

Agenda Item	<b>6.4</b>
Report No	<b>PLN/075/23</b>

## HIGHLAND COUNCIL

**Committee:** North Planning Applications Committee  
**Date:** 1 November 2023  
**Report Title:** 23/02147/FUL: Tulloch Homes Ltd  
Land 155M South Of Rowan Gardens, Conon Bridge  
**Report By:** Area Planning Manager - North

### **Purpose/Executive Summary**

**Description:** Residential Development of 160 affordable and private dwelling houses with infrastructure, open space and landscaping at Braes of Conon (South), Conon Bridge

**Ward:** 08 - Dingwall And Seaforth

**Development category:** Major development.

**Reason referred to Committee:** Major development.

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

### **Recommendation**

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report.

## 1. PROPOSED DEVELOPMENT

1.1 Planning permission is sought for a residential development comprising 160 homes and the associated access, servicing and green infrastructure. The range of house types comprises:

- 50 no 4-bedroom houses
- 78 no 3-bedroom houses
- 22 no 2-bedroom houses
- 6 no 2-bedroom cottage flats
- 4 no 1-bedroom cottage flats.

1.2 The application site may be accessed from existing housing development to the north. An existing road connecting to the Conon Brae Farm is also present along the site's western boundary.

1.3 Pre-Application Consultation: The applicant utilised the Council's Pre-Application Advice Service for Major Developments prior to submission. In summary, the advice provided set out that:

*The proposal offers the opportunity to deliver a substantial quantity of new housing, including affordable housing, within a high-quality development. It must, however, be delivered with a holistic approach, especially one that is considerate of the ecologically sensitive resources in the wider vicinity of Conon Bridge.*

*A primary constraint will be the capacity of the A835(T) / A862 roundabout junction, along with the B9162 / A835 priority junction onto the Trunk Road and an extensive Transport Statement will require to accompany any future application in this regard.*

*The eventual masterplan must deliver the six qualities of successful places as outlined in Designing Streets.*

1.4 The application has been supported by the following information:

- Access Management Plan
- Biodiversity Enhancement Assessment Report
- Construction Traffic Management Plan
- Design and Access Statement
- Drainage Impact Assessment and Calculations
- Ecological Assessment Report
- Flood Risk Assessment
- Proposal of Application Notice
- Transport Assessment
- Tree Survey and Tree Protection Plan

- 1.5 Since validation of the application, the following variations have been made:
- Amended road and drainage layout and landscaping proposals – 2 and 6 October 2023
  - Amended landscaping plan - 22 August 2023
  - Amended site, road layout and house designs – 25 July 2023.

## **SITE DESCRIPTION**

### **2.**

- 2.1 The application site boundary comprises some 9.85 ha of agricultural land. The site is approximately wedge shaped and is bounded to the north by earlier constructed and consented phases of the applicant's development at Conon Braes, also allocated in the adopted Inner Moray Firth Local Development Plan (2015) as site CB4. To the east the site is bounded by the A835 Trunk Road, to the south by a single-track road connecting to the Conon Brae Farm and to the west by further modern housing development on the periphery of the Conon Bridge settlement. The site is generally of an open aspect, although sections of the original field boundaries and shelter belts remain, most pronouncedly, on the northern border. An unnamed watercourse intersects the eastern application site boundary and is culverted for a section in the southeast of the site.
- 2.2 There are no statutory natural heritage designations within the site boundary. The nearest are the Lower River Conon Site of Special Scientific Interest (SSSI), designated for its wet woodland and fen land and the Conon Islands Special Area of Conservation (SAC), designated for its Alder woodland on a floodplain. Both designations are located approximately 1km distant, to the southwest of the site. The River Conon is connected to the Cromarty Firth, which is designated as a Special Protection Area (SPA) / RAMSAR site.
- 2.3 There are no national or local landscape designations within the application site boundary. The nearest local designation is the Ben Wyvis Special Landscape Area (SLA) which at its closest point, is approximately 11km to the north-west of the site. There are no Scheduled Ancient Monuments, Listed Buildings or Conservation Areas within the site.

### **3. PLANNING HISTORY**

- |     |                 |  |  |
|-----|-----------------|--|--|
| 3.1 | 2 December 2022 | 22/05379/SCRE, Erection of up to 160 residential units and associated infrastructure | Environmental Impact Assessment Not Required |
| 3.2 | 25 April 2022   | 21/03207/FUL, Erection of 27 residential units with associated works                 | Application Permitted                        |

#### 4. PUBLIC PARTICIPATION

4.1 Advertised: Ross-shire Journal - Unknown Neighbour 14 Days

Date Advertised: 19 May 2023

Representation deadline: 2 June 2023

Timeous representations: 2 from 2 households

Late representations: None

4.2 Material considerations raised are summarised as follows:

- Concerns regarding the proposed vehicle, pedestrian and other active travel access arrangements for the development.
- Concerns regarding noise levels from the proposed air source heat pump plant shown on the majority of the proposed dwellings.

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet [www.wam.highland.gov.uk/wam](http://www.wam.highland.gov.uk/wam).

#### 5. CONSULTATIONS

5.1 **The Historic Environment Team (Archaeology)** did not object to the proposals, subject to a condition to secure an archaeological written scheme of investigation in advance of development commencing.

5.2 **The Contaminated Land Officer** did not object to the proposals. There are no known sources of potential contamination within the site boundary.

5.3 **The Development Plans Team** raised no objection. They provided comments regarding the applicant's supporting information as well as relating to the likely developer contributions required.

5.4 **The Ecology Officer** raised no objection after receiving a more detailed Biodiversity Enhancement Assessment from the applicant. Planning conditions and Informatives were recommended.

5.5 **Environmental Health** did not object to the proposals and provided an advisory note related to construction hours and noise generating activities.

5.6 **The Flood Risk Management Team** raised no objections to the proposals subject to conditions to secure implementation of the measures tabled in the applicant's Flood Risk Assessment.



- 5.7 **The Forestry Officer** raised no objection to the proposals upon receipt of further information in the form of a Tree Protection Plan and Landscape Plan. The Tree Protection Plan demonstrates that the boundary trees can be adequately protected during the construction phase. The Forestry Officer recommended several conditions related to implementation of the tree protection and landscaping plans.
- 5.8 **The Housing Development Team** raised no objections and invited the applicant to discuss the mix of the affordable housing component within the project. It is understood that this has now been confirmed with the Housing Development Service.
- 5.9 **The Transport Planning Team** did not object to the proposals following the submission of further information from the applicant on several issues found with the originally proposed layout.
- 5.10 **Historic Environment Scotland** raised no objections to the proposals, on receipt of an assessment of the impact of the proposals on the outlook of Kinkell Castle, an A Listed Building to the southeast of the development.
- 5.11 **Nature Scot** did not comment on the proposal.
- 5.12 **Scottish Water** confirmed no objections, advising that there is sufficient capacity in the local water supply and public sewerage network to service the proposals. They advised that the development may impact upon existing Scottish Water assets and that the applicant should contact Scottish Water directly to ensure that any potential conflict can be identified.
- 5.13 **SEPA** raised no objection on receipt of further details provided in addendum to the applicants original Flood Risk Assessment.
- 5.14 **Transport Scotland** did not object to the proposals. Transport Scotland is satisfied that the modelling of the A835 / B9163 priority crossroads junction provides sufficient evidence which demonstrates that there will be no significant adverse traffic impacts on the trunk road as a result of the proposed development.

## **6. DEVELOPMENT PLAN POLICY**

The following policies are relevant to the assessment of the application

### **6.1 National Planning Framework (NPF) 4 Policies**

1. Tackling the climate and nature crises
2. Climate mitigation and adaptation
3. Biodiversity
4. Natural places
5. Soils
7. Historic assets and places

- 13. Sustainable transport liveable places
- 14. Design, quality and place
- 15. Local living and 20-minute neighbourhoods
- 16. Quality homes
- 21. Play, recreation and sport
- 22. Flood risk and water management

## 6.2 **Highland Wide Local Development Plan 2012**

- 28 - Sustainable Design
- 29 - Design Quality and Place-making
- 30 - Physical Constraints
- 31 - Developer Contributions
- 32 - Affordable Housing
- 34 - Settlement Development Areas
- 51 - Trees and Development
- 55 - Peat and Soils
- 56 - Travel
- 57 - Natural, Built and Cultural Heritage
- 58 - Protected Species
- 59 - Other Important Species
- 60 - Other Important Habitats
- 61 - Landscape
- 63 - Water Environment
- 64 - Flood Risk
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage
- 70 - Waste Management Facilities
- 72 - Pollution
- 74 - Green Networks
- 75 - Open Space
- 77 - Public Access

## 6.3 **Inner Moray Firth Local Development Plan (2015)**

Allocation CB2 (Braes of Conon)

## 6.4 **Inner Moray Firth Proposed Local Development Plan (2022)**

Allocation CB04 Braes of Conon (South)

## 6.5 **Highland Council Supplementary Planning Policy Guidance**

- Access to Single Houses and Small Housing Developments (May 2011)
- Construction Environmental Management Process for Large Scale Projects (August 2010)
- Developer Contributions (March 2018)
- Flood Risk and Drainage Impact Assessment (Jan 2013)
- Green Networks (Jan 2013)
- Highland Historic Environment Strategy (Jan 2013)

Highland's Statutorily Protected Species (March 2013)  
Highland Renewable Energy Strategy and Planning Guidelines (May 2006)  
Houses in Multiple Occupation (March 2013)  
Housing in the Countryside and Siting and Design (March 2013)  
Managing Waste in New Developments (March 2013)  
Onshore Wind Energy: Interim Supplementary Guidance (March 2012)  
Open Space in New Residential Developments (Jan 2013)  
Physical Constraints (March 2013)  
Public Art Strategy (March 2013)  
Small-Scale Wind Turbine Proposals: Interim Supplementary Guidance (Nov 2012)  
Special Landscape Area Citations (June 2011)  
Standards for Archaeological Work (March 2012)  
Sustainable Design Guide (Jan 2013)  
Trees, Woodlands and Development (Jan 2013)

## **7. OTHER MATERIAL CONSIDERATIONS**

### **7.1 Scottish Government Planning Policy and Guidance**

National Planning Framework 3  
Designing Streets  
Creating Places

## **8. PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

### **Determining Issues**

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

### **Planning Considerations**

8.3 The key considerations in this case are:

- a) compliance with the development plan and other planning policy
- b) design, streetscape and residential amenity
- c) access and travel
- d) flood risk, drainage and servicing
- e) impact on natural heritage, landscaping and open space
- f) impact on infrastructure and services and proposed mitigation (developer contributions)

any other material considerations.

## **Development plan/other planning policy**

- 8.4 Both National Planning Framework (NPF) 4, through Policy 16 and the Highland wide Local Development Plan (HwLDP), through Policy 34 support the principle of development of new homes in the settlement development area and the principle of residential development on this site may be considered as established through the existing IMFLDP designation. There is a presumption in favour of such development under Policy 16 – Quality homes of NPF 4 which seeks to encourage, promote and facilitate the delivery of more high quality, affordable and sustainable homes, in the right location.
- 8.5 The principal policy framework relating to the development of the site is therefore, set out in the IMFLDP. The site is located within the defined settlement development area (SDA) for Conan Bridge The following constraints are listed in the plan in relation to the settlement.
- Across the village, all new residential development in the catchment of Ben Wyvis Primary School will be required to make a contribution to the provision of community facilities and any future required expansions of Ben Wyvis Primary School.
  - All developments must contribute to upgrade of the A835 / Corntown junction.
  - Early engagement to take place between developers and Scottish Water, to ensure any additional capacity demands at Assynt Water Treatment Works and Conon Bridge Water Treatment Works in the future can be delivered in line with development.
  - A great crested newt survey is required for all development sites containing a water body.
- 8.6 Under NPF 4 Policy 15, development proposals will be assessed to the extent that they contribute to local living, and where relevant, 20-minute neighbourhoods. The policy considerations include how developments interconnect to local business, employment and community facilities.
- 8.7 All development requires to be assessed against Policy 1 of NPF4 ‘Tackling the climate and nature crises’ which states that when considering development proposals significant weight will be given to global and climate nature crises with the intent of the policy being to encourage, promote and facilitate development that addresses the global climate emergency and nature crisis. The intended policy impacts include promoting local living and compact urban growth. Policy 3 – Biodiversity of NPF 4 applies to all development proposals. This seeks to protect biodiversity. Reverse biodiversity loss, deliver positive effects from development and strengthen nature networks. Measures should be proportionate to the nature and scale of development.

- 8.8 Policy 4 – Natural Places of NPF 4 seeks to protect, restore and enhance the natural assets of designated sites. There are no statutory natural heritage designations within the site boundary. The nearest are the Lower River Conon Site of Special Scientific Interest (SSSI), designated for its wet woodland and fen land and the Conon Islands Special Area of Conservation (SAC), designated for its Alder woodland on a floodplain. The River Conon is connected to the Cromarty Firth, which is designated as a Special Protection Area (SPA) / RAMSAR site. Additionally, Policy 4 requires that where there is reasonable evidence to suggest that a protected species is present on a site or may be affected by a proposed development, steps must be taken to establish its presence. This is also a requirement of HwLDP Policy 58 – Protected Species.
- 8.9 Policy 5 – Soils, aims to protect carbon rich soils and prime agricultural land, which underlies most of the application site area, as defined through the land capability classification for agriculture developed by Macaulay Land Use Research Institute (now the James Hutton Institute). Under Policy 5 in isolation, development proposals will only be supported on prime agricultural land where they relate to essential infrastructure, renewable energy development or development associated with agricultural or processing of agricultural produce. Nevertheless, given the longstanding designation of the site as suitable for housing within the Local Development Plan Framework, the location within the Settlement Development Area and the support afforded through NPF 4 Policies 15 and 16, it is considered that on balance, the loss of prime agricultural land is outweighed by the potential to realise a quantity of new housing within a well-connected location in this instance.
- 8.10 Policy 13 – Sustainable Transport requires development to encourage, promote and facilitate walking, wheeling, cycling and public transport for everyday travel and reduce the need to travel unsustainably. These requirements are also reflected in Policy 56 – Travel, of the HwLDP.
- 8.11 Consideration has to be given to Policy 22 – Flood risk and water management with particular reference to policy 22c) which requires rain and surface water to be dealt with via sustainable urban drainage systems with a presumption against any connections into the combined sewer. 21d) states that development proposals will be supported if they can be connected to the public water mains, this aligns with policies 65 – Waste Water Treatment, 66 – Surface Water Drainage of the HwLDP.

### **Design, streetscape and residential amenity**

- 8.12 The 160 proposed units will consist of a mix of single and two storey detached and semi-detached houses, in addition to cottage flats. All properties will be finished in render on the external walls, with elements of timber effect cladding. Roofs will be finished in smooth concrete roof tiles, with an exact schedule of finishing materials to be secured via condition, in advance of development commencing. The proposed homes are arranged around a looping road network, with vehicle access off a new route connecting to the existing development to the north of the site, as most recently permitted under 21/03207/FUL directly to the north, then to the B9163 public road.

- 8.13 The proposed development will proceed according to a design code. Different house types and materials palettes will be used to create identifiable zones within the layout. Where possible, the arrangement seeks to maximise housing overlooking the street network and public spaces. The use of repeated pitched roofs with regular openings reflects the pattern of housing established in the area. The proposals utilise a mix of dedicated and on-street footpath connections within the development and tying into existing footpaths in the area. Parking will be accommodated mainly within the house plots on driveways or within a dedicated street fronting courtyard, within part of the affordable housing allocation.
- 8.14 Where possible, garden areas and green spaces are also orientated to make best use of natural surveillance from the buildings. In the interests of sustainability and reducing emissions, the new properties incorporate air source heat pumps.

### **Access and travel**

- 8.15 Vehicle access to the site will be from a connection into the existing development to the north. The matter of the capacity of the Corntown Junction onto the A835 Trunk Road is understood to be a longstanding local concern and the applicant has provided a Transport Assessment that includes modelling of the capacity of this junction, taking account of the current proposals alongside the applicant's other development sites, both permitted and in planning, in Conon Bridge. The technical and professional view established by the Transport Assessment is that the junction is capable of accommodating the increase in traffic levels as a result of the proposals. Transport Scotland have confirmed that they have assessed and are satisfied with the potential impacts of the proposal on this road connection. The proposal will require a further Roads Construction Consent (RCC) to be secured, during the assessment of which there will be further scrutiny of the access arrangements, street layout and materials specifications proposed.
- 8.16 While the development is suitably focussed on the delivery of the 'place over movement' principle in Designing Streets, car ownership and usage requires to be accommodated, including provision of suitable parking facilities. The Transport Planning Team have assessed the proposals and are generally satisfied with the internal road layout and parking provision. Minor adjustments to the street and parking layout may be required and can be addressed through the Road Construction Consent process, but this is not anticipated to affect the overall layout of the development.
- 8.17 In their consultation response, the Transport Planning Team noted that public bus services may access the development in future. A condition is attached to secure design details of bus stops and shelters in advance of development commencing. The Transport Planning Team have also requested a further condition to secure design details for the proposed footpath connection and emergency vehicle access route connecting into Rowan Gardens, adjacent to the north.
- 8.18 Considering the climate emergency, it is considered appropriate to facilitate the transition toward the phasing out of diesel and petrol cars. A condition is attached to secure further details of how the charging scheme will operate in advance of development commencing.

- 8.19 As the proposals are for houses and cottage flats only, it is considered that adequate cycle parking can be provided by residents within their rear garden areas.

### **Flood risk, drainage and servicing**

- 8.20 The new proposed homes will connect to the existing water supply and public sewer network. Suitable space is designated for the storage and uplift of refuse bins, in accordance with the Councils Managing Waste in New Developments guidance.
- 8.21 While the wider site is not designated as at risk of flooding on the SEPA maps, isolated areas of potential fluvial (water course) flood risk are identified from an unnamed watercourse on the eastern site boundary. The Flood Risk Management Team and SEPA are generally satisfied with the applicant's Flood Risk Assessment, subject to conditions to control finished floor levels and to maintain an adequate buffer zone from the watercourse.
- 8.22 In relation to the applicant's surface water drainage proposals, the Flood Risk Management Team are satisfied with the proposals, subject to a condition to secure that the final drainage design is submitted for their review and approval in advance of any development commencing. Some elements of the surface water drainage strategy will also be considered via the Roads Construction Consent process.

### **Amenity**

- 8.23 Due to the orientation of the new homes north – south, most overshadowing will fall within the application site boundaries. The proposed houses do not raise direct window to window loss of privacy issues with one another. The recommended separation distance of 21m between facing elevation windows is generally maintained throughout the development. Additional loss of privacy issues are not incurred with respect to the existing development to the north of the site, or the most recently consented development to the northeast under 21/03207/FUL, due to the retention of the existing tree belt between the two.
- 8.24 The representation comments raised the issue of noise from the proposed air source heat pump solution to be installed on each of the houses. Environmental Health raised no concerns in their consultation response with respect to this aspect of the proposals and an informative on noise levels, which are ultimately, a matter for the Environmental Health Legislation, is attached.

### **Impact on natural heritage, landscaping and open space**

- 8.25 The applicant has submitted detailed landscaping and planting plans for the site. The landscaping plan provides a variety of new habitat types on site, making a positive contribution towards biodiversity enhancement. A detailed planting specification has been provided, along with a maintenance schedule and a condition is attached to secure a factoring agreement to provide for maintenance of the new planting and open spaces in future.

- 8.26 The applicant has set aside an area of ground located centrally within the site for formal play facilities to complement the further areas of more general-purpose open space proposed. Details of the play equipment provision will be secured via condition.
- 8.27 The site is not located directly within any natural heritage designations or habitats for protected species. The impact on the Cromarty Firth SSSI, SPA and Ramsar sites in the wider area is considered minimal. The applicant has submitted an ecological assessment report in support of the proposals and pre commencement protected species surveys will be secured by condition, given the proposal scale and significance within the local area.
- 8.28 No mature trees will require to be removed in order to accommodate the proposals on site. The Forestry Officer has appraised the applicant's Tree Protection Plan and considers that this demonstrates that the existing mature boundary trees on site can be adequately protected during the construction phase. A condition is attached to ensure that a qualified arboricultural consultant is employed, to ensure that the approved Tree Protection Plan is implemented.
- 8.29 Under NPF4 Policy 3b, development proposals of this scale are required to demonstrate biodiversity enhancement. The Council Ecology Officer has assessed the applicant's Biodiversity Enhancement Assessment Report and has confirmed that the proposals will meet the enhancement level required and with the addition of hedgerows around the boundary and trees within the site, will provide nature network opportunities. The additional species-specific enhancement measures outlined in the report are also welcomed. A detailed Habitat Management Plan (HMP) will be required, as secured via condition.

### **Developer contributions**

- 8.30 Policy 31 requires that, where developments create a need for new or improved public services, facilities or infrastructure, the developer makes a fair and reasonable contribution in cash or kind towards these additional costs or requirements. The application site is located within the catchment area of Ben Wyvis Primary School and Dingwall Academy Secondary.
- 8.31 Developer contributions will be required at the 2-classroom extension rate in respect of Ben Wyvis Primary School.
- 8.32 Contributions will also be required to support the expansion of facilities at the Maryburgh Amenities Centre and Dingwall Leisure Centre, associated with the IMFLDP delivery programme.
- 8.33 In line with the consultation response from the Development Plans Team, the onsite provision of 40 affordable housing units is proposed.
- 8.34 The Transport Planning Team have requested a financial settlement should be reached between the applicant and the Council's Public Transport Team towards paying for enhanced school bus provision between Conon Bridge and Dingwall Academy.



8.35 Given the site's lack of public prominence, a financial contribution towards public art is not required.

**Other material considerations**

8.36 None

**Non-material considerations**

8.37 None

**Matters to be secured by Section 75 Agreement**

8.38 In order to mitigate the impact of the development on infrastructure and services the following matters require to be secured prior to planning permission being issued:

- a) Contributions to the delivery of enhanced primary education capacity within the Ben Wyvis Primary School catchment area at the two-classroom extension rate of £2,041 per house and £1157 per 2-bedroom flat.
- b) Contributions to the delivery of expanded facilities at the Maryburgh Amenities Centre and Dingwall Leisure Centre at a rate of £1,019 per residential unit.
- c) Minimum of 25% affordable housing provision (40 homes onsite)
- d) Settlement for enhanced school bus provision between Conon Bridge and Dingwall Academy.

8.39 All financial contributions quoted reflect Q2 2018 and are to be index linked using BCIS All-In TPI (excluding school land costs). A number of other offsite active travel related improvements are also proposed which are to be secured via planning conditions.

8.40 The applicant has four months from the date that the Council's solicitor writes to the applicant's solicitor indicating the terms of the legal agreement or other appropriate mechanism to secure mitigation for the impacts of the development agreed by the Planning Service, to deliver to the Council a signed legal agreement. Should an agreement or other appropriate mechanism to secure the mitigation agreed by the Planning Service not be delivered within four months, the application may be refused under delegated powers.

**9. CONCLUSION**

9.1 This application brings forward development on a significant land allocation within the local development plan. The applicant has taken forward a master planning approach to deliver a mix of tenure and types of new homes on the site.

- 9.2 The layout, siting, design and infrastructure arrangements and impacts to amenity and the natural environment have been considered and mitigated through the design of the proposals
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## 10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

## 11. RECOMMENDATION

### Action required before decision issued

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation Y

Revocation of previous permission N

**Subject to the above actions**, it is recommended to **GRANT** the application subject to the following conditions and reasons

### Time Limit

1. The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

**Reason:** In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

### Design, Materials and Landscaping

2. No development shall commence until the materials to be used in external finishes (including but not limited to finishes of walls, roofs, rainwater goods, windows and doors) of any and all built

structures, have been submitted to and approved in writing by the Planning Authority

**Reason:** To ensure that these matters can be considered in detail.

3. No development shall commence until the material finish of all roads within the development have been submitted to and approved in writing by the Planning Authority.

**Reason:** To ensure that these matters can be considered in detail to ensure the character and identity of the site is maintained in the interests of place making.

4. No development shall commence until the exact siting and design of all on street above ground infrastructure (including electrical substations, junction boxes and broadband cabinets) has been submitted to and approved in writing by the Planning Authority.

**Reason:** To ensure that these matters can be considered in detail in the interests of place making.

5. All landscaping works shall be carried out in accordance with the scheme and plans approved as part of this permission. All planting, seeding or turfing as may be comprised in the approved scheme and plans shall be carried out in the first planting and seeding seasons following the commencement of the development, unless otherwise stated in the approved scheme. Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

**Reason:** In order to ensure that the approved landscaping works are properly undertaken on site.

6. A suitably qualified landscape consultant must be employed at the applicant's expense to ensure that the approved Landscape Plan is implemented to the agreed standard. Stages requiring supervision are to be agreed with the planning authority and certificates of compliance for each stage are to be submitted for approval. No development shall commence until a work instruction has been issued to the landscape consultant to enable them to undertake the necessary supervision unhindered for the duration of the project.

**Reason:** To secure the successful implementation of the approved landscape works.

7. A suitably qualified arboricultural consultant must be employed at

the applicant's expense to ensure that the approved Tree Protection Plan is implemented to the agreed standard. Stages requiring supervision are to be agreed with the planning authority and certificates of compliance for each stage are to be submitted for approval. No development shall commence until an arboricultural consultant has been appointed and a work instruction issued enabling them to undertake the necessary supervision unhindered for the duration of the project.

**Reason:** To secure the successful implementation of the approved tree protection measures.

### **Roads and Access**

8. No development shall commence on site until a construction phase Traffic Management Plan (including a routing plan for construction vehicles and a wear and tear agreement for the route) has been submitted to, and approved in writing by, the Planning Authority. This shall detail construction traffic routes, construction site operating times, removal of material from the site, and provide a commitment to no deliveries or heavy goods movements immediately before or after school pick up or drop off times for Ben Wyvis Primary School.

Thereafter the approved traffic management plan shall be implemented prior to development commencing and remain in place until the development is complete.

**Reason:** To maintain safety for road traffic and the traffic moving to and from the development, and to ensure that the transportation of abnormal loads will not have any detrimental effect on the road network.

9. No part of development shall be occupied until all roads and pavements within the application site as they relate to each particular phase are formed to base course level. All roads intended to link with future phases of development or to other adjoining sites shall be taken to the edge of the application site or phase or sub-phase of the site with no impediments. Thereafter, the final wearing surface shall be applied concurrently with the construction of the last residential home, or upon the expiry of a period of three years from the date of first occupation, whichever is the sooner.

**Reason:** To ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity.

10. No development shall commence on until a scheme has been submitted detailing the provision electric vehicle charging points.

The scheme shall include:

- I. identification of locations for communal electric vehicle charging points serving flatted developments and located in communal parking areas and these charging point locations are to be made available to The Highland Council or other public body for the installation of the charging point infrastructure;
- II. the provision of infrastructure, defined as the provision of cabling from the consumer unit within the property to an external point, to allow charging of electric vehicles within the curtilage of each house in each phase, where the house has in-curtilage car parking provision;
- III. a timescale for implementation for infrastructure within each phase; and
- IV. outline detail of a communication pack to be provided to each household on first occupation explaining how they can access electric vehicle charging infrastructure.

The approved scheme(s) shall be implemented in line with the approved timescales

**Reason:** To facilitate the move toward the reduction in reliance of petrol and diesel cars.

11. Prior to the commencement of development, the following details pertaining to bus stops and shelters within the site shall be submitted to and approved in writing by the Planning Authority, in consultation with the Roads Authority;
  - i. a detailed dimensioned layout, dimensioned cross sections and details of all structures including dimensions, finish material and construction methods.

**Reason:** In the interests of roads safety and public transport connectivity.

12. Prior to the commencement of development, the following details pertaining to the proposed emergency access route between the site and Rowan Gardens, shall be submitted to and approved in writing by the Planning Authority, in consultation with the Roads Authority;
  - i. a detailed dimensioned layout, dimensioned cross sections and details of all structures including dimensions, finish material and construction methods.

**Reason:** In the interests of public safety and connectivity.

## **Factoring**

13. Before the first occupation, a scheme for the maintenance in perpetuity of all on-site green spaces and/or woodland and/or sports facilities, features or parts of the development that are not the exclusive property of any identifiable individual house owner such as communal parking areas, landscaping within the adopted carriageway, the common entrances to flatted developments and estate lighting, and those elements of surface water drainage regimes not maintained either by the Highland Council or Scottish Water for that Phase, shall be submitted to and agreed in writing by the planning Authority. The agreed scheme, which shall accord with the Highland Council's adopted standards contained within 'Open Space in Residential Development' and the provisions of the Property Factors (Scotland) Act 2011, shall be implemented thereafter to the satisfaction of the planning authority

**Reason:** In the interests of amenity and to ensure that open space and recreational facilities are maintained in accordance with the Council's standards.

14. No development shall commence until a scheme for the layout, design and construction of the proposed play area has been submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented in full and in accordance with the timescales contained therein.

**Reason:** In order to comply with the requirements of the Council's Open Space in New Residential Development supplementary planning guidance (adopted 20th May 2009) and to ensure that sufficient play equipment exists within the application site to serve future residents' needs.

## **Drainage and Flood Risk**

15. The properties on Plots 1-20 as identified in approved site layout plan 4576-02-003 REV D shall have finished floor levels of 600mm above the predicted 1 in 200 year plus climate change flood level, as listed in Appendix E of the approved Braes of Conon South Flood Risk Assessment by Enviro Centre, dated March 2023.

**Reason:** To ensure that all flood mitigation measures, required in order to reduce the risk of flooding occurring both within and outwith the application site, are provided timeously.

16. No development shall take place, until the finished roof ridge height of the properties on Plots 1-20 as identified in approved site layout plan 4576-02-003 REV D, measured against an off-site datum, have been submitted to and agreed in writing with the

planning authority

**Reason:** In the interests of amenity and because the final levels are likely to be affected by the requirement to work to a minimum floor level to avoid the risk of flooding

17. Notwithstanding the provisions of Article 3 and Schedule 1 of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended, revoked or re-enacted; with or without modification), no development nor work to alter ground levels shall take place within the flood constraint area detailed on approved site layout plan 4576-02-003 REV D, or within 6 metres of any watercourse without planning permission being granted on application to the Planning Authority.

**Reason:** To ensure that development which is normally permissible without the need for a planning application is carefully managed and does not encroach onto riparian buffer strips.

### **Ecology and Protected Species**

18. No development shall commence until a Habitat Management Plan (HMP) has been submitted to and approved in writing by the Planning Authority. This must include a detailed landscape plan. The HMP shall set out proposed habitat management of the site including all mitigation, compensation and enhancement measures, and shall provide for the maintenance, monitoring and reporting of the habitat on site. The HMP shall include provision for regular monitoring and review to be undertaken against the HMP objectives and measures for securing amendments or additions to the HMP in the event that the HMP objectives are not being met. Unless and until otherwise agreed in advance in writing with the Planning Authority, the approved HMP (as amended from time to time with written approval of the Planning Authority) shall be implemented in full.

**Reason:** To minimise disturbance to nature conservation interests within the application site and ensure the protection of protected species and habitats.

19. No development shall commence until an Environmental Clerk of Works (ECoW) has been appointed by the developer. Their appointment and remit shall first be approved in writing by the Planning Authority. For the avoidance of doubt, the ECoW shall be appointed as a minimum for the period from the commencement of development to the final commissioning of the development and their remit shall, in addition to any functions approved in writing by the Planning Authority, include:

- i. Providing training to the developer and contractors on

their responsibilities to ensure that work is carried out in strict accordance with environmental protection requirements;

- ii. Monitoring compliance with all environmental and nature conservation mitigation works and working practices approved under this consent;
- iii. Advising the developer on adequate protection for environmental and nature conservation interests within, and adjacent to, the application site;
- iv. Directing the placement of the development (including any micro-siting, if permitted by the terms of this consent) and the avoidance of sensitive features; and
- v. The power to call a halt to development on site where environmental considerations warrant such action.

**Reason:** To ensure that an Environmental Clerk of Works, with sufficient remit, is appointed for the duration of development in order to monitor, advise and direct the developer; in the interests of nature conservation.

20. No development shall commence until a protected species pre-commencement survey has been undertaken not more than 3 months prior to works commencing and a report of survey has been submitted to, and approved in writing by, the Planning Authority. The survey shall cover both the application site and an area of 300 metres in the case of Red Kite, and 20 metres in all directions from the boundary of application site with respect to all other protected species. The report of survey shall include mitigation measures where any impact, or potential impact, on protected species or their habitat has been identified. Development and work shall progress in accordance with any mitigation measures contained within the approved report of survey and the timescales contain therein.

**Reason:** To ensure that the site and its environs are surveyed and the development does not have an adverse impact on protected species or habitat.

### **Archaeology**

21. No works in connection with the development hereby approved shall commence unless an archaeological Written Scheme of Investigation (WSI) has been submitted to and approved in writing by the planning authority and a programme of archaeological works has been carried out in accordance with the approved WSI. The WSI shall include details of how the recording and recovery of archaeological resources found within



the application site shall be undertaken, and how any updates, if required, to the written scheme of investigation will be provided throughout the implementation of the programme of archaeological works. Should the archaeological works reveal the need for post excavation analysis the development hereby approved shall not be occupied or brought into use unless a Post-Excavation Research Design (PERD) for the analysis, publication and dissemination of results and archive deposition has been submitted to and approved in writing by the planning authority. The PERD shall be carried out in complete accordance with the approved details

**Reason:** In order to protect the archaeological and historic interest of the site.

## **REASON FOR DECISION**

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## **INFORMATIVES**

### **Initiation and Completion Notices**

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

### **Air Source Heat Pumps (ASHP)**

Although a permitted development for existing residential properties, there is a potential for noise from the operation of ASHP units to cause disturbance. Heat pumps must, therefore, be installed in accordance with the

Microgeneration Scheme guidance: - MCS 020 MCS Planning Standards for Permitted Development Installations of Wind Turbines and Air Source Heat Pumps on Domestic Premises.

### **Flood Risk**

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

### **Scottish Water**

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

### **Local Roads Authority Consent**

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

[http://www.highland.gov.uk/info/20005/roads\\_and\\_pavements/101/permits\\_for\\_working\\_on\\_public\\_roads/2](http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2)

### **Mud & Debris on Road**

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

**Construction Hours and Noise-Generating Activities:** You are advised

that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact [env.health@highland.gov.uk](mailto:env.health@highland.gov.uk) for more information.

### **Protected Species – Halting of Work**

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Designation: Area Planning Manager - North

Author: Michael Kordas

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

Document Type	Document No.	Version No.	Date Received
Location Plan	4576-01-004		28 April 2023
Site Layout Plan	4576-02-003	REV D	6 October 2023
Tree Protection Plan	1347.1 - TPP		22 August 2023
Tree Protection Plan	1347.2 - TPP		22 August 2023
Tree Protection Plan	1347.3 - TPP		22 August 2023
Landscaping Plan	383-09-01	REV C	6 October 2023
Landscaping Plan	383-09-02	REV C	6 October 2023
Landscaping Plan	383-09-03	REV C	6 October 2023
Landscaping Plan	383-09-04	REV C	6 October 2023
Landscaping Plan	383-09-05	REV C	6 October 2023
Landscaping Plan	383-09-06	REV C	6 October 2023
Landscaping Plan	383-09-07	REV C	6 October 2023
Landscaping Plan	383-09-08	REV C	6 October 2023
Landscaping Plan	383-09-09	REV C	6 October 2023
Landscaping Plan	383-09-10	REV C	6 October 2023
Road Layout Plan	3844:101/01	REV B	2 October 2023
Road Layout Plan	3844:101/02	REV B	2 October 2023
Road Adoption Plan	3844:104/01	REV B	2 October 2023
Road Adoption Plan	3844:104/02	REV B	2 October 2023
Site Section Plan	4576-01-005		28 April 2023
Drainage Layout Plan	3844:105/01 REV B	REV B	2 October 2023
Drainage Layout Plan	3844:105/02 REV B	REV B	2 October 2023
Road Long Section Plan	3844:102/01	REV C	2 October 2023
Road Long Section Plan	3844:102/02	REV C	2 October 2023
Road Long Section Plan	3844:102/03	REV C	2 October 2023
Road Long Section Plan	3844:102/04	REV C	2 October 2023
Floor Plan– Ness (Handed)	4576-01-117		22 August 2023
Floor Plan -Ness	4576-01-115	REV A	25 July 2023
Floor Plan – Corran	4576-01-125	REV A	25 July 2023
Floor Plan – Cedar	4576-01-105	REV A	25 July 2023
Floor Plan – Beech	4576-01-110	REV A	25 July 2023
Floor Plan – Birch	4576-01-100		28 April 2023
Floor Plan – Lochy	4576-01-120	REV A	25 July 2023
Floor Plan – Torrin	4576-01-130	REV A	25 July 2023
Floor Plan – Calder	4576-01-135	REV A	25 July 2023
Floor Plan – Elm	4576-01-140	REV A	25 July 2023
Floor Plan – Affric	4576-01-145	REV A	25 July 2023
Floor Plan – Tweed	4576-01-150	REV A	25 July 2023
Floor Plan – Etive	4576-01-155	REV A	25 July 2023
Floor Plan – Tarvie	4576-01-160	REV A	25 July 2023

Floor Plan – Willow	4576-01-165	REV A	25 July 2023
Floor Plan – Lochalsh	4576-01-170	REV A	25 July 2023
Floor Plan – Culzean	4576-01-175	REV A	25 July 2023
Elevations – Ness (Handed)	4576-01-118		22 August 2023
Elevations -Ness	4576-01-116		28 April 2023
Elevations – Corran	4576-01-126		28 April 2023
Elevations – Cedar	4576-01-106		28 April 2023
Elevations – Beech	4576-01-111		28 April 2023
Elevations – Birch	4576-01-101		28 April 2023
Elevations – Lochy	4576-01-121		28 April 2023
Elevations – Torrin	4576-01-131		28 April 2023
Elevations – Calder	4576-01-136		28 April 2023
Elevations – Elm	4576-01-141		28 April 2023
Elevations – Affric	4576-01-146		28 April 2023
Elevations – Tweed	4576-01-151		28 April 2023
Elevations – Etive	4576-01-156		28 April 2023
Elevations – Tarvie	4576-01-161		28 April 2023
Elevations – Willow	4576-01-166	REV A	25 April 2023
Elevations – Lochalsh	4576-01-171		28 April 2023
Elevations – Culzean	4576-01-176		28 April 2023
Floor Plan – 1B2P Flats	4576-01-200		28 April 2023
Floor Plan – 2B4P Flats	4576-01-205	REV A	25 July 2023
Floor Plan – 2B3P Bungalow	4576-01-225		28 April 2023
Floor Plan – 2B4P Villa	4576-01-210		28 April 2023
Floor Plan – 3B5P Villa	4576-01-215	REV A	28 April 2023
Floor Plan – 4B7P Villa LH	4576-01-220		28 April 2023
Floor Plan – 4B7P Villa RH	4576-01-222		28 April 2023
Elevations – 1B2P Flats	4576-01-201	REV A	25 July 2023
Elevations – 2B4P Flats	4576-01-206	REV A	25 July 2023
Elevations – 2B3P Bungalow	4576-01-226		28 April 2023
Elevations – 2B3P Bungalow	4576-01-227		28 April 2023
Elevations – 2B4P Villa	4576-01-211	REV A	25 July 2023
Elevations – 2B4P Villa	4576-01-212	REV A	25 July 2023
Elevations – 3B5P Villa	4576-01-216	REV A	25 July 2023
Elevations – 3B5P Villa	4576-01-217	REV A	25 July 2023
Elevations – 3B5P Villa	4576-01-218	REV A	25 July 2023
Elevations – 4B7P Villa LH	4576-01-221		28 April 2023
Elevations – 4B7P Villa RH	4576-01-223		28 April 2023

Appendix 2

Type	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
	Contribution	Rate (per house)	Rate (per flat)	Total Amount* <sup>1</sup>	Index Linked <sup>1</sup>	Base Date* <sup>2</sup>	Payment Trigger* <sup>3</sup>	Accounting Dates* <sup>4</sup>	Clawback Period* <sup>5</sup>
<b>Schools<sup>2</sup></b>									
Primary – Build Costs	Expansion of Ben Wyvis Primary School	£2,041	£1,157	£298,948	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Primary – Land Costs		£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Secondary – Build Costs		£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Secondary – Land Costs		£0.00	£0.00	£0.00	No		TOC/CC	Apr/Oct	15 or 20
<b>Community Facilities</b>	Financial contribution to expand facilities at Maryburgh Amenities Centre and Dingwall Leisure Centre	£1,019	£1,019	£163,040	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
<b>Affordable Housing</b>									
On-site provision <sup>3</sup>	40 units	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Off-site provision <sup>4</sup>	-	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Commuted Sum <sup>5</sup>	-	N/A	N/A	£0.00	N/A	N/A	Insert specific payment date	N/A	5 Years
Agreement for Delivery Needed	Y – scheme for delivery to be agreed four months from date of determination by North Planning Applications Committee, if approved.	N/A	N/A	N/A	N/A	N/A	Insert date for submission to Planning Authority	N/A	N/A
<b>Transport</b>									

<sup>1</sup> If the contribution is to be used towards infrastructure projects involving building e.g. new school, new cycle route etc BCIS ALL IN TENDER will be the index, if it doesn't involve building then another appropriate index may need to be chosen with the agreement of Team Leader

<sup>2</sup> Indicate whether or not 1 bed houses/flats are exempt

<sup>3</sup> Indicate whether a penalty payment due for late delivery (and, if so, what it is based upon).

