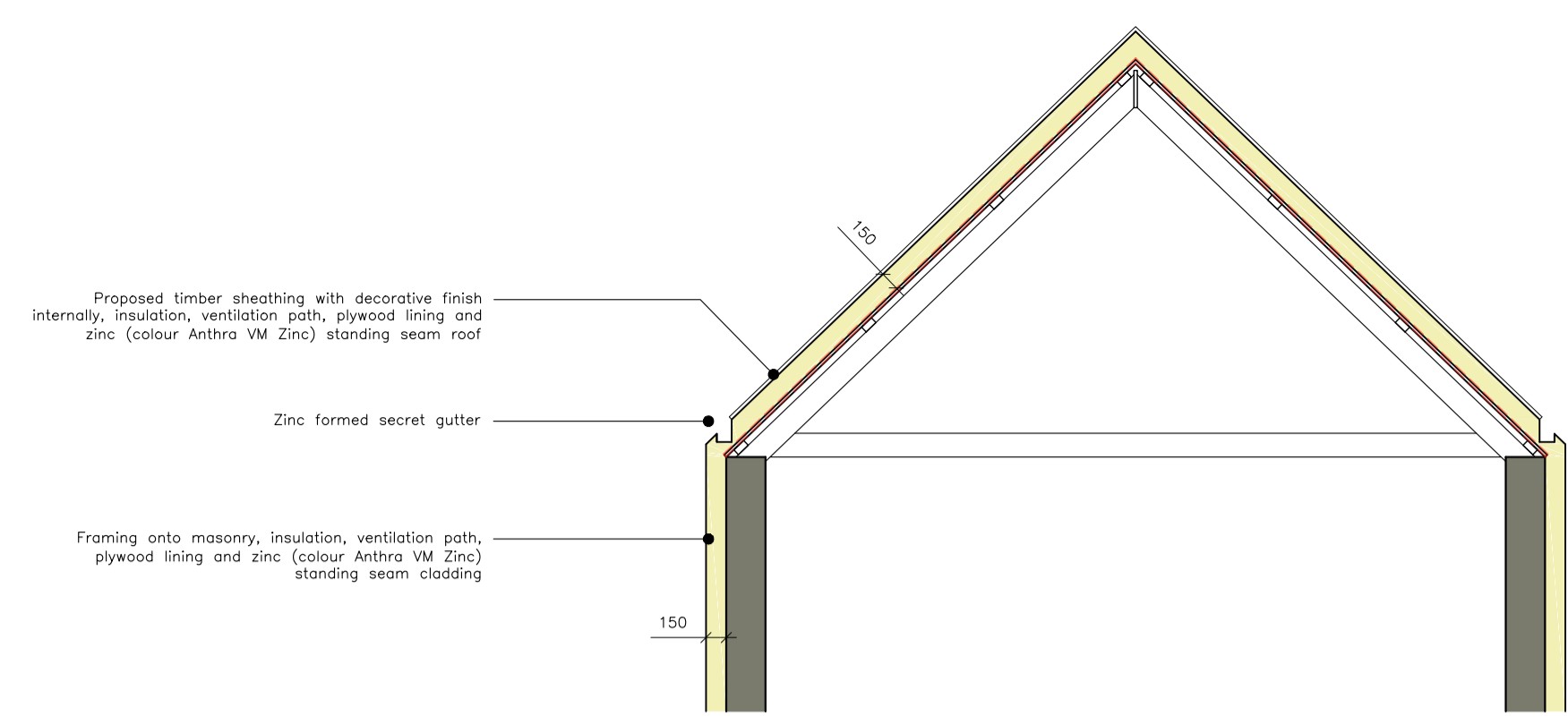
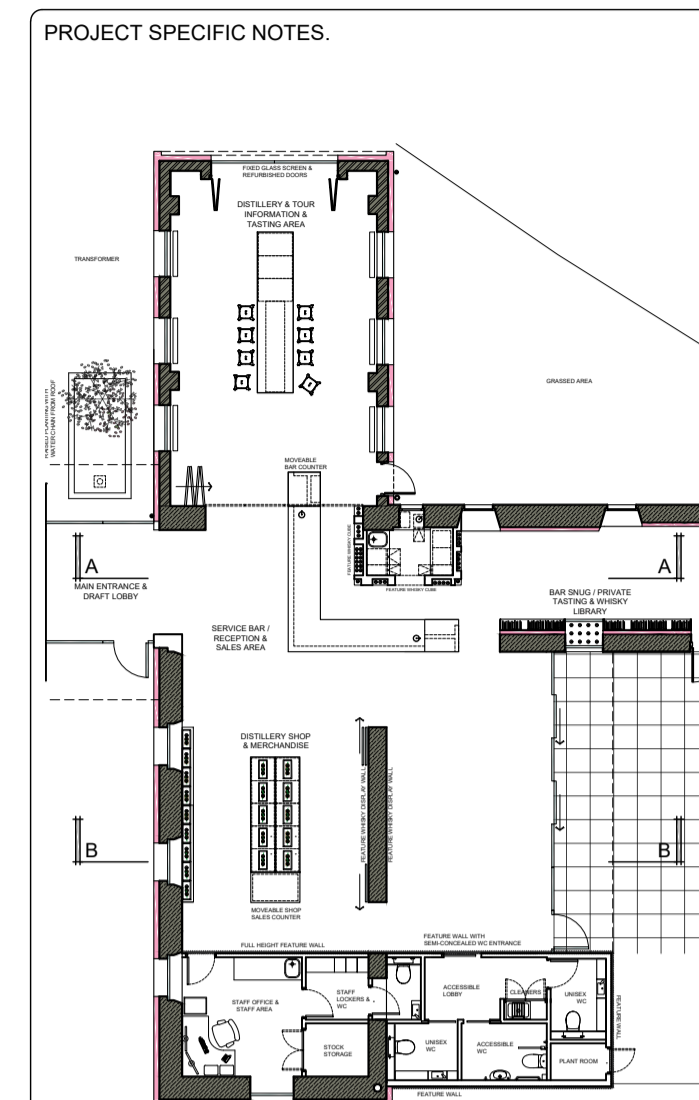
Client Dormoch Distillery Co. Ltd			
Project Dormoch South			
Drawing Title Proposed Visitor Centre Roof Plan			
Scale 1:50 @ A1	Date March 22	Drawn by MDK	Checked by RW
Job No. DOR 2202	Drawing No. (1)11	Revision A	Issued for -
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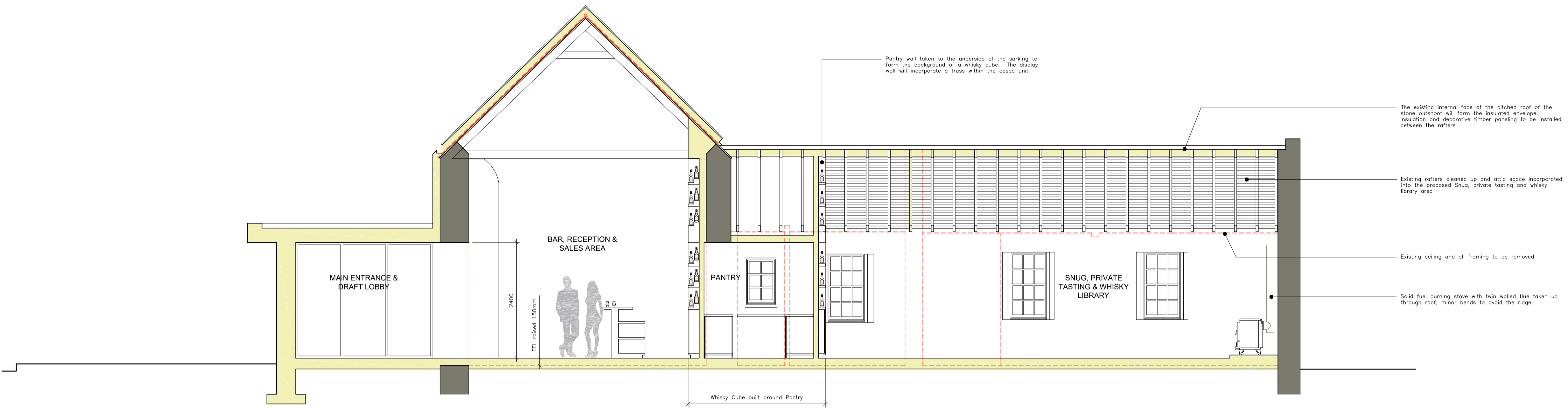


**GENERAL DRAWING NOTES**

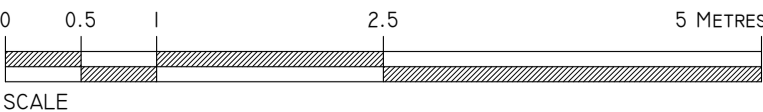
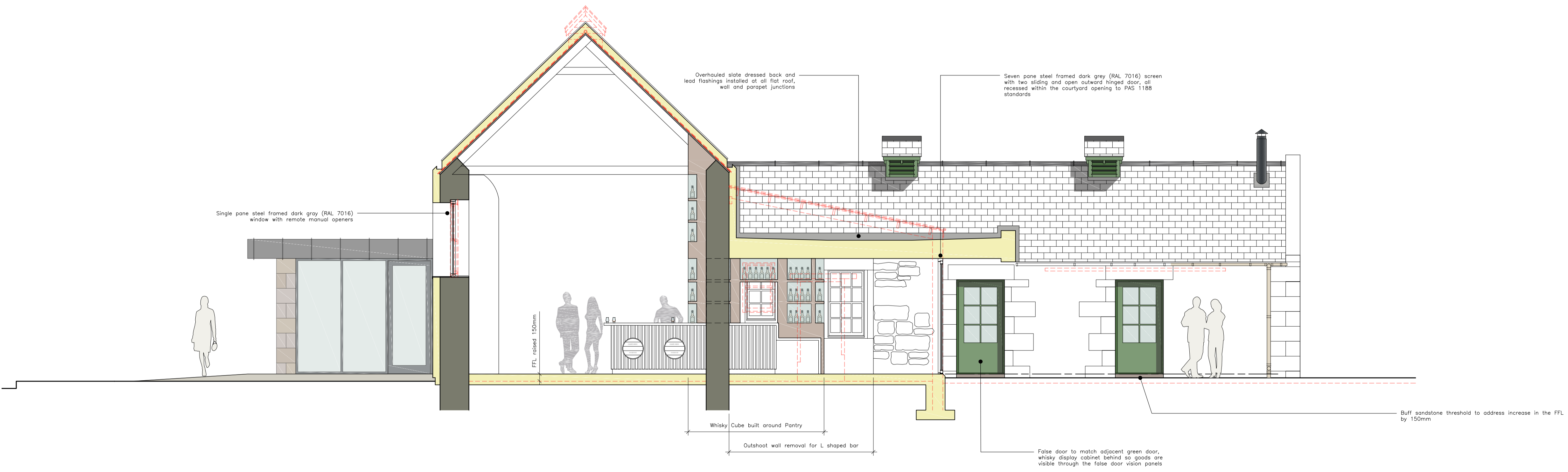
1. Do not scale off this drawing. All dimensions are in millimetres unless otherwise stated.
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ROOF SECTION OVER FORMER NORTH HALL (1:50)



SECTION AA (1:50)



SECTION BB (1:50)

Revision/Date	Description	By
A Dec 22	Updated for Planning submission	MDK

**LEASK Architects**

The Tech Shed, Humble, EH36 5PJ  
 T: 0131 6775000 W: www.leaskarchitects.co.uk E: admin@leaskarchitects.co.uk