<sup>4</sup> As above

<sup>5</sup> Indicate whether a penalty payment is due for late payment of commuted sum (and, if so, what it is based upon)

	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
Type	Contribution	Rate (per house)	Rate (per flat)	Total Amount*1	Index Linked <sup>1</sup>	Base Date*2	Payment Trigger*3	Accounting Dates*4	Clawback Period*5
Active Travel		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Safer Routes to Schools		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Public Realm		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Wayfinding		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Public Transport		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
School Transport	Contribution for enhanced school bus provision between Conon Bridge and Dingwall Academy (Amount TBC)	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Road Improvements		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Parking		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
EV Charging		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Traffic Signals		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Lighting		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Road Traffic Orders		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Cumulative Transport Contributions		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
<b>Green Infrastructure</b>									
Open Space		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Green Network		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Built/Natural Heritage		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
<b>Water and Waste</b>									
Catchment Improvement Works		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Strategic Flood Scheme		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Maintenance of SuDs		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Off Street Waste Storage		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Recycling Point Provision		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Glass Banks		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
		£0.00	£0.00	£0.00					
<b>Public Art</b>		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
<b>Other (Please Specify)</b>		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20

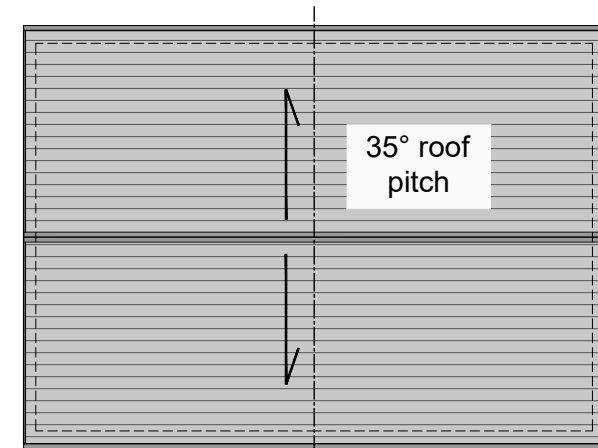
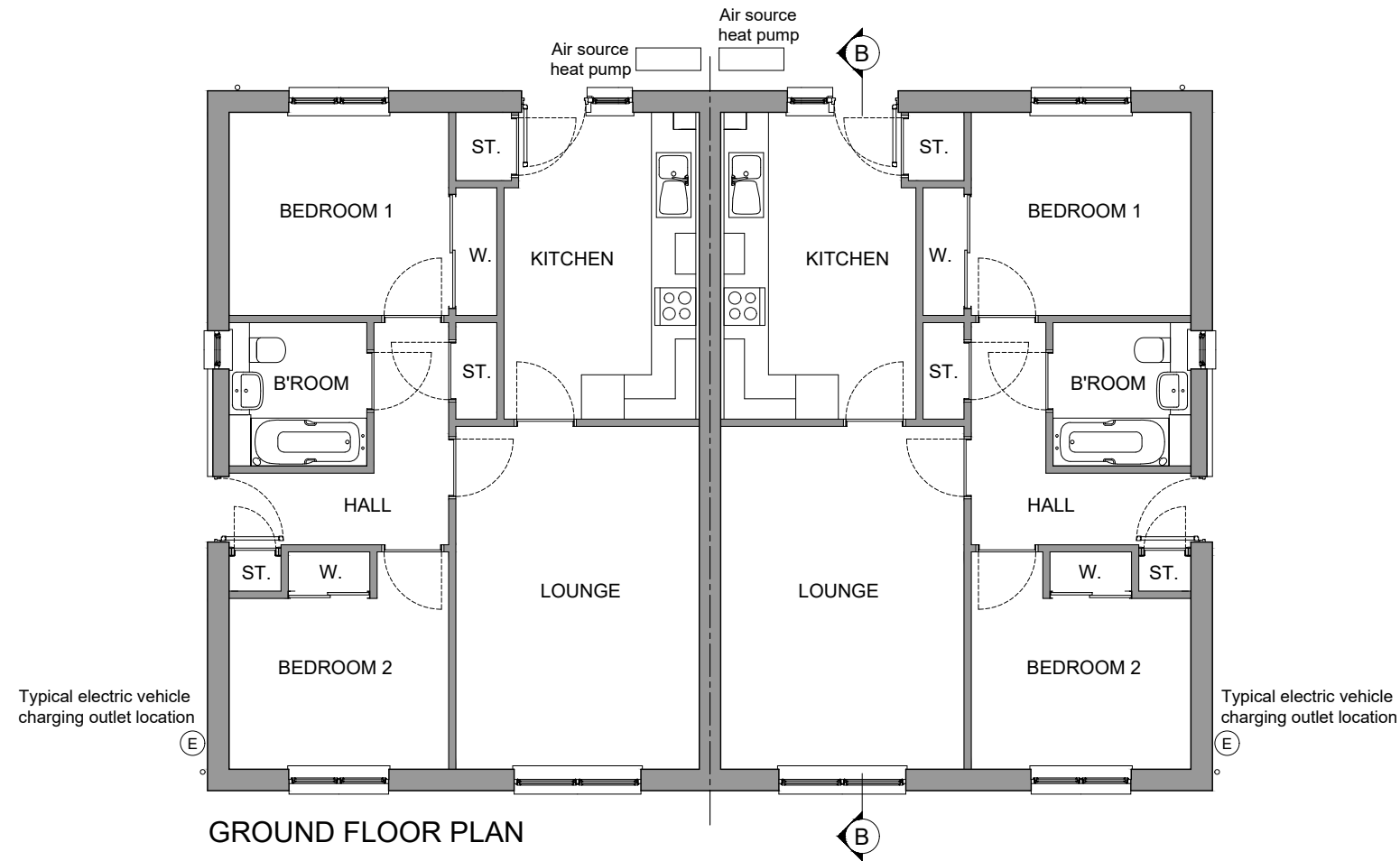
- \*1 Adjust total to take account of flat exemptions
- \*2 Base Date – Set out in Supplementary Guidance on Developer Contributions
- \*3 TOC/CC – The earlier of the issue of either a temporary occupation certificate or a completion certificate – or specify alternative time if appropriate
- \*4 Accounting dates - 1 April and 1 October each year of development (if the contribution is to be paid on a basis other than related to units completed in the preceding 6 months (e.g. lump sum on a specific date) then indicate this instead of the Apr/Oct payment dates)
- \*5 Clawback – 15 years for Major development; 20 years for Local development

**Other Legal Agreement requirements**

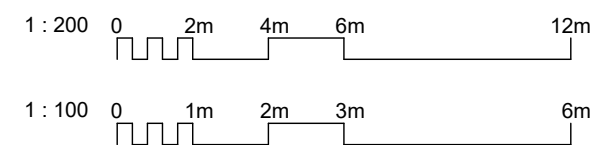
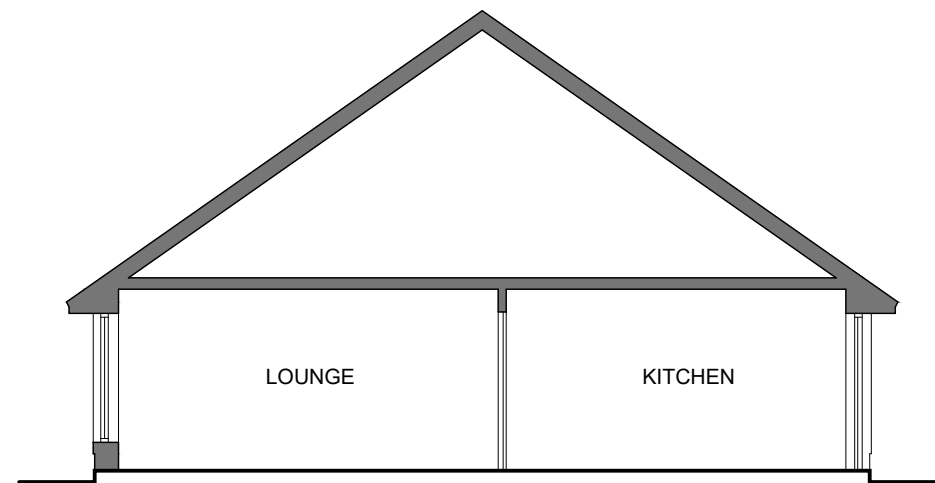
Type	Details
Bond	N/A
Habitat Management Plan	The Habitat Management Plan shall set out proposed habitat management of the site including all mitigation, compensation and enhancement measures as outlined in the approved Biodiversity Enhancement Assessment, dated July 2023, during the period of construction, operation, decommissioning, restoration and aftercare, and shall provide for the maintenance, monitoring and reporting of the habitat on site.
Road Survey	N/A
Land and Asset Transfer	N/A



**Birch**  
 1 storey semi-detached house / 2 Bedrms  
 Floor Area = 66m<sup>2</sup>



ROOF PLAN (1:200@A3)



REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

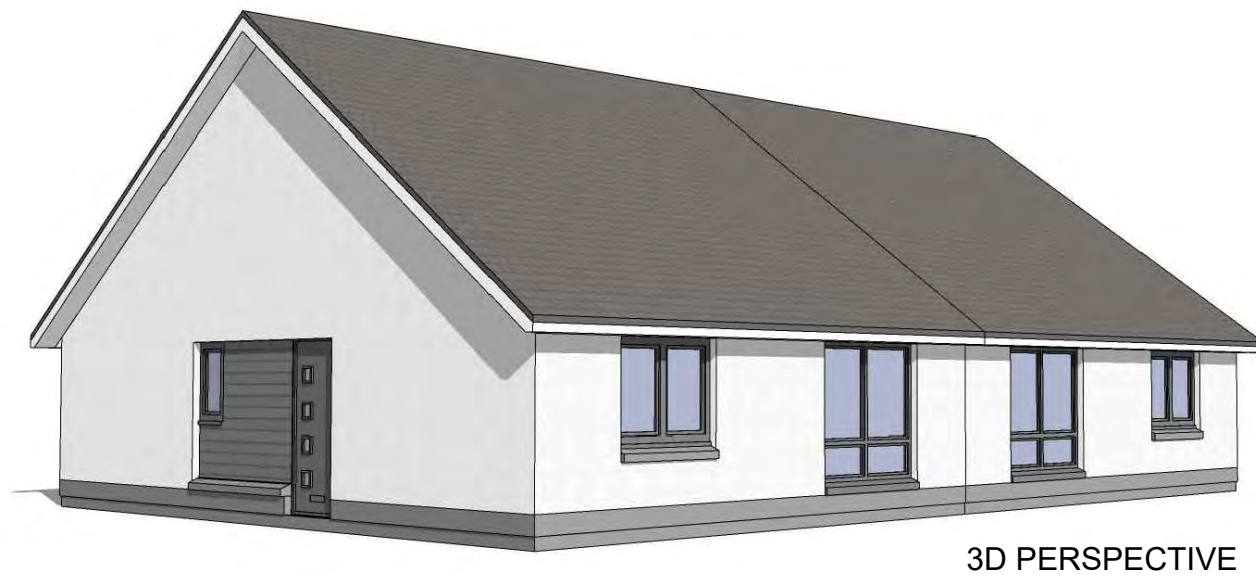
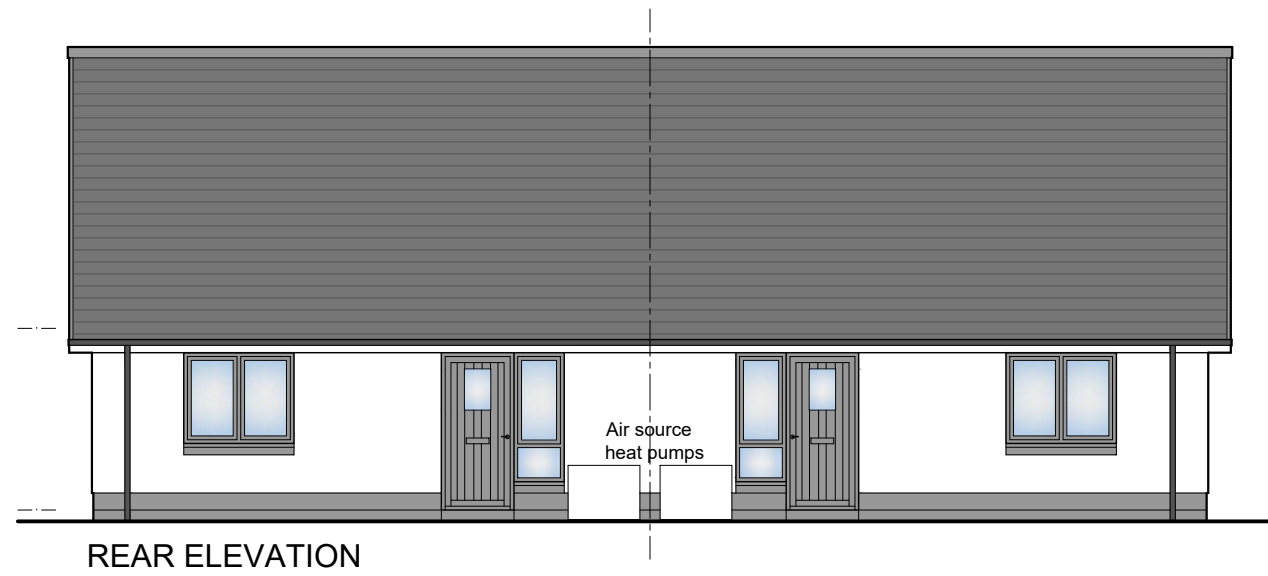
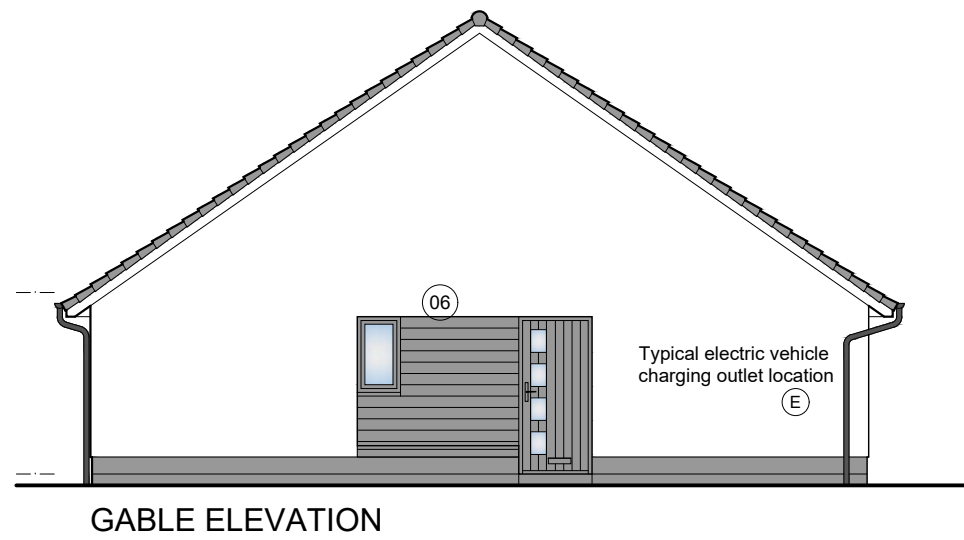
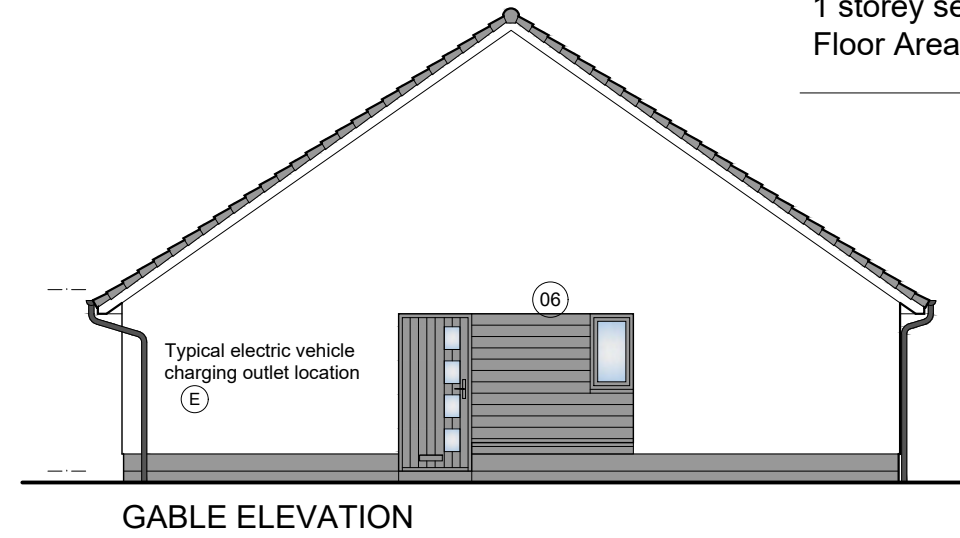
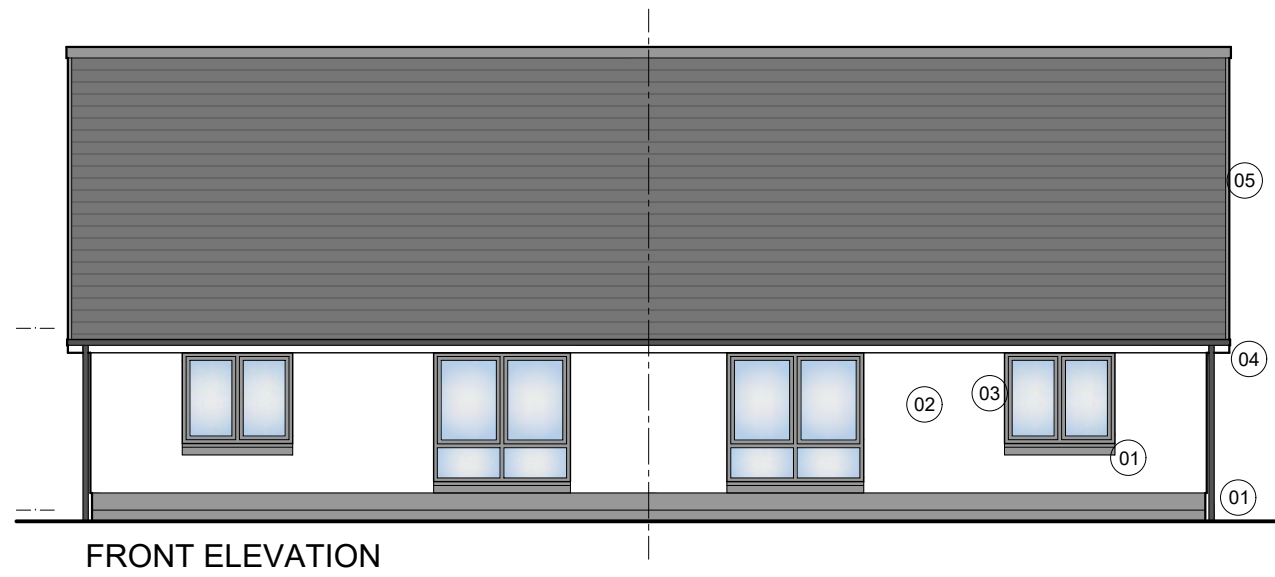
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

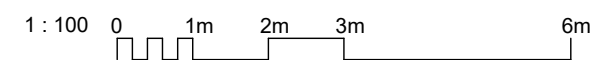
BIRCH PLANS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-100		REV.

**Birch**  
 1 storey semi-detached house / 2 Bedrms  
 Floor Area = 66m<sup>2</sup>



- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

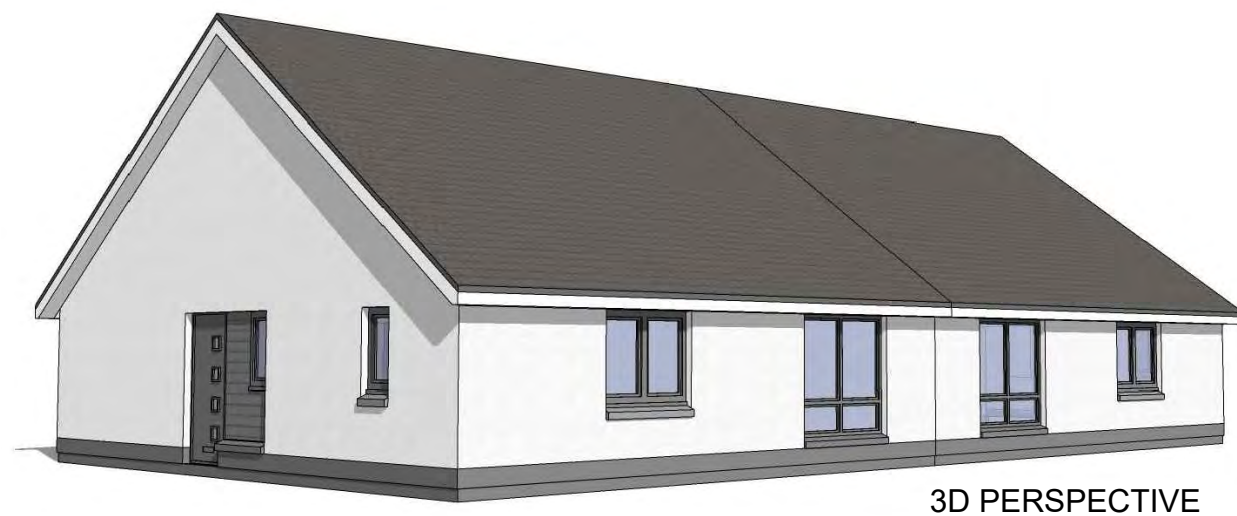
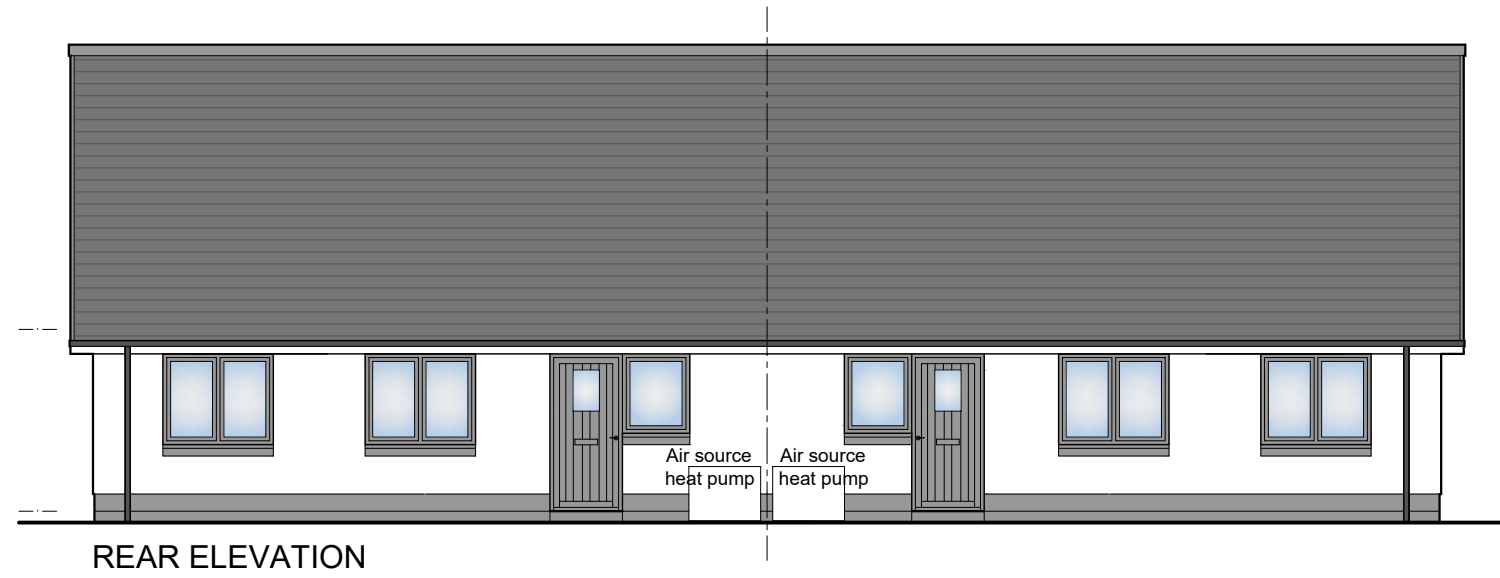
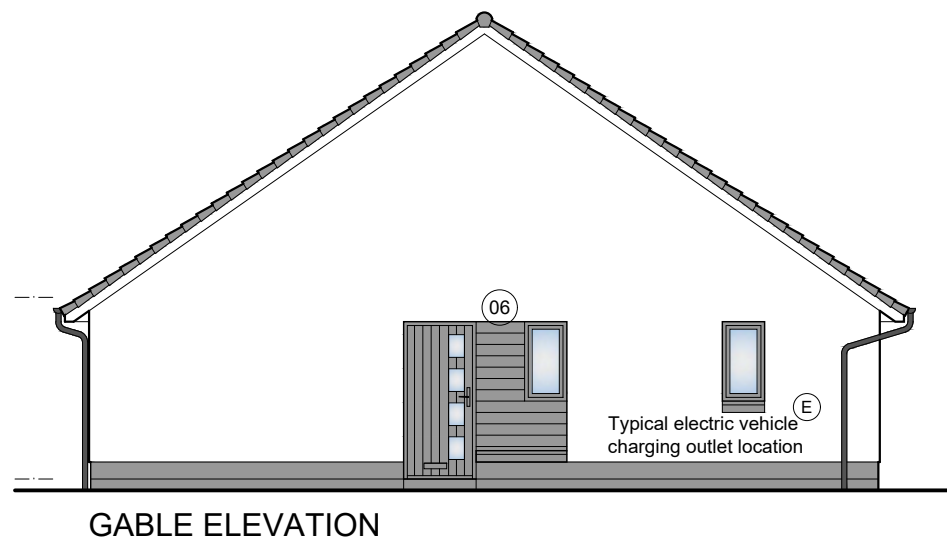
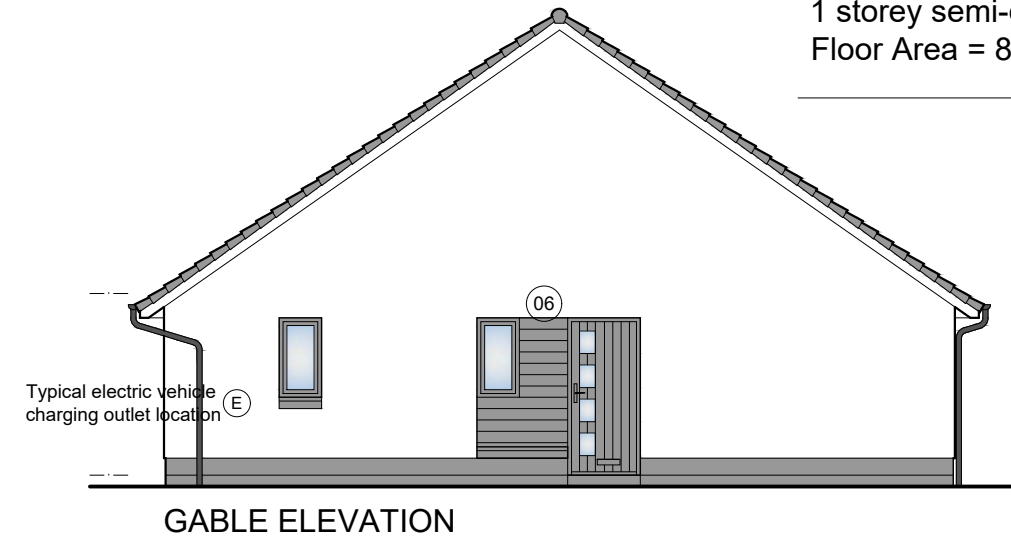
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

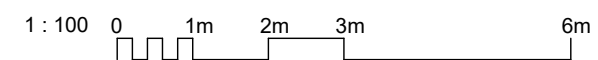
BIRCH ELEVATIONS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-101		REV.

**Cedar**  
 1 storey semi-detached house / 3 Bedrms  
 Floor Area = 82m<sup>2</sup>



- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN
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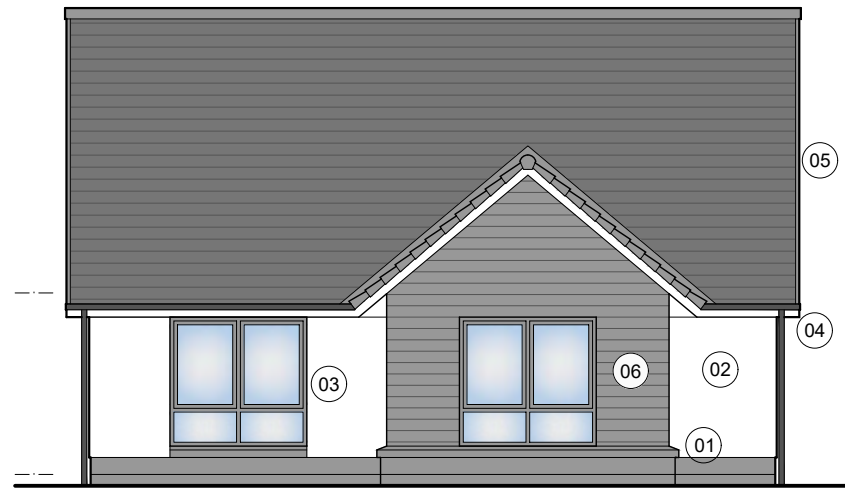
**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

**CEDAR ELEVATIONS**

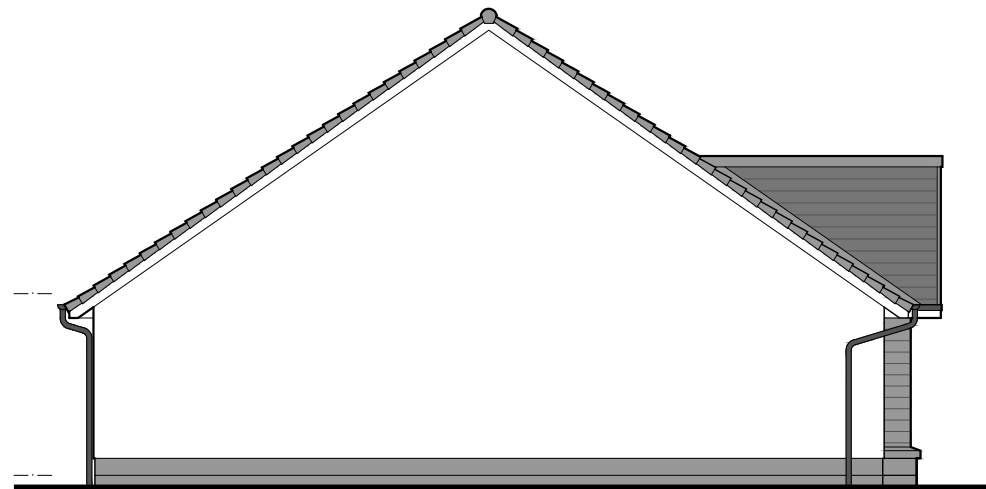
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DWG No.	4576-01-106		REV.



FRONT ELEVATION



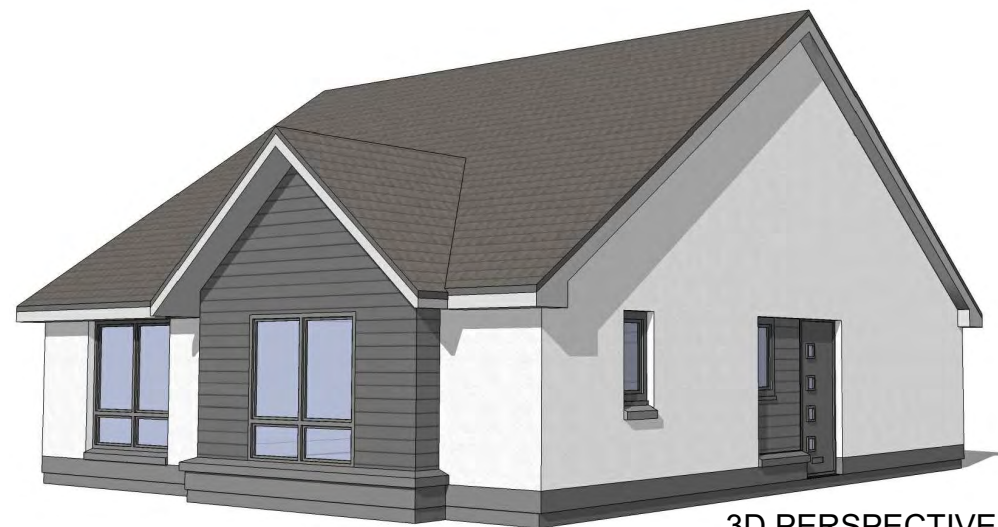
GABLE ELEVATION



GABLE ELEVATION

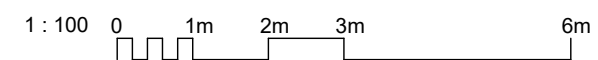


REAR ELEVATION



3D PERSPECTIVE

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN
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## Bracewell Stirling CONSULTING

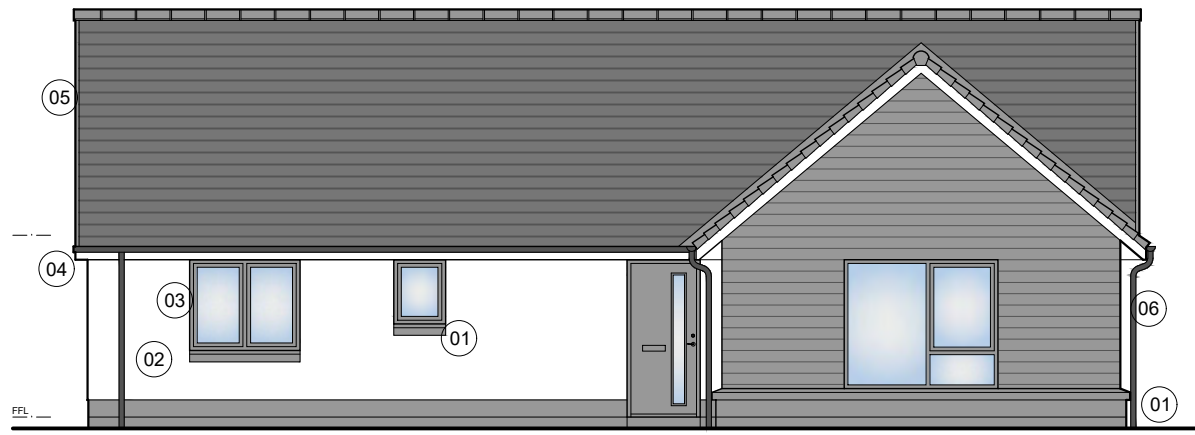
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

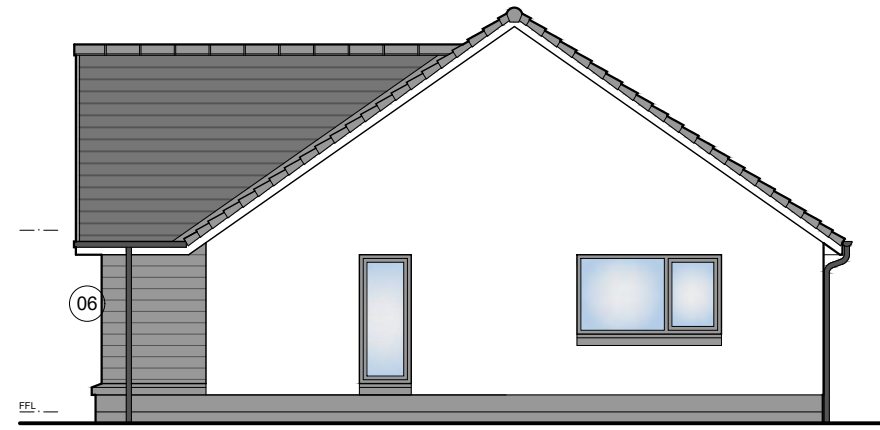
BEECH ELEVATIONS

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PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-111		REV.

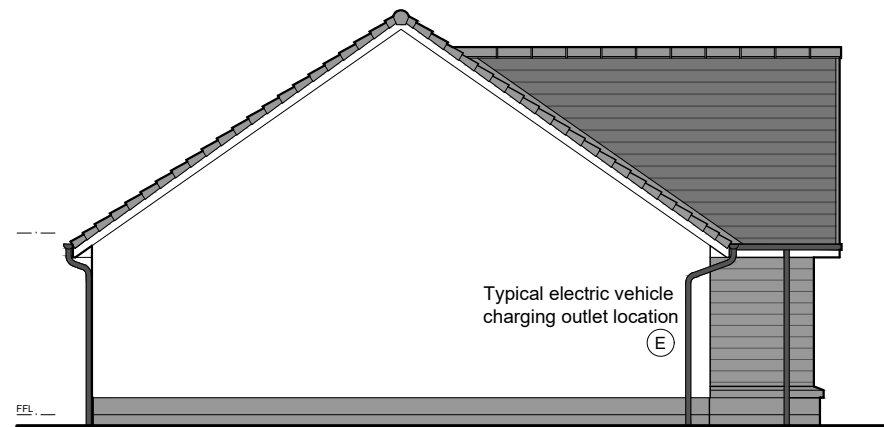
**Ness**  
 1 storey detached house / 3 Bedrooms  
 Floor Area = 105m<sup>2</sup>



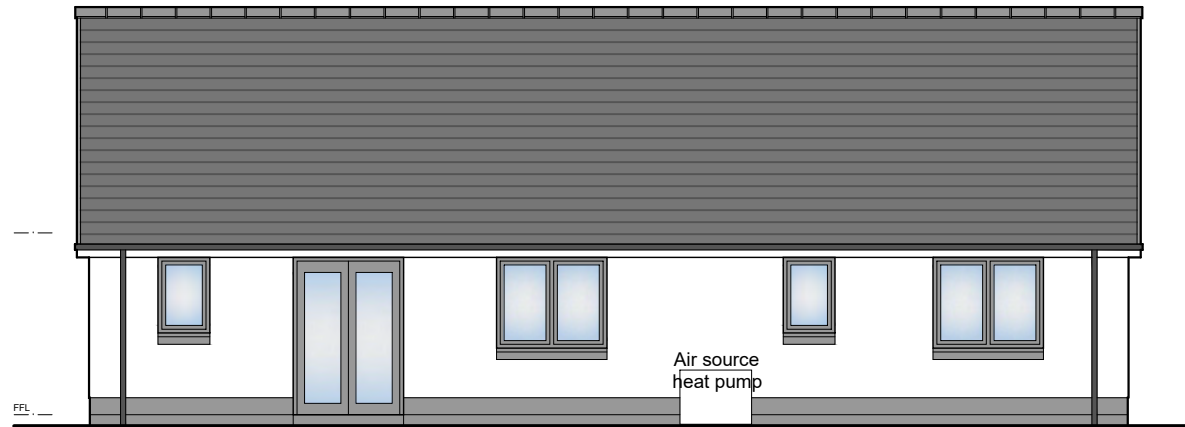
FRONT ELEVATION



ENHANCED GABLE ELEVATION



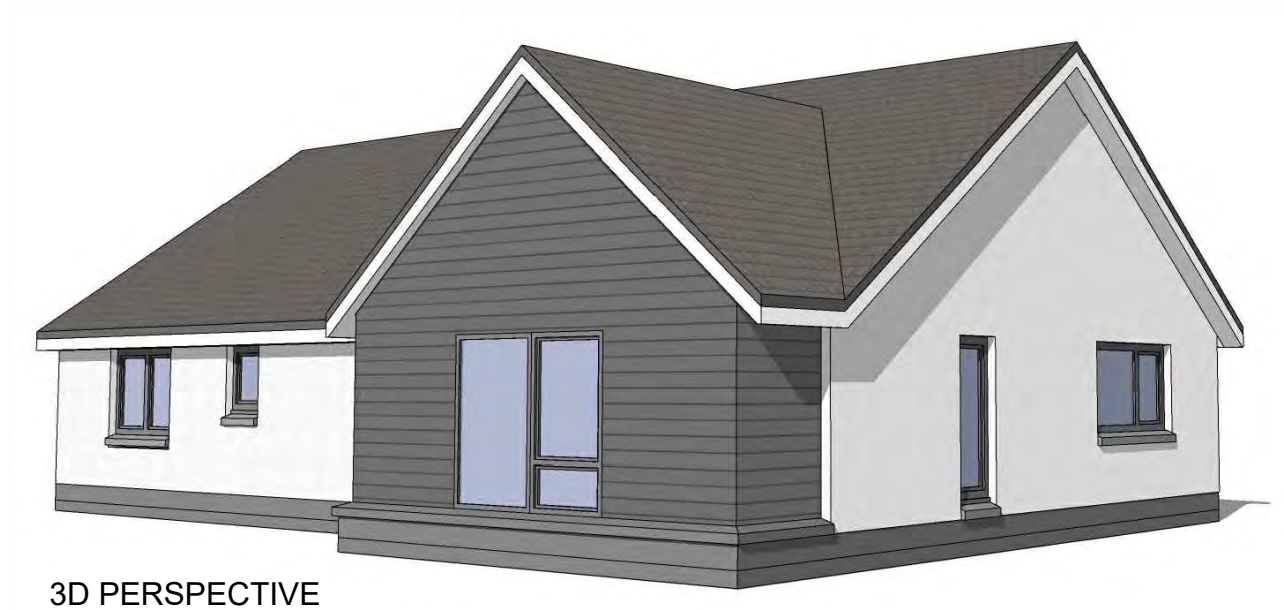
GABLE ELEVATION



REAR ELEVATION

Typical electric vehicle charging outlet location (E)

Air source heat pump



3D PERSPECTIVE

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule

1 : 100 0 1m 2m 3m 6m

REV DATE DESCRIPTION DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

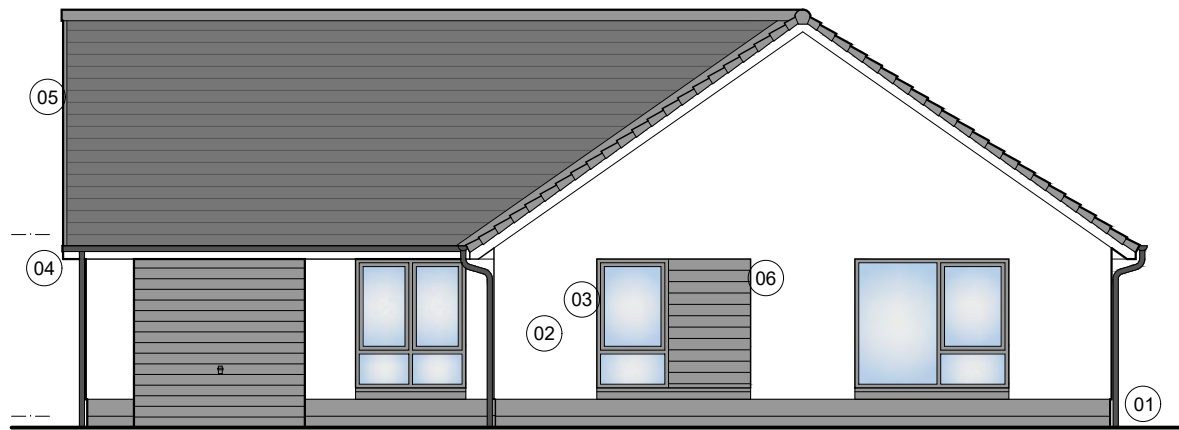
NESS ELEVATIONS

SCALE: 1 : 100 DRAWN: PL  
 PAPER SIZE: A3 DATE: Apr 2023

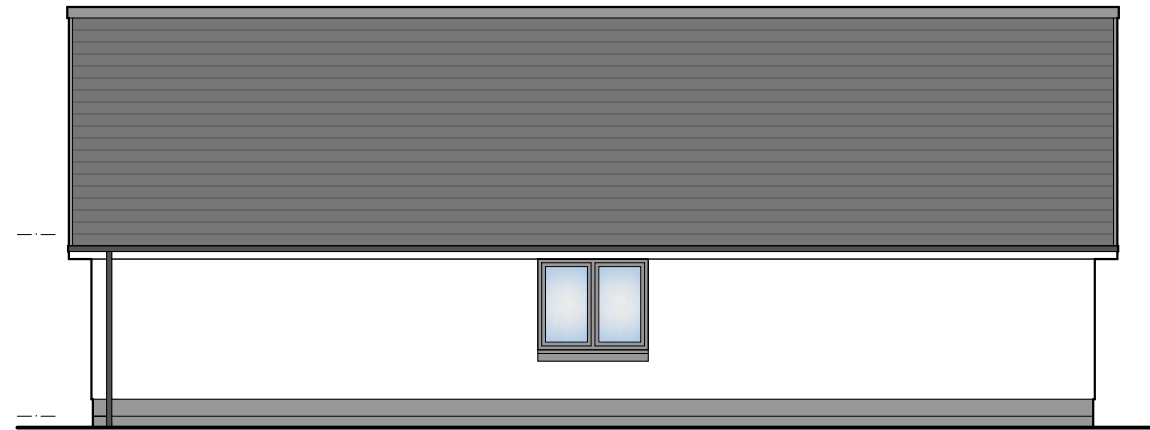
DWG No. 4576-01-116 REV.