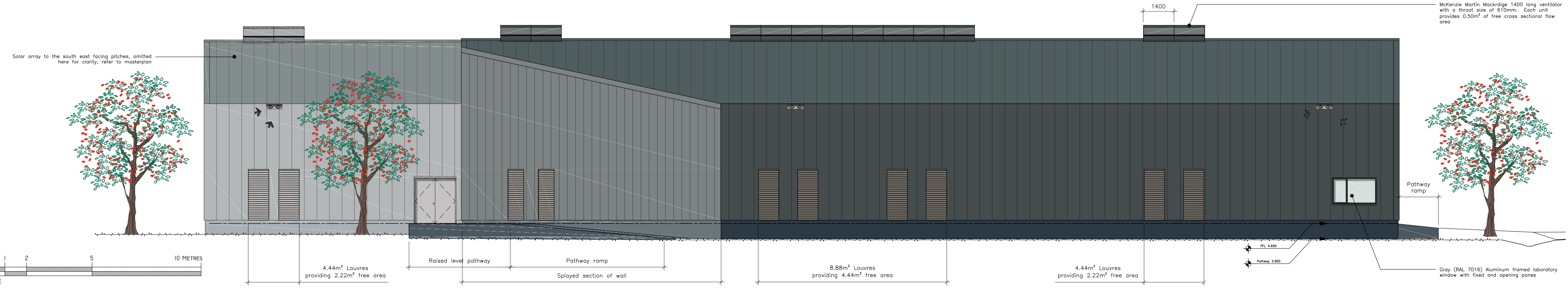
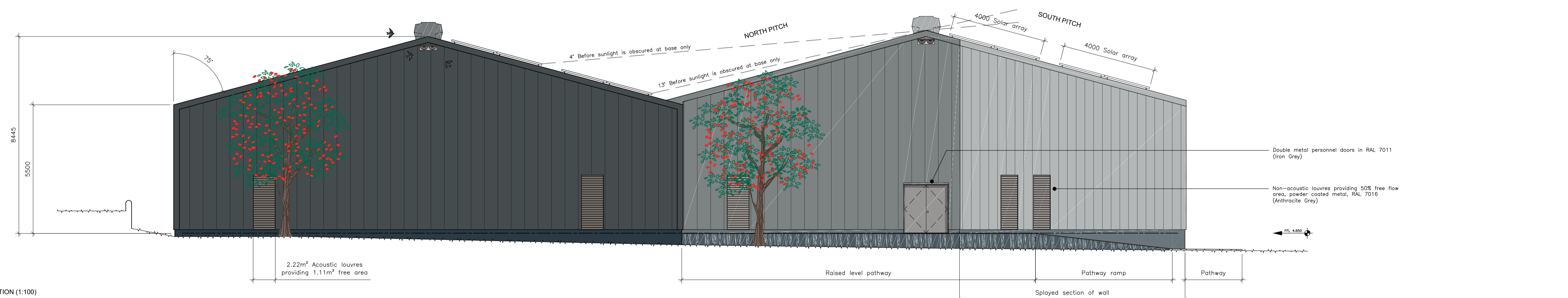
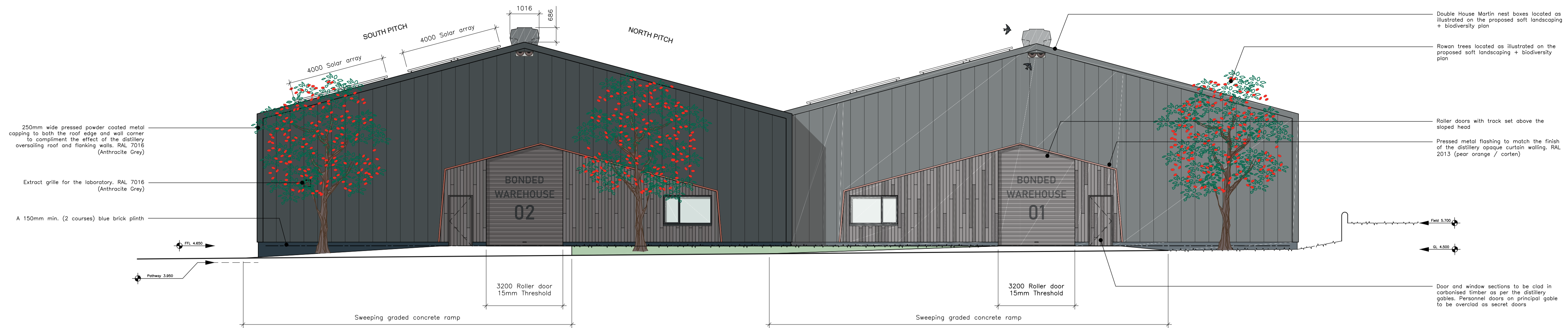
<b>Client</b> Dornoch Distillery Co. Ltd			
<b>Project</b> Dornoch South			
<b>Drawing Title</b> Proposed Visitor Centre Sections AA + BB			
<b>Scale</b> 1:50 @ A1	<b>Date</b> March 22	<b>Drawn by</b> MDK	<b>Checked by</b> RW
<b>Job No.</b> DOR 2202	<b>Drawing No.</b> (3)02	<b>Revision</b> A	<b>Issued for</b> -
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**PROJECT SPECIFIC NOTES**



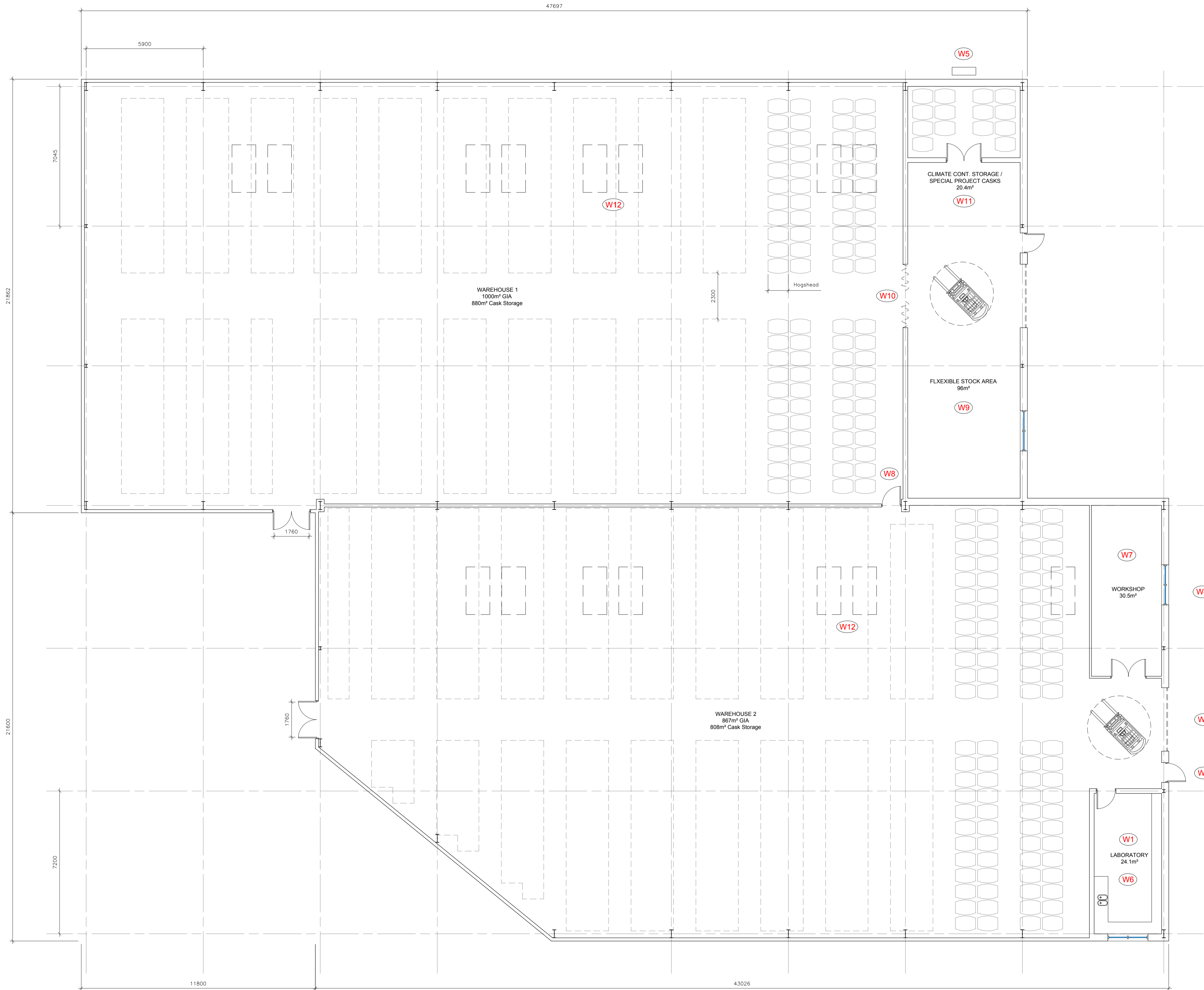
Revision/Date	Description	By
A Sept 22	West access doors amended	MDK
B Sept 22	PV panels shown on south elevation	MDK
C Dec 22	FFL and low level ground grading added.	MDK
D Dec 22	Updated for Planning submission	MDK
E July 23	Updated to align with post planning submission masterplan amendments	MDK
F July 23	Terrain adjusted to align with masterplan	MDK