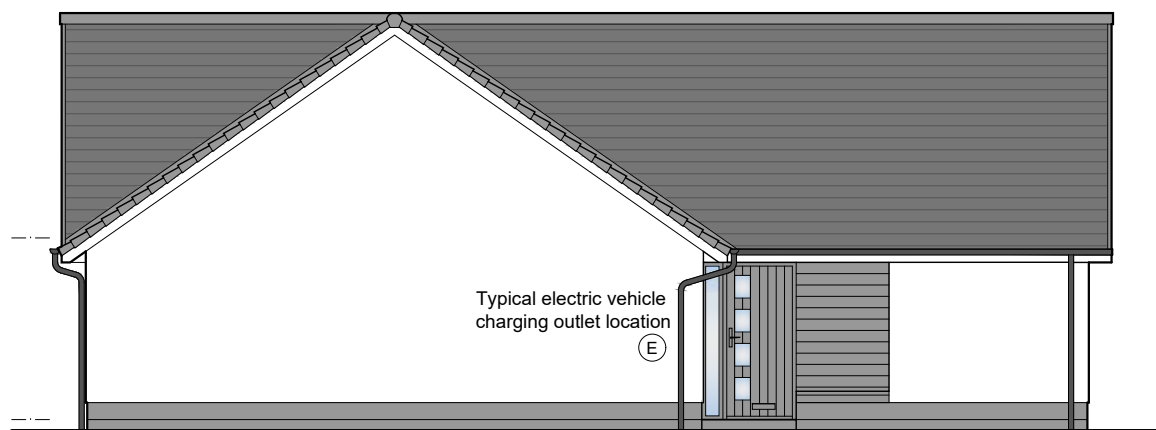
**Lochy**  
 1 storey detached house / 3 Bedrooms  
 Floor Area = 117m<sup>2</sup>



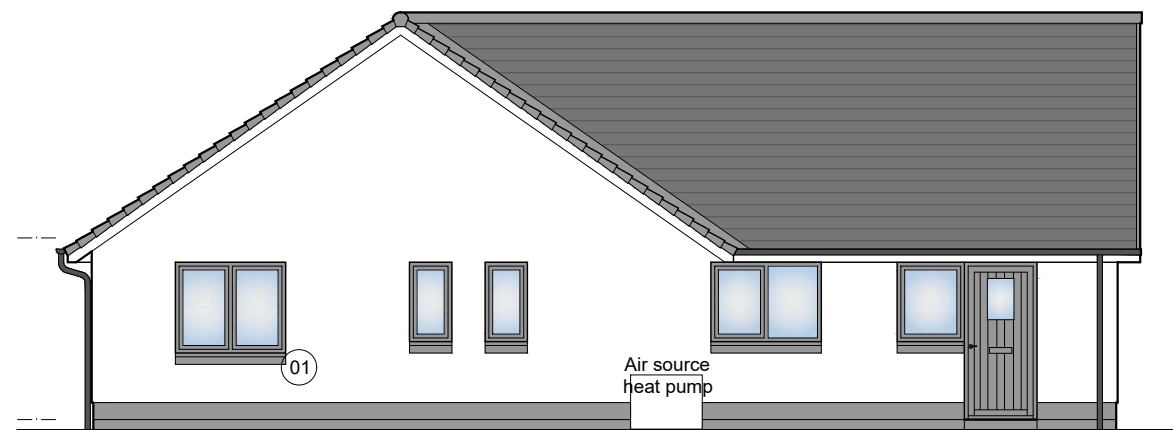
FRONT ELEVATION



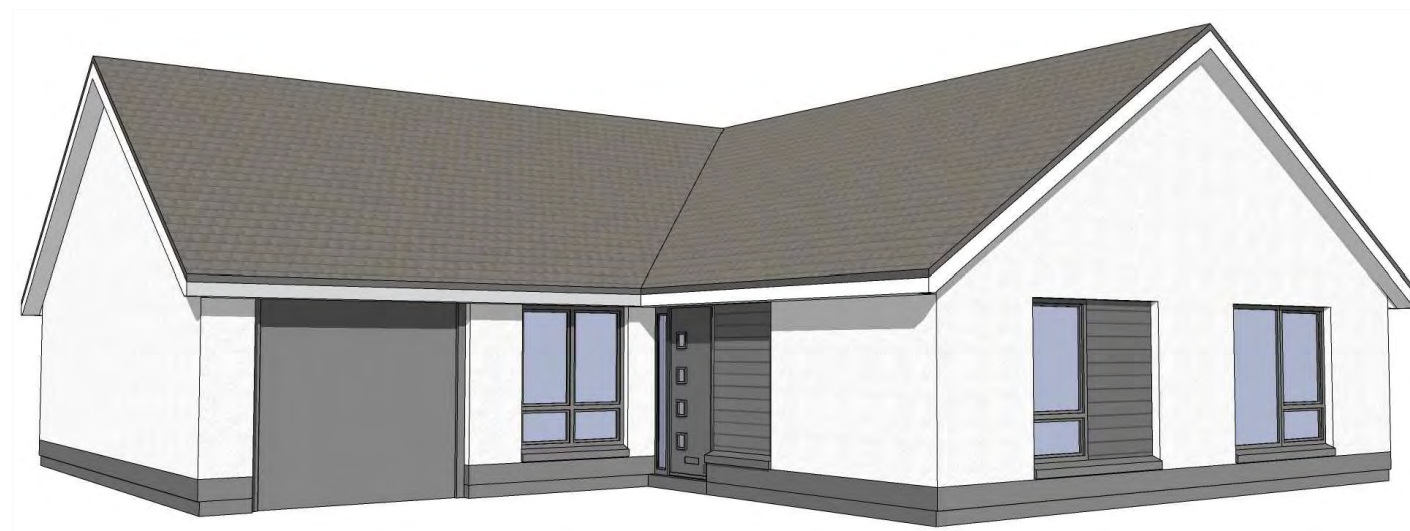
SIDE ELEVATION



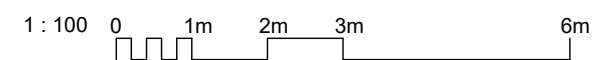
SIDE ELEVATION



REAR ELEVATION



- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

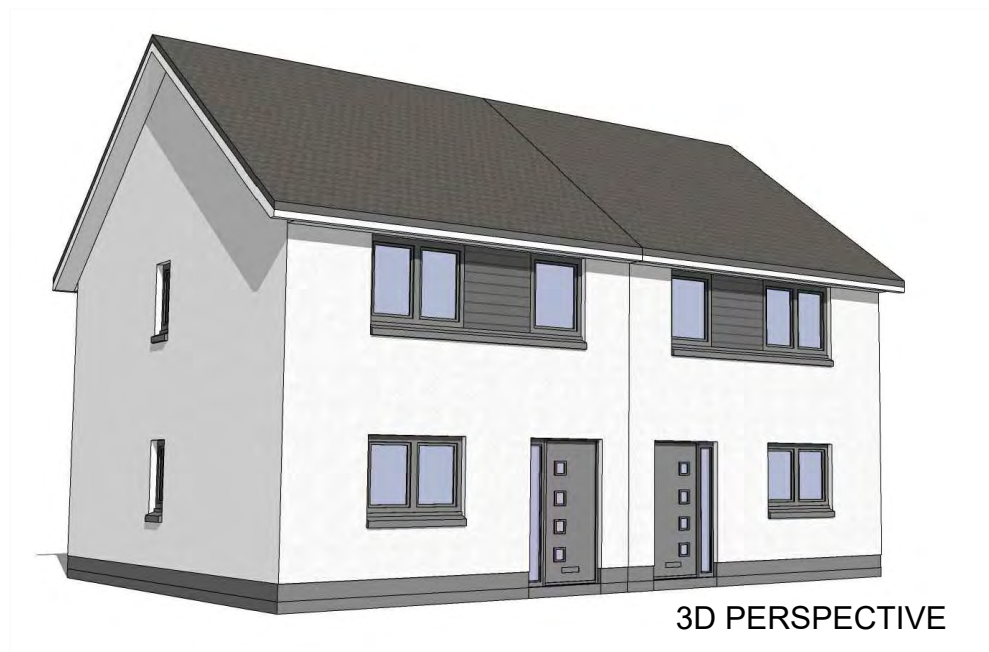
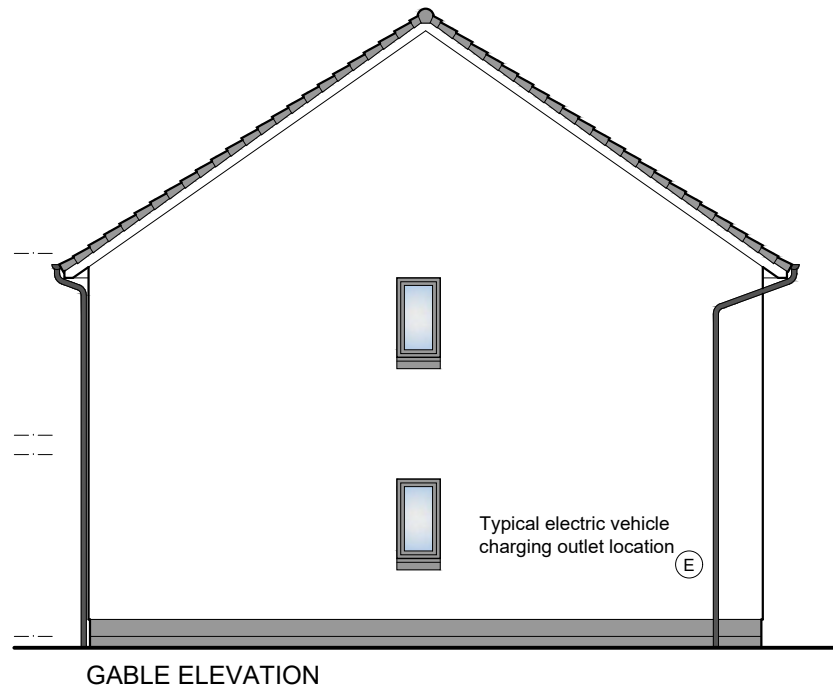
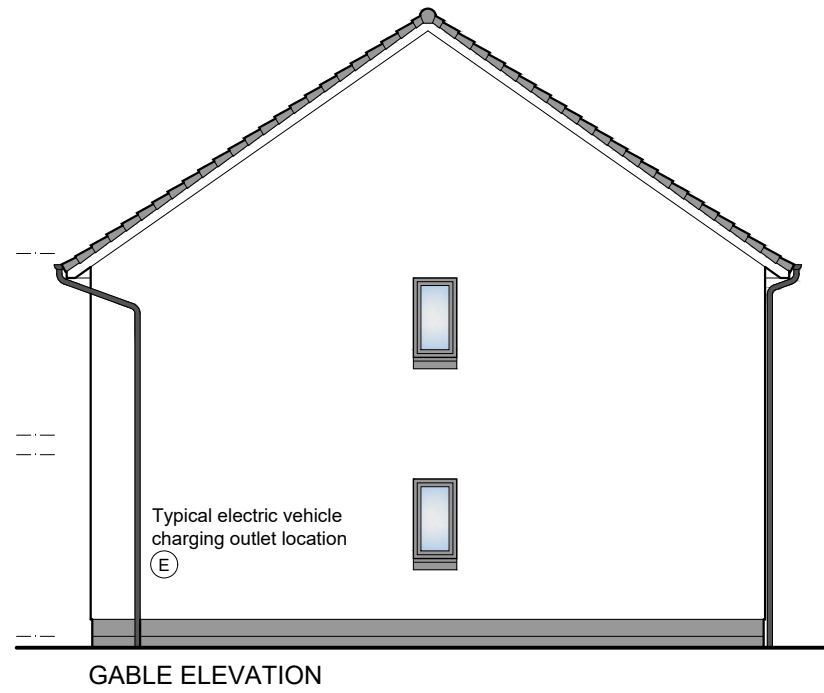
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

LOCHY ELEVATIONS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-121		REV.

**Corran**  
 2 storey semi-detached house / 3 Beds  
 Floor Area = 82m<sup>2</sup>



- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule

1 : 100 0 1m 2m 3m 6m

REV DATE DESCRIPTION DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

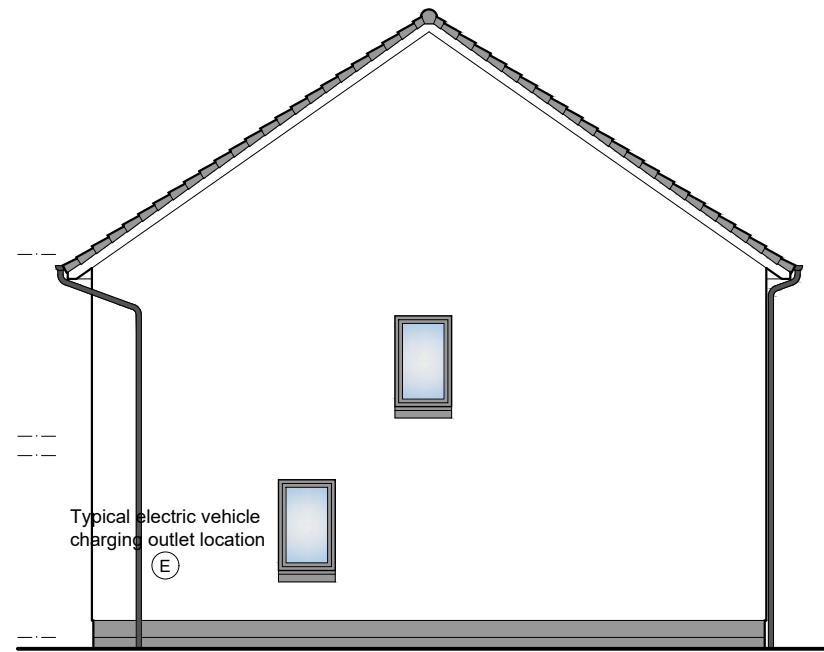
**CORRAN ELEVATIONS**

SCALE:	1 : 100	DRAWN:	PL
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DWG No.	4576-01-126		REV.

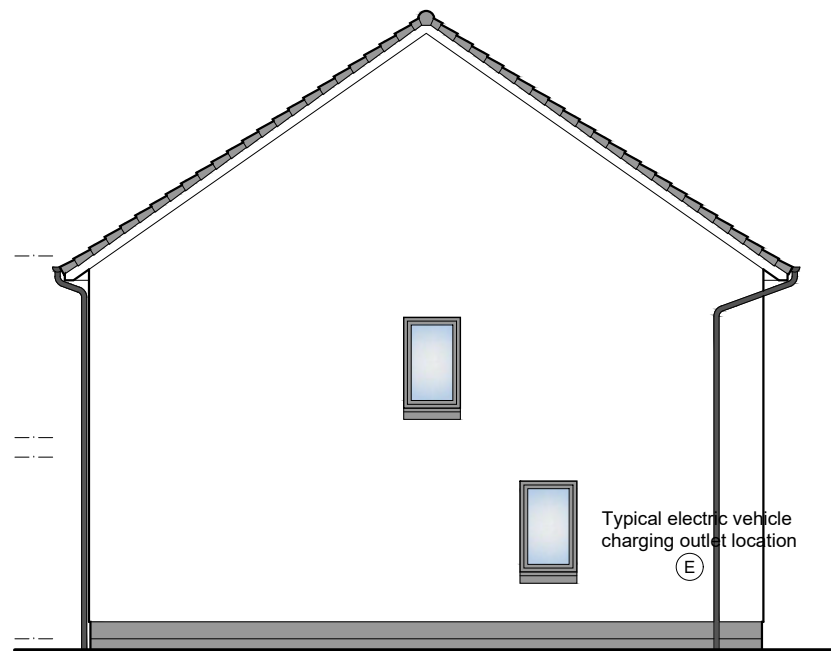
**Torrin**  
 2 storey semi-detached house / 3 Beds  
 Floor Area = 88m<sup>2</sup>



FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION



REAR ELEVATION



3D PERSPECTIVE

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule

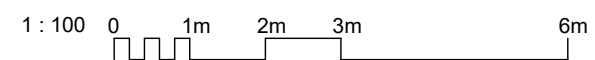
REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

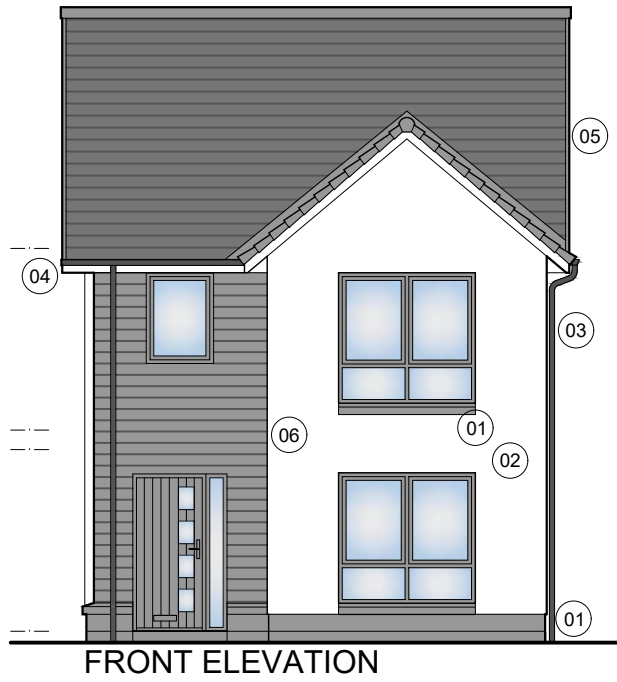
TORRIN ELEVATIONS



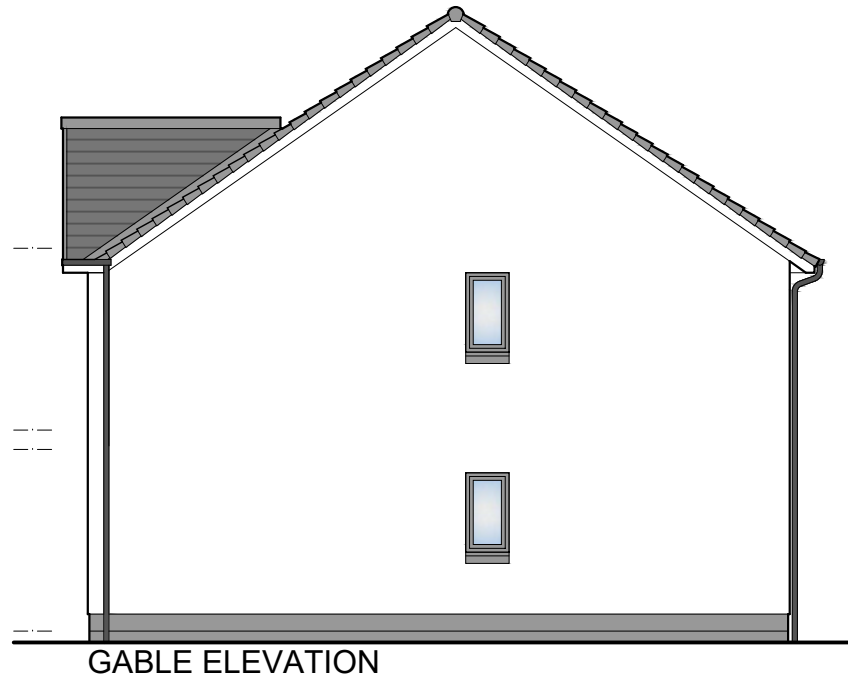
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PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-131		REV.



**Calder**  
 2 storey detached house / 3 Bedrooms  
 Floor Area = 91m<sup>2</sup>



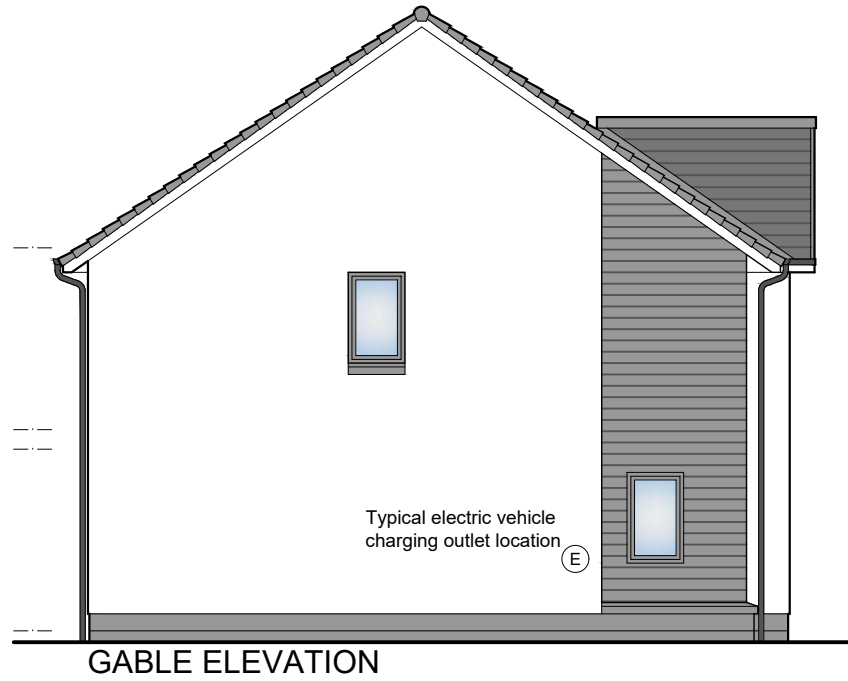
FRONT ELEVATION



GABLE ELEVATION



REAR ELEVATION



GABLE ELEVATION

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule

REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

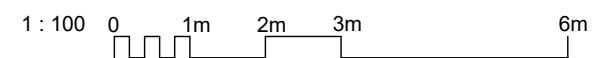
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

CALDER ELEVATIONS

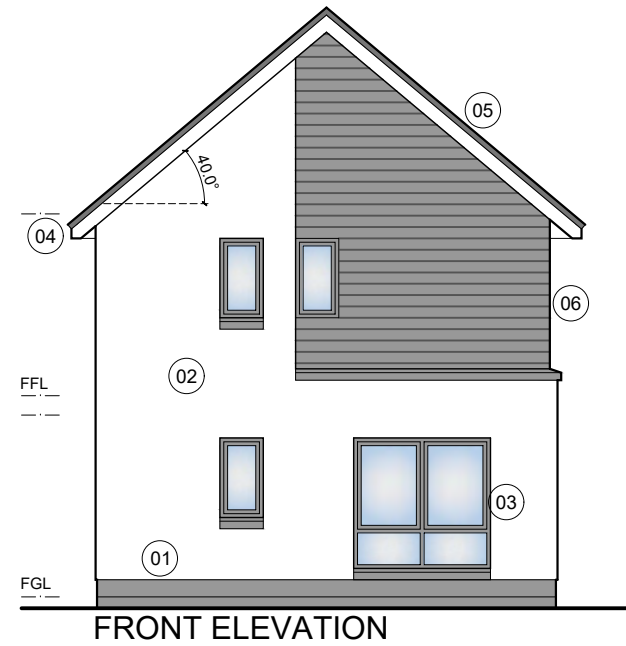


3D PERSPECTIVE



SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-136		REV.

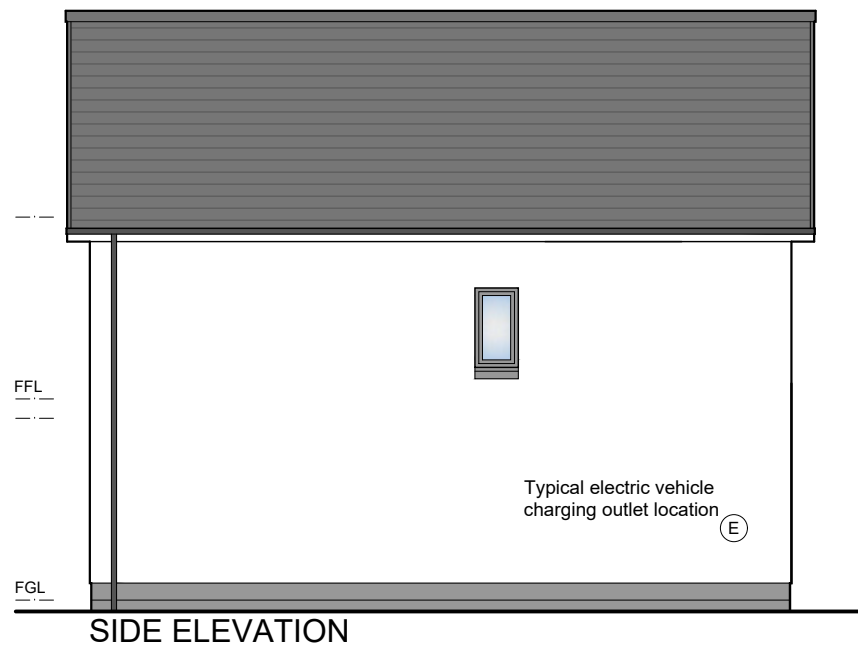
**Elm**  
 2 storey detached house / 3 Bedrooms  
 Floor Area = 96m<sup>2</sup>



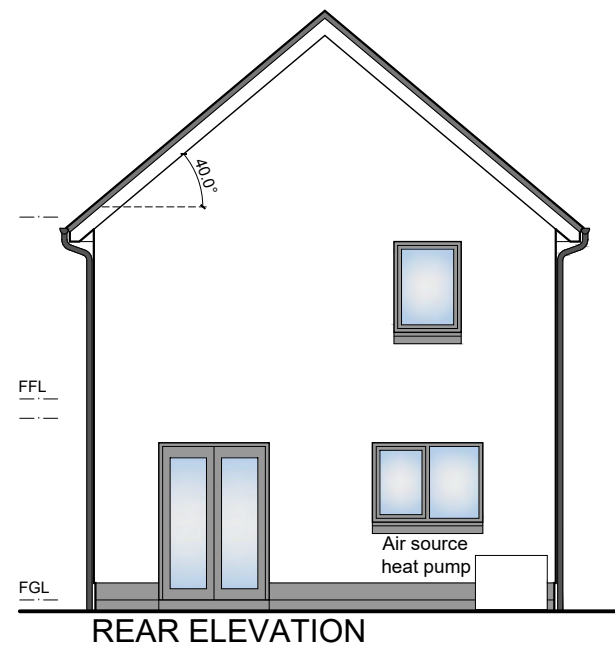
FRONT ELEVATION



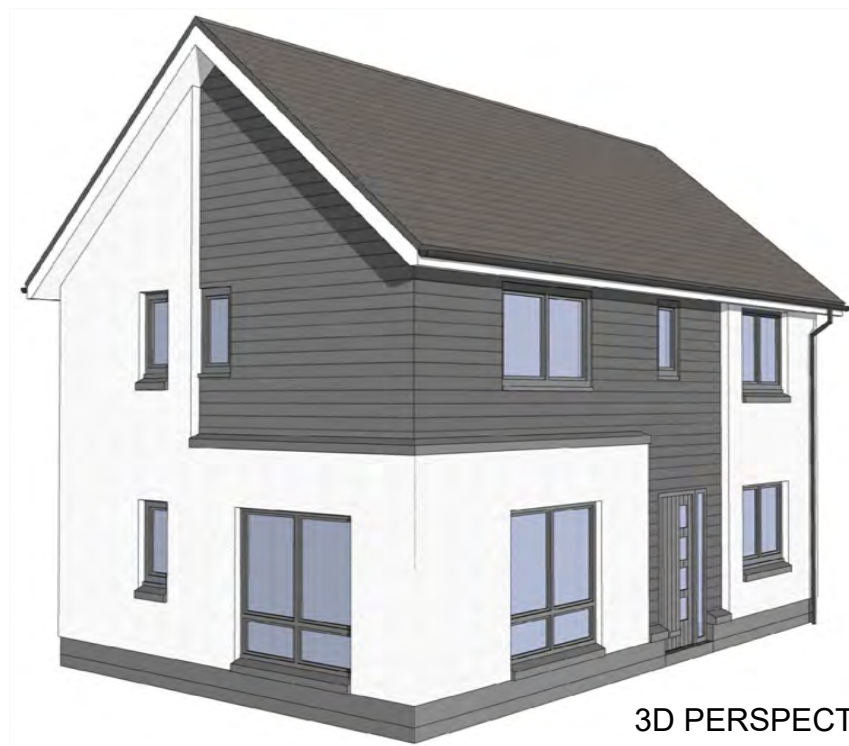
ENTRANCE ELEVATION



SIDE ELEVATION

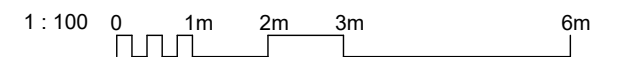


REAR ELEVATION



3D PERSPECTIVE

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

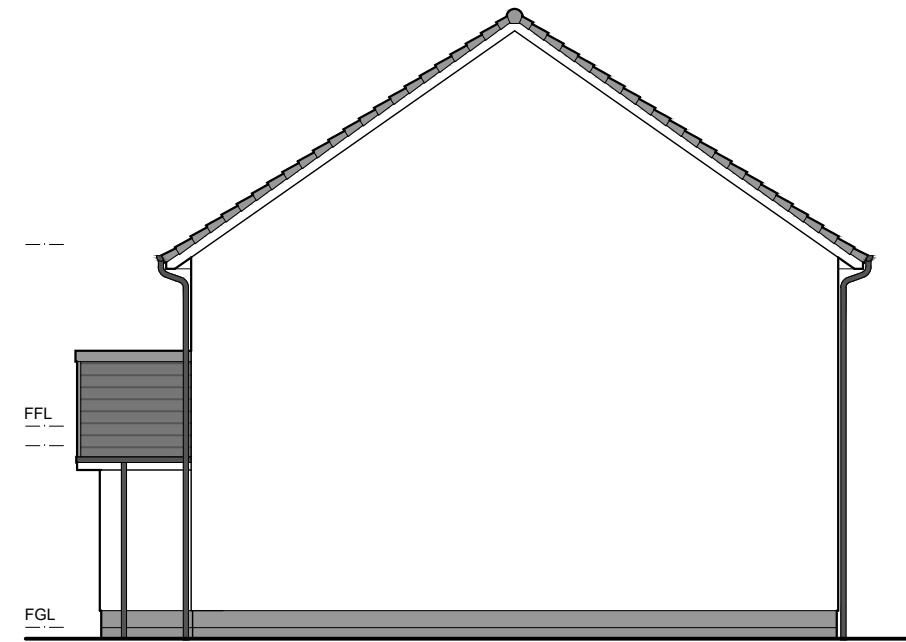
ELM ELEVATIONS

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PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-141		REV.

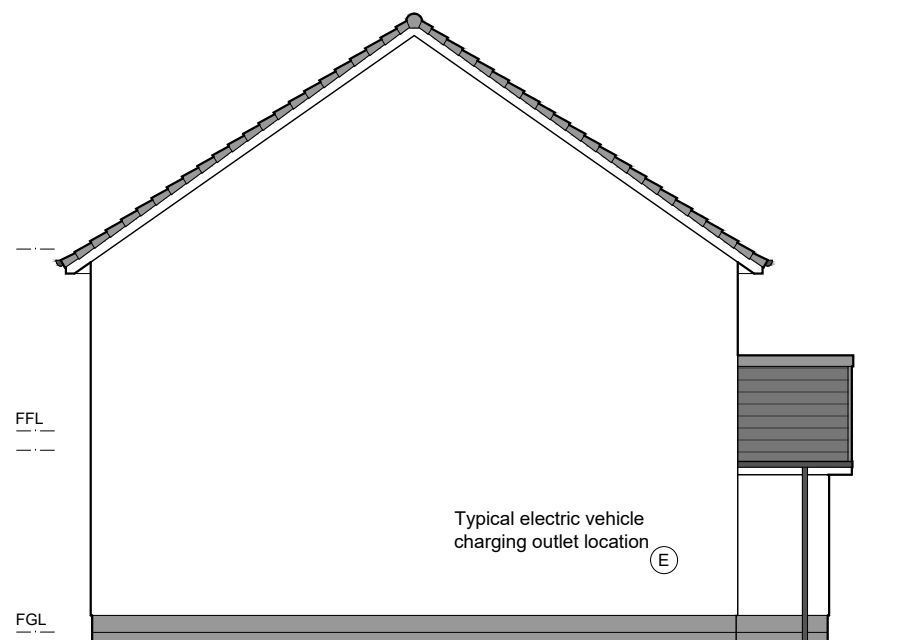
**Affric**  
 2 storey detached house / 3 Bedrooms  
 Floor Area = 105m<sup>2</sup>



FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION

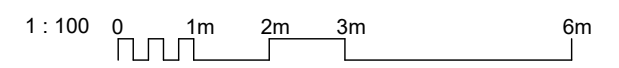


REAR ELEVATION



3D PERSPECTIVE

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
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  - 05 Concrete roof tiles
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- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

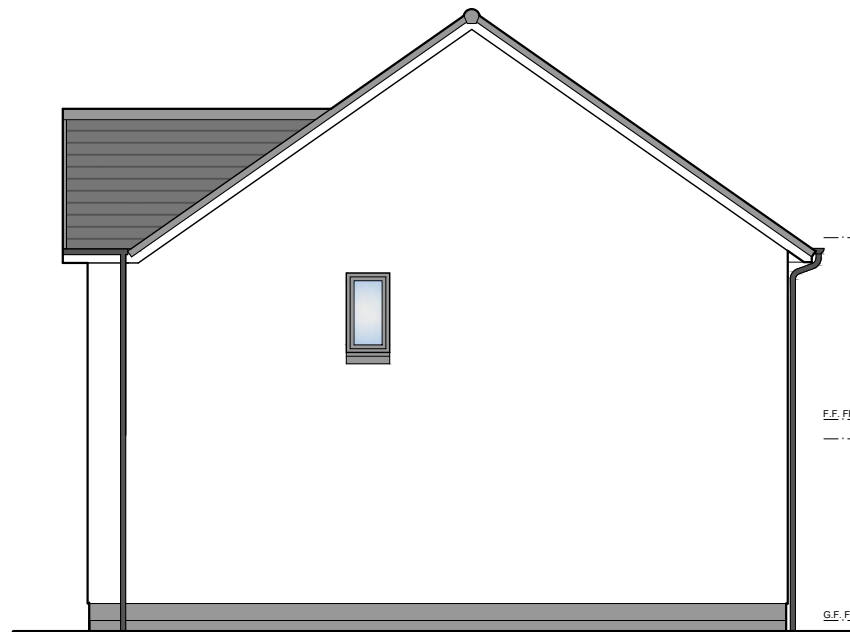
SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD  
 AFFRIC ELEVATIONS

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-146		REV.

**Tweed**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 105m<sup>2</sup>



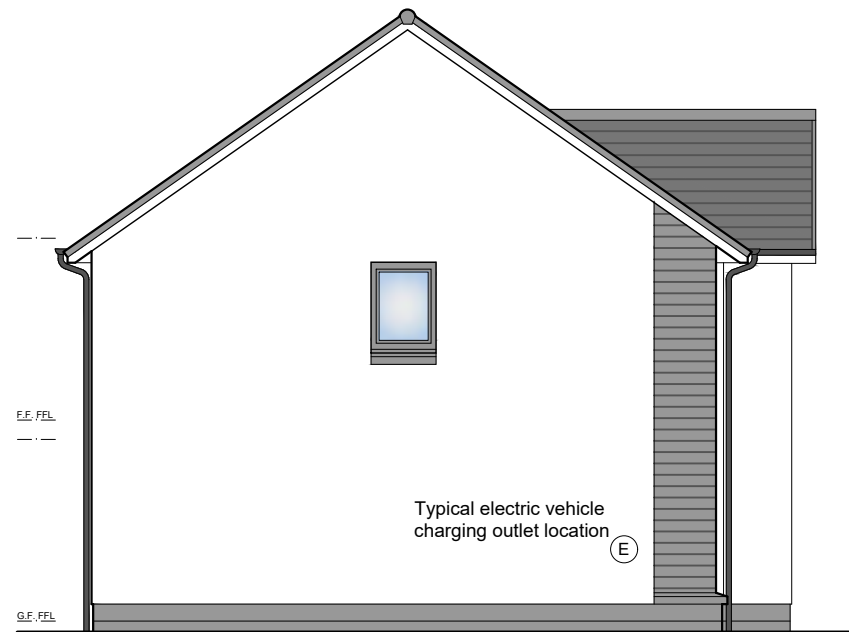
FRONT ELEVATION



GABLE ELEVATION



REAR ELEVATION

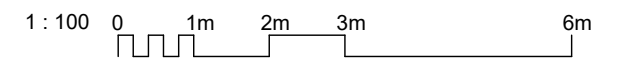


GABLE ELEVATION



3D PERSPECTIVE

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
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REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

TWEED ELEVATIONS

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-151	REV.	



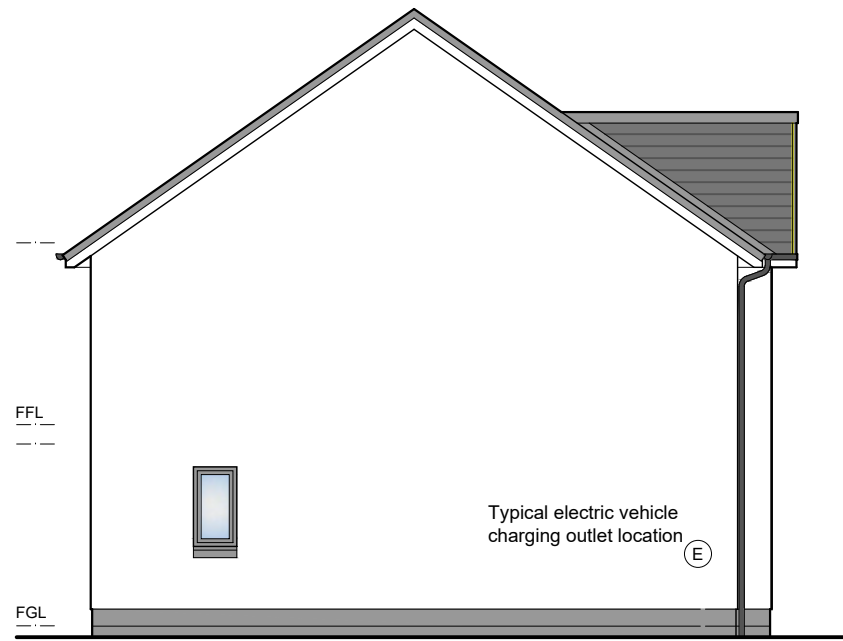
**Etive**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 118m<sup>2</sup>



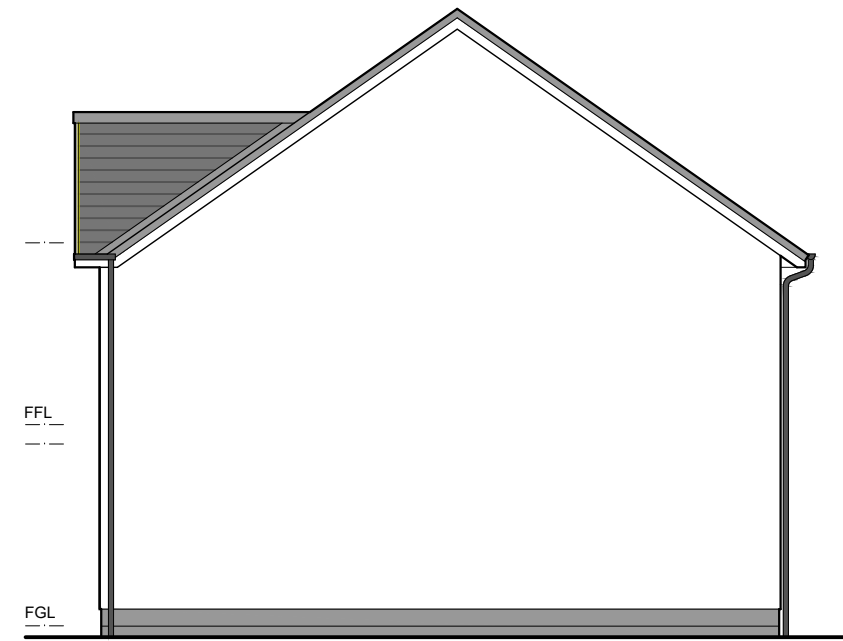
FRONT ELEVATION



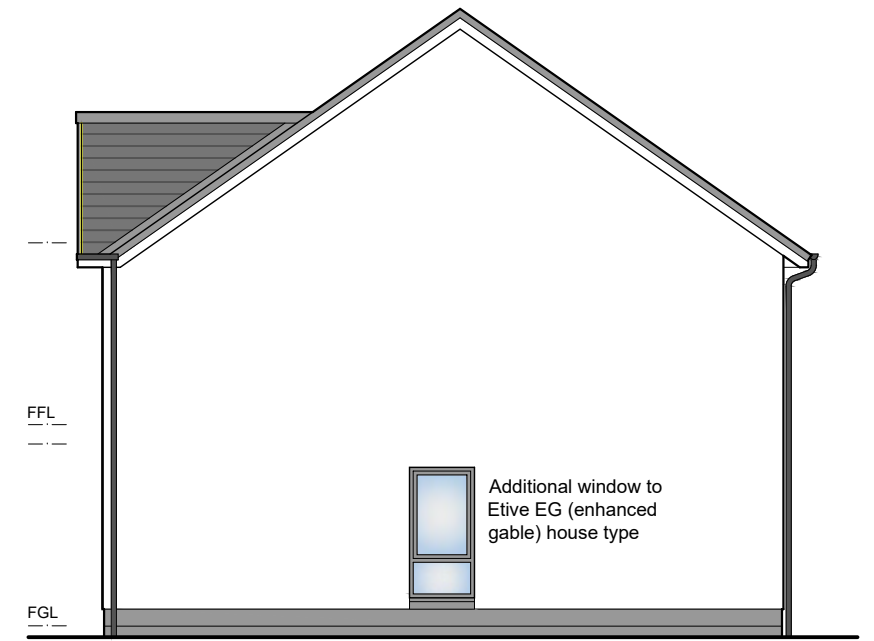
REAR ELEVATION



GABLE ELEVATION



GABLE ELEVATION

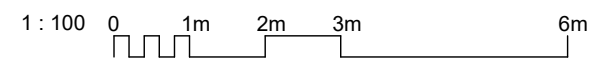


GABLE ELEVATION



3D PERSPECTIVE

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

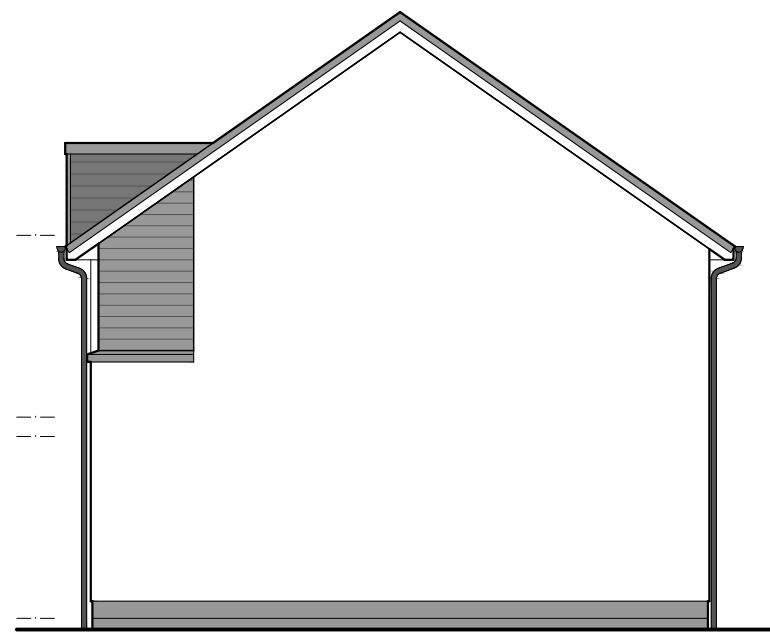
SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

ETIVE ELEVATIONS

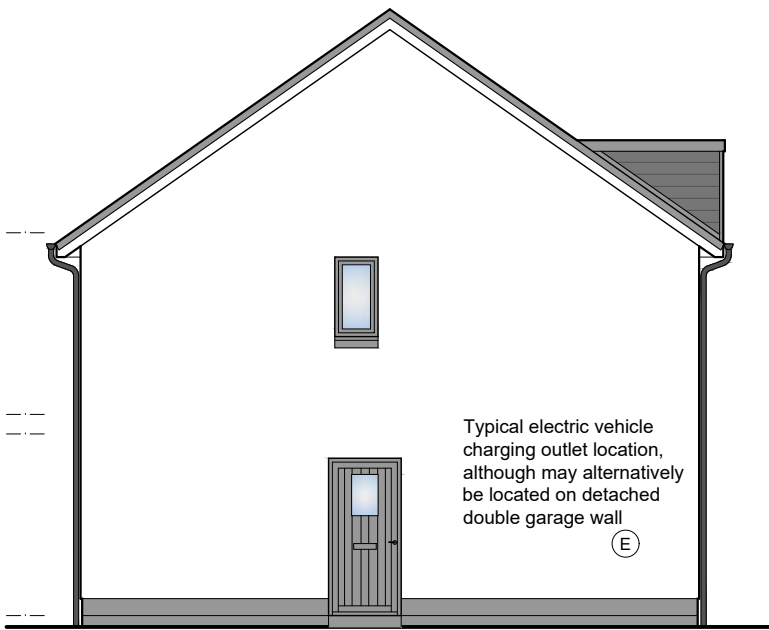
SCALE: #####	DRAWN: --
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DWG No. 4576-01-156	REV.



FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION



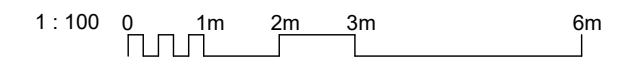
REAR ELEVATION



3D PERSPECTIVE

**Tarvie**  
2 storey detached house / 4 Bedrooms  
Floor Area = 124m<sup>2</sup>

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

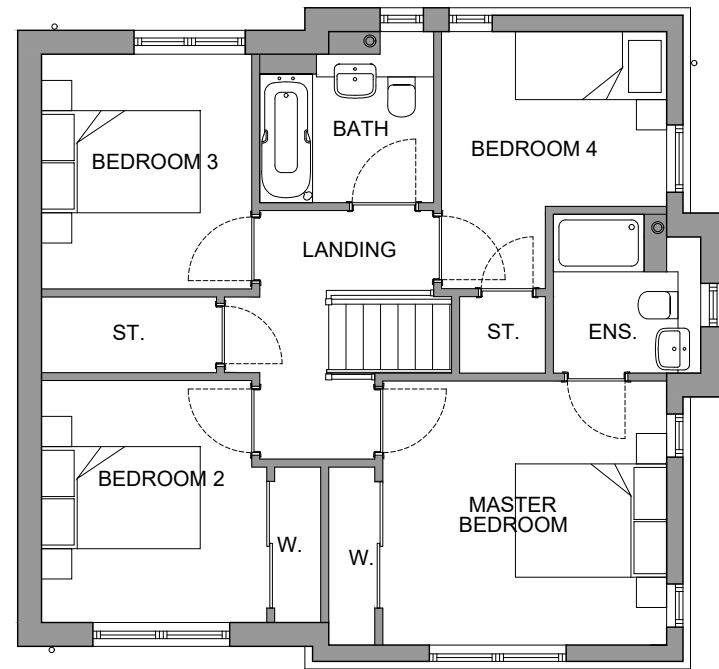
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
CONON BRIDGE  
TULLOCH HOMES LTD

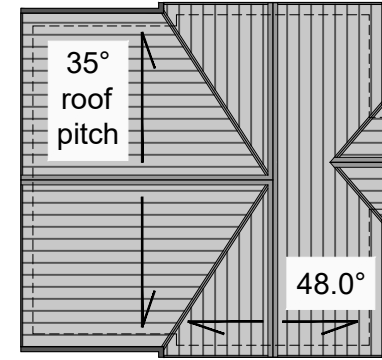
TARVIE ELEVATIONS

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-161		REV.

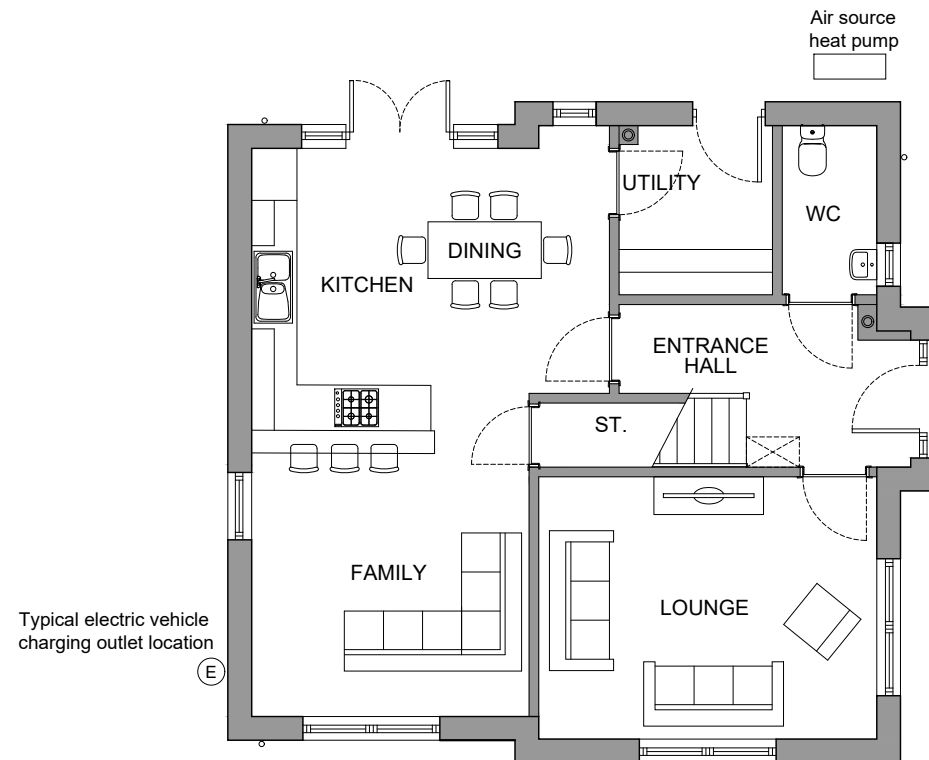
**Willow**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 131m<sup>2</sup>



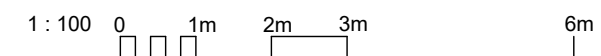
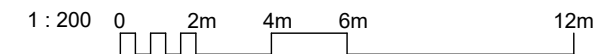
UPPER FLOOR PLAN



ROOF PLAN  
 (1:200@A3)



GROUND FLOOR PLAN



REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

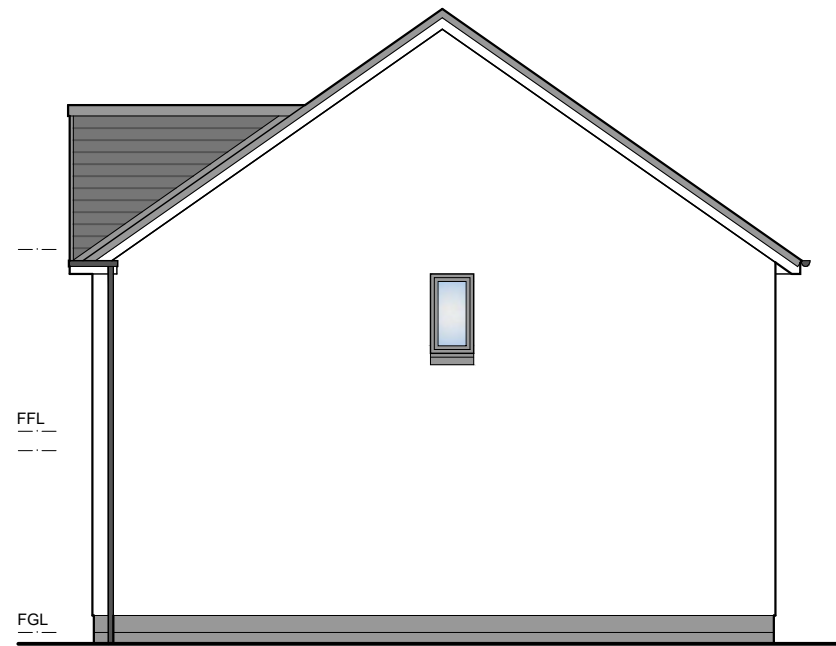
WILLOW PLANS

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PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-165		REV.

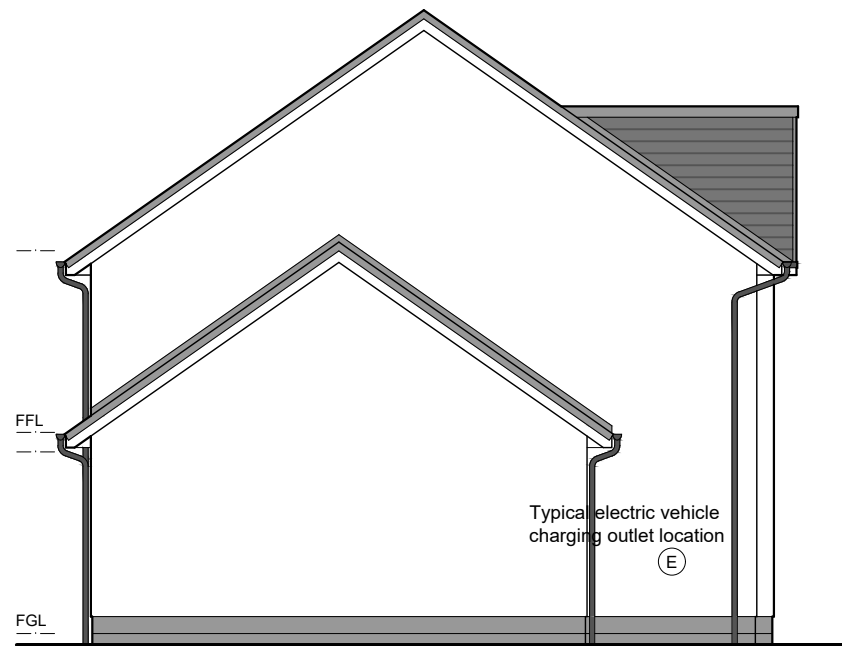
**Lochalsh**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 139m<sup>2</sup>



FRONT ELEVATION



GABLE ELEVATION

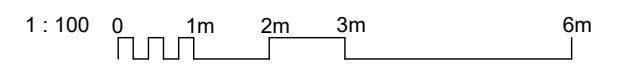


GABLE ELEVATION



REAR ELEVATION

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



3D PERSPECTIVE

REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

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LOCHALSH ELEVATIONS

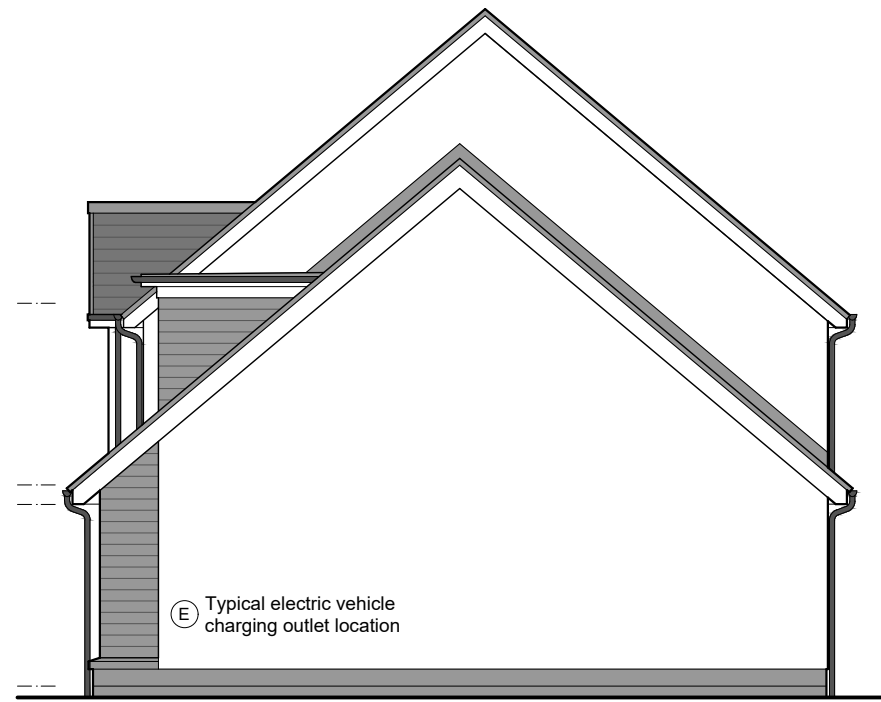
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PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-171		REV.



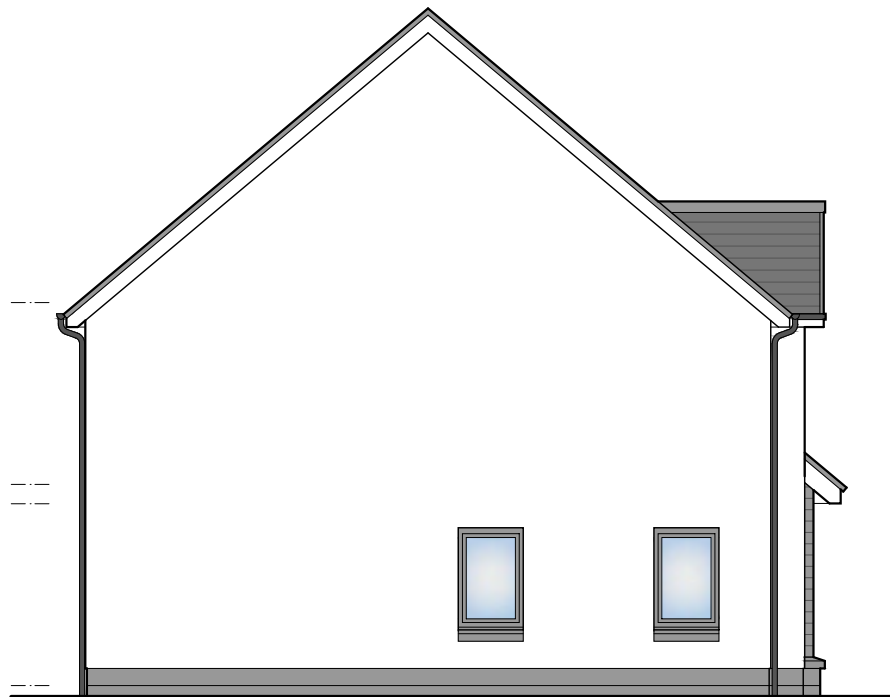
**Culzean**  
 2 storey detached house / 5 Bedrooms  
 Floor Area = 177m<sup>2</sup>



FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION

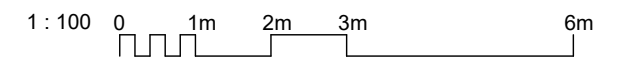


REAR ELEVATION



3D PERSPECTIVE

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

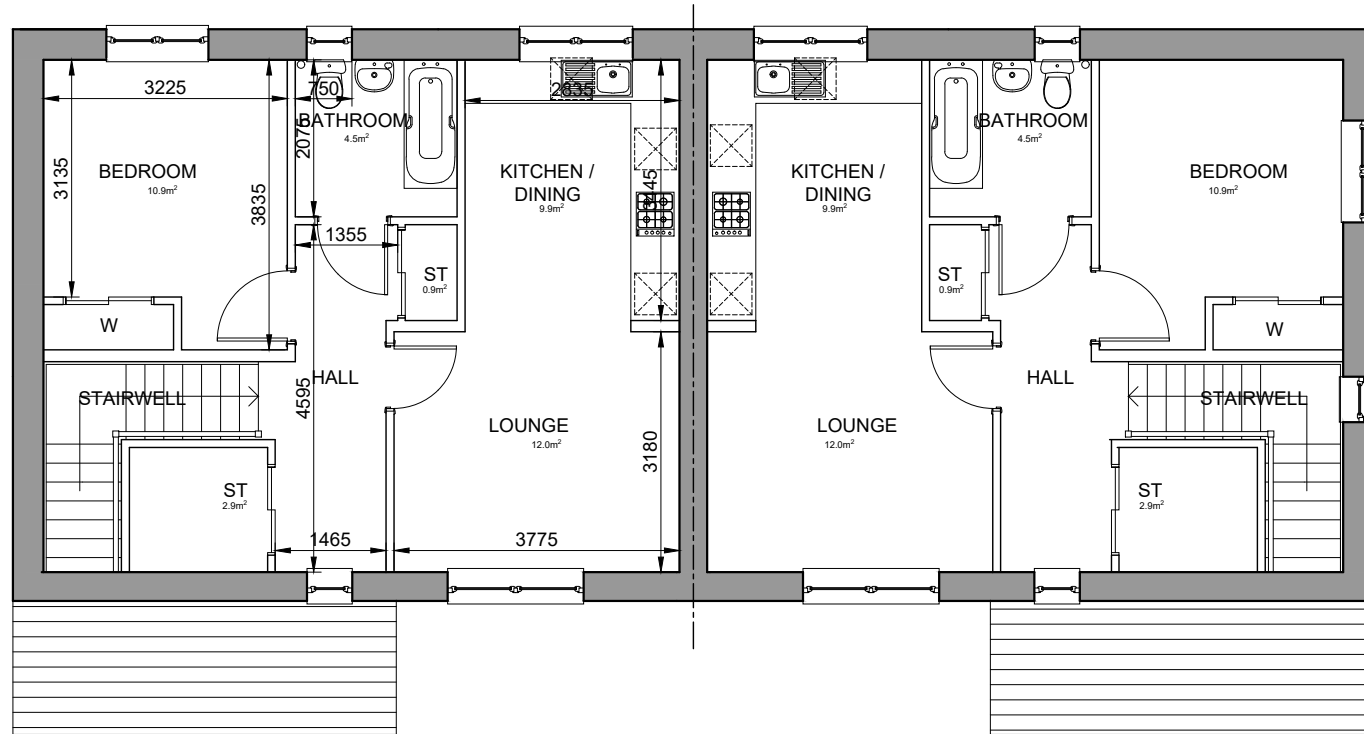
38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

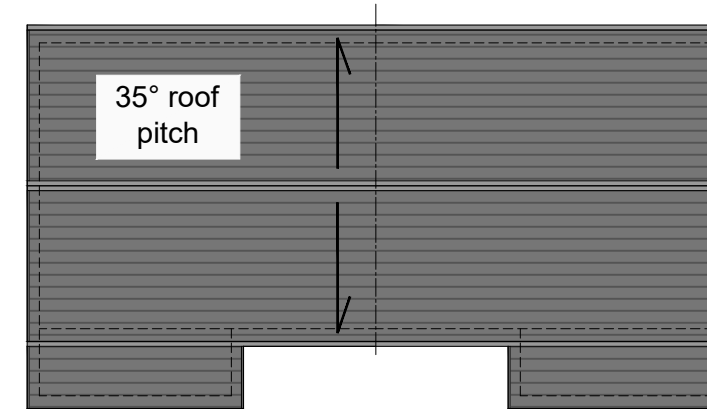
CULZEAN ELEVATIONS

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-176	REV.	

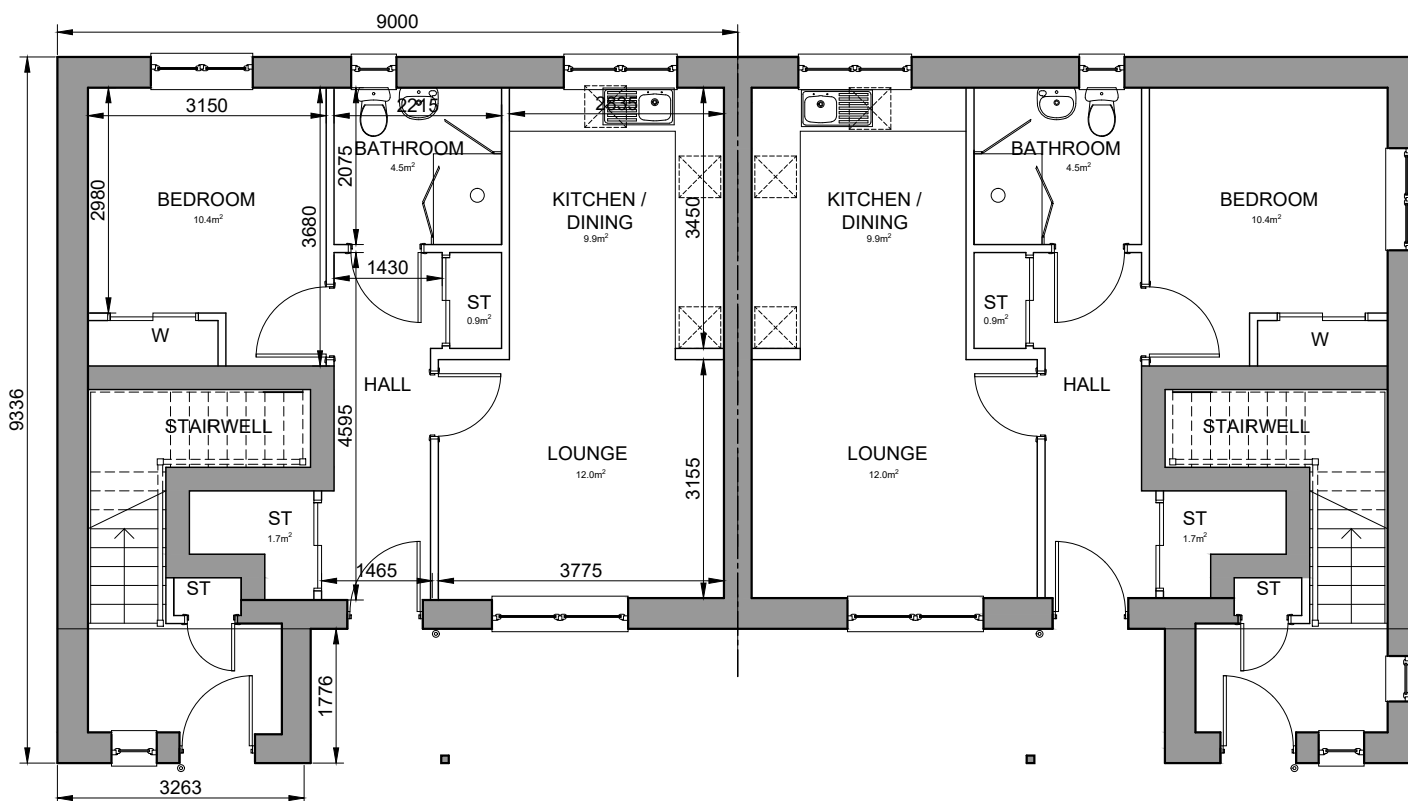
**PLOT NO.S**  
136-139



**FIRST FLOOR**  
ONE BED TWO PERSON FLAT  
FLOOR AREA 57.3m2



**ROOF PLAN**  
(1:200@A3)



**GROUND FLOOR**  
ONE BED TWO PERSON FLAT  
FLOOR AREA 49.4m2

REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

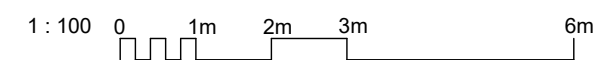
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
CONON BRIDGE  
TULLOCH HOMES LTD

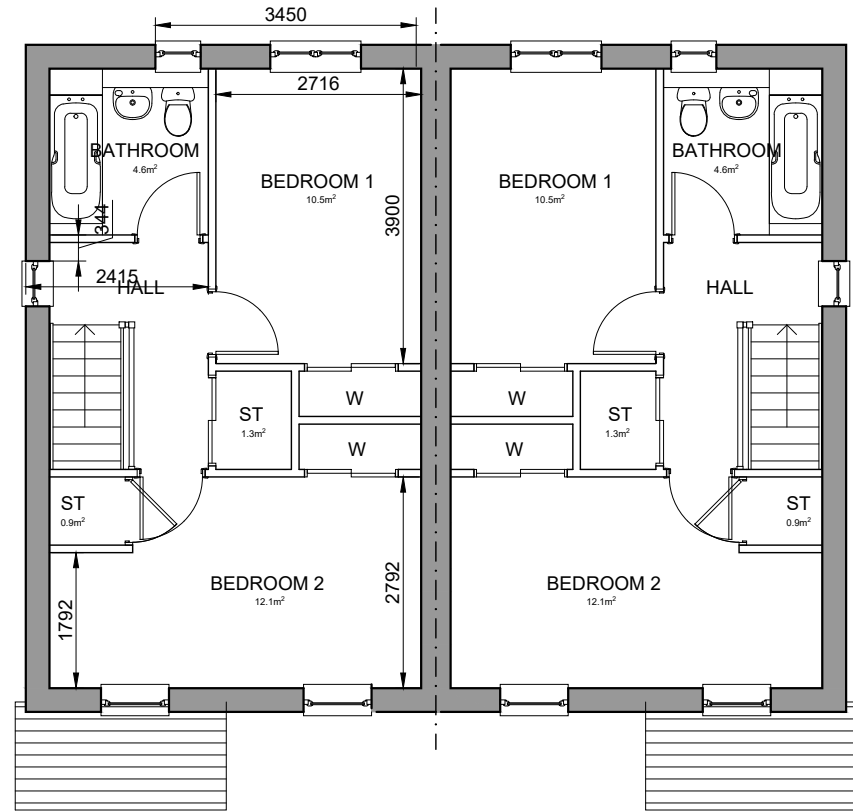
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1B2P FLATS - FLOOR PLANS

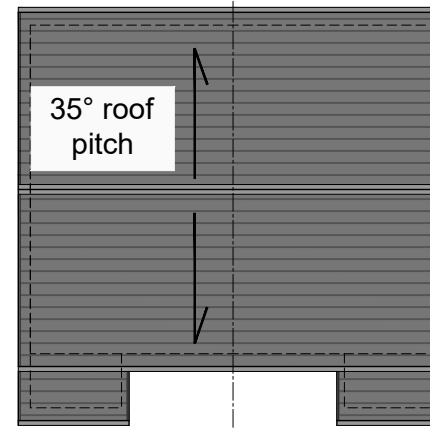
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SCALE:	1 : 100	DRAWN:	LK
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DWG No.	<b>4576-01-200</b>		REV. -



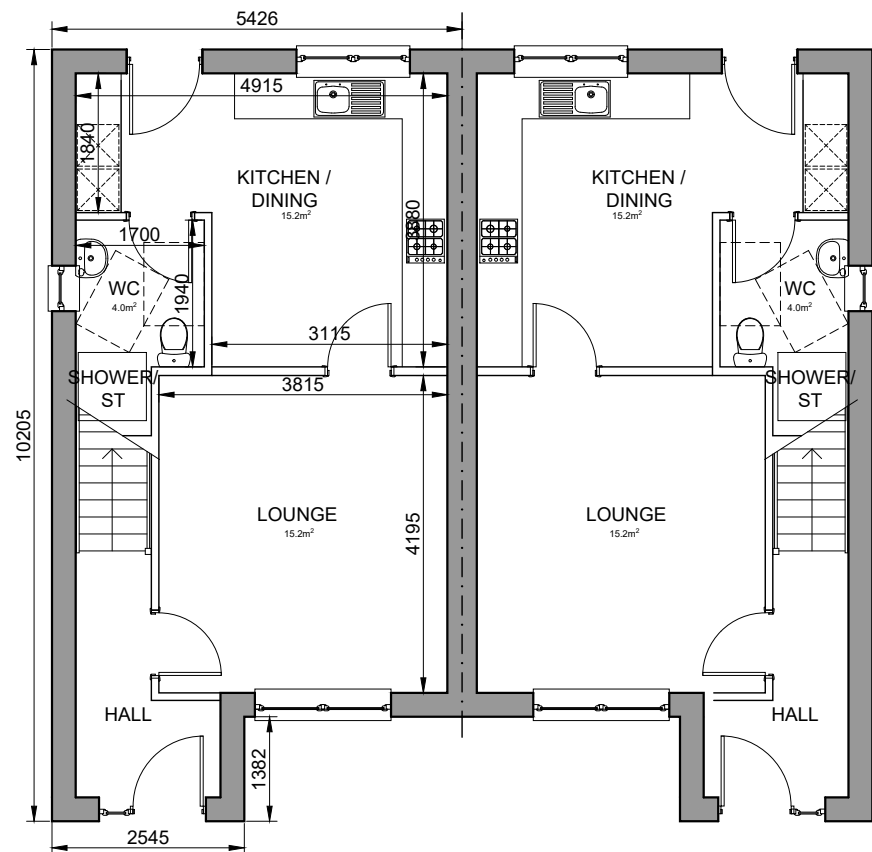
**PLOT NO.S**  
 125-128; 146-149  
 & 159-160



FIRST FLOOR



ROOF PLAN  
 (1:200@A3)



GROUND FLOOR

TWO BED FOUR PERSON VILLA  
 FLOOR AREA 80.6m<sup>2</sup>

REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

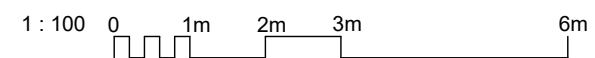
SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

2B4P VILLA - FLOOR PLANS

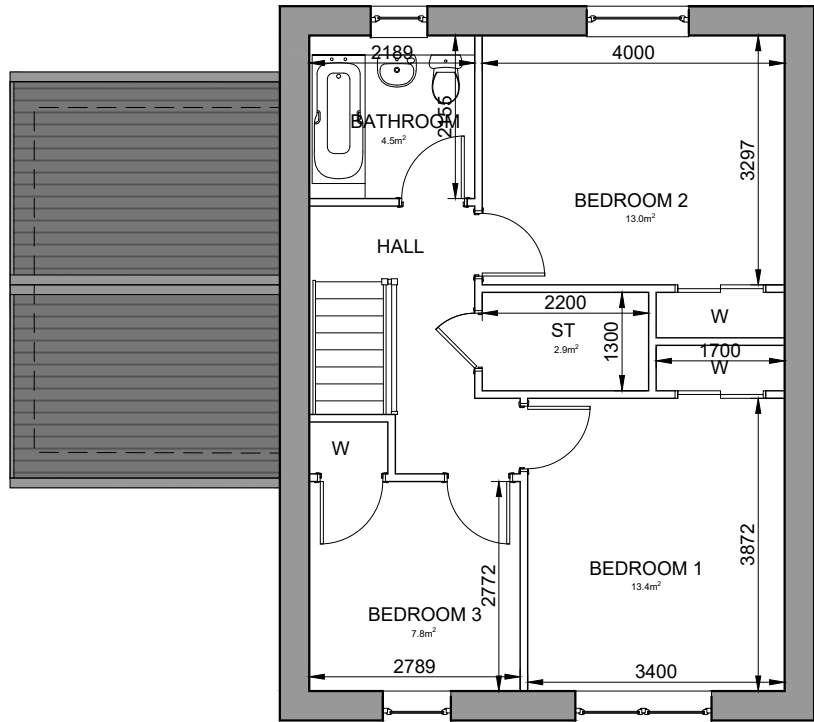
STATUS: **PLANNING**

SCALE:	1 : 100	DRAWN:	LK
PAPER SIZE:	A3	DATE:	Apr 2023

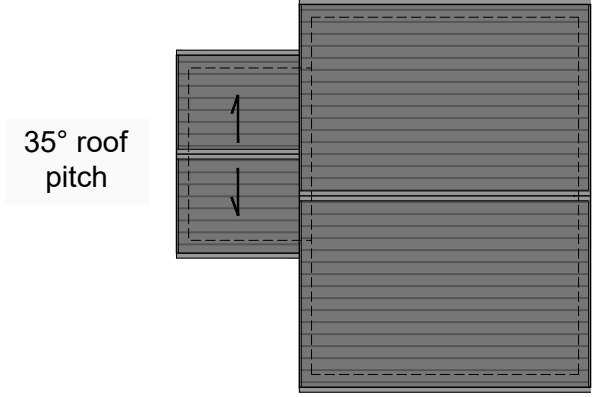
DWG No.	<b>4576-01-210</b>	REV.	-
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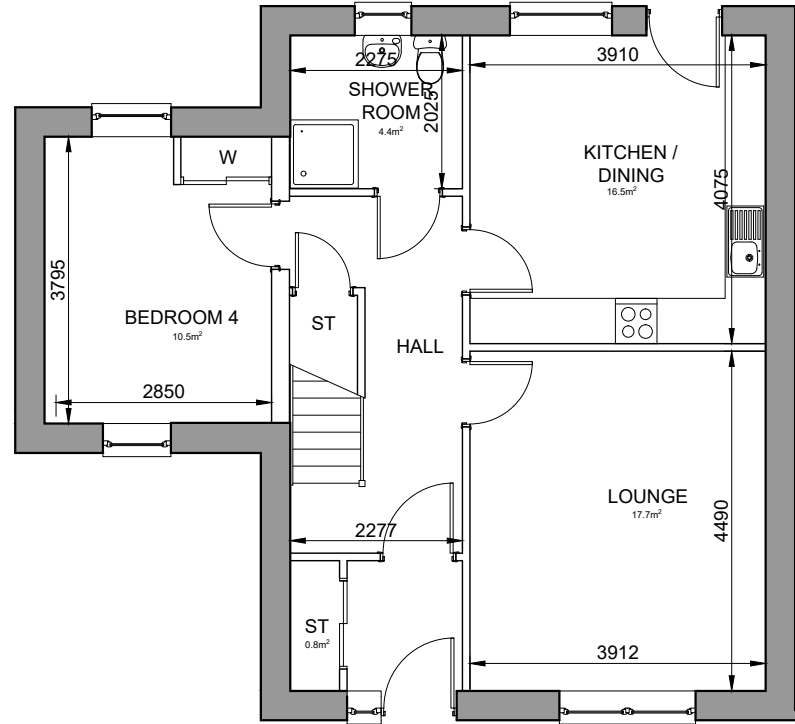
PLOT NO.S  
150



FIRST FLOOR



ROOF PLAN  
(1:200@A3)



GROUND FLOOR

FOUR BED SEVEN PERSON VILLA  
FLOOR AREA 120.6m<sup>2</sup>

REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

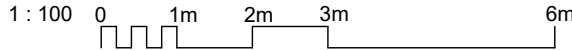
SITE CB2, BRAES OF CONON  
CONON BRIDGE  
TULLOCH HOMES LTD

4B7P VILLA - FLOOR PLANS LH

STATUS: **PLANNING**

SCALE: 1 : 100 DRAWN: LK  
PAPER SIZE: A3 DATE: Apr 2023

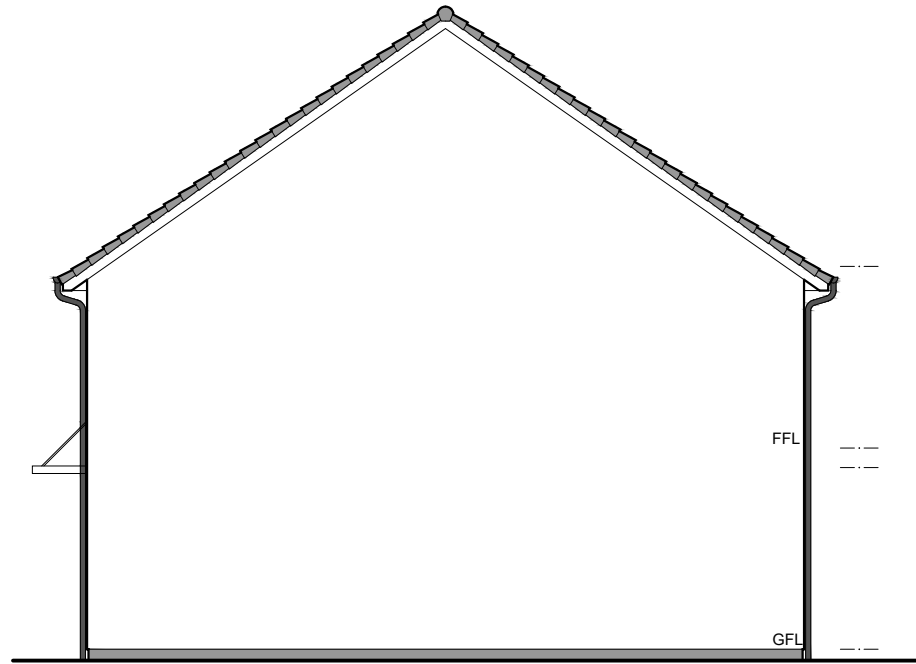
DWG No. **4576-01-220** REV. -



PLOT NO.S  
150



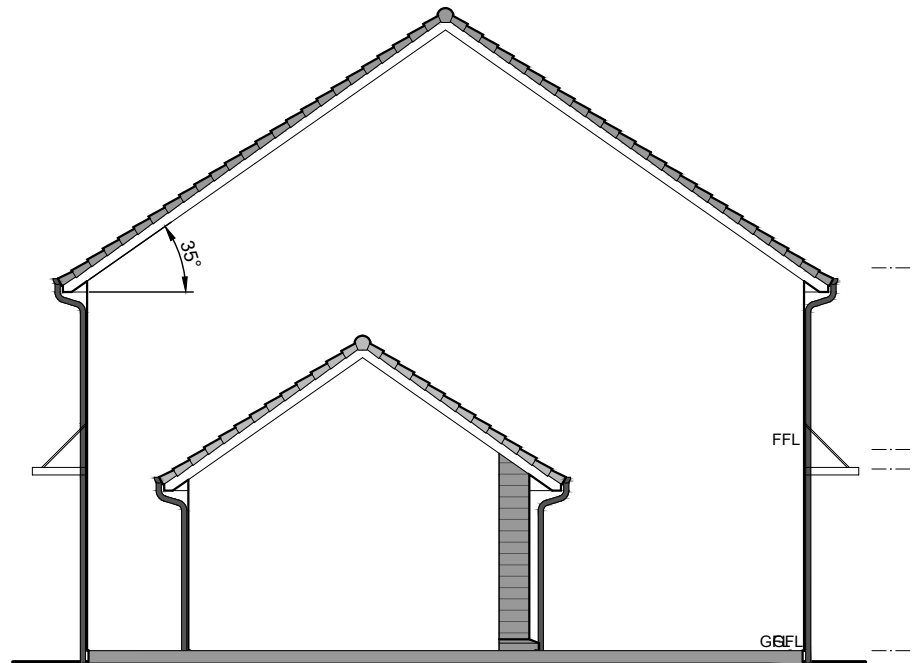
REAR ELEVATION



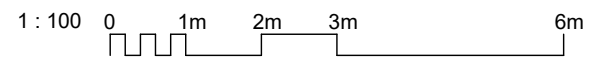
GABLE ELEVATION



FRONT ELEVATION



GABLE ELEVATION



REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

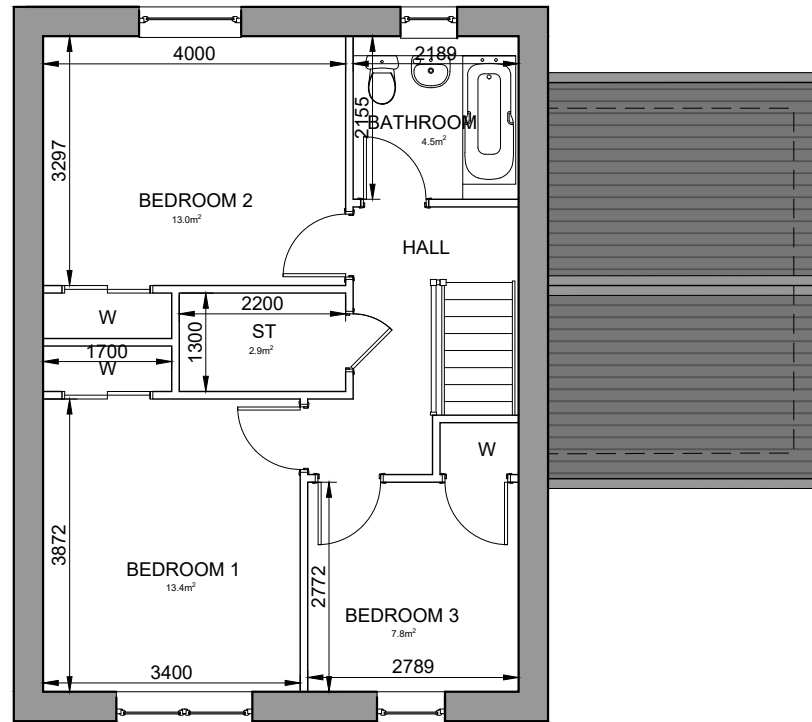
4B7P VILLA - ELEVATIONS LH

STATUS: **PLANNING**

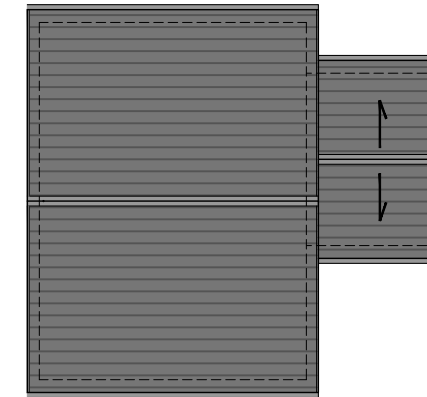
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PAPER SIZE:	A3	DATE:	Apr 2023