The Tech Shed, Humber, EH36 5PJ  
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Client Dornoch Distillery Co. Ltd			
Project Dornoch South			
Drawing Title Proposed Warehouse 1 + 2 Elevations			
Scale 1:100 @ A1	Date March 22	Drawn by MDK	Checked by RW
Job No. DOR 2202	Drawing No. (2)30	Revision F	Issued for -
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**PROJECT SPECIFIC NOTES**

Warehouse 1 GIA 1000m<sup>2</sup>  
 Warehouse 2 GIA 867m<sup>2</sup>  
 Total GIA 1867m<sup>2</sup>

**Warehouse Legend**

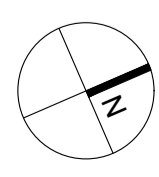
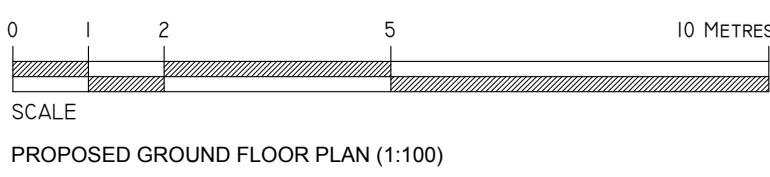
W1. Laboratory located at the corner closest to the distillery.  
 W2. Personnel access doors to each warehouse adjacent to vehicular access doors.  
 W3. Roll up vehicle access doors.  
 W4. Flexible stock area and workshop windows to principal elevation.  
 W5. External AC unit for the climate controlled cask storage room. The room will be well insulated with passive cooling and humidity controls. The mechanical AC will only be employed for extreme weather use.  
 W6. Insulated, heated and naturally ventilated laboratory.  
 W7. Non-heated workshop.  
 W8. Warehouse internal access door with 60min. fire rating.  
 W9. Insulated Flexible Stock area with trace heating only for frost protection. The insulation will prevent substantial fluctuations in temperature only.  
 W10. Internal thermal forklift curtains.  
 W11. Highly insulated (exceeds technical standards) climate controlled cask storage room.  
 W12. North West pitch double skinned polycarbonate rooflights allowing for best natural lighting into the warehouses.

Revision/Date	Description	By
- August 22	Moved from previous drawing and generally updated as per client meeting of the 4th July 2022	MDK
A Sept 22	West access doors amended	MDK
B Dec 22	Updated for Planning submission	MDK
C July 23	Updated to align with post planning submission masterplan amendments	MDK



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<b>Client</b> Dormoch Distillery Co. Ltd			
<b>Project</b> Dormoch South			
<b>Drawing Title</b> Proposed Warehouse 1 + 2 Floor Plan			
<b>Scale</b> 1:100 @ A1	<b>Date</b> March 22	<b>Drawn by</b> MDK	<b>Checked by</b> RW
<b>Job No.</b> DOR 2202	<b>Drawing No.</b> (1)30	<b>Revision</b> C	<b>Issued for</b> -
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**Key:**

**Existing Drainage Infrastructure**

- Denotes Existing Scottish Water Combined Surface & Foul Drainage & Direction
- Denotes Existing Below Ground Surface Water Drainage Pipework as part of the Dornoch Community Car Park SUDS Drainage System & Direction

**Proposed Drainage Infrastructure**

- Denotes Proposed Surface Water Run-off & Direction
- Denotes Proposed Below Ground Surface Water Pipework & Direction
- Denotes Proposed Below Ground Foul Waste Pipework & Direction
- Denotes Proposed Below Ground Distillery Effluent Pipework & Direction
- Denotes Proposed Below Ground Combined Foul & Distillery Effluent Pipework & Direction
- Denotes Proposed surface water swale drainage ditch for surface water soak-away
- Denotes Proposed surface water drainage ditch/channel to SUDS pond located under stilled PV Panels

**NOTE - PLEASE REFER TO FAIRHURST CONSULTING SCOTTISH WATER PRE DEVELOPMENT ENQUIRY FOR THE CALCULATIONS OF ALL VOLUMES, PIPEWORK DIMENSIONS AND CONNECTIONS.**

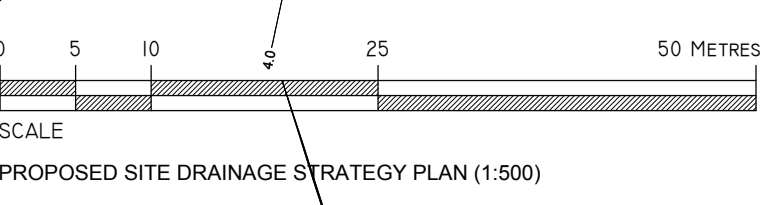
Revision/Date	Description	By
A Dec 22	Updated for Planning submission	MDK
B Jan 2023	Future Warehouse 3 removed	RW
C July 2023	Updated for Planning re-submission	RW

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Client Dornoch Distillery Co. Ltd			
Project Dornoch South			
Drawing Title Proposed Site Drainage Strategy Plan			
Scale 1:500 @ A1	Date Dec 22	Drawn by MDK	Checked by RW
Job No. DOR 2202	Drawing No. (52)01	Revision C	Issued for Planning
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**SOLAR FARM**  
 2348m² GROUND PANELS  
 296m² WAREHOUSE PANELS  
 280m² DISTILLERY PANELS  
 TOTAL 2924m²