DWG No.	4576-01-221	REV.	-
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PLOT NO.S  
135

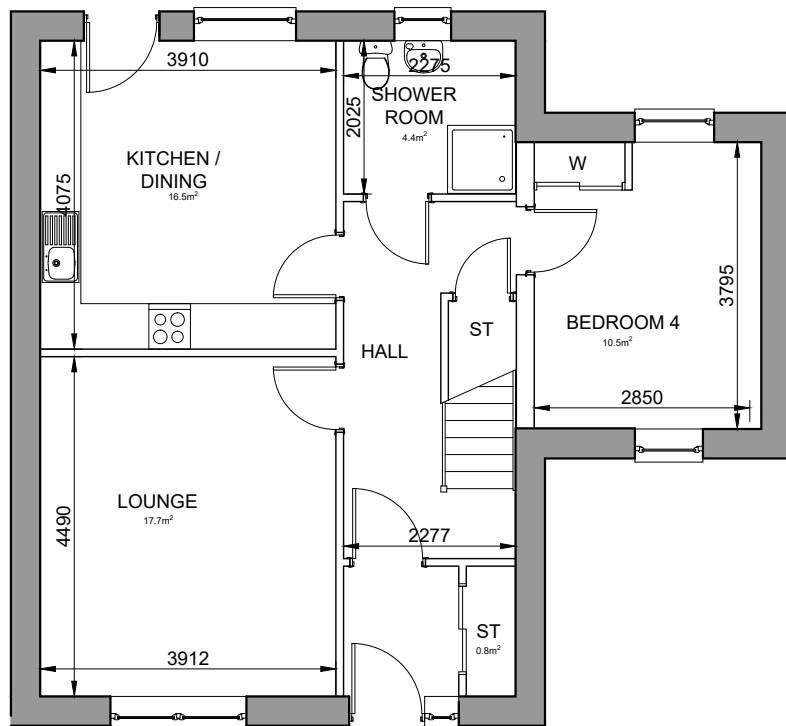


FIRST FLOOR



ROOF PLAN  
(1:200@A3)

35° roof  
pitch



GROUND FLOOR

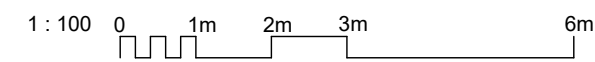
FOUR BED SEVEN PERSON VILLA  
FLOOR AREA 120.6m<sup>2</sup>

REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
CONON BRIDGE  
TULLOCH HOMES LTD  
4B7P VILLA - FLOOR PLANS RH

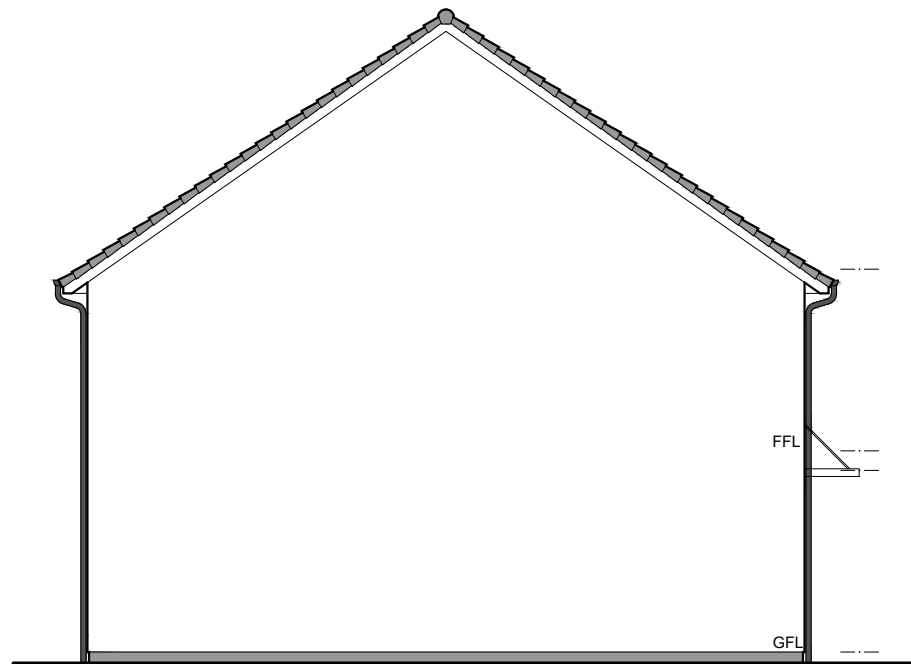


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PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-222	REV.	-

PLOT NO.S  
135



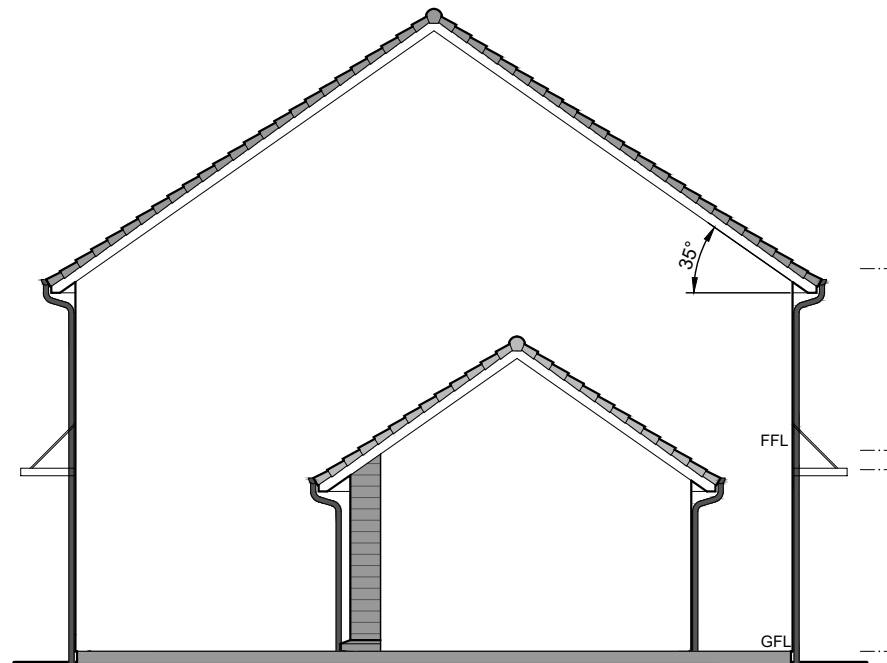
REAR ELEVATION



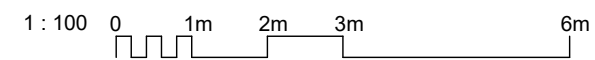
GABLE ELEVATION



FRONT ELEVATION



GABLE ELEVATION



REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

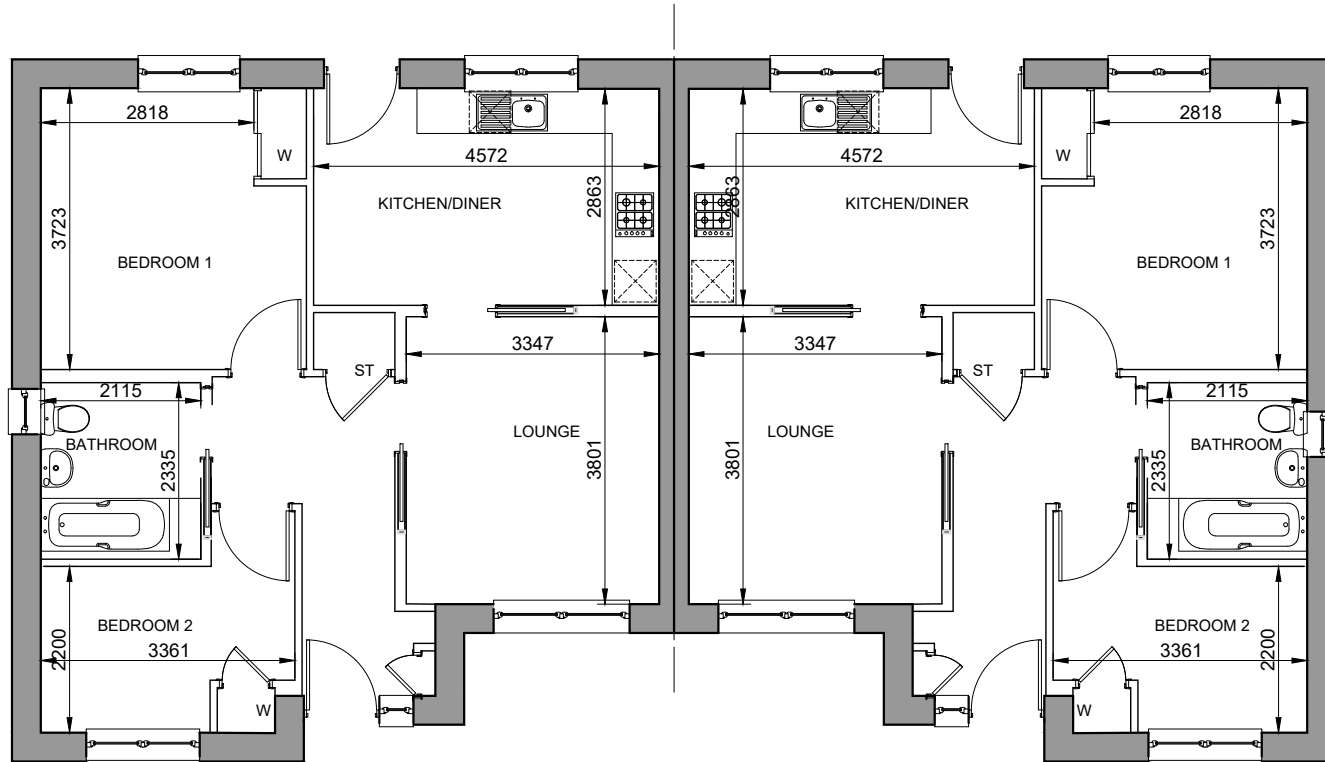
4B7P VILLA - ELEVATIONS RH

STATUS: **PLANNING**

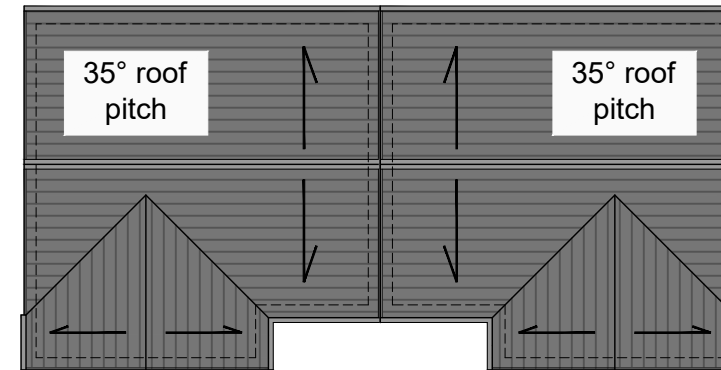
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 PAPER SIZE: A3 DATE: Apr 2023

DWG No. **4576-01-223** REV. -

**PLOT NO.S**  
131-132 & 121-122

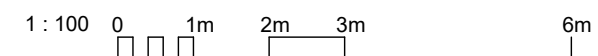


**GROUND FLOOR**  
TWO BED THREE PERSON AMENITY COTTAGE  
FLOOR AREA 61.8m<sup>2</sup>



**ROOF PLAN**  
(1:200@A3)

REV	DATE	DESCRIPTION	DRN



**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

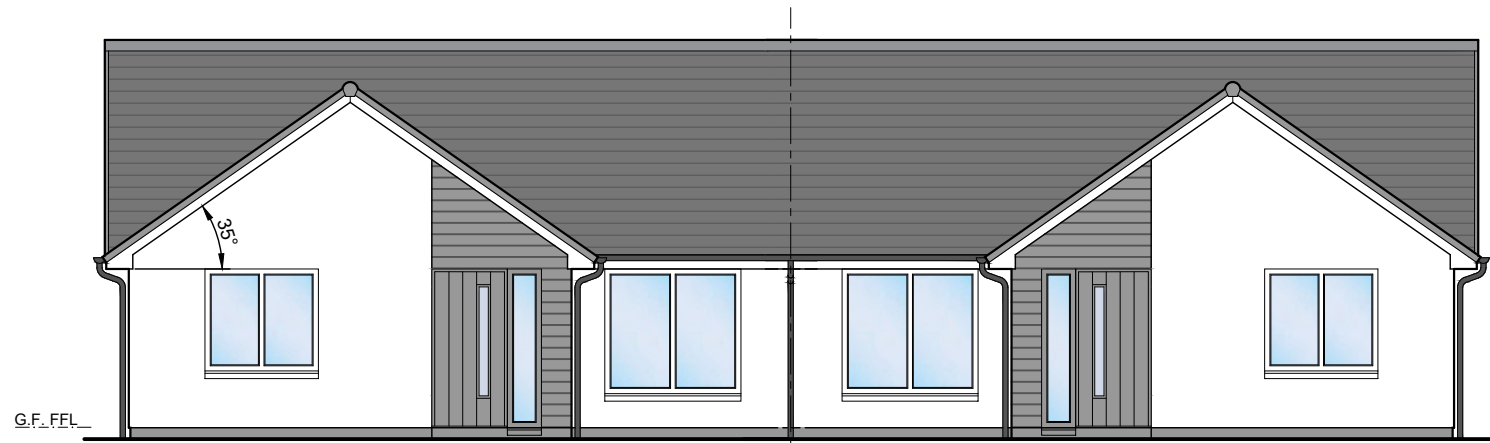
SITE CB2, BRAES OF CONON  
CONON BRIDGE  
TULLOCH HOMES LTD

2B3P BUNGALOW - FLOOR PLANS

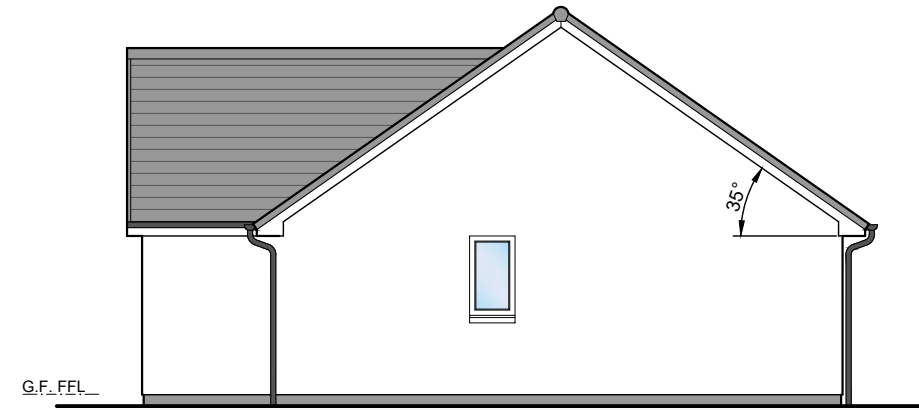
STATUS:	<b>PLANNING</b>		
SCALE:	1:100	DRAWN:	LK
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	<b>4576-01-225</b>	REV.	-



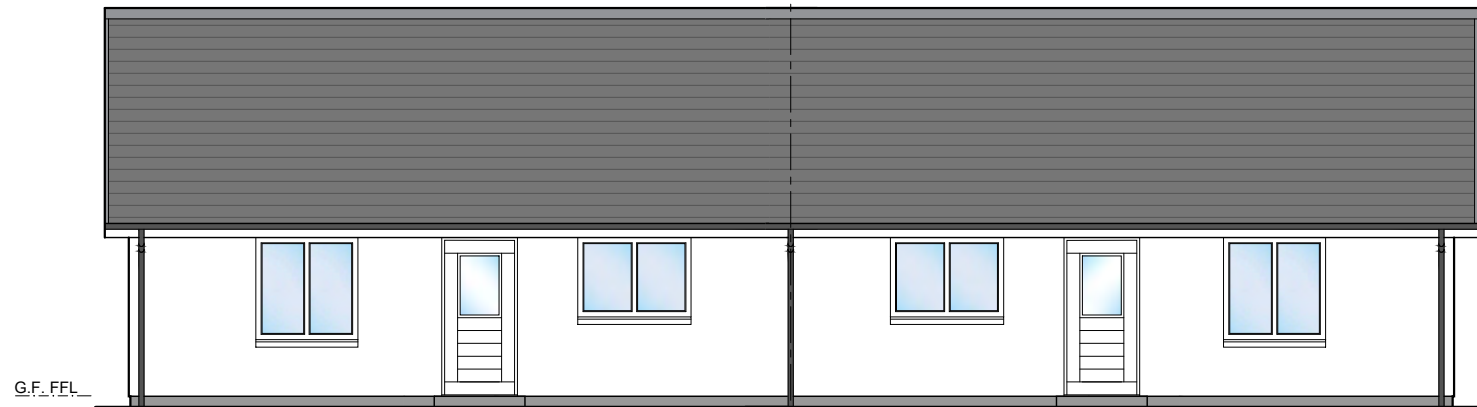
PLOT NO.S  
131-132



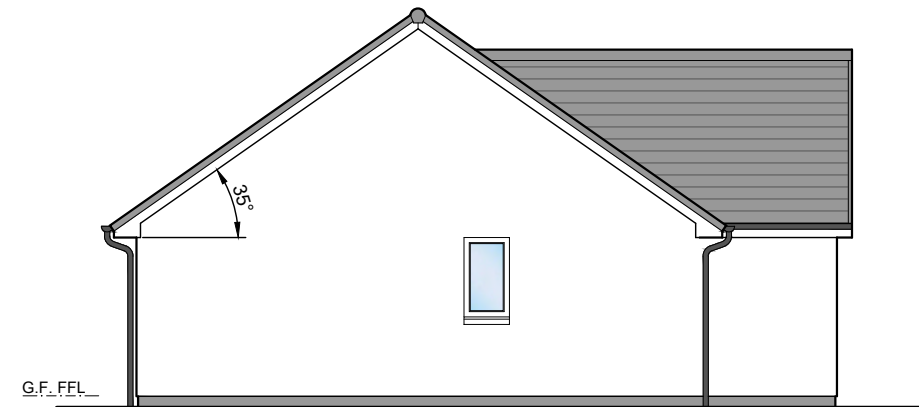
FRONT ELEVATION



GABLE ELEVATION



REAR ELEVATION



GABLE ELEVATION

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
CONON BRIDGE  
TULLOCH HOMES LTD

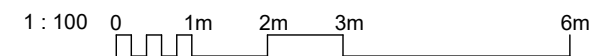
2B3P BUNGALOW - ELEVATIONS

STATUS: **PLANNING**

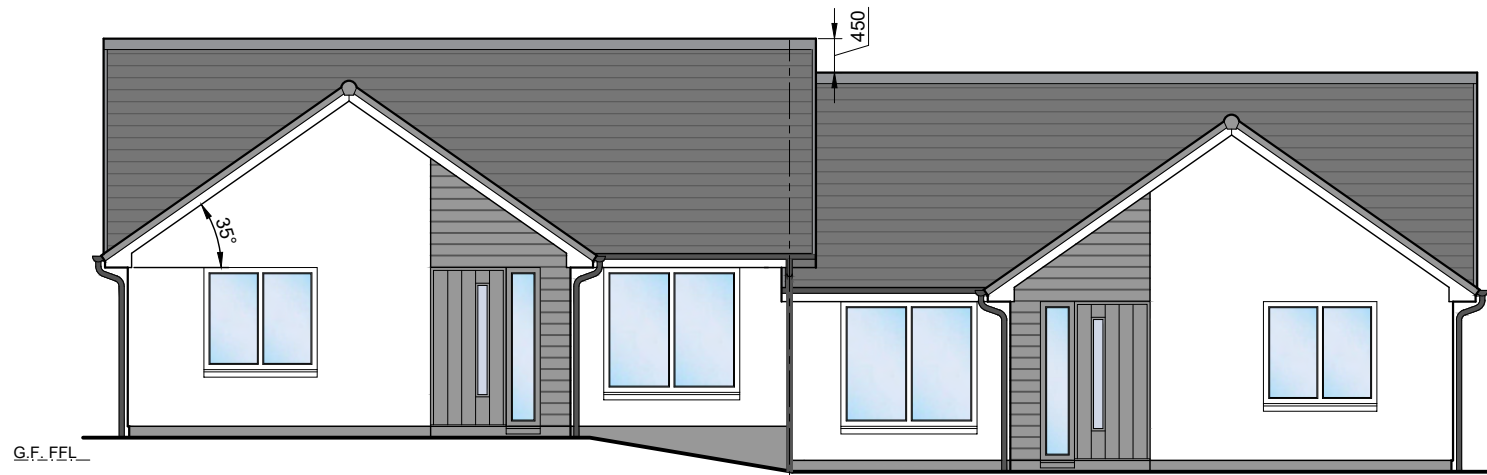
SCALE: 1 : 100 DRAWN: LK  
PAPER SIZE: A3 DATE: Apr 2023

DWG No. **4576-01-226** REV. -

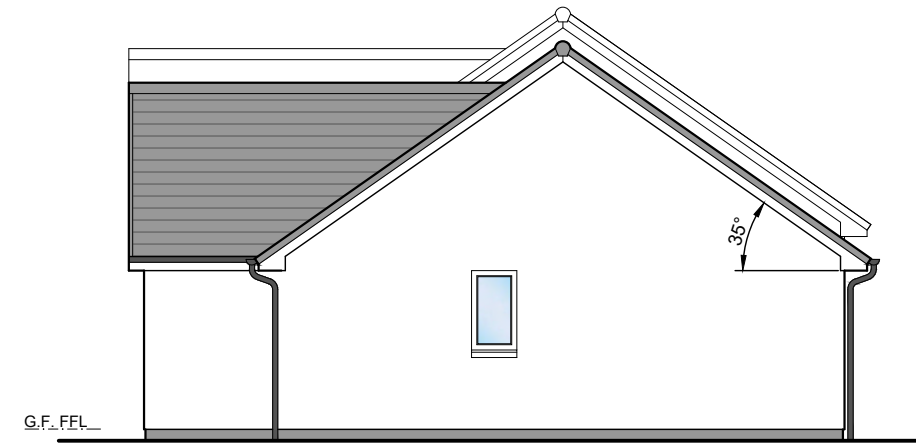
REV DATE DESCRIPTION DRN



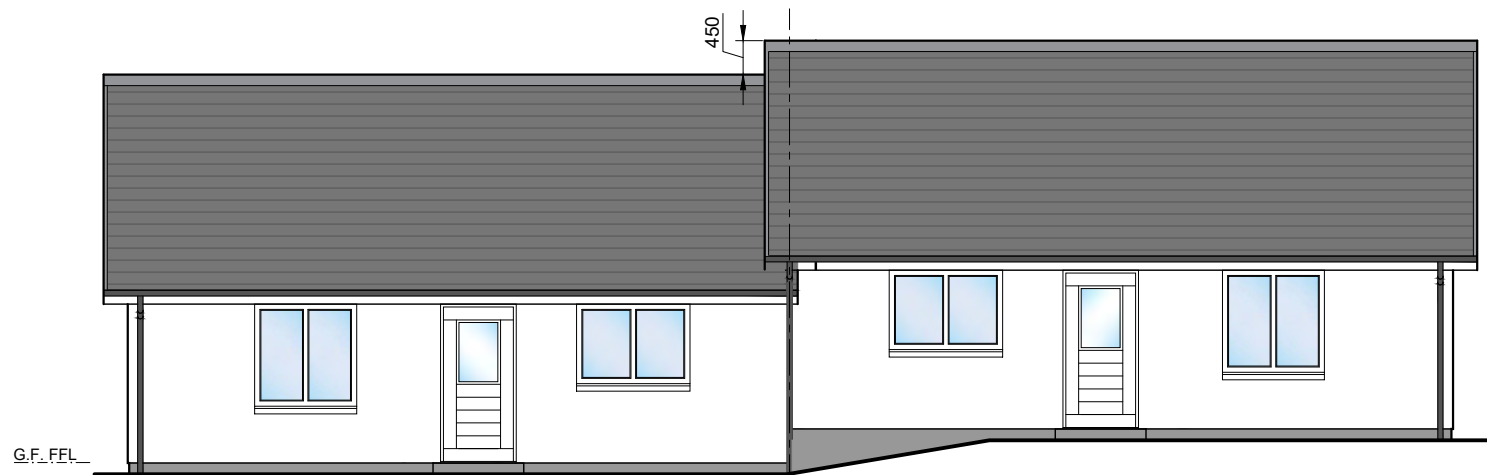
PLOT NO.S  
121-124



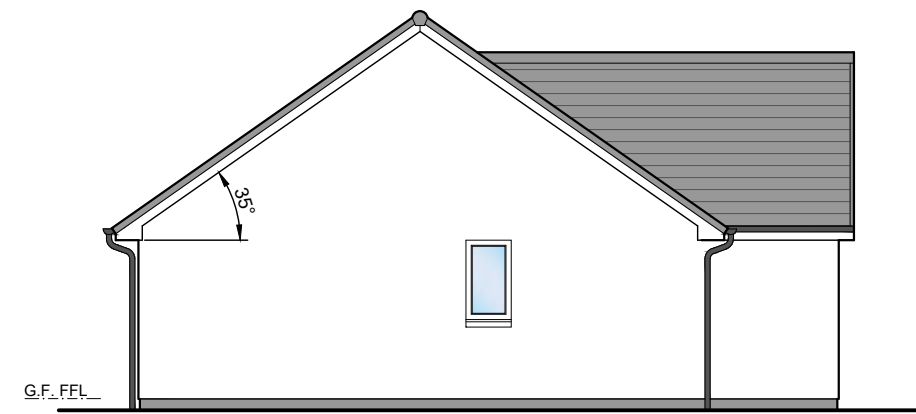
FRONT ELEVATION



GABLE ELEVATION

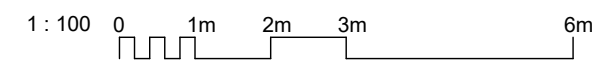


REAR ELEVATION



GABLE ELEVATION

REV	DATE	DESCRIPTION	DRN



**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

2B3P BUNGALOW - ELEVATIONS - 450 STEP

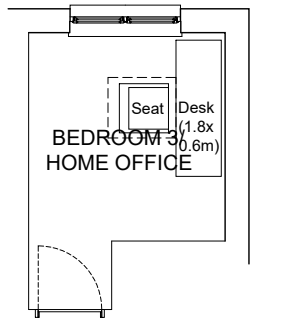
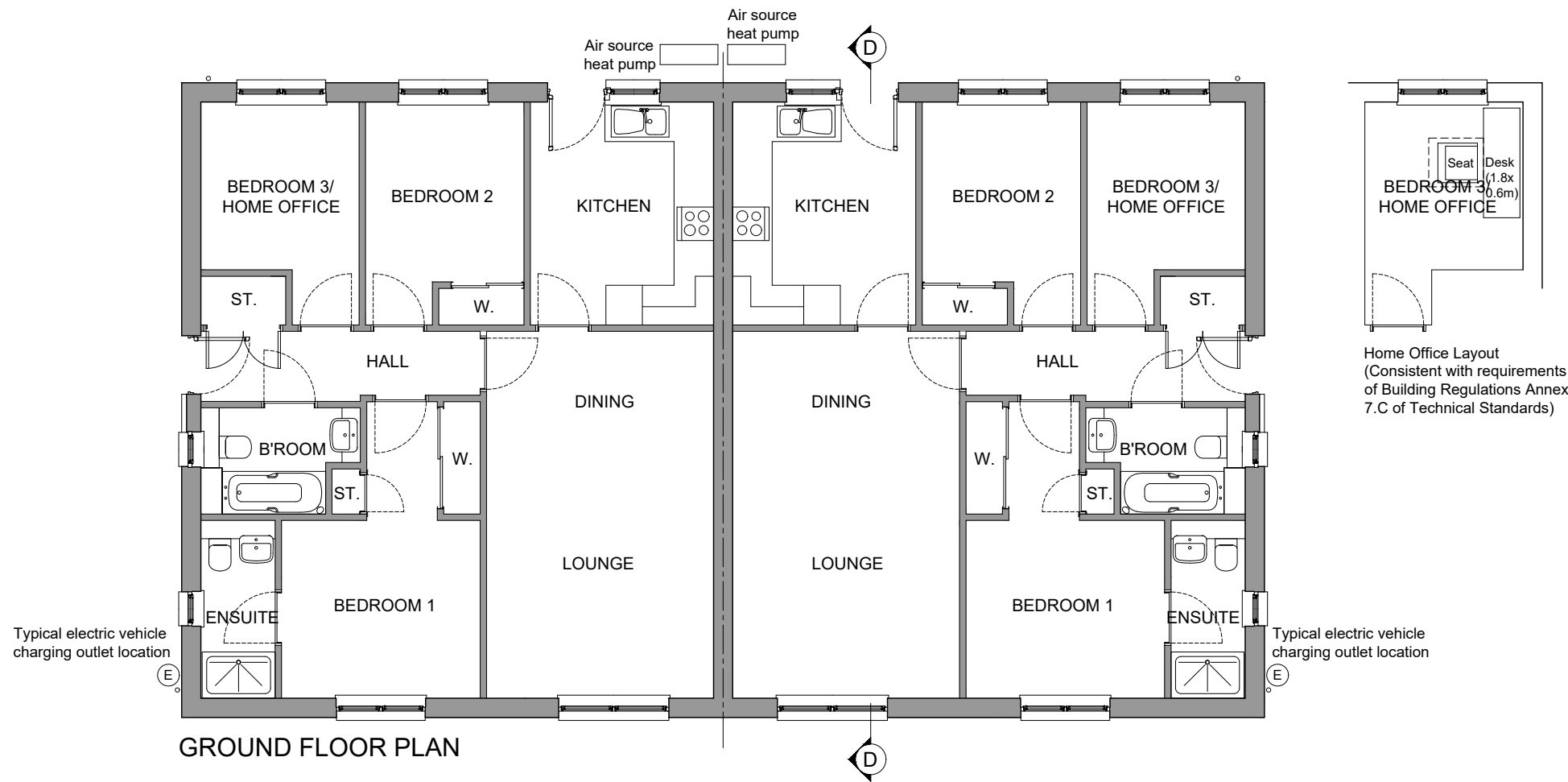
STATUS: **PLANNING**

SCALE: 1:100 DRAWN: LK

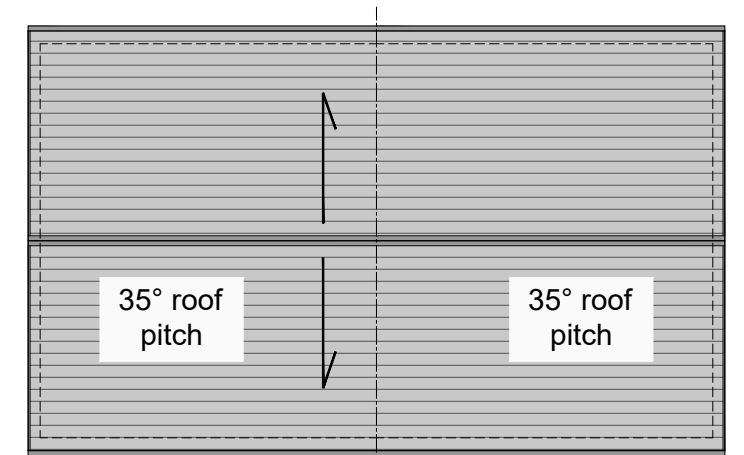
PAPER SIZE: A3 DATE: Apr 2023

DWG No. **4576-01-227** REV. -

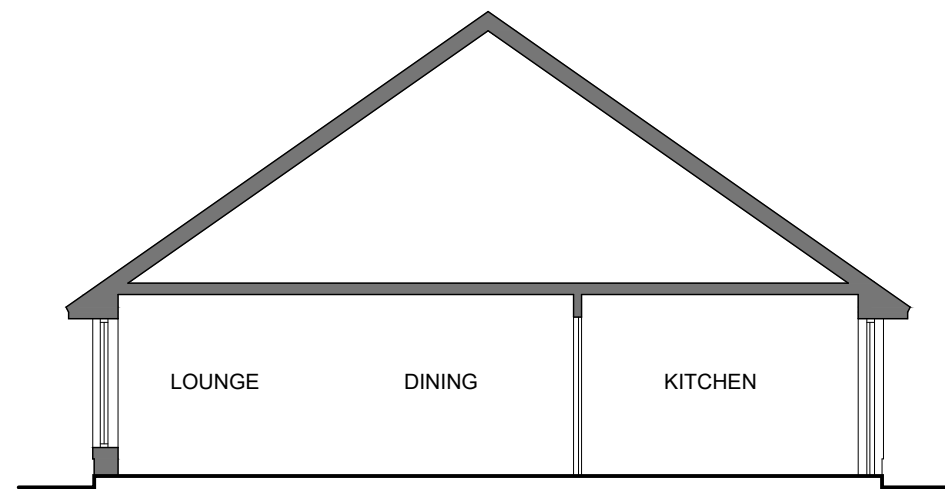
**Cedar**  
 1 storey semi-detached house / 3 Bedrms  
 Floor Area = 82m<sup>2</sup>



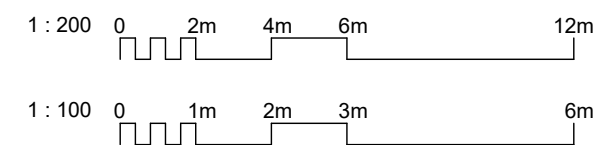
Home Office Layout  
 (Consistent with requirements  
 of Building Regulations Annex  
 7.C of Technical Standards)



ROOF PLAN (1:200@A3)



SECTION DD



REV	DATE	DESCRIPTION	DRN
A	JUN23	HOME OFFICE INDICATED	DAK

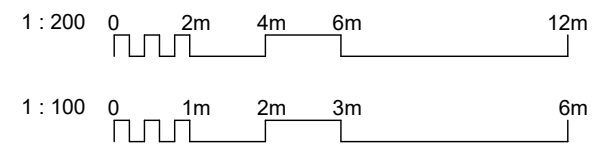
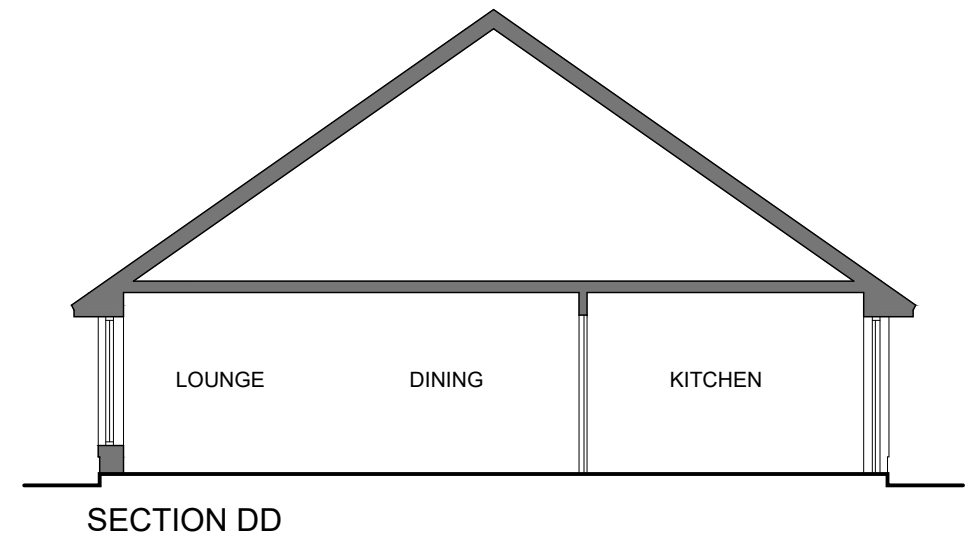
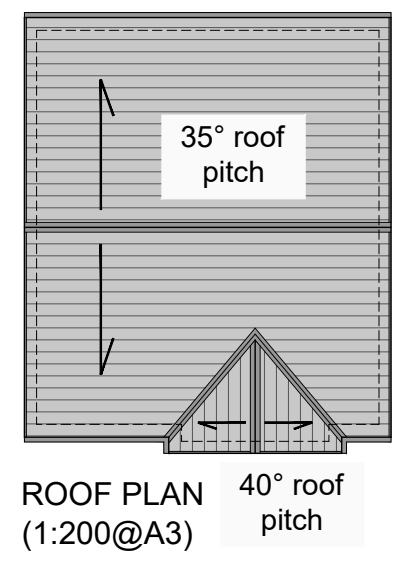
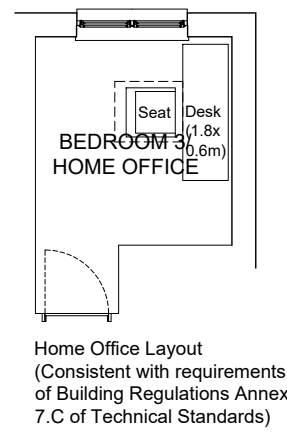
**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

CEDAR PLANS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Jun 2023
DWG No.	4576-01-105		REV. A



A	JUN23	HOME OFFICE INDICATED	DAK
REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

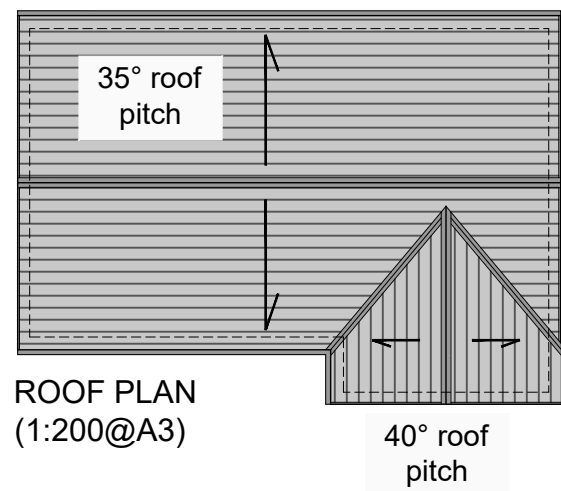
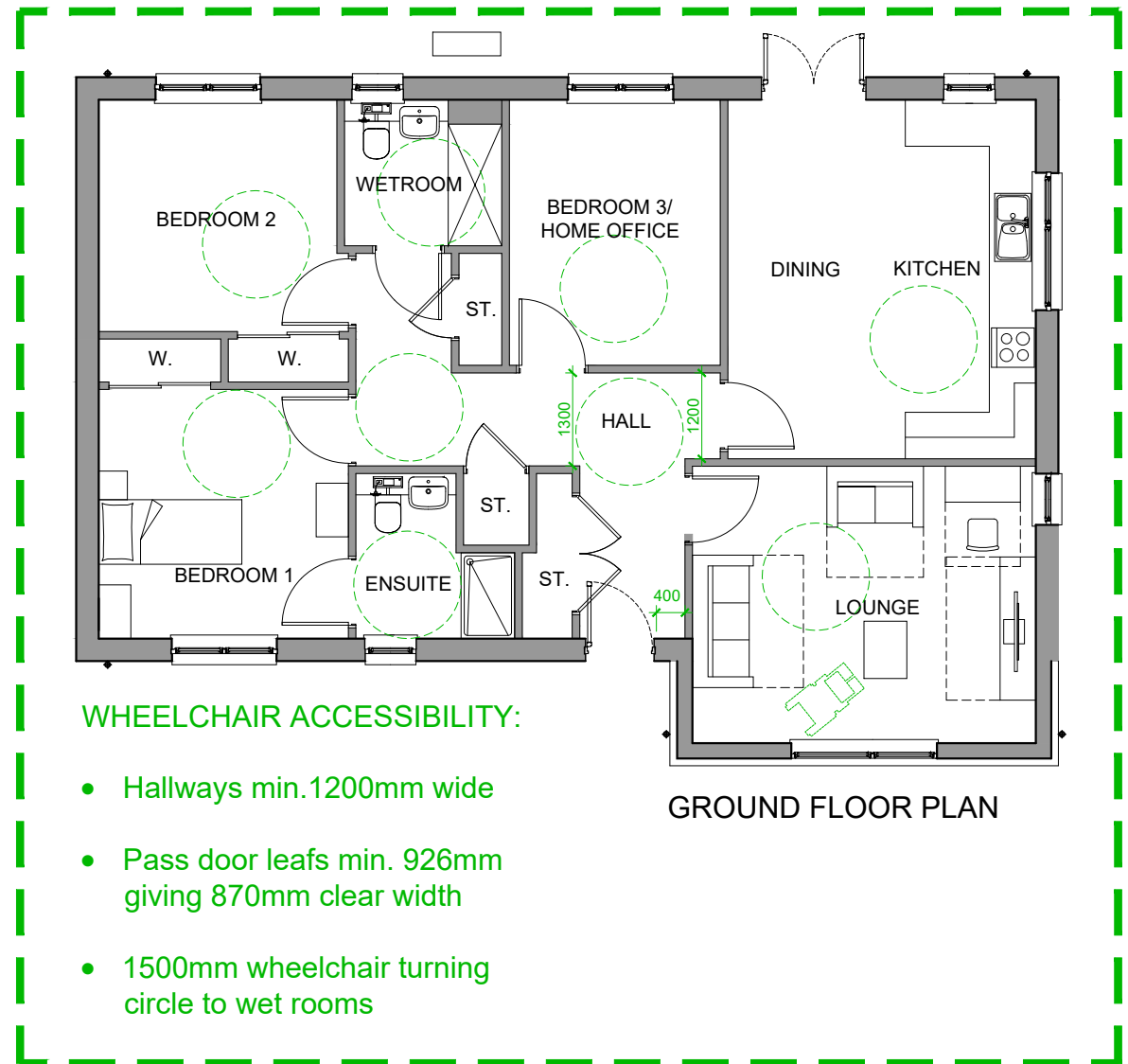
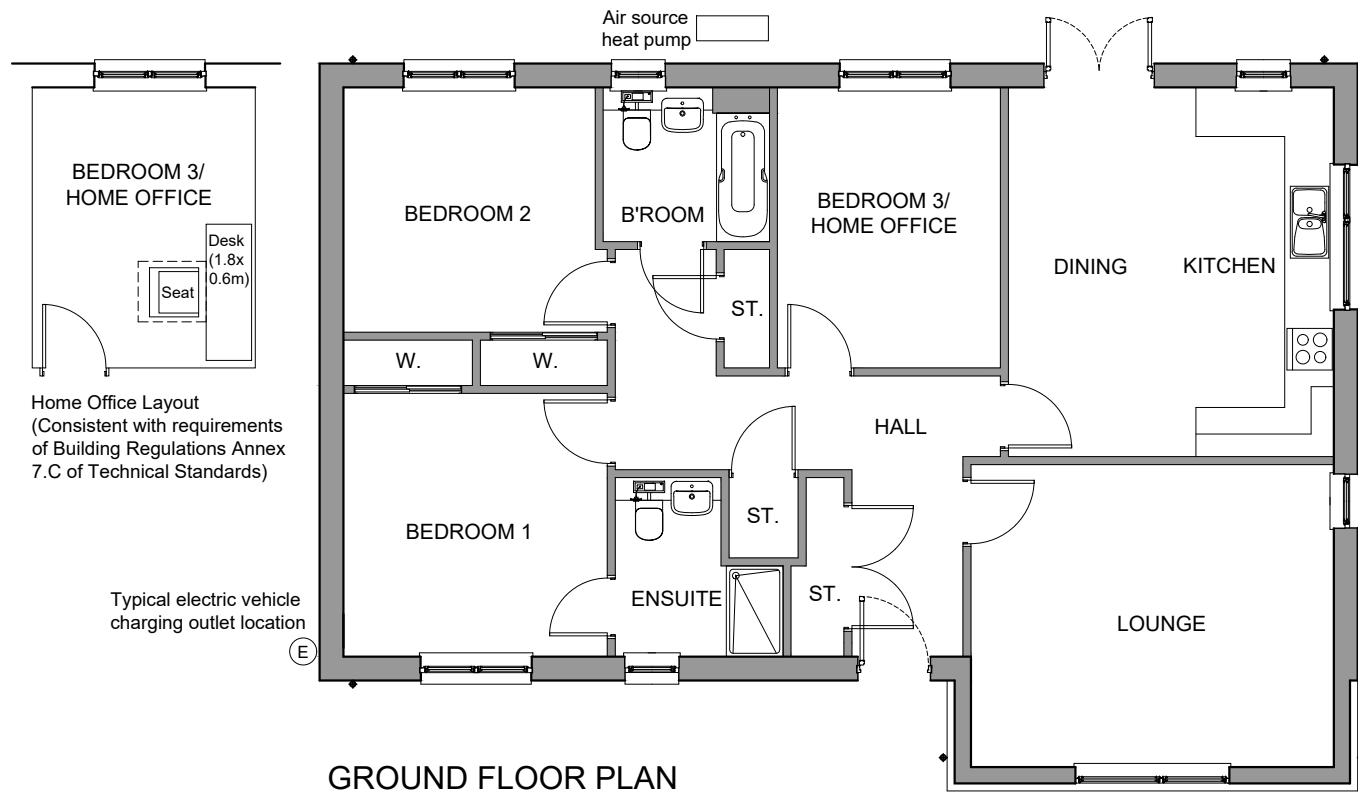
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

BEECH PLANS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-110	REV.	A

**Ness**  
 1 storey detached house / 3 Bedrooms  
 Floor Area = 105m<sup>2</sup>



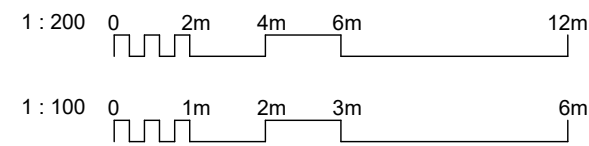
A	JUN23	HOME OFFICE INDICATED	DAK
REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

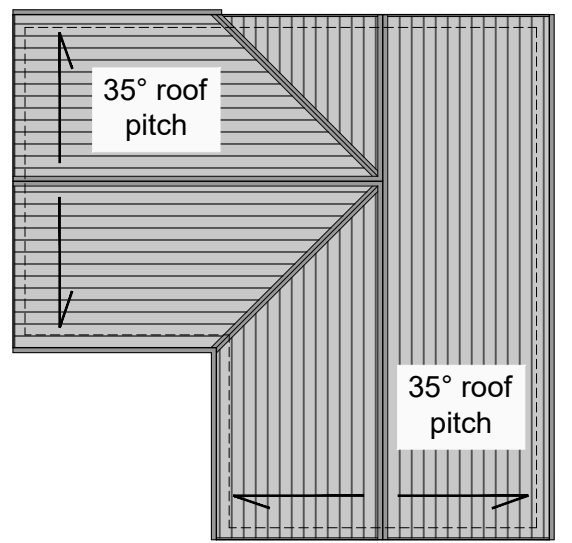
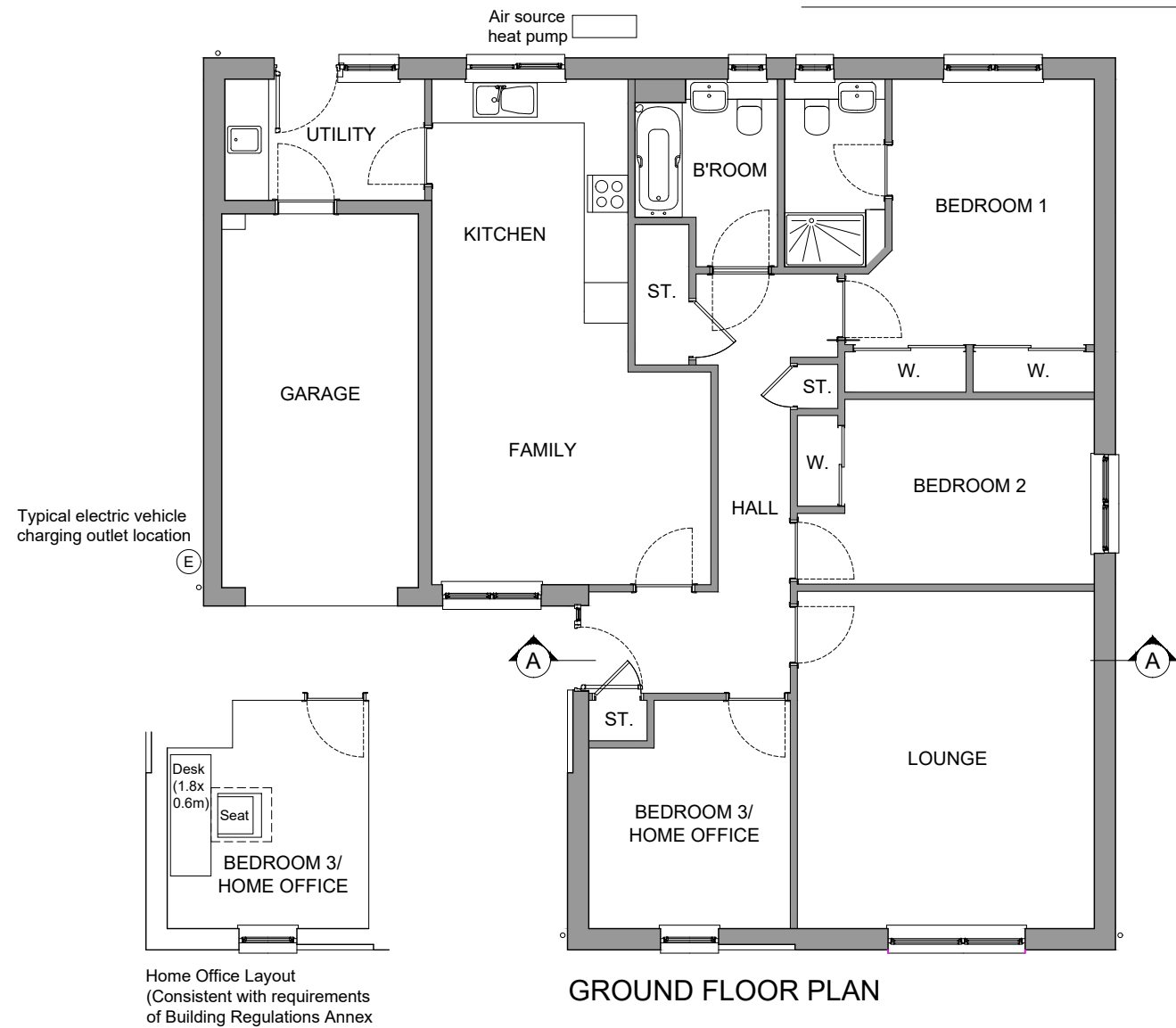
SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

NESS PLANS

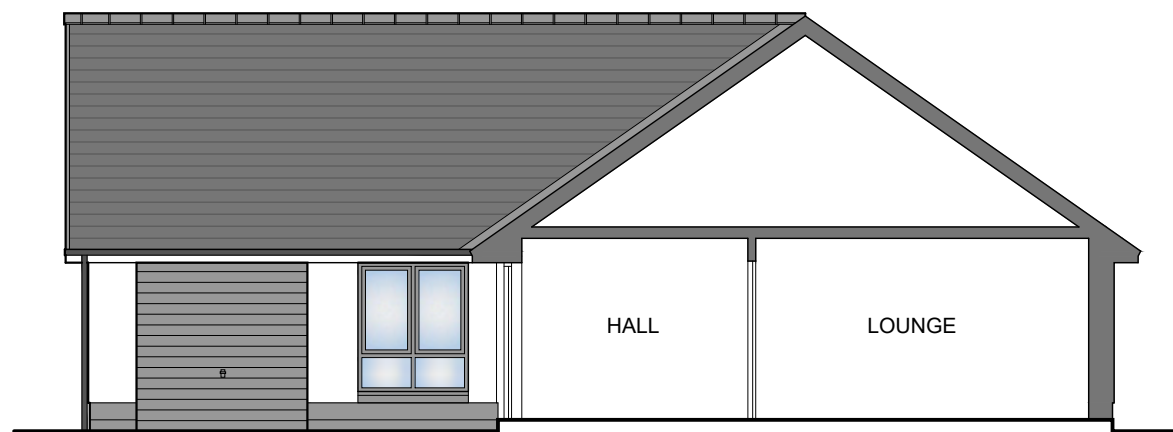


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PAPER SIZE:	A3	DATE:	Jun 2023
DWG No.	4576-01-115		REV. A

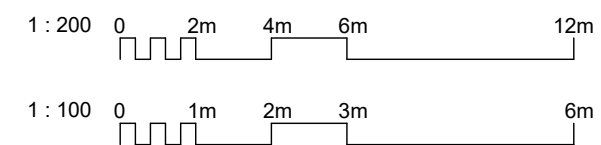
**Lochy**  
 1 storey detached house / 3 Bedrooms  
 Floor Area = 117m<sup>2</sup>



ROOF PLAN (1:200@A3)



SECTION AA



REV	DATE	DESCRIPTION	DAK
A	JUN23	HOME OFFICE INDICATED	DAK

**Bracewell Stirling CONSULTING**

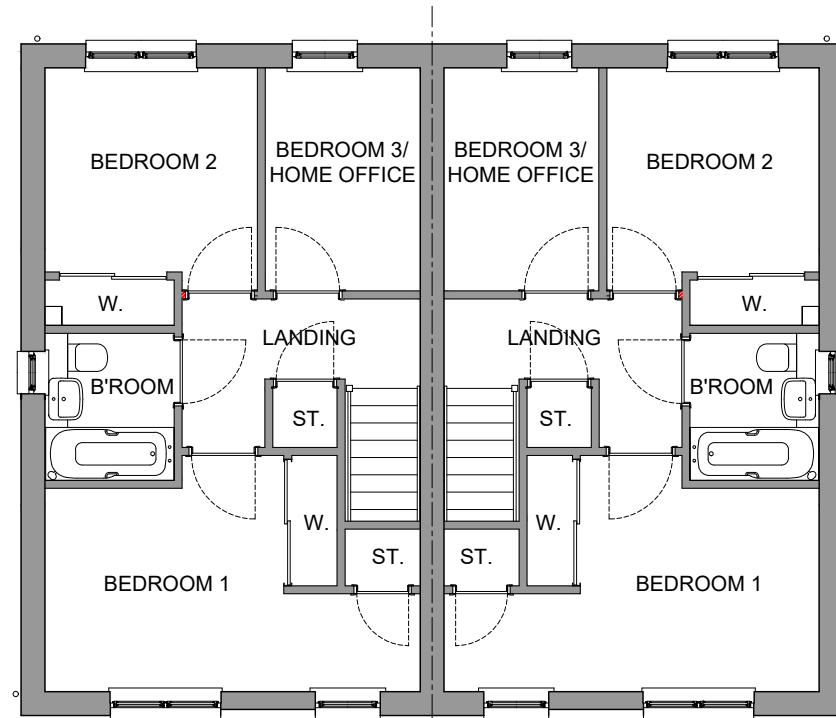
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

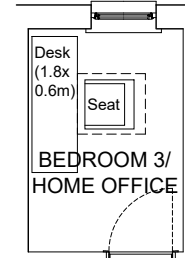
LOCHY PLANS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Jun 2023
DWG No.	4576-01-120		REV. A

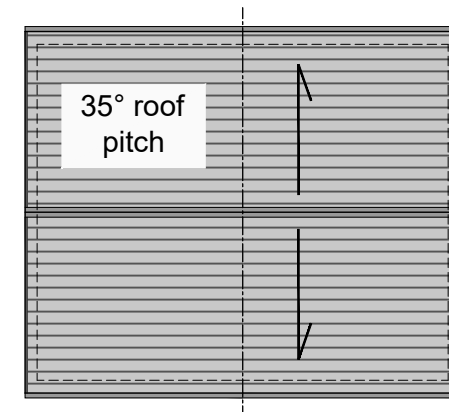
**Corran**  
 2 storey semi-detached house / 3 Beds  
 Floor Area = 82m<sup>2</sup>



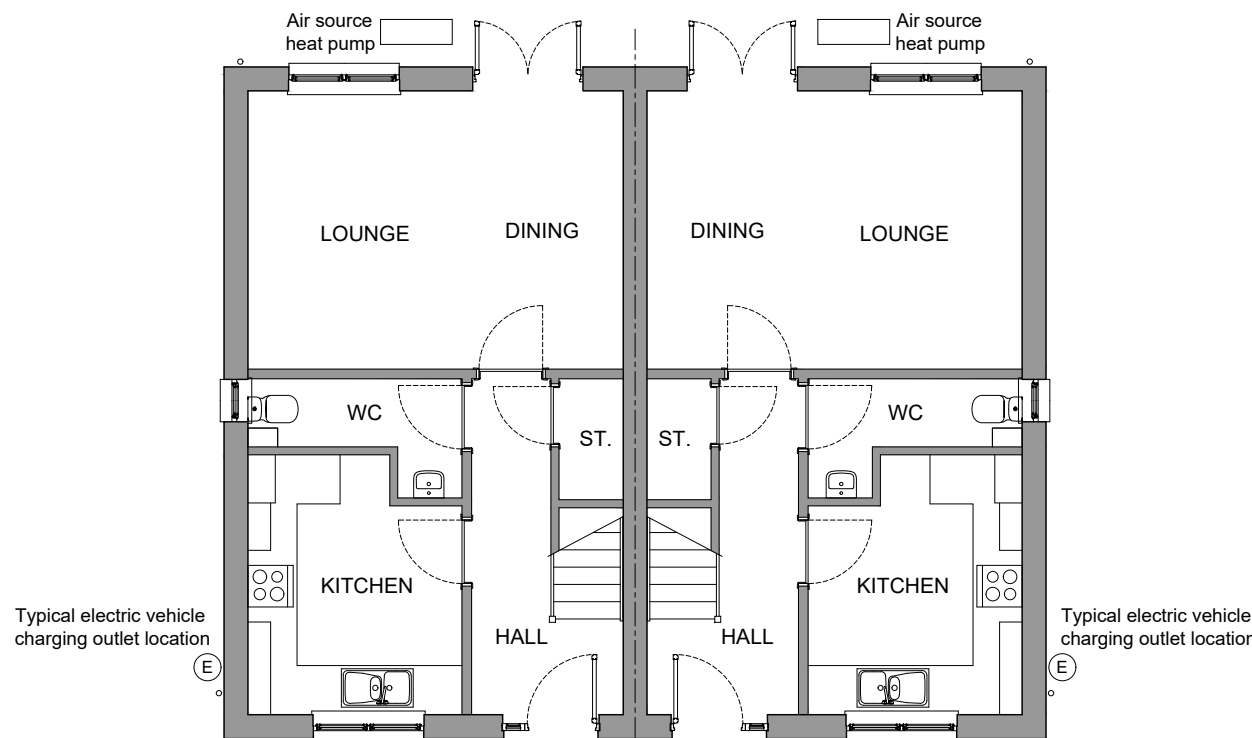
UPPER FLOOR PLAN



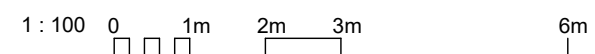
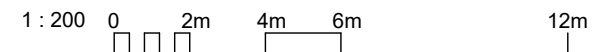
Home Office Layout  
 (Consistent with requirements  
 of Building Regulations Annex  
 7.C of Technical Standards)



ROOF PLAN  
 (1:200@A3)



GROUND FLOOR PLAN



REV	DATE	DESCRIPTION	DRN
A	JUN23	HOME OFFICE INDICATED	DAK

**Bracewell Stirling CONSULTING**

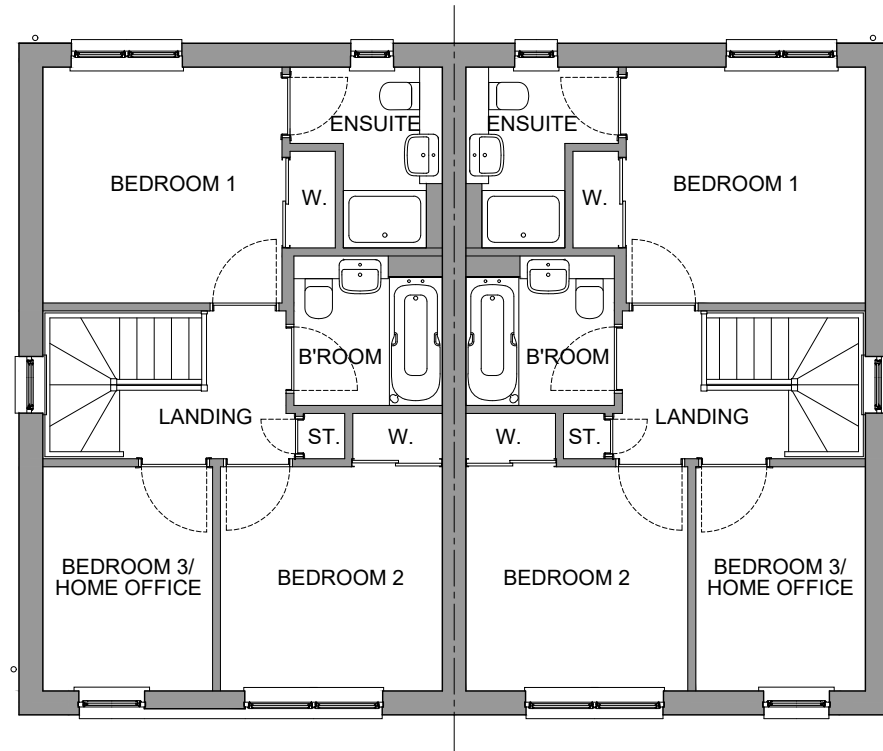
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

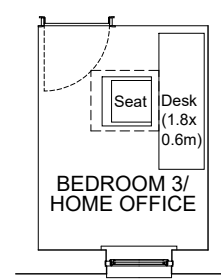
CORRAN PLANS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-125		REV. A

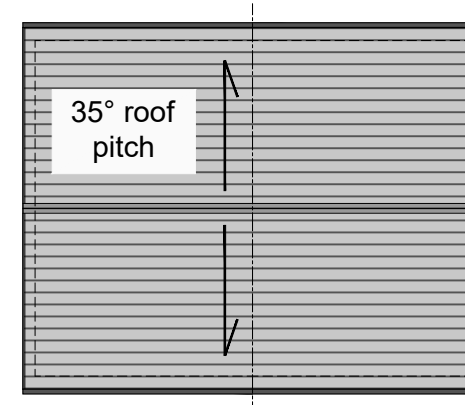
**Torrin**  
 2 storey semi-detached house / 3 Beds  
 Floor Area = 88m<sup>2</sup>



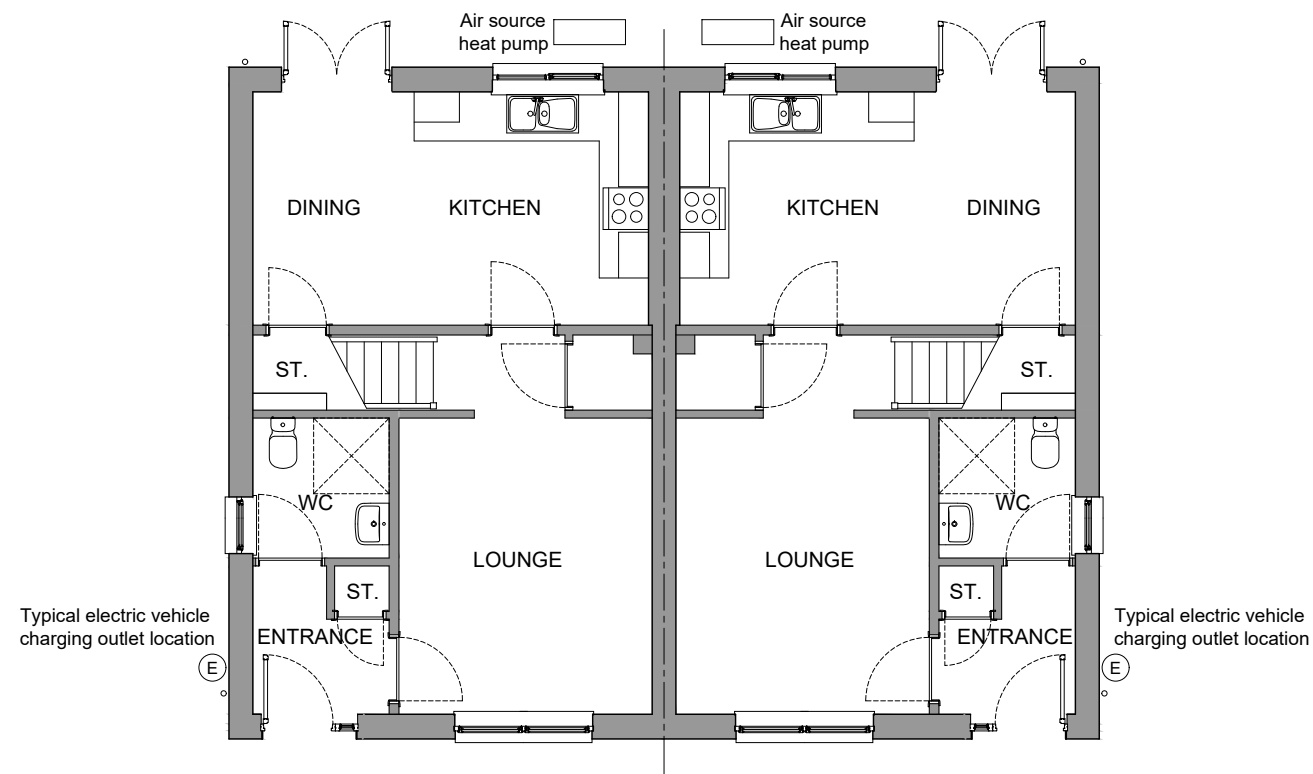
UPPER FLOOR PLAN



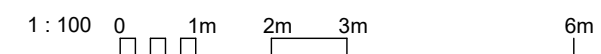
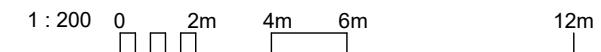
Home Office Layout  
 (Consistent with requirements  
 of Building Regulations Annex  
 7.C of Technical Standards)



ROOF PLAN  
 (1:200@A3)



GROUND FLOOR PLAN



REV	DATE	DESCRIPTION	DRN
A	JUN23	HOME OFFICE INDICIATED	DAK

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

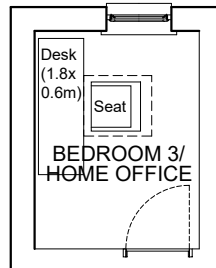
SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

TORRIN PLANS

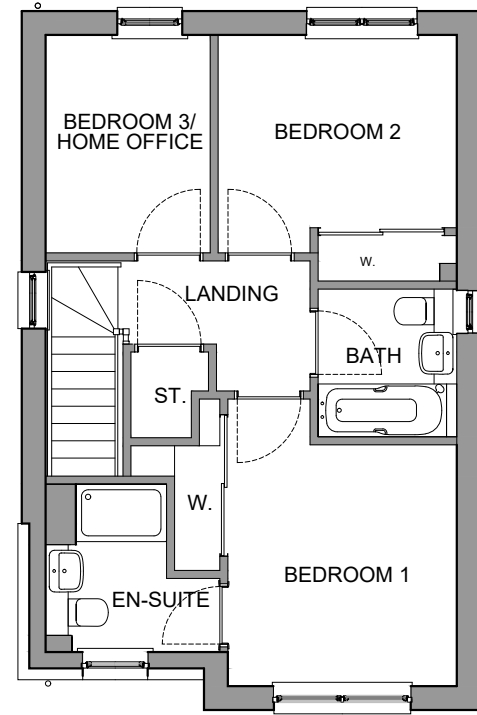
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PAPER SIZE:	A3	DATE:	Jun 2023
DWG No.	4576-01-130		REV. A



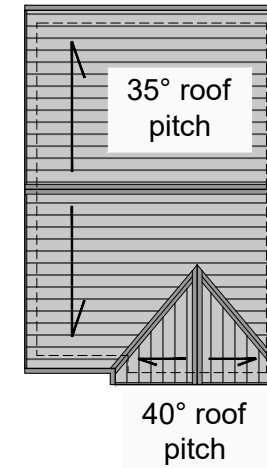
**Calder**  
 2 storey detached house / 3 Bedrooms  
 Floor Area = 91m<sup>2</sup>



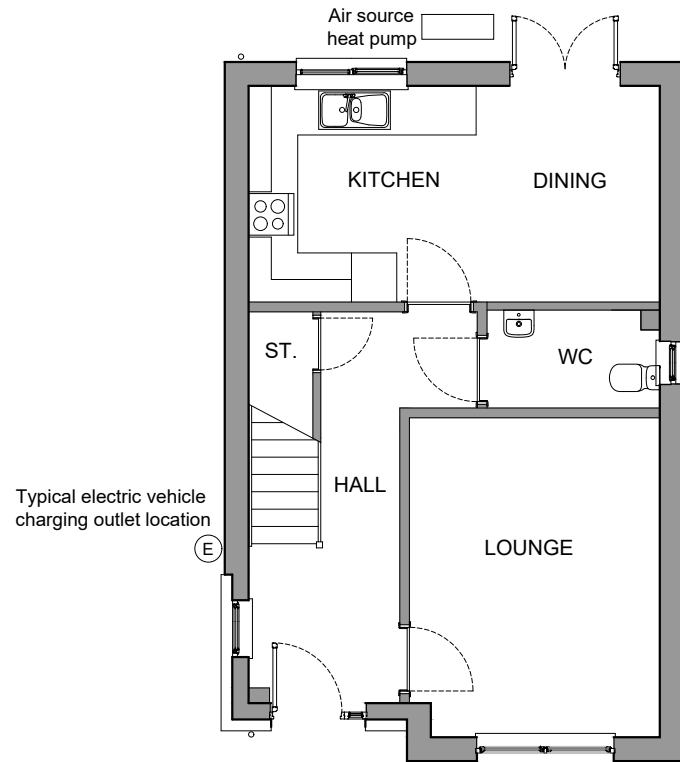
Home Office Layout  
 (Consistent with requirements  
 of Building Regulations Annex  
 7.C of Technical Standards)



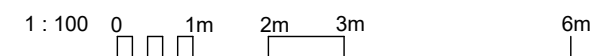
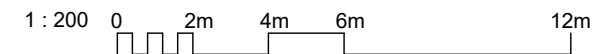
UPPER FLOOR PLAN



ROOF PLAN  
 (1:200@A3)



GROUND FLOOR PLAN



A	JUN23	HOME OFFICE INDICATED	DAK
REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

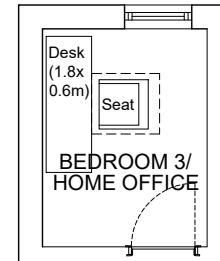
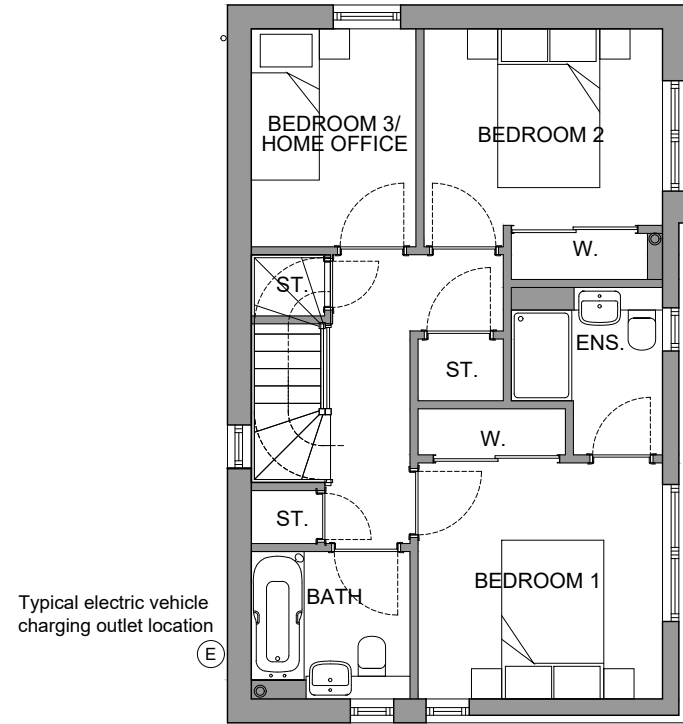
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

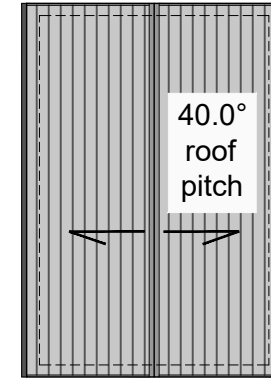
CALDER PLANS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-135		REV. A

**Elm**  
 2 storey detached house / 3 Bedrooms  
 Floor Area = 96m<sup>2</sup>

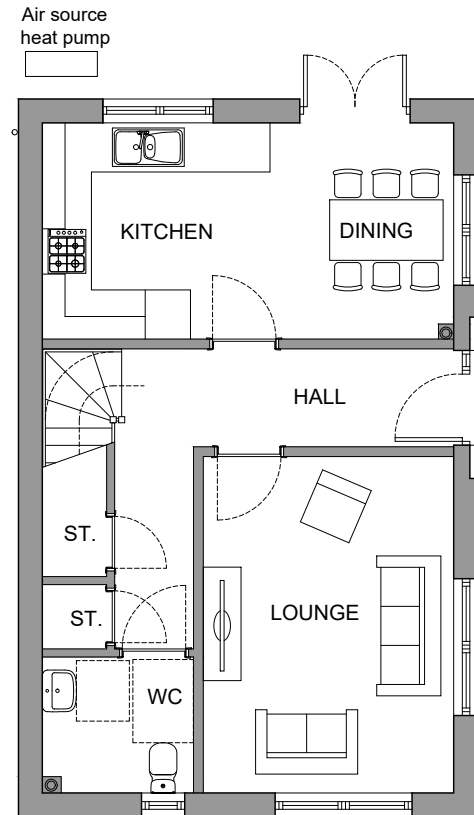


Home Office Layout  
 (Consistent with requirements  
 of Building Regulations Annex  
 7.C of Technical Standards)

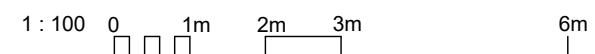
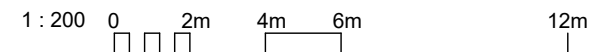


ROOF PLAN  
 (1:200@A3)

UPPER FLOOR PLAN



GROUND FLOOR PLAN



REV	DATE	DESCRIPTION	DRN
A	JUN23	HOME OFFICE INDICATED	DAK

**Bracewell Stirling CONSULTING**

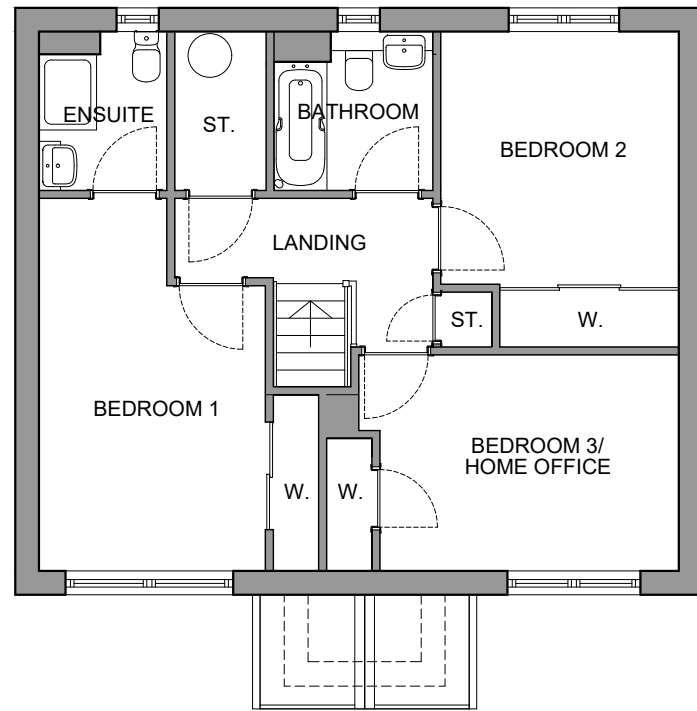
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

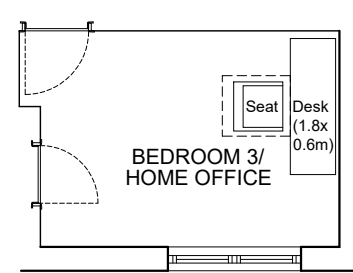
ELM PLANS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-140		REV. A

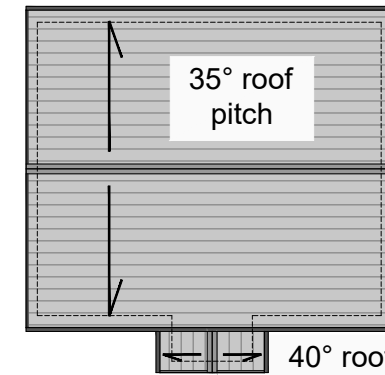
**Affric**  
 2 storey detached house / 3 Bedrooms  
 Floor Area = 105m<sup>2</sup>



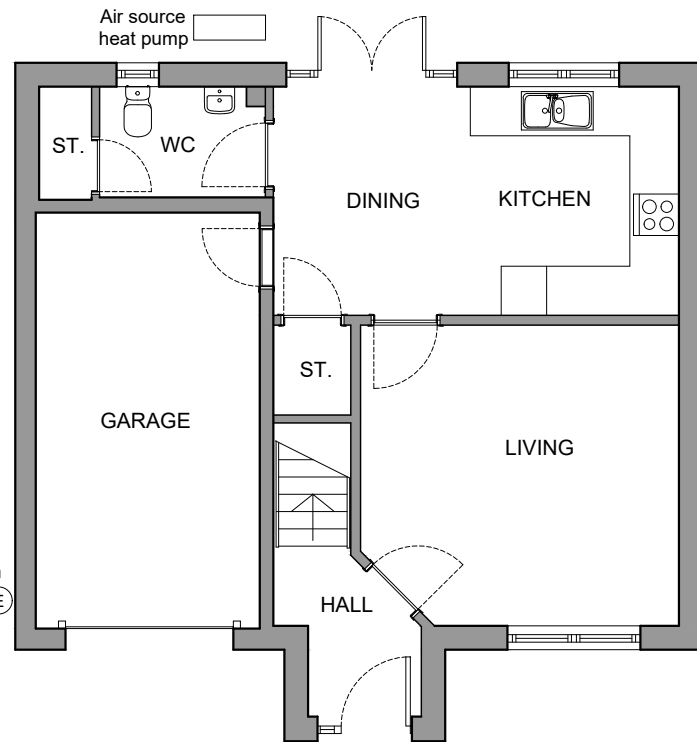
UPPER FLOOR PLAN



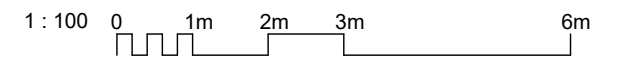
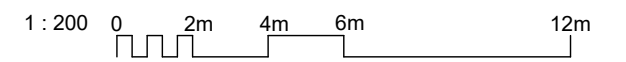
Home Office Layout  
 (Consistent with requirements  
 of Building Regulations Annex  
 7.C of Technical Standards)



ROOF PLAN  
 (1:200@A3)



GROUND FLOOR PLAN



REV	DATE	DESCRIPTION	DRN
A	JUN23	HOME OFFICE INDICATED	DAK

**Bracewell Stirling CONSULTING**

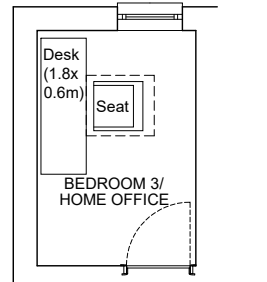
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

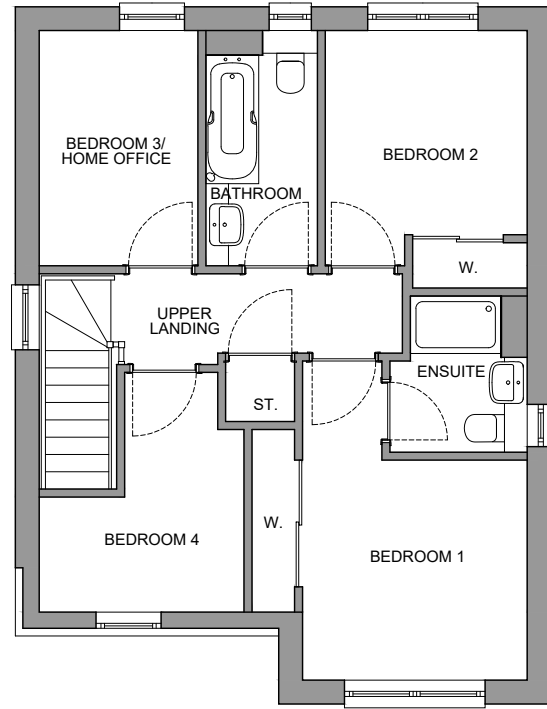
AFFRIC PLANS

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Jun 2023
DWG No.	4576-01-145	REV.	A

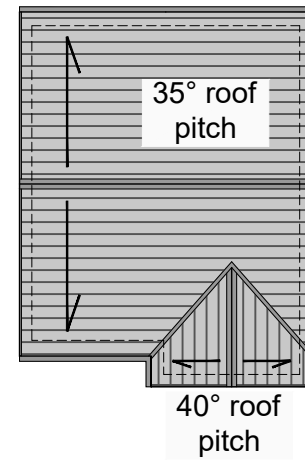
**Tweed**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 105m<sup>2</sup>



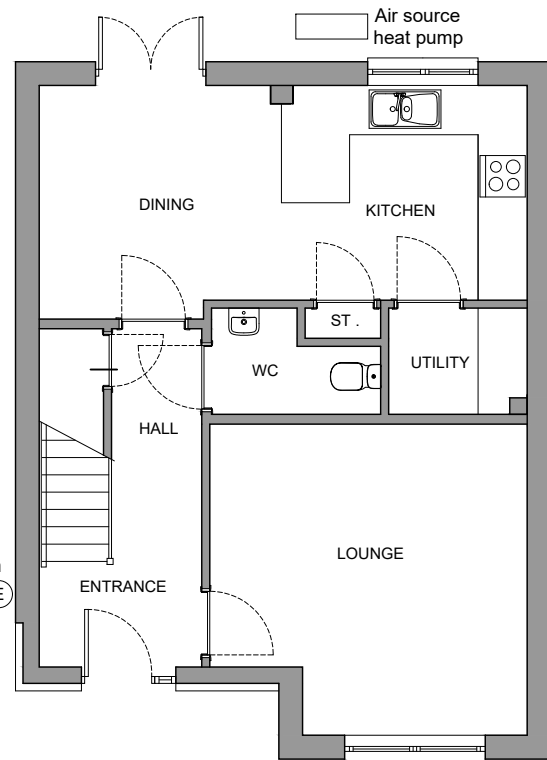
Home Office Layout  
 (Consistent with requirements  
 of Building Regulations Annex  
 7.C of Technical Standards)



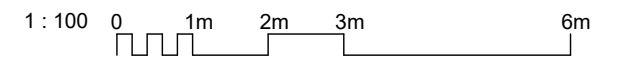
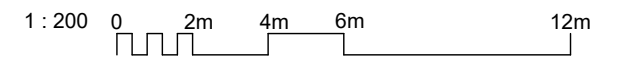
UPPER FLOOR PLAN



ROOF PLAN  
 (1:200@A3)



GROUND FLOOR PLAN



REV	DATE	DESCRIPTION	DRN
A	JUN'23	HOME OFFICE INDICATED	DAK

**Bracewell Stirling CONSULTING**

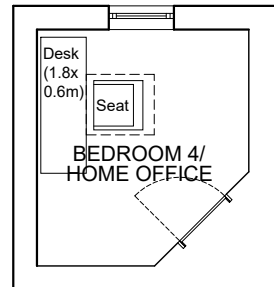
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