DADCA COMMUNITY GARDENS

Dornoch Business Park

SHEEP FIELD

Community carpark SUDs Retained by DACIC

**PROJECT SPECIFIC NOTES**

<b>Application Site (edged in red on masterplan)</b>	<b>17,641msq</b>
Existing gas works and hard landscaped area	633msq
Area of existing rough grass with low quality biodiversity	17,008msq
The areas of proposed building structures and hard landscaping are:	
Warehouse Roof area	1,885msq
Distillery Roof area	1,142msq
Very permeable (staff) parking	151msq
Concrete surface	419msq
Non permeable roads	2,677msq
Footpaths	498msq
Area of additional built coverage and hard landscaping	6,772msq
<b>Retained area for soft landscaping and wetlands</b>	<b>10,236msq</b>
The proposed soft landscaping and wetlands will comprise of the following:	
Permanent SUDs pond	55msq
SUDs Shelf	1,045msq
Swales	1,350msq
Hedgerows	396msq
Area under tree canopy	707msq
Area of Pyreneal Ryegrass maintained lawn	1,033msq
Area of existing rough grass retained	5,650msq
The existing 17,008msq of rough grassland is a single habitat low quality biodiverse environment with very few species for pollinators and no evidence of ground nesting birds. This is understandable given the public access and frequent dog walkers.	
The rough grasslands will be reduced to 5,650msq which is approximately one third of the current area. Built coverage and hard landscaping will occupy 6,772msq of the site resulting in the remaining 4,586msq being available for landscaping intensification.	
Within that 4,586msq of intensification we now have multiple wildlife habitats, including:	
-	2,450msq of Wetland SUDs and Swales with a biodiverse wildflower and grass vegetation coverage attracting insects, pollinators and aquatic life.
-	707msq of mixed species eventual mature tree canopy providing food and habitat for insects, pollinators, birds and mammals.
-	396msq of mixed species hedgerow providing food and habitat for insects, pollinators, birds and mammals as well as providing a screening function and wildlife corridor to the southern boundary.
-	Provision of high level nesting boxes for migratory birds such as the house martin. There are both house martins and swallows nesting within Dornoch.
In addition, much of the existing rough grassland is now within the distillery fenced boundary and under the protection of the solar array. This will provide a safer habitat away from walkers and their dogs and thus encourage ground nesting birds. This will result in an improvement to the existing biodiversity value of the grassland. The proposed fence to the east and existing stone wall to the west will have hedgehog highway openings installed along each length.	
There will also be well trodden, compacted earth demarcated walking routes within the open area of rough grassland to encourage a more defined pedestrian route, therefore improving the opportunity for wildlife enrichment of the non-enclosed grasslands.	
The loss of just over one third of the site to built structures and hard landscaping is more than compensated for with the protection measures to the retained grassland and introduction of several new wildlife habitats. This results in a net biodiversity gain for the site.	

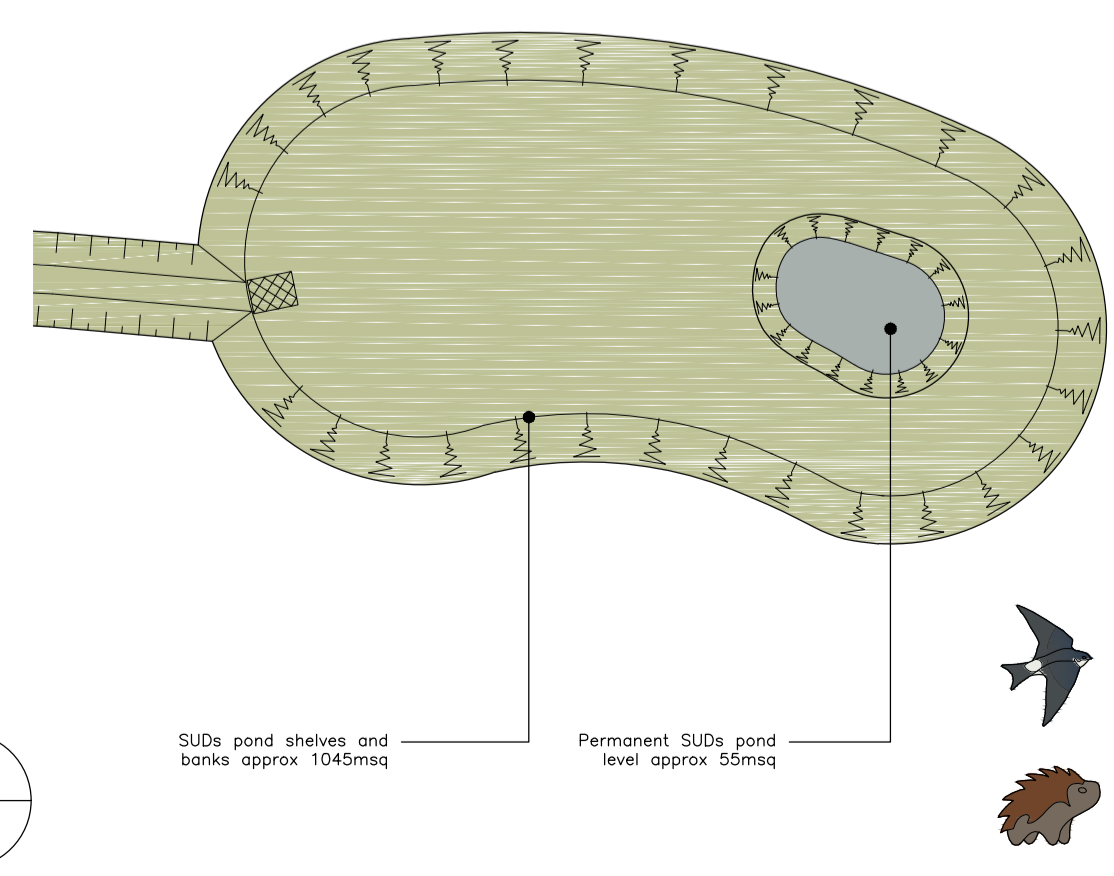


**Denotes a Rowan Tree - 5No.**  
High Wildlife Value  
The leaves are eaten by caterpillars of moths, including the larger Welsh wave and autumn green carpet. Flowers provide pollen and nectar for bees and other pollinating insects, while the berries are a rich source of autumn food for birds, especially blackbird, thrushes, redstart and redwing.

**Denotes a Penduculate Oak Tree - 2No.**  
Very High Wildlife Value  
The flower and leaf buds are the food plants of the caterpillar of purple hairstreak butterflies. In autumn, the soft fallen leaves break down to form a rich leaf mould that supports various invertebrates and fungi including stag beetle and oakbug milkcap fungus. Holes and crevices in the bark provide nesting spots for pied flycatcher and marsh tit. Several bat species may also roost in the tree and feed on its rich supply of insects.

**Denotes an Aspen Tree - 14No.** (Quaking Aspen for Golden Autumnal leaves)  
Moderate Wildlife Value  
Aspen trees attract a wide variety of insects, including two gall midges and the aspen hoverfly, which feeds in dead aspen wood. These insects provide a variety of food for predators such as bird and ladybirds. Deadwood cavities provide nesting opportunities for birds such as the woodpecker.

**Denotes an Miscanthus Indian Summer Plant**  
Moderate Wildlife Value  
Provides excellent all year round wildlife cover to both insects and smaller animals



Denotes a proposed SUDs pond for the development's Surface Water disposal strategy.  
Proposed shelf and bank planting comprising of 30% wild flower and 70% grasses mix. The mix is specified for a biodiverse vegetation coverage which attracts pollinators.

Wild Flower mix will comprise Wild Angelica, Water Avens, Lady's Bedstraw, Betony, Bird's-Foot-Trefoil, Bulbous Buttercup, Meadow Buttercup, Red Campion, White Campion Wild Carrot, White Clover, Cowslip, Oxeye Daisy, Rough Hawkbit, Hemp-Nettle, Knapweed, Musk Mallow, Meadowsweet, Ribwort Plantain, Ragged Robin, Selfheal, St John's Wort, Vetch, Yarrow, Yellow Rattle.

Grasses mix will comprise Meadow Brome, Crested Dogtail, Red Slender Creeping Fescue, Meadow Foxtail, Sweet Vernal Grass, Crested Hair Grass, Wavy Hair Grass and Perennial Ryegrass.

Denotes a House Martin double nest cluster box set at high level below the eaves 12No, providing 24 Nests

Denotes a Hedgehog highway opening

Denotes existing rough mixed grasses which are to be left untouched

Denotes a proposed hard wearing grass seed mix predominantly of Perennial Ryegrass to those areas flanking hardstanding, subject to greater foot traffic and requiring routine lawn maintenance.

Denotes a proposed Swale comprising of 30% wild flower and 70% grasses mix. The mix is specified for a biodiverse vegetation coverage which attracts pollinators.

Wild Flower mix will comprise Wild Angelica, Water Avens, Lady's Bedstraw, Betony, Bird's-Foot-Trefoil, Bulbous Buttercup, Meadow Buttercup, Red Campion, White Campion Wild Carrot, White Clover, Cowslip, Oxeye Daisy, Rough Hawkbit, Hemp-Nettle, Knapweed, Musk Mallow, Meadowsweet, Ribwort Plantain, Ragged Robin, Selfheal, St John's Wort, Vetch, Yarrow, Yellow Rattle.

Grasses mix will comprise Meadow Brome, Crested Dogtail, Red Slender Creeping Fescue, Meadow Foxtail, Sweet Vernal Grass, Crested Hair Grass, Wavy Hair Grass and Perennial Ryegrass.

Denotes a 180m length of proposed hedgerow comprising:  
Primary central fabric of Hawthorn, Blackthorn, Hazel and Beech  
Secondary structure of Dogwood, Dogrose and Traveller's Ivy

High Wildlife Value attracting insects, hedgehogs, voles, bats, butterflies, song thrushes, barn owls, goldfinches and yellow hammers. Providing a wildlife corridor along much of the southern edge of the site

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Revision/Date	Description	By
-	-	-

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Client: Dornoch Distillery Co. Ltd

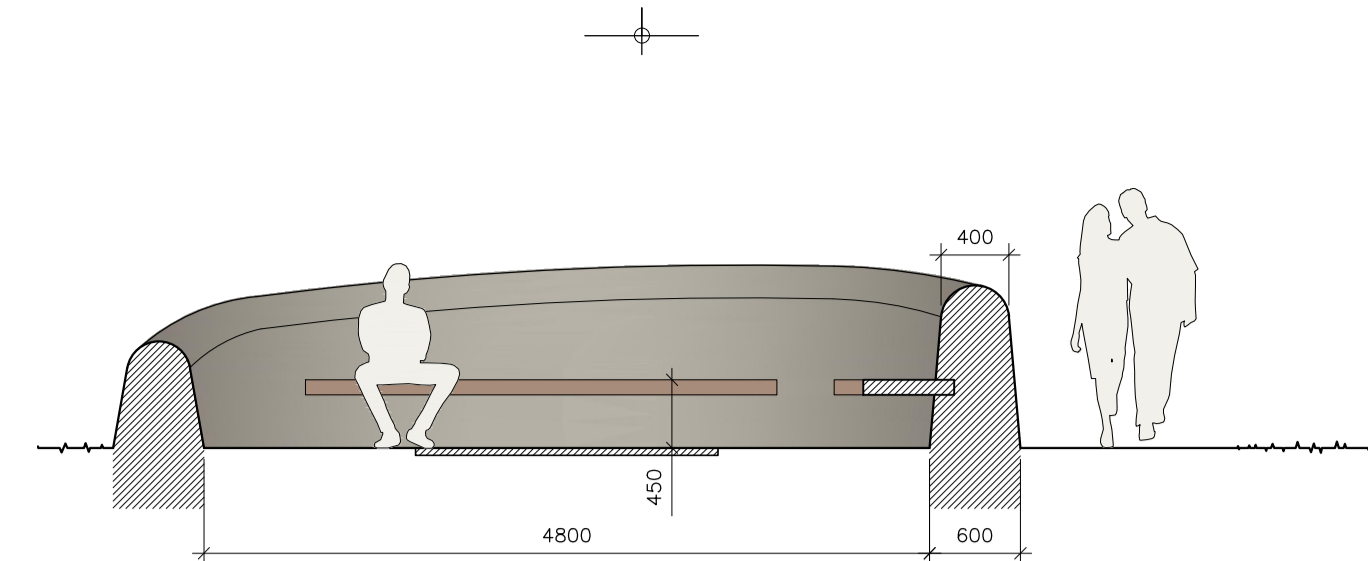
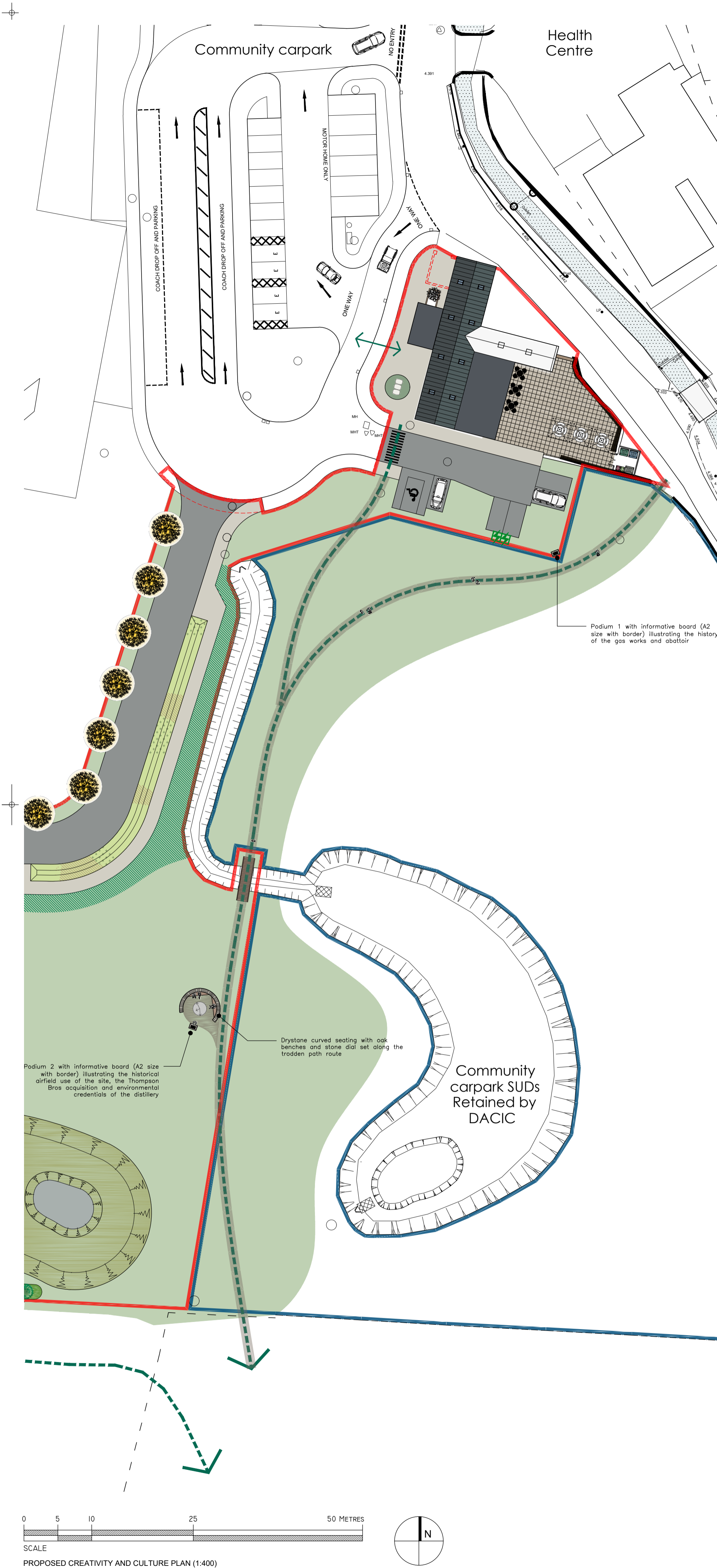
Project: Dornoch South