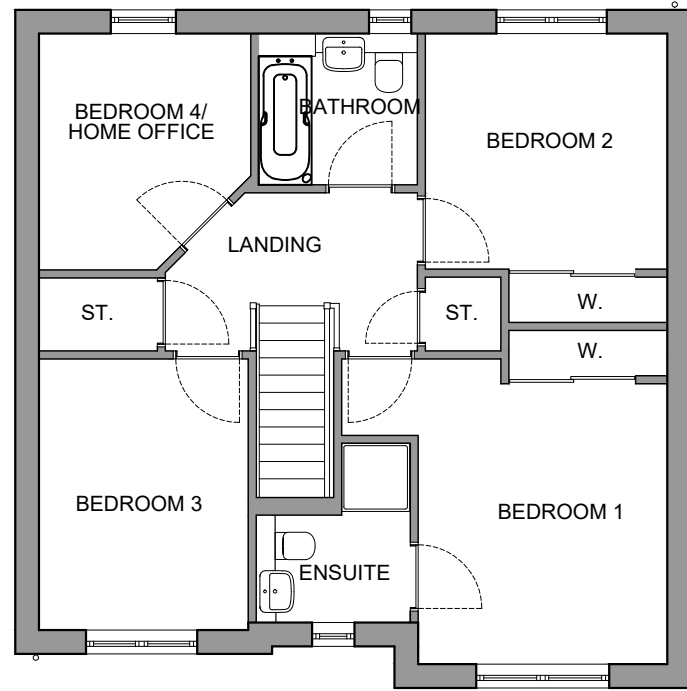
TWEED PLANS

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Apr 2023
DWG No.	4576-01-150	REV.	A

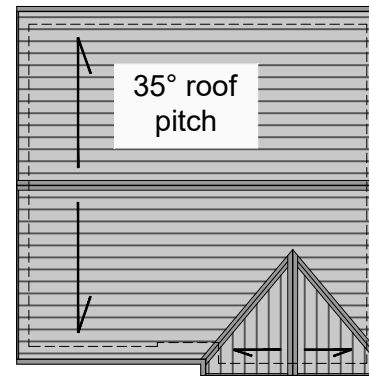
**Etive**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 118m<sup>2</sup>



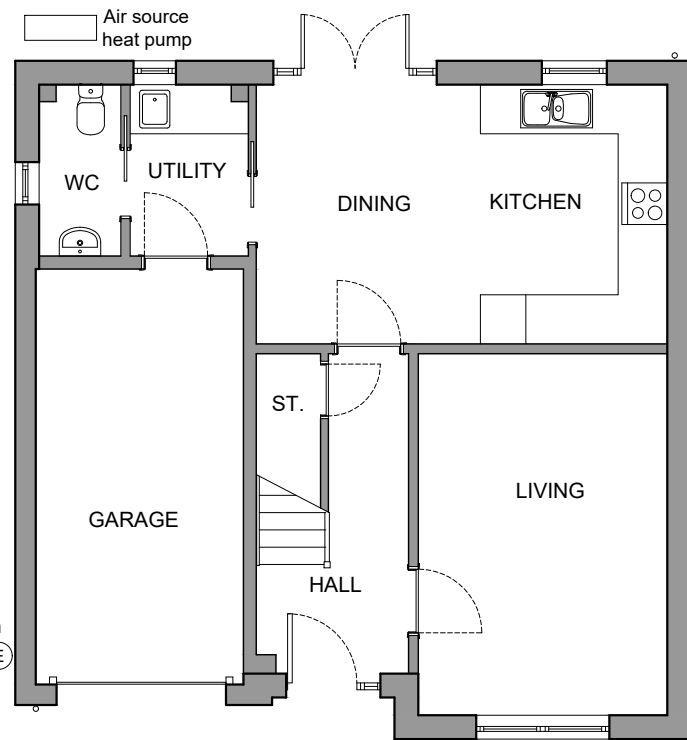
Home Office Layout  
 (Consistent with requirements  
 of Building Regulations Annex  
 7.C of Technical Standards)



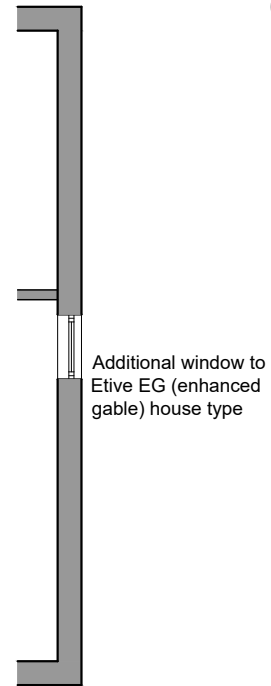
UPPER FLOOR PLAN



ROOF PLAN (1:200@A3)  
 40° roof pitch

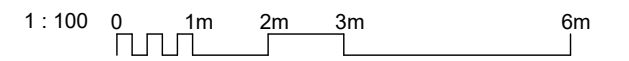
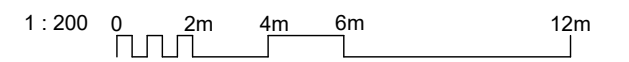


GROUND FLOOR PLAN



Additional window to  
 Etive EG (enhanced  
 gable) house type

Typical electric vehicle  
 charging outlet location  
 (E)



REV	DATE	DESCRIPTION	DRN
A	JUN23	HOME OFFICE INDICATED	DAK

**Bracewell Stirling CONSULTING**

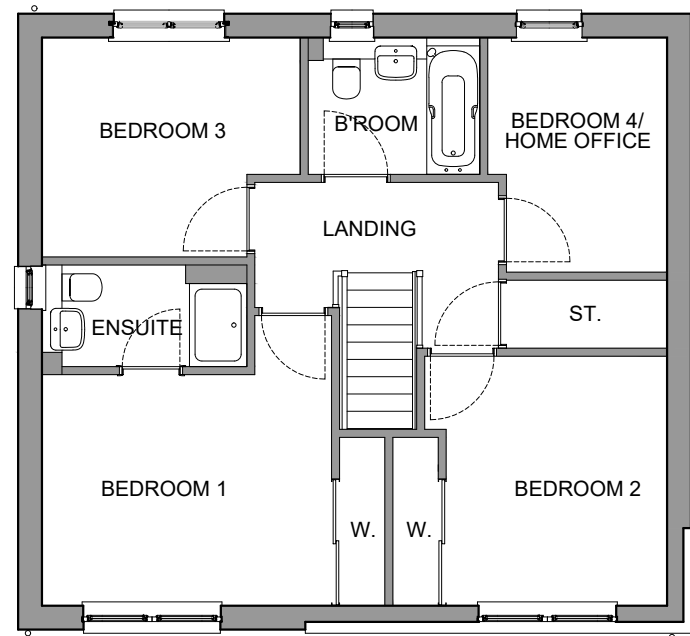
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

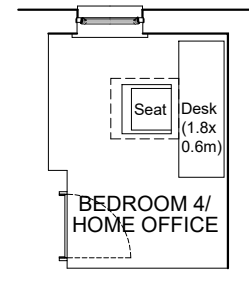
ETIVE PLANS

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Jun 2023
DWG No.	4576-01-155	REV.	A

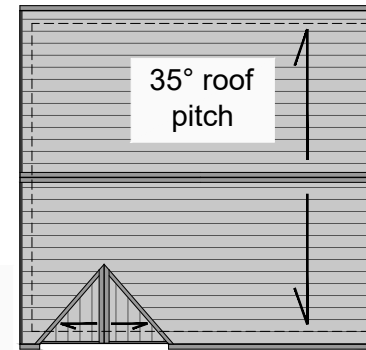
**Tarvie**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 124m<sup>2</sup>



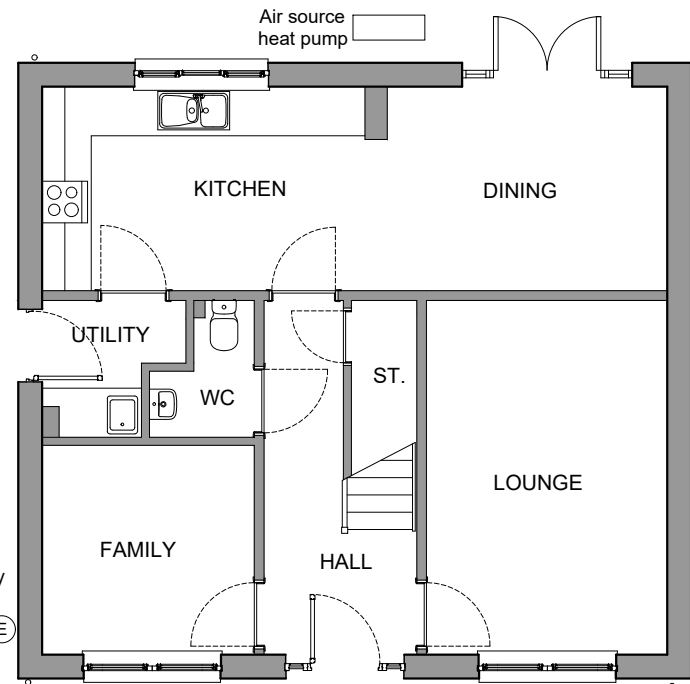
UPPER FLOOR PLAN



Home Office Layout  
 (Consistent with requirements  
 of Building Regulations Annex  
 7.C of Technical Standards)

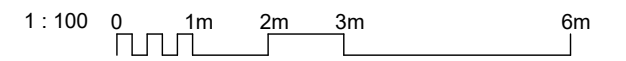
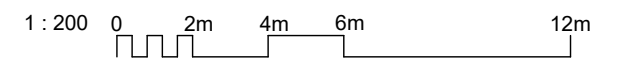


ROOF PLAN  
 (1:200@A3)



GROUND FLOOR PLAN

Typical electric vehicle  
 charging outlet location,  
 although may alternatively  
 be located on detached  
 double garage wall



REV	DATE	DESCRIPTION	DRN
A	JUN23	HOME OFFICE INDICATED	DAK

**Bracewell Stirling CONSULTING**

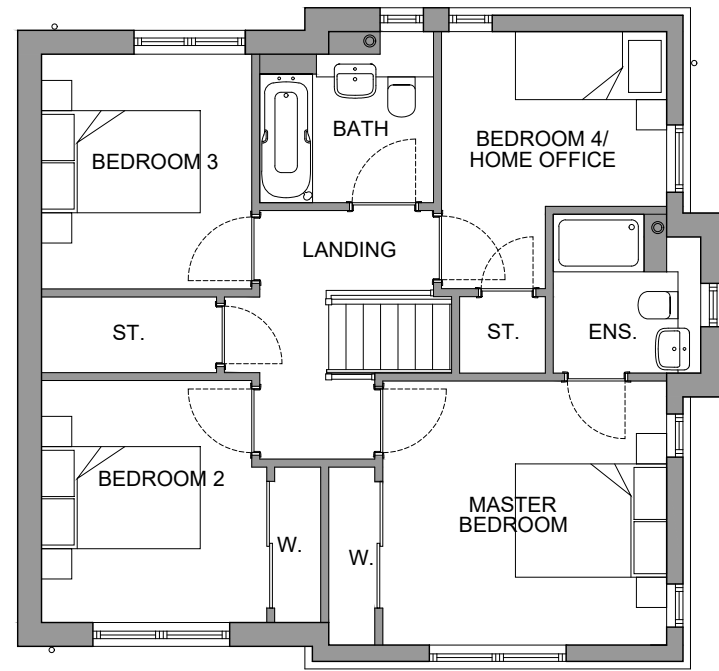
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

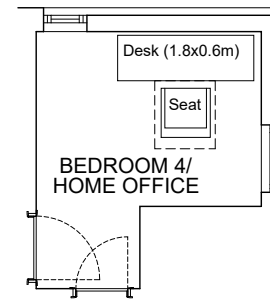
TARVIE PLANS

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Jun 2023
DWG No.	4576-01-160	REV.	A

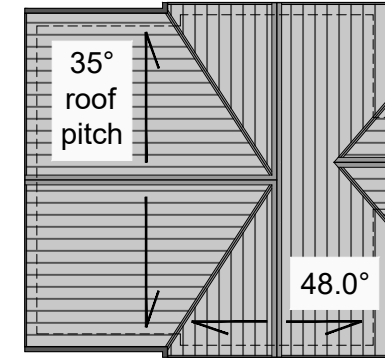
**Willow**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 131m<sup>2</sup>



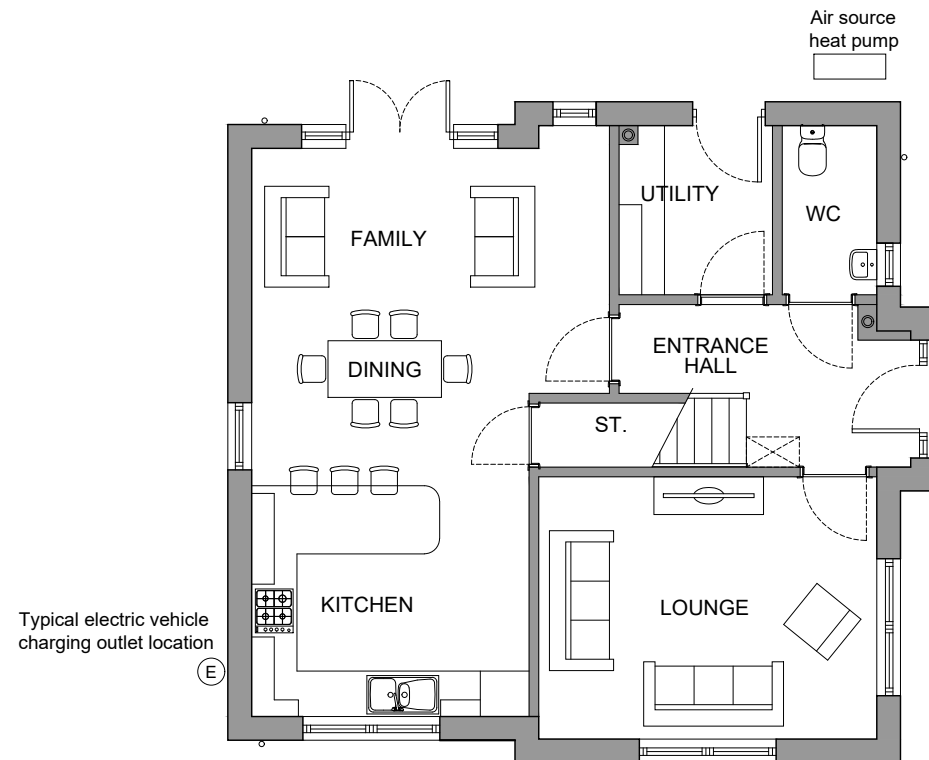
UPPER FLOOR PLAN



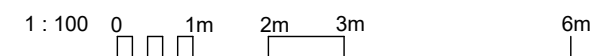
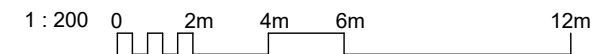
Home Office Layout  
 (Consistent with requirements  
 of Building Regulations Annex  
 7.C of Technical Standards)



ROOF PLAN  
 (1:200@A3)



GROUND FLOOR PLAN



A	JUN'23	HOME OFFICE INDICATED. KITCHEN/FAM. AREA UPDATED.	DAK
REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

WILLOW PLANS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Jun 2023
DWG No.	4576-01-165	REV.	A

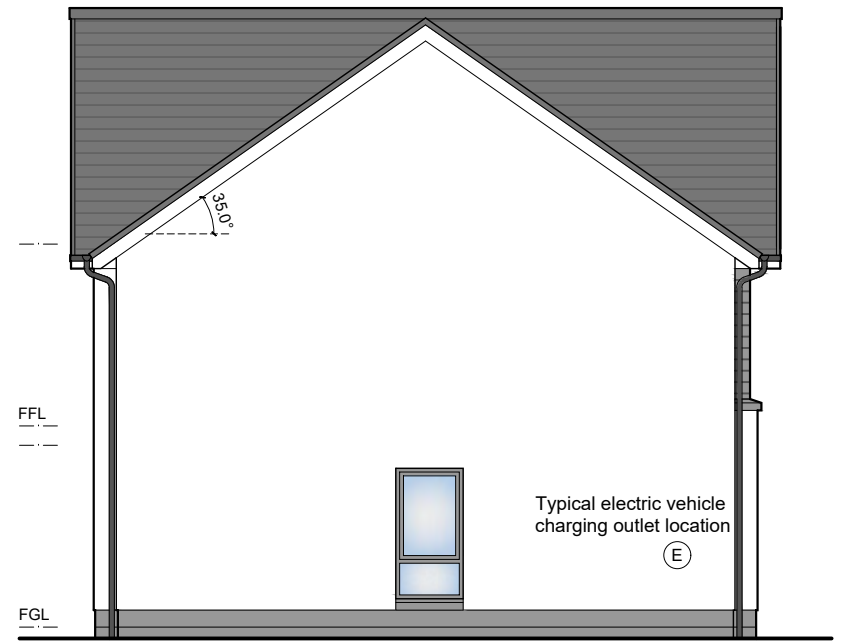
**Willow**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 131m<sup>2</sup>



FRONT ELEVATION



ENTRANCE ELEVATION

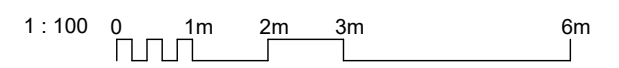


SIDE ELEVATION



REAR ELEVATION

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN
A	JUN23	GABLE WINDOW UPDATED	DAK

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

WILLOW ELEVATIONS

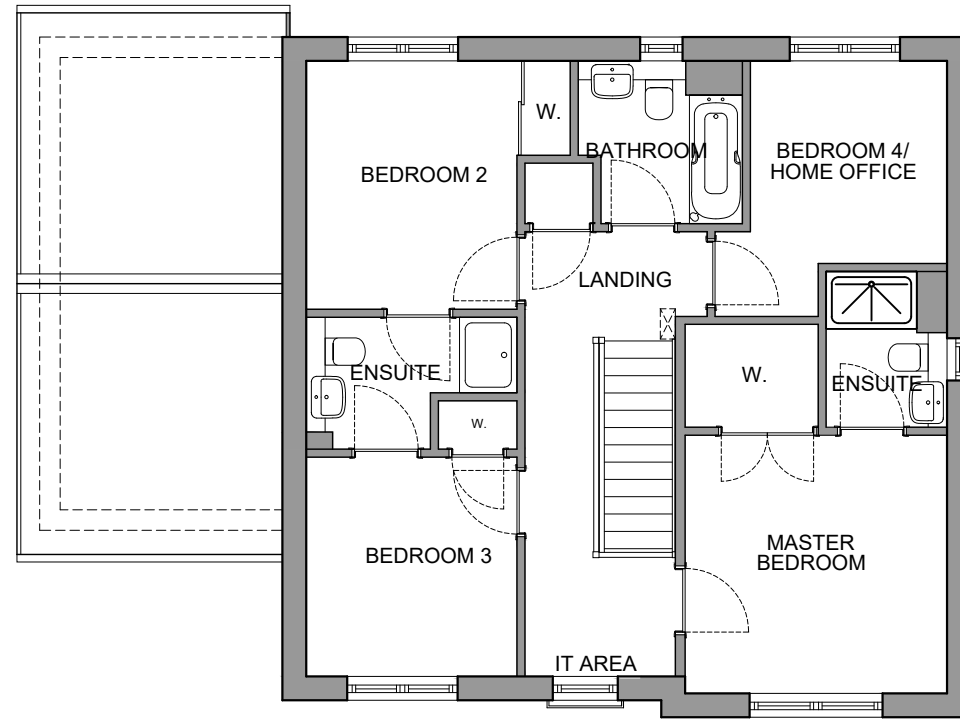


3D PERSPECTIVES

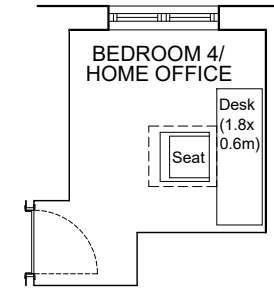
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PAPER SIZE:	A3	DATE:	Jun 2023
DWG No.	4576-01-166	REV.	A



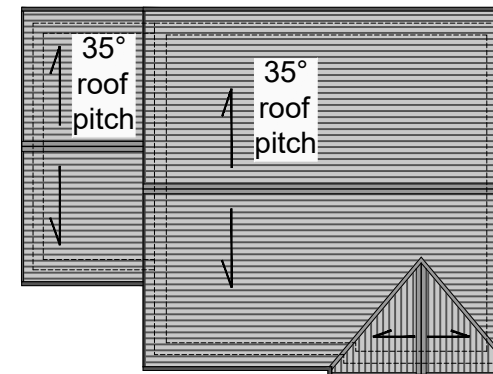
**Lochalsh**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 139m<sup>2</sup>



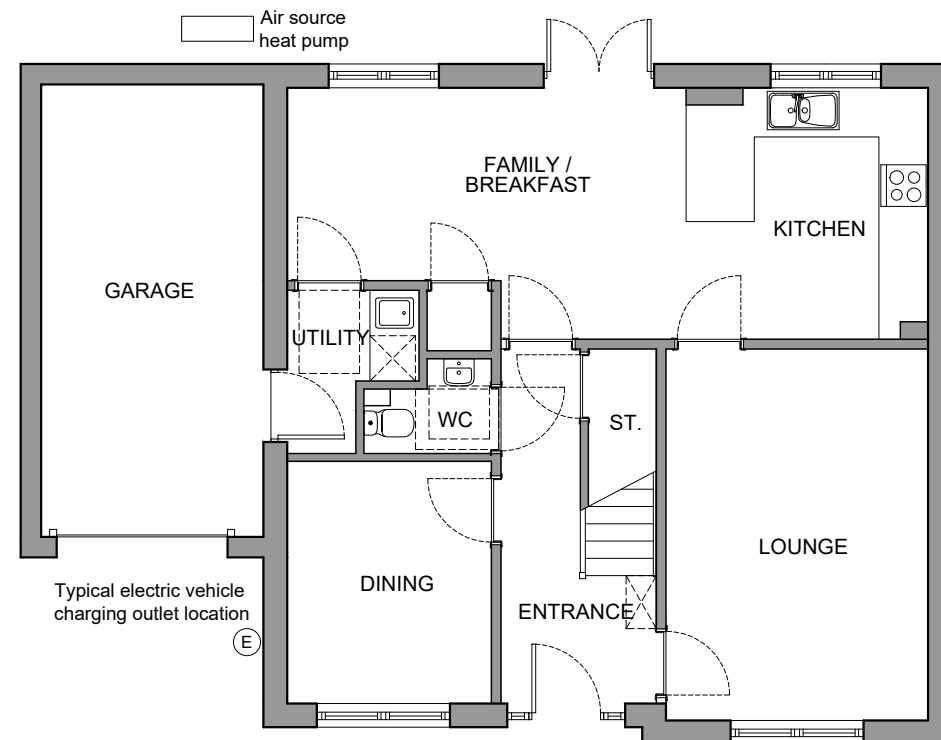
UPPER FLOOR PLAN



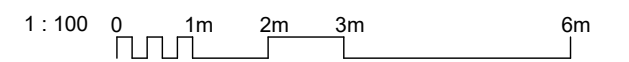
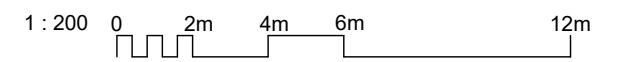
Home Office Layout  
 (Consistent with requirements  
 of Building Regulations Annex  
 7.C of Technical Standards)



ROOF PLAN  
 (1:200@A3)



GROUND FLOOR PLAN



REV	DATE	DESCRIPTION	DRN
A	JUN23	HOME OFFICE INDICATED	DAK

**Bracewell Stirling CONSULTING**

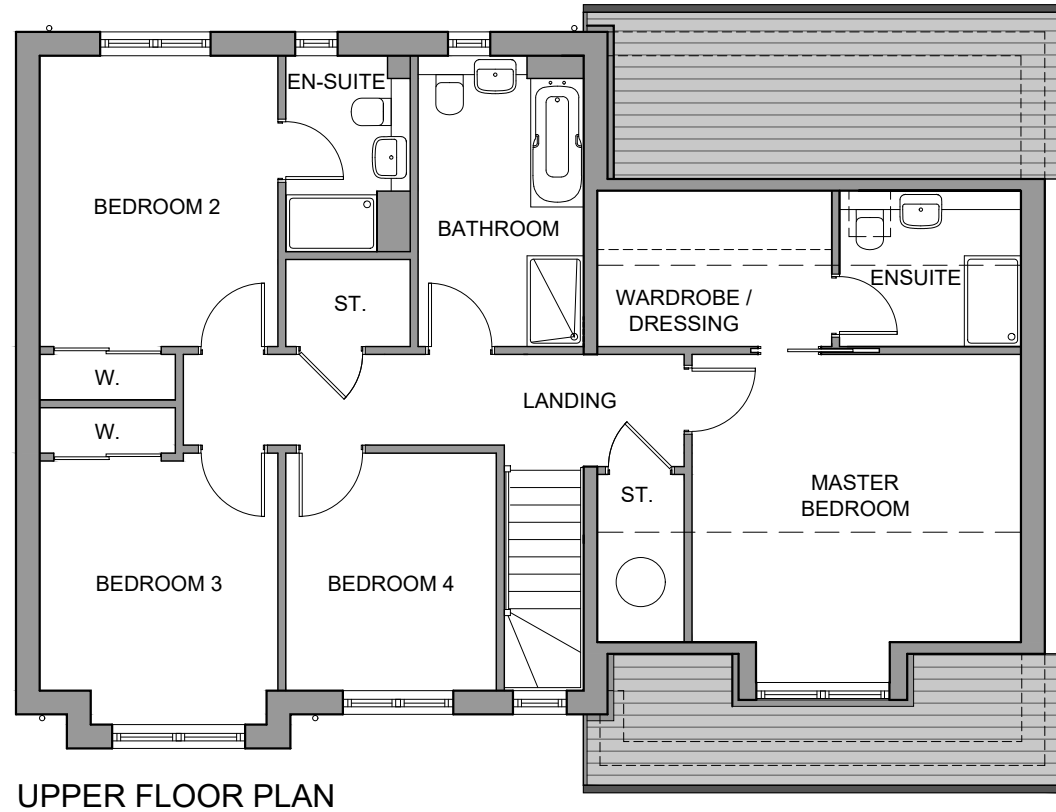
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

LOCHALSH PLANS

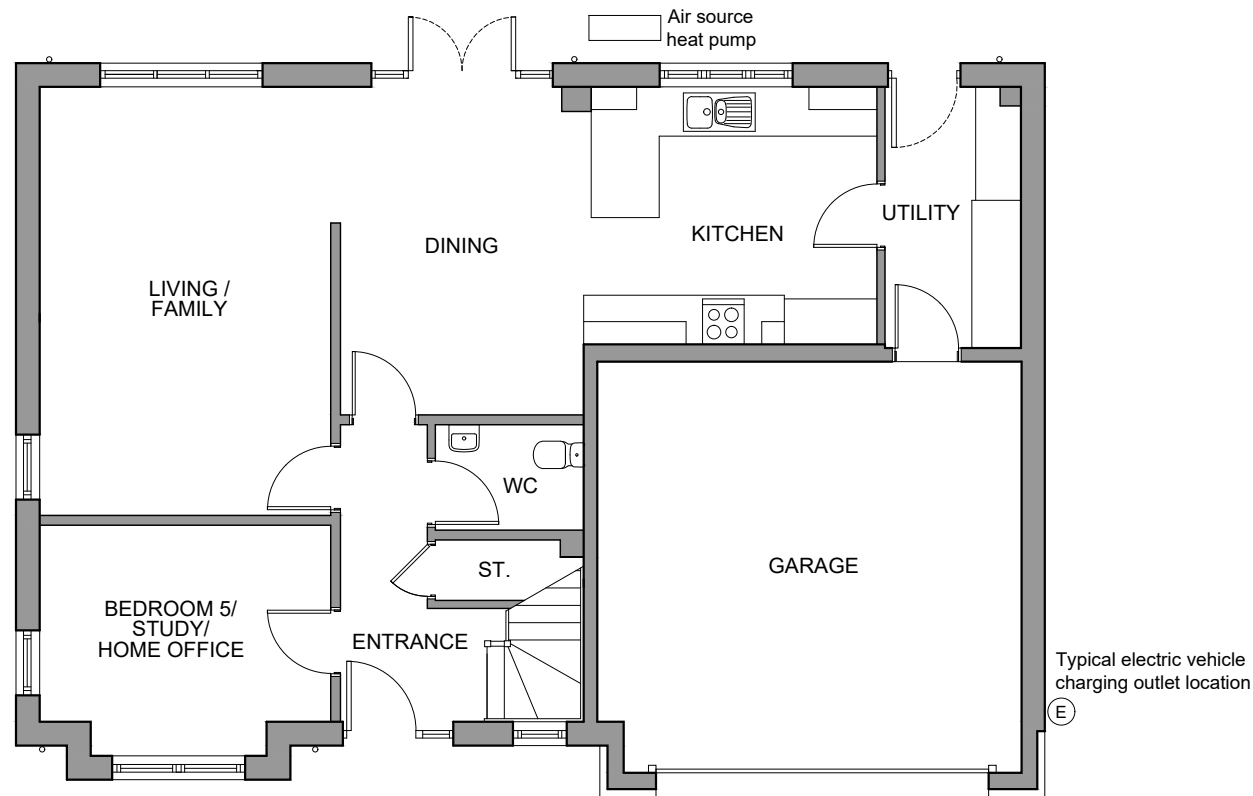
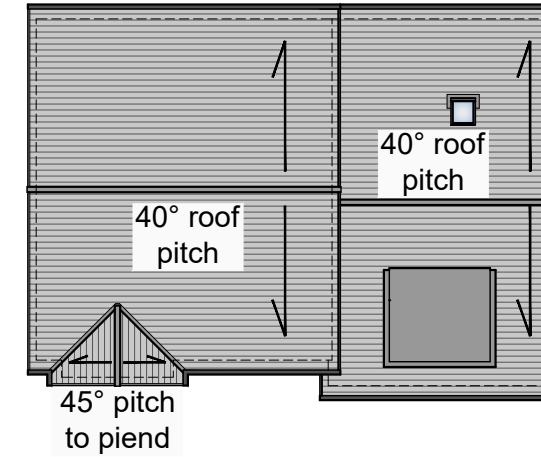
SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Jun 2023
DWG No.	4576-01-170	REV.	A

**Culzean**  
 2 storey detached house / 5 Bedrooms  
 Floor Area = 177m<sup>2</sup>

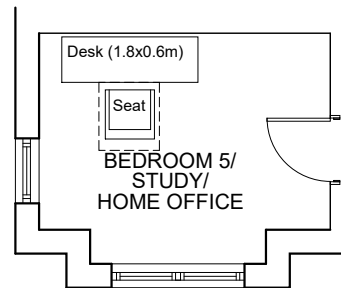


UPPER FLOOR PLAN

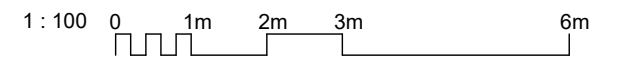
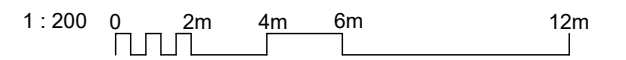
ROOF PLAN  
 (1:200@A3)



GROUND FLOOR PLAN



Home Office Layout  
 (Consistent with requirements  
 of Building Regulations Annex  
 7.C of Technical Standards)



REV	DATE	DESCRIPTION	DRN
A	JUN23	HOME OFFICE INDICATED	DAK

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

CULZEAN PLANS

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Jun 2023
DWG No.	4576-01-175	REV.	A

**PLOT NO.S**  
136-139



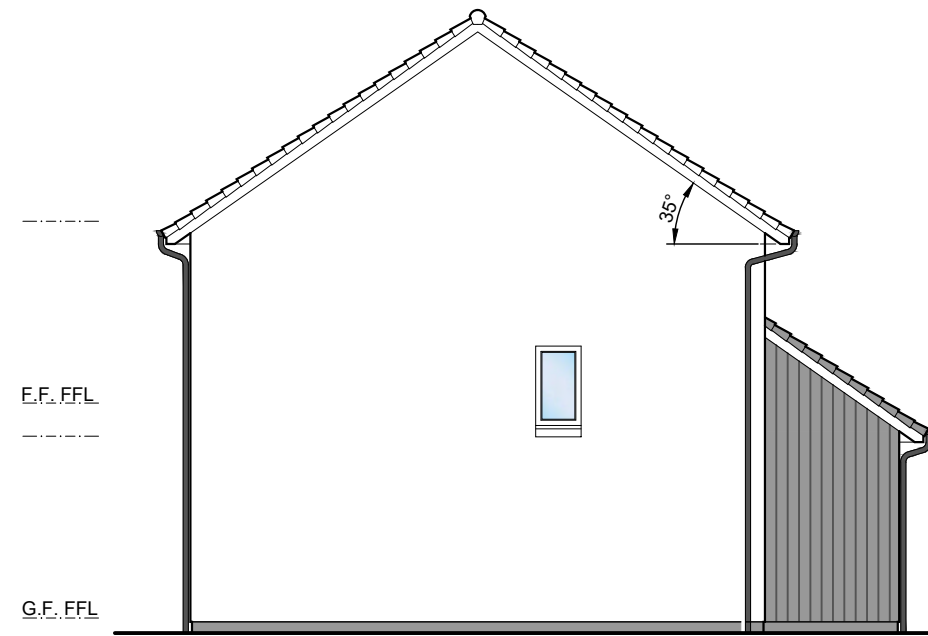
FRONT ELEVATION



GABLE ELEVATION



REAR ELEVATION



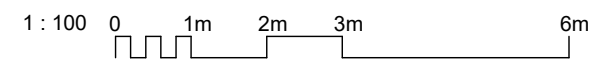
GABLE ELEVATION

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

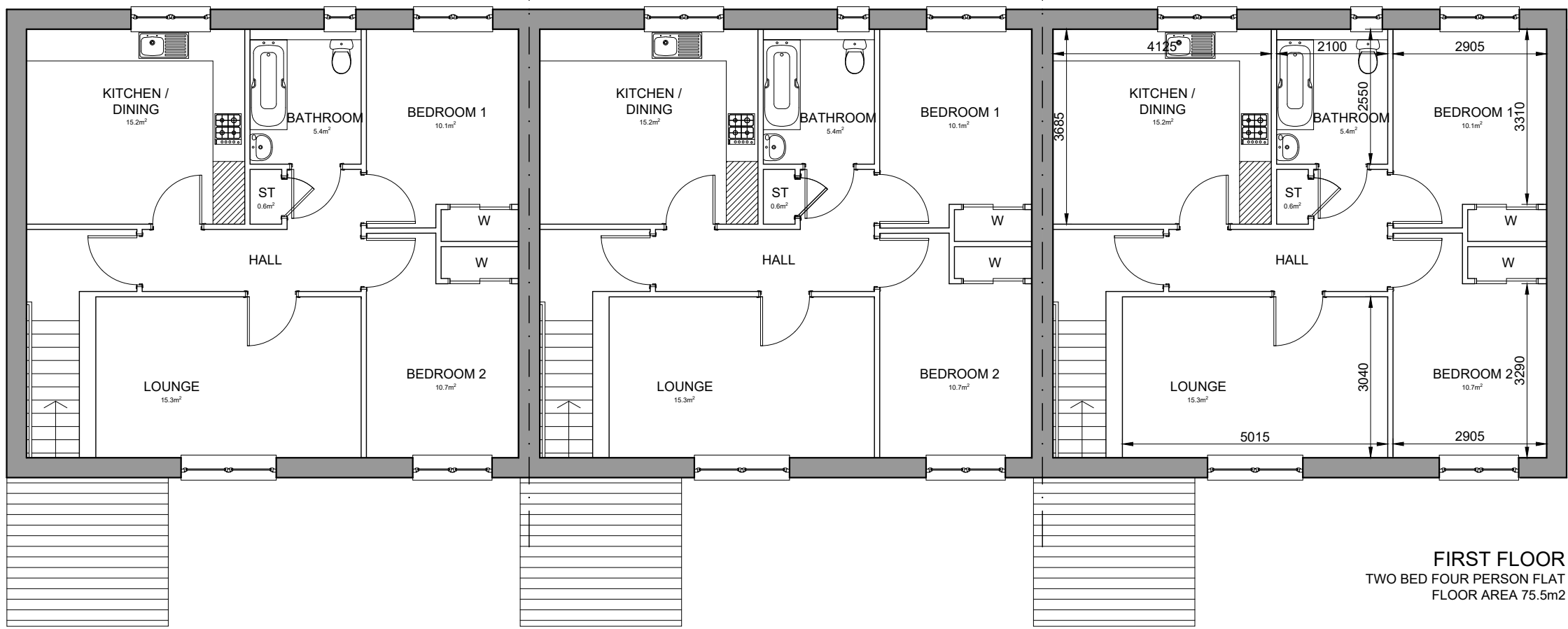
SITE CB2, BRAES OF CONON  
CONON BRIDGE  
TULLOCH HOMES LTD  
1B2P FLATS - ELEVATIONS - 650 STEP

REV	DATE	DESCRIPTION	DRN
A	02.05.23	GENERAL UPDATES	MJ

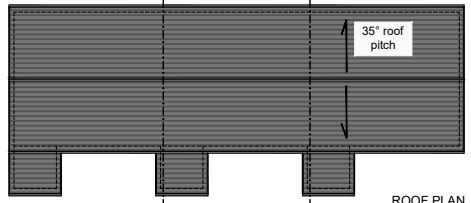


STATUS:	<b>PLANNING</b>		
SCALE:	1 : 100	DRAWN:	LK
PAPER SIZE:	A3	DATE:	May 2023
DWG No.	4576-01-201	REV.	A

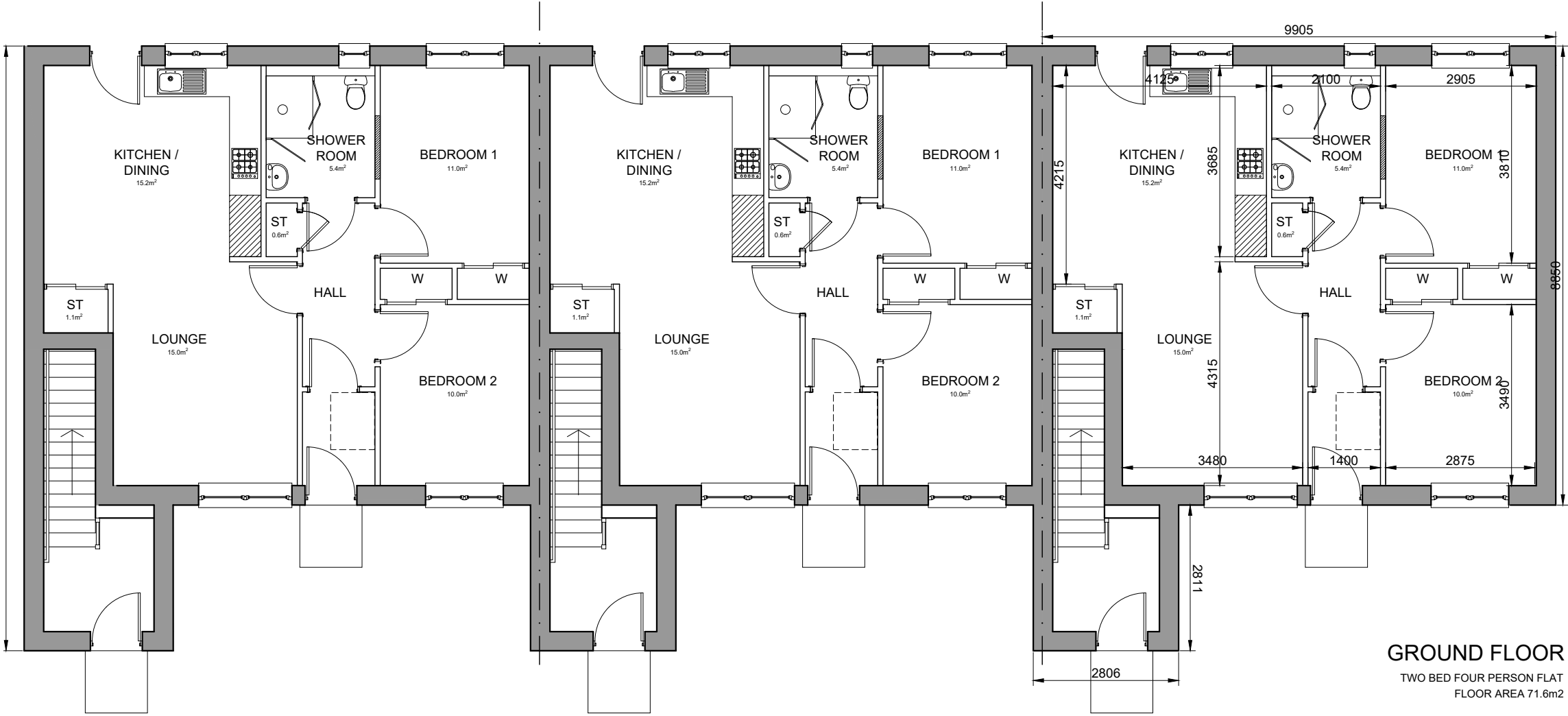
**PLOT NO.S**  
140-145



**FIRST FLOOR**  
TWO BED FOUR PERSON FLAT  
FLOOR AREA 75.5m<sup>2</sup>



ROOF PLAN  
(1:500@A3)



**GROUND FLOOR**  
TWO BED FOUR PERSON FLAT  
FLOOR AREA 71.6m<sup>2</sup>

REV	DATE	DESCRIPTION	DRN
A	02.05.23	MINOR UPDATES TO WINDOWS	MJ

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

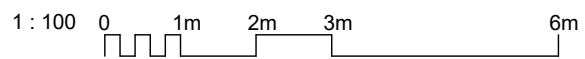
SITE CB2, BRAES OF CONON  
CONON BRIDGE  
TULLOCH HOMES LTD