Drawing Title: Proposed Soft Landscaping + Biodiversity Plan

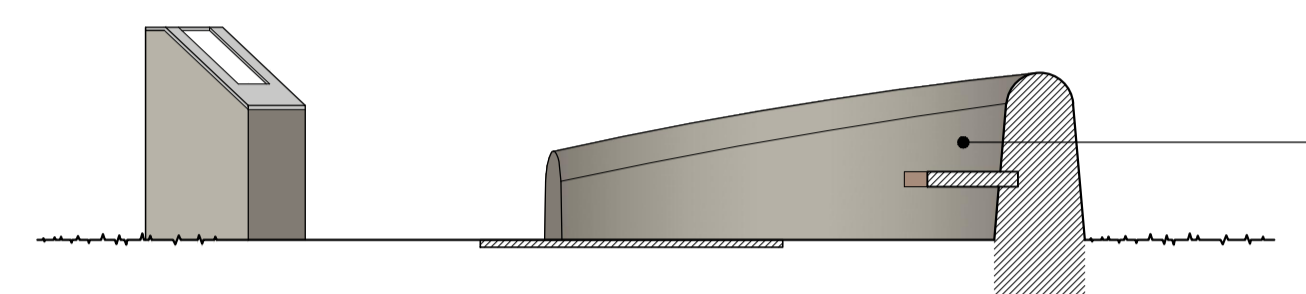
Scale: 1:400 @ A1	Date: March 22	Drawn by: MDK	Checked by: RW
Job No: DOR 2202	Drawing No: (90)01	Revision: -	Issued for: -

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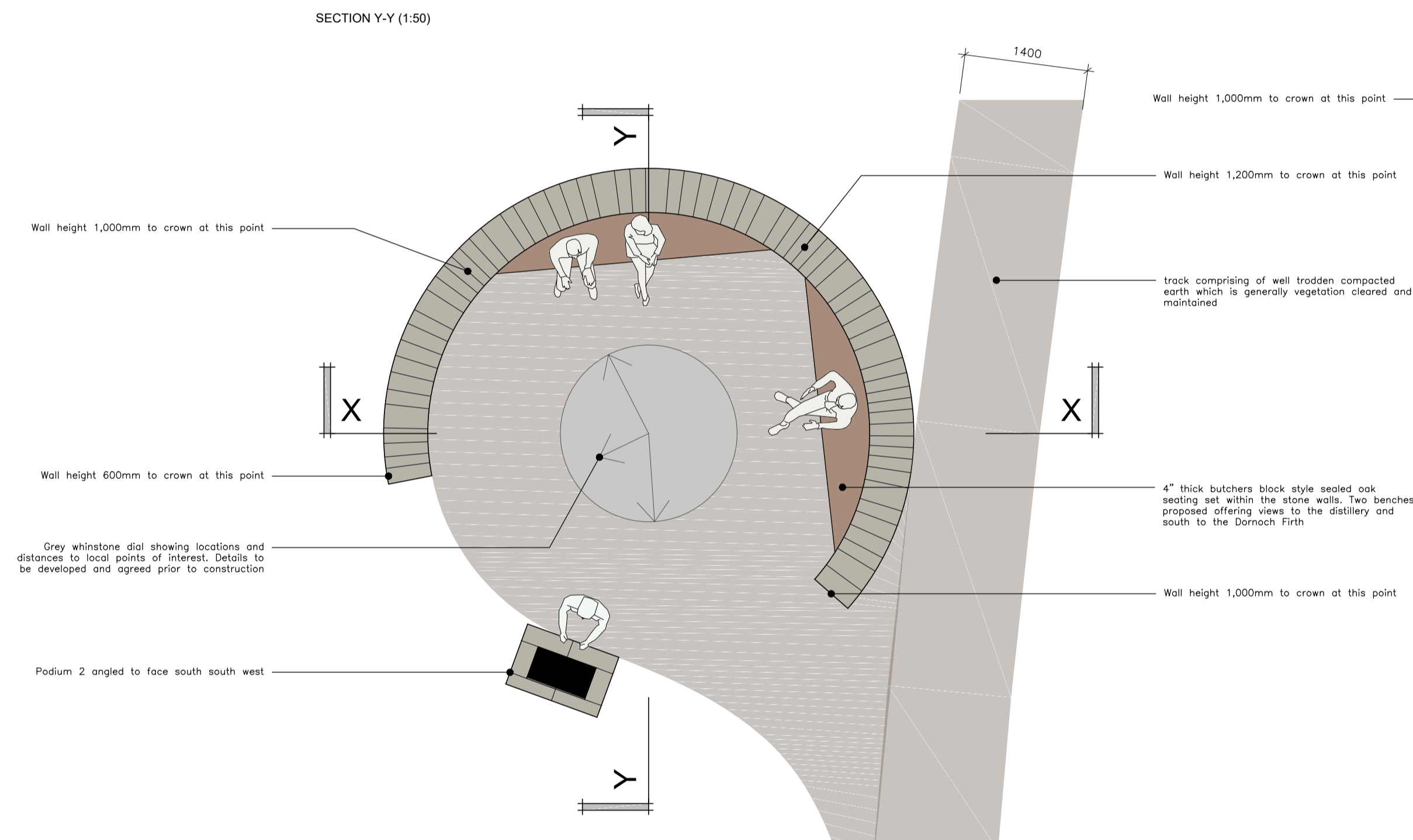




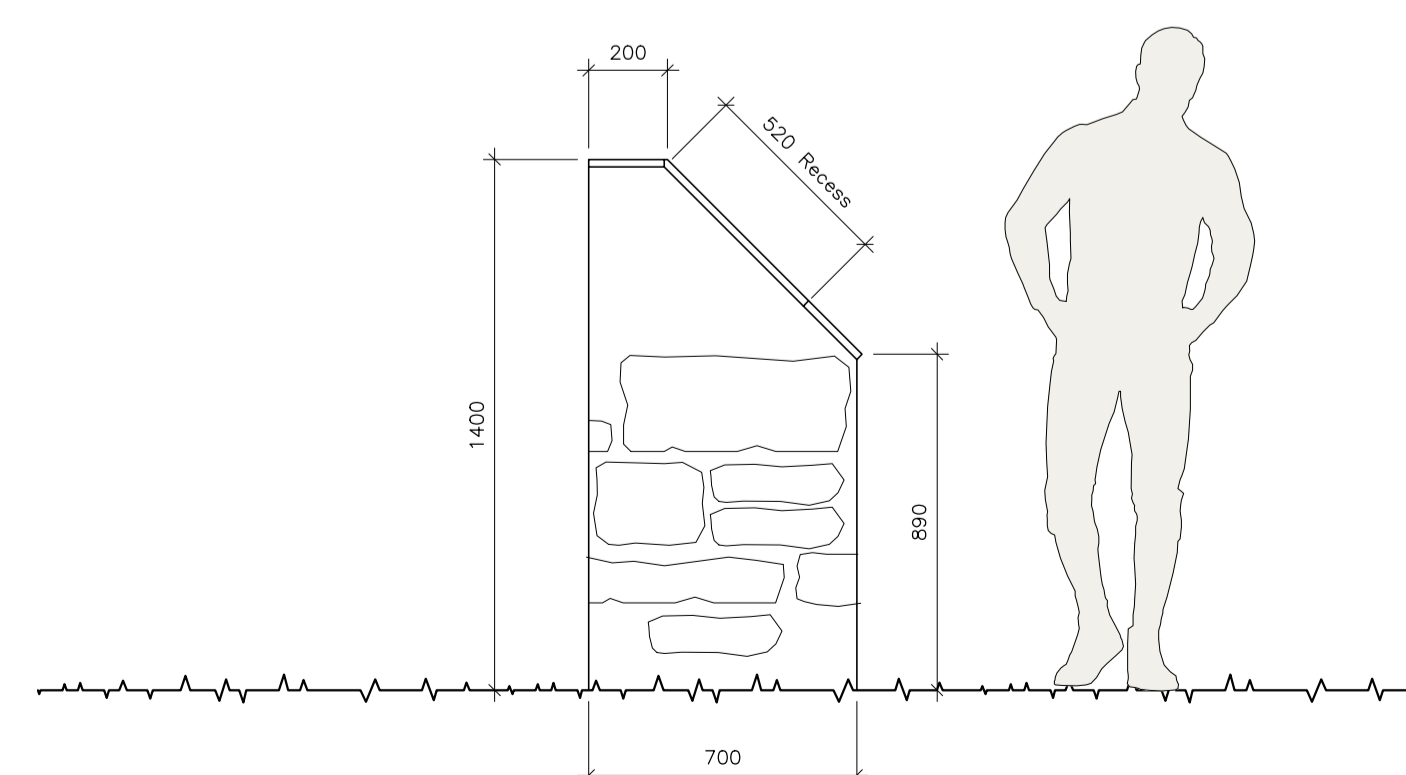
SECTION X-X (1:50)



SECTION Y-Y (1:50)



PLAN OF SEATING AREA (1:50)



ELEVATIONS OF INFORMATIVE PODIUM (1:20)

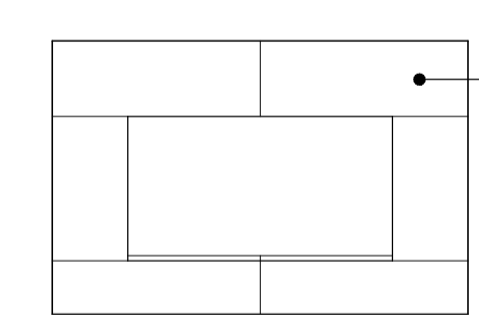
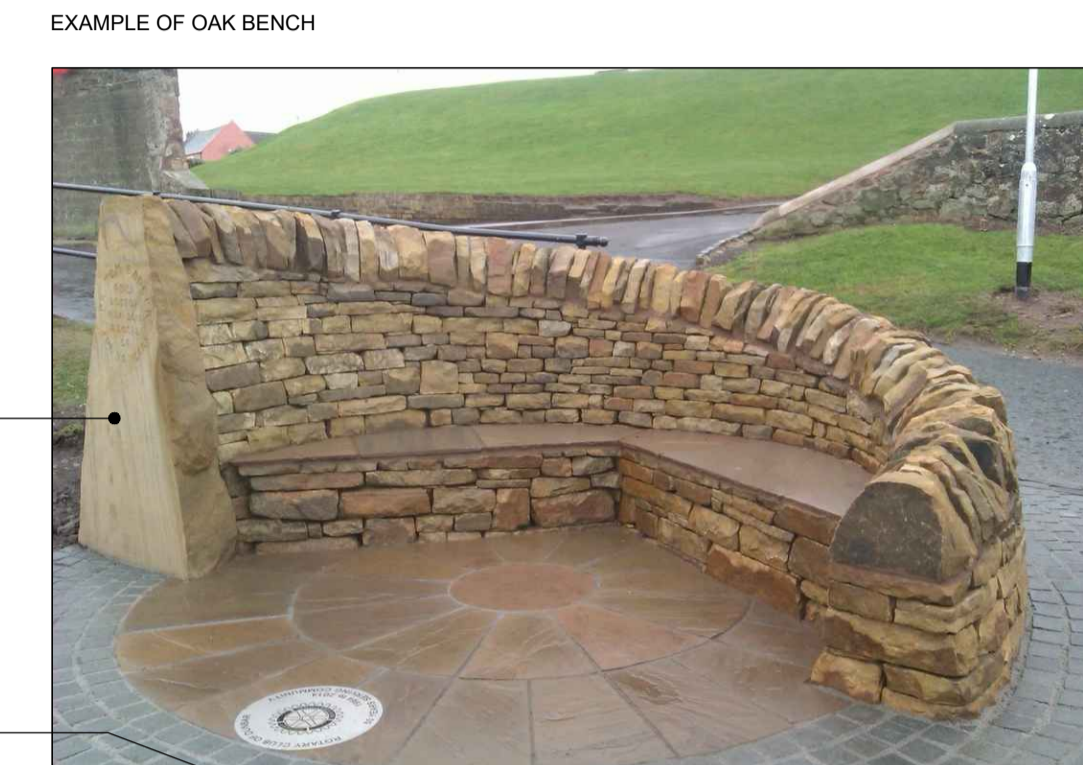
Semi coursed sandstone drystone curved tapering wall with half round coping and full sized bookends as per image opposite

Full height bookend stones to start and finish of the drystone wall

Wall height 1,000mm to crown at this point

Wall height 1,200mm to crown at this point

Wall height 1,000mm to crown at this point



PLAN OF INFORMATIVE PODIUM (1:20)

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**PROJECT SPECIFIC NOTES**

Revision/Date	Description	By
A July 2023	Masterplan extract excess information removed	MDK

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Client Dornoch Distillery Co. Ltd			
Project Dornoch South			
Drawing Title Proposed Creativity and Culture Plan			
Scale Various @ A1	Date March 22	Drawn by MDK	Checked by RW
Job No. DOR 2202	Drawing No. (90)02	Revision A	Issued for -
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