2B4P FLATS - FLOOR PLANS

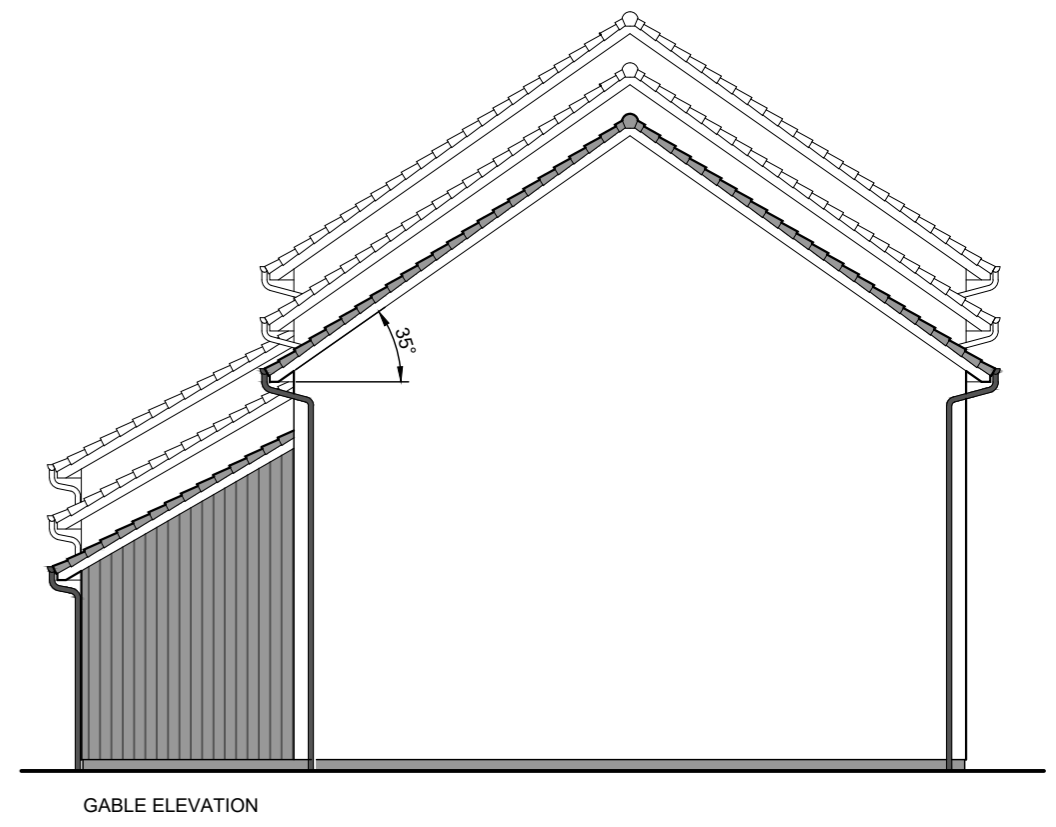
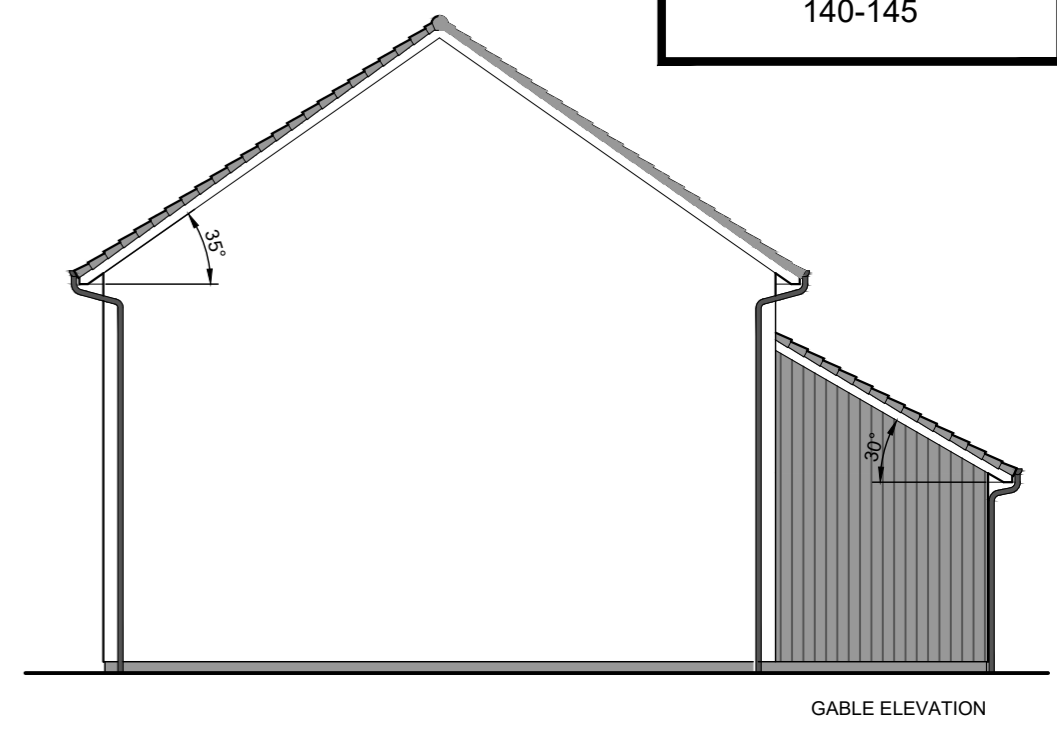
STATUS: **PLANNING**

SCALE: 1 : 100 DRAWN: LK  
PAPER SIZE: A3 DATE: May 2023

DWG No. **4576-01-205** REV. **A**



PLOT NO.S  
140-145



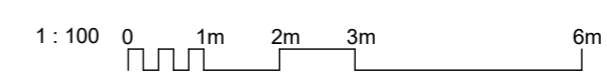
REV	DATE	DESCRIPTION	DRN
A	02.05.23	GENERAL UPDATES	MJ

**Bracewell Stirling** CONSULTING

38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD  
 2B4P FLATS - ELEVATIONS - 675 STEP

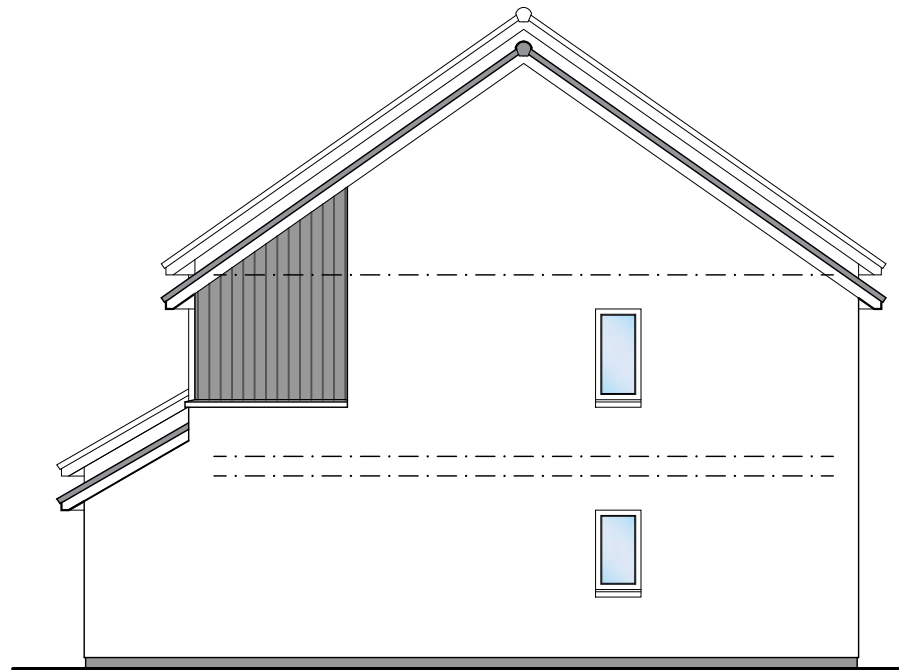
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SCALE:	1 : 100	DRAWN:	LK
PAPER SIZE:	A2	DATE:	May 2023
DWG No.	4576-01-206	REV.	A



**PLOT NO.S**  
125-128; 146-149



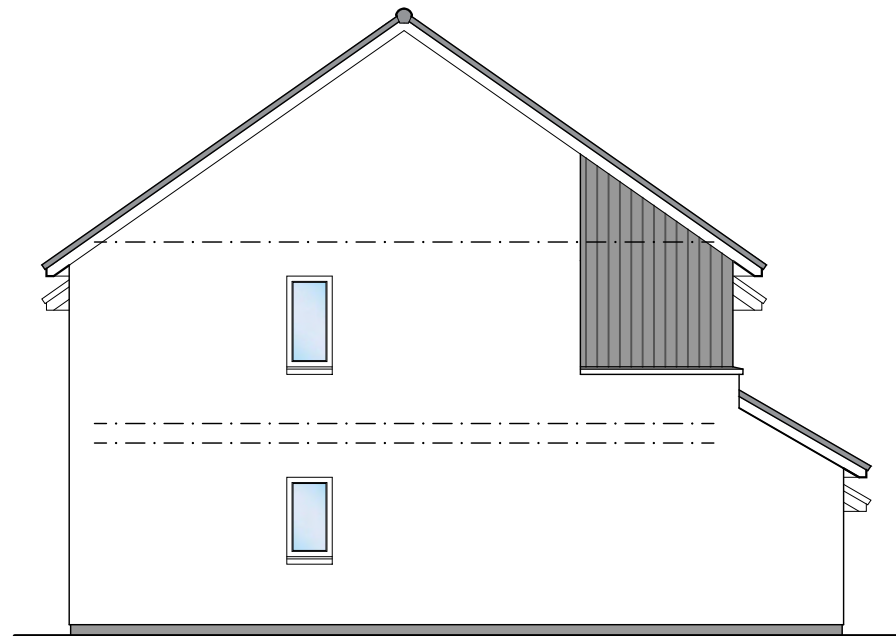
REAR ELEVATION



GABLE ELEVATION



FRONT ELEVATION



GABLE ELEVATION

REV	DATE	DESCRIPTION	DRN
A	02.05.23	GENERAL UPDATES	MJ

**Bracewell Stirling CONSULTING**

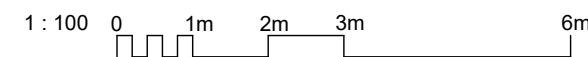
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD  
 2B4P VILLA - ELEVATIONS - 450 STEP

STATUS: **PLANNING**

SCALE: 1:100 DRAWN: LK  
 PAPER SIZE: A3 DATE: May 2023

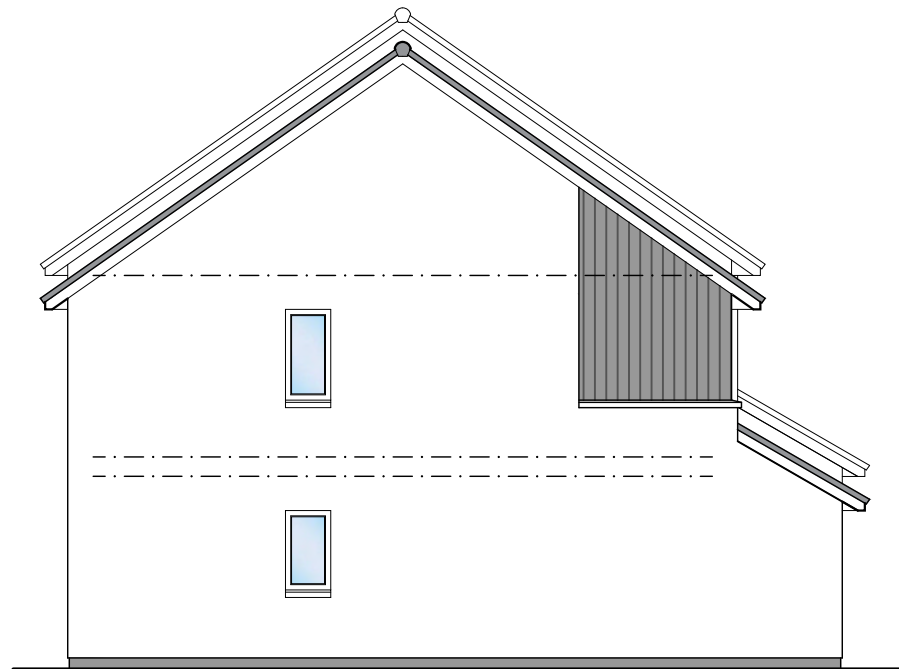
DWG No. **4576-01-211** REV. **A**



PLOT NO.S  
159-160



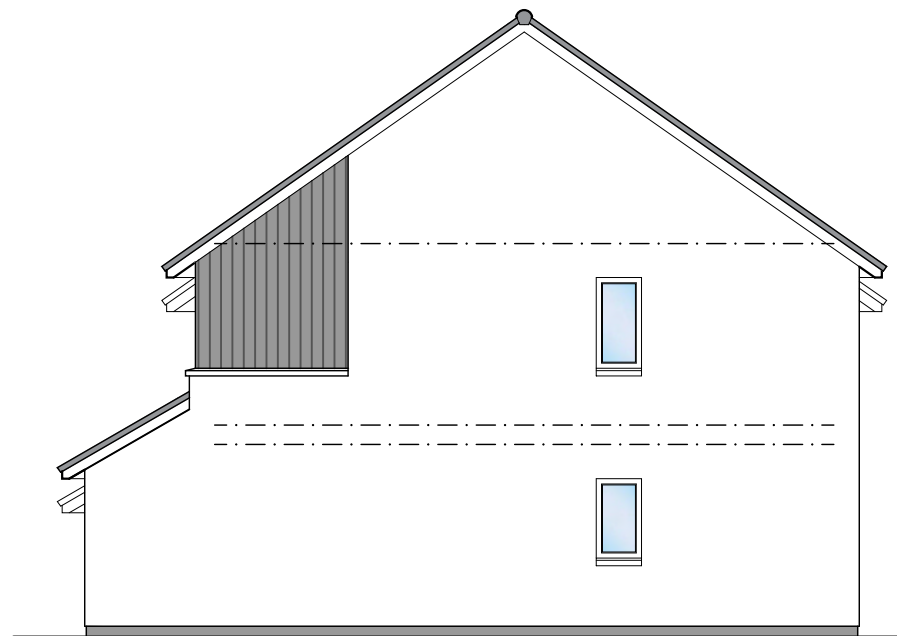
REAR ELEVATION



GABLE ELEVATION



FRONT ELEVATION



GABLE ELEVATION

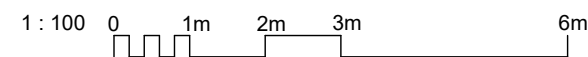
A	02.05.23	GENERAL UPDATES	MJ
REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling** CONSULTING

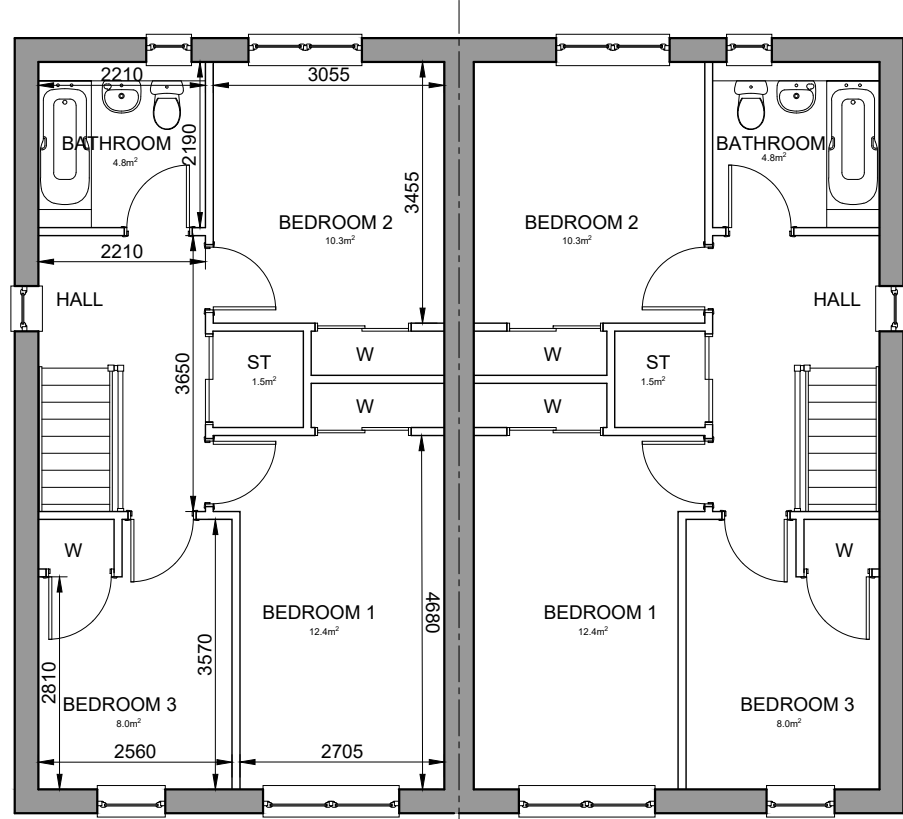
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD  
 2B4P VILLA - ELEVATIONS - 450 STEP

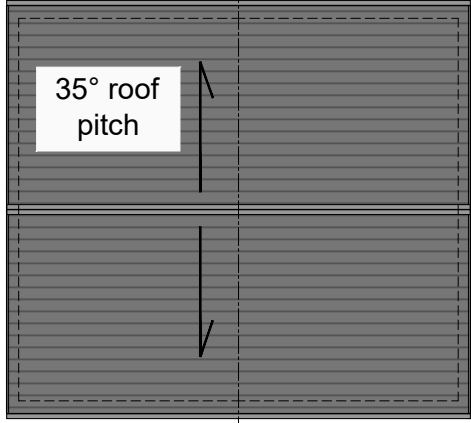
STATUS:	<b>PLANNING</b>		
SCALE:	1 : 100	DRAWN:	LK
PAPER SIZE:	A3	DATE:	May 2023
DWG No.	4576-01-212	REV.	A



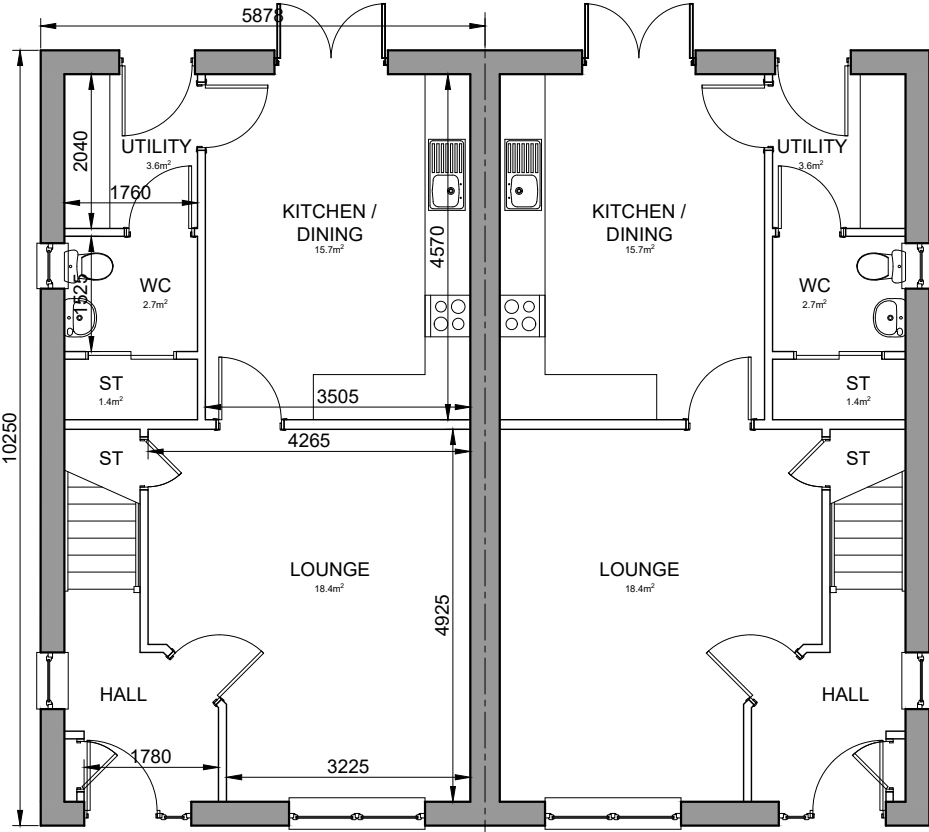
**PLOT NO.S**  
129-130; 133-134  
& 151-158



FIRST FLOOR



ROOF PLAN  
(1:200@A3)



GROUND FLOOR

THREE BED FIVE PERSON VILLA  
FLOOR AREA 100.6m<sup>2</sup>

REV	DATE	DESCRIPTION	DRN
A	02.05.23	MINOR UPDATES TO WINDOWS	MJ

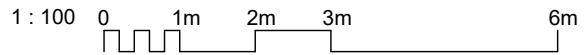
**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
CONON BRIDGE  
TULLOCH HOMES LTD

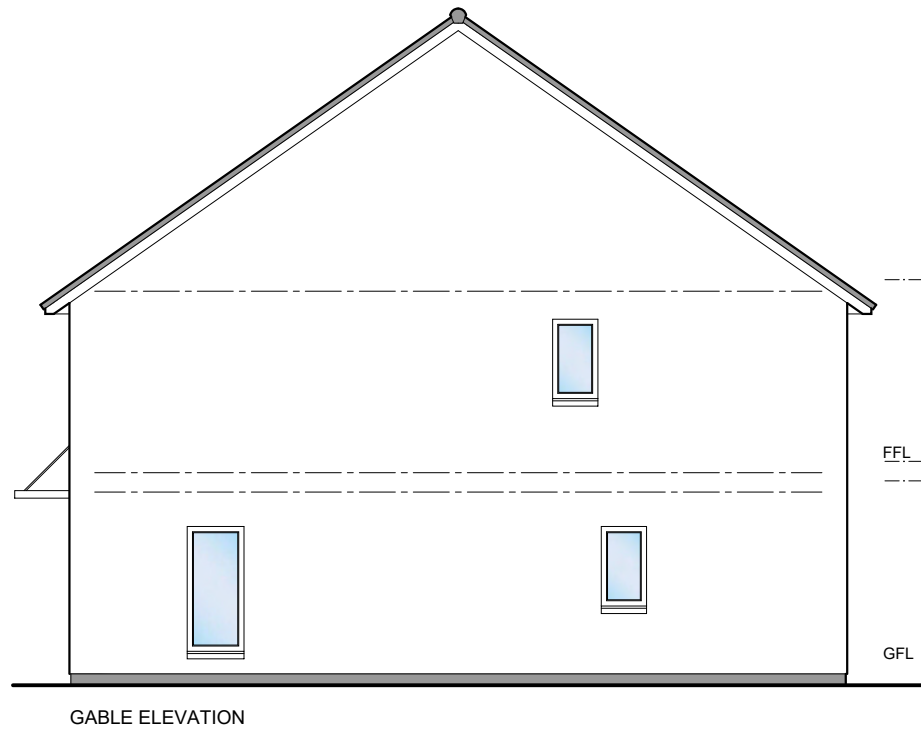
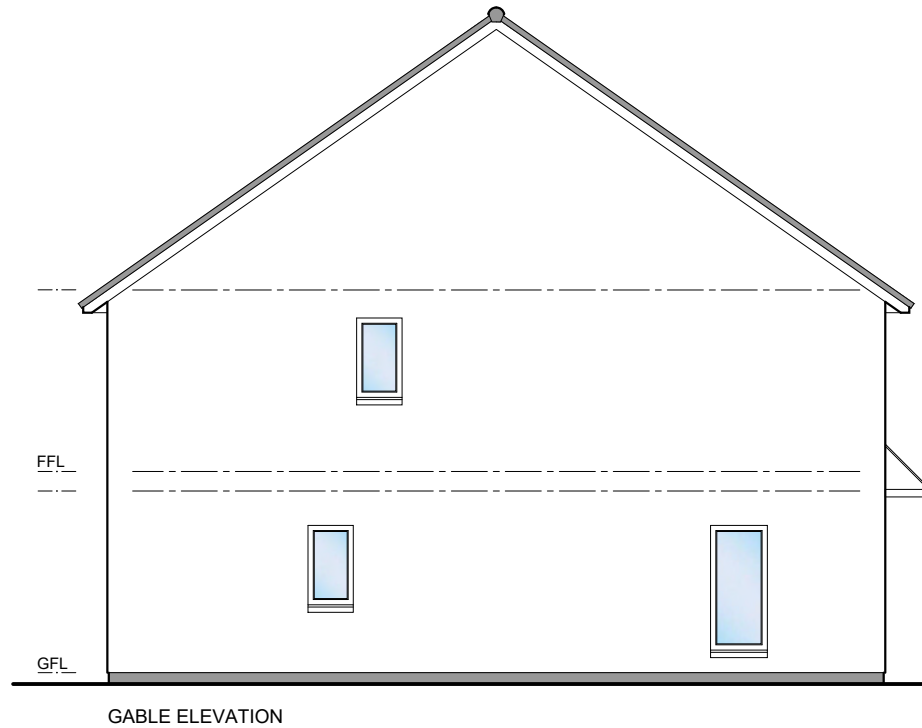
3B5P VILLA - FLOOR PLANS

STATUS:	<b>PLANNING</b>		
SCALE:	1 : 100	DRAWN:	LK
PAPER SIZE:	A3	DATE:	May 2023
DWG No.	4576-01-215		REV. <b>A</b>





**PLOT NO.S**  
133-134 & 151-152



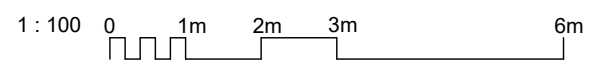
REV	DATE	DESCRIPTION	DRN
A	02.05.23	GENERAL UPDATES	MJ

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
CONON BRIDGE  
TULLOCH HOMES LTD  
3B5P VILLA - ELEVATIONS

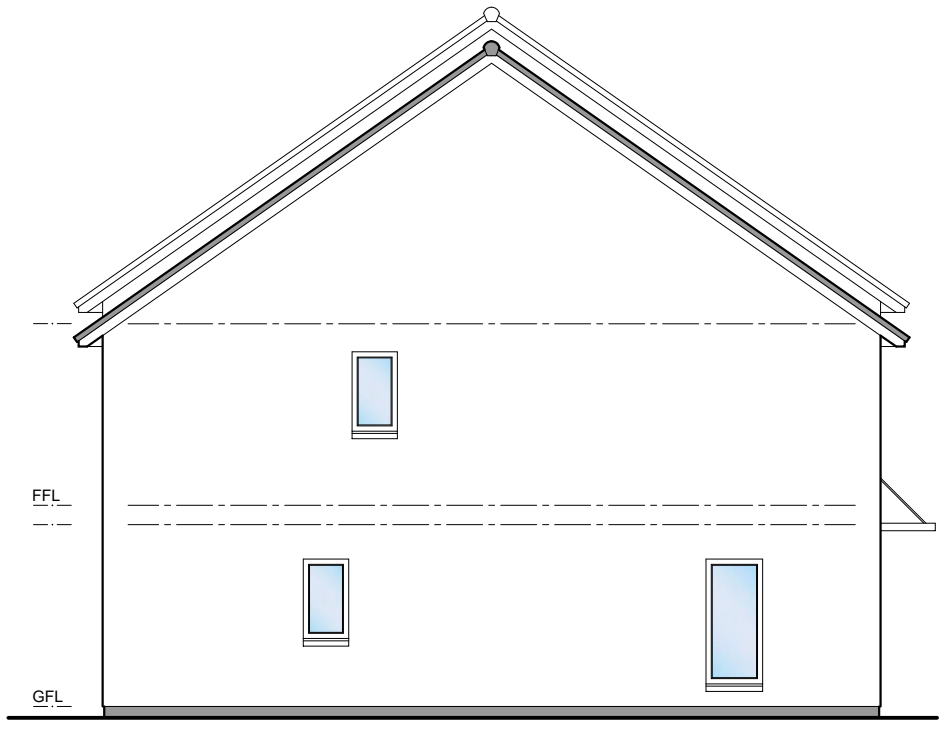
STATUS:	<b>PLANNING</b>		
SCALE:	1 : 100	DRAWN:	LK
PAPER SIZE:	A3	DATE:	May 2023
DWG No.	4576-01-216		REV. A



PLOT NO.S  
153-158



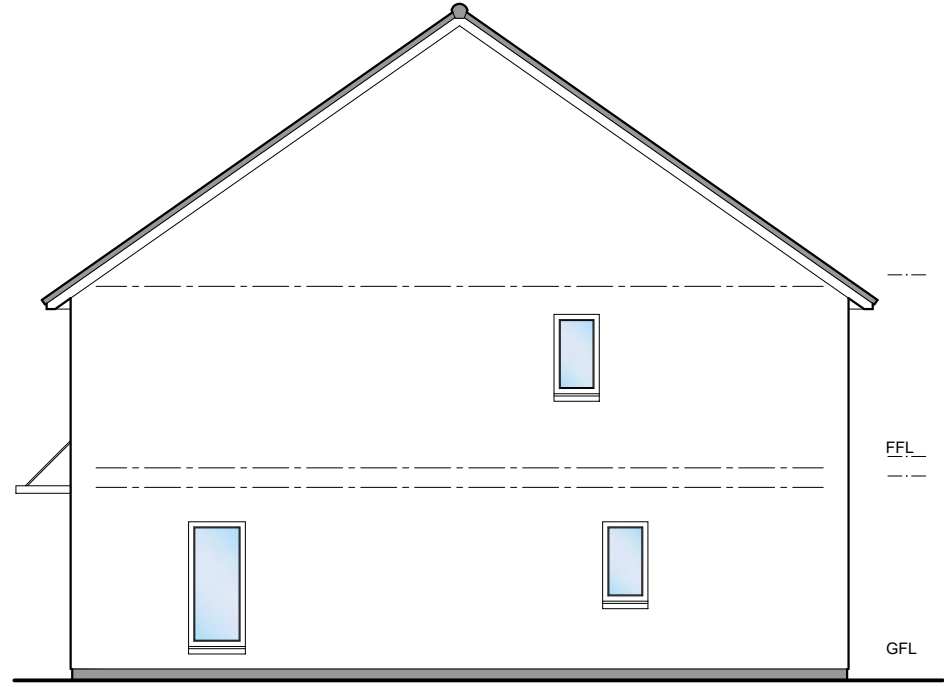
REAR ELEVATION



GABLE ELEVATION



FRONT ELEVATION



GABLE ELEVATION

REV	DATE	DESCRIPTION	DRN
A	02.05.23	GENERAL UPDATES	MJ

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

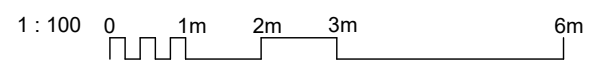
SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

3B5P VILLA - ELEVATIONS - 450 STEP

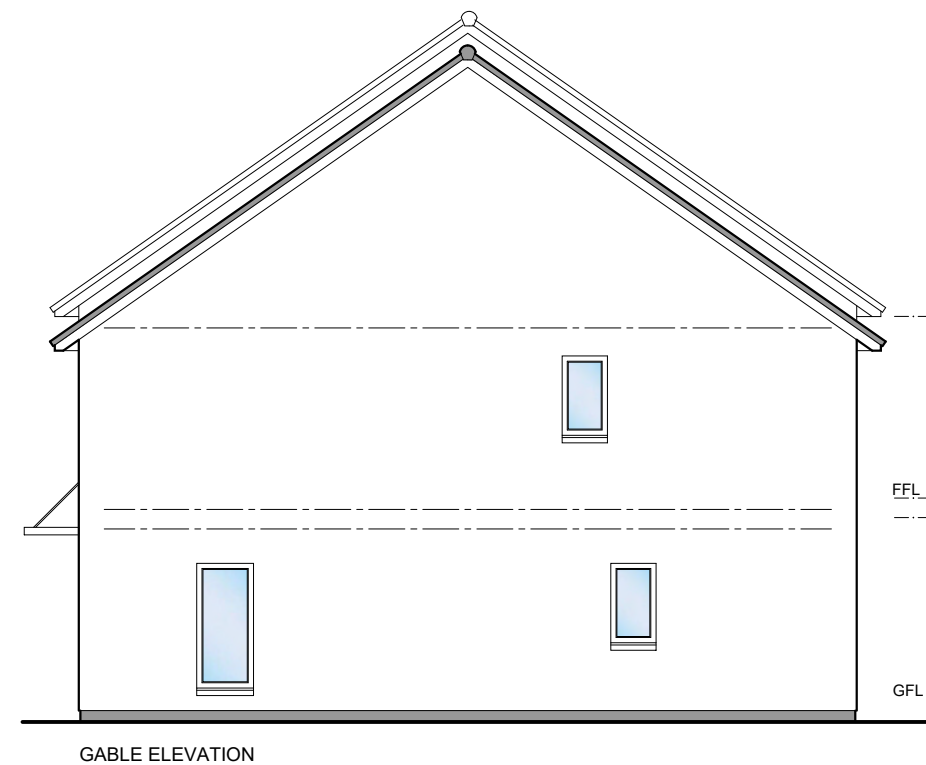
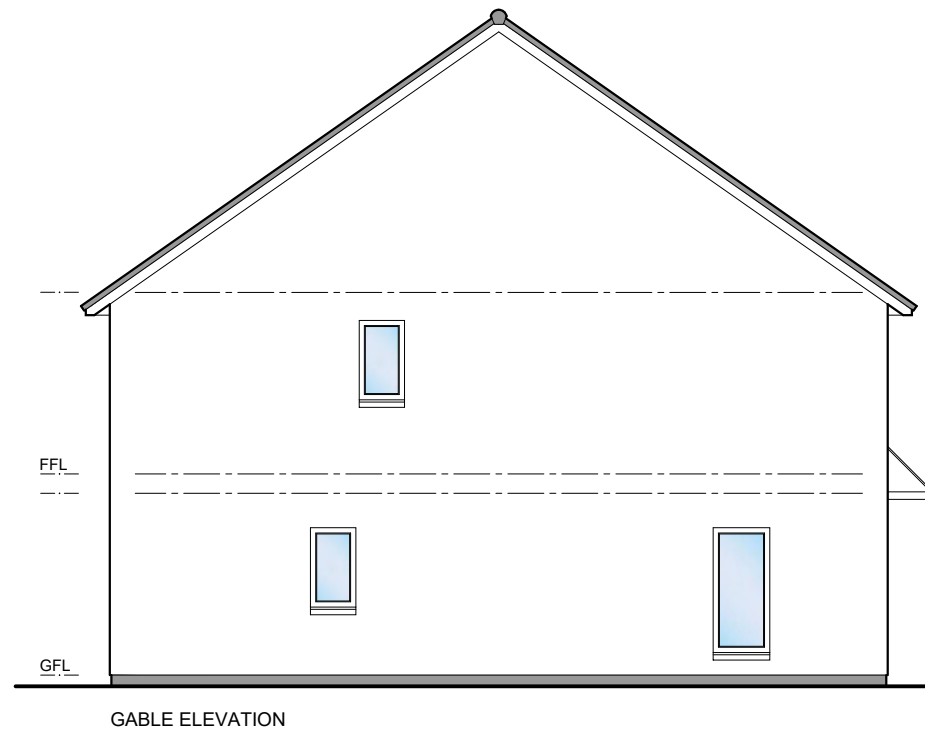
STATUS: **PLANNING**

SCALE: 1 : 100 DRAWN: LK  
 PAPER SIZE: A3 DATE: May 2023

DWG No. **4576-01-217** REV. **A**



PLOT NO.S  
129-130



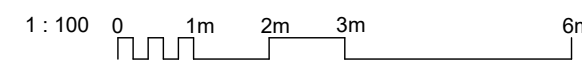
REV	DATE	DESCRIPTION	DRN
A	02.05.23	GENERAL UPDATES	MJ

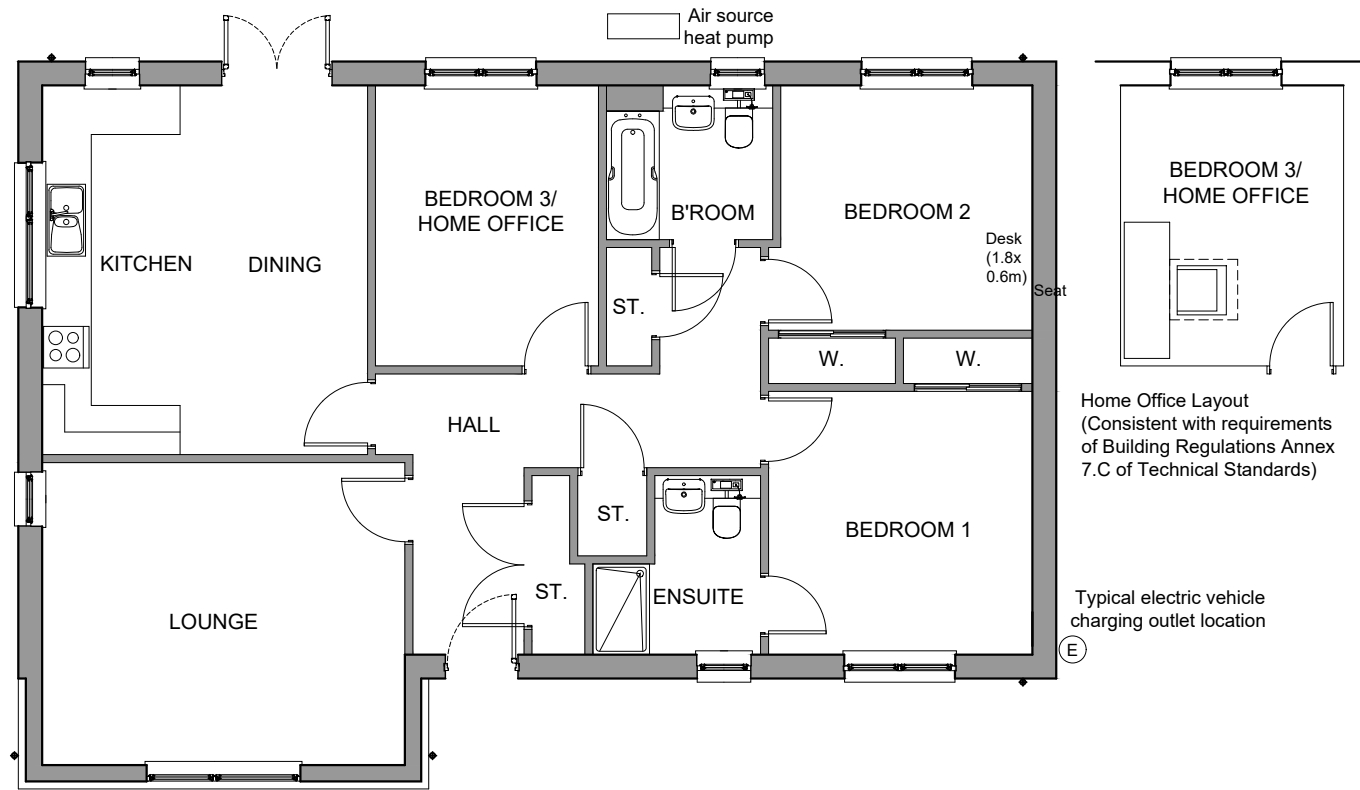
**Bracewell Stirling CONSULTING**

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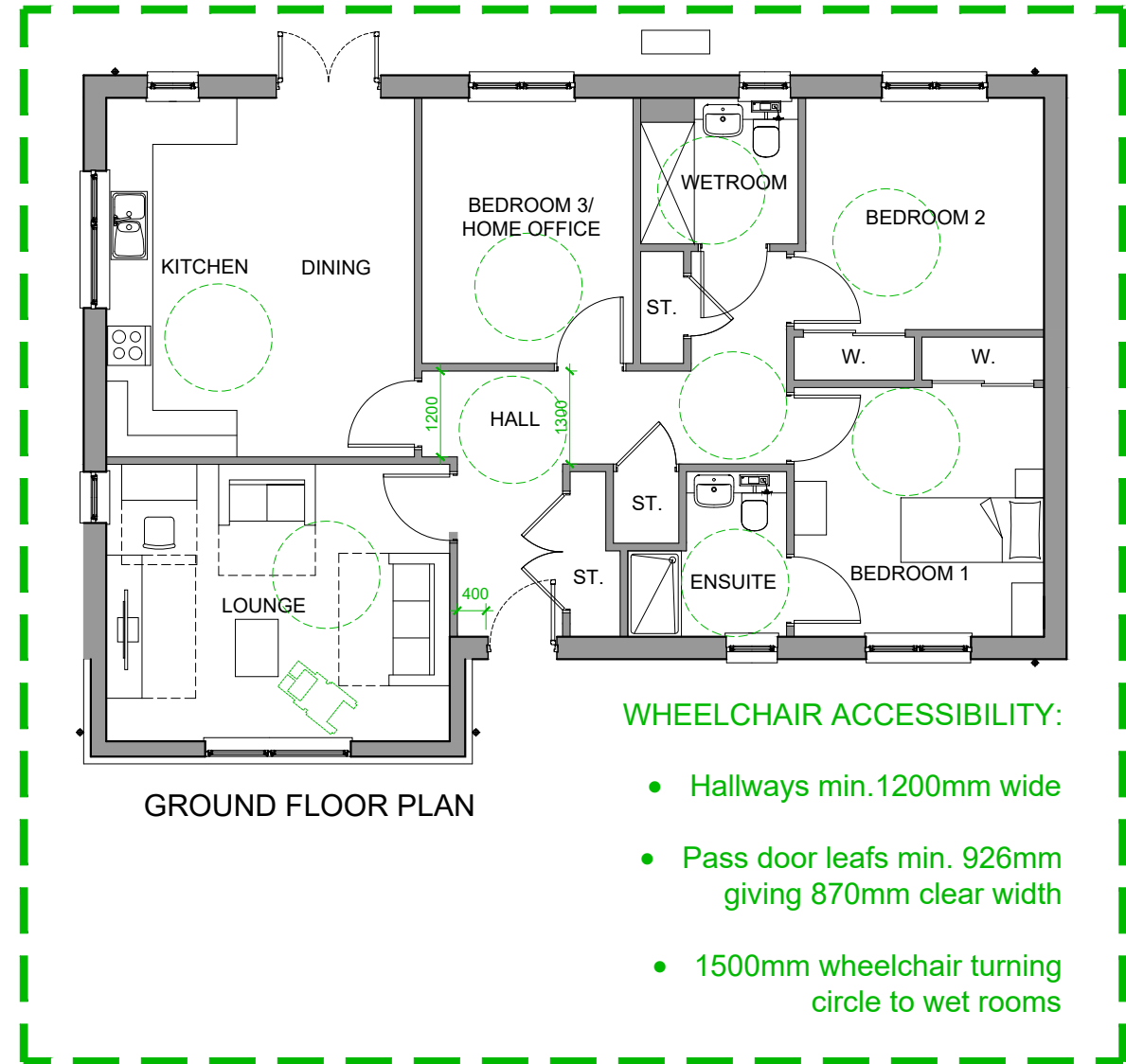
SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD  
 3B5P VILLA - ELEVATIONS - 450 STEP

STATUS:	<b>PLANNING</b>		
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PAPER SIZE:	A3	DATE:	May 2023
DWG No.	4576-01-218		REV. A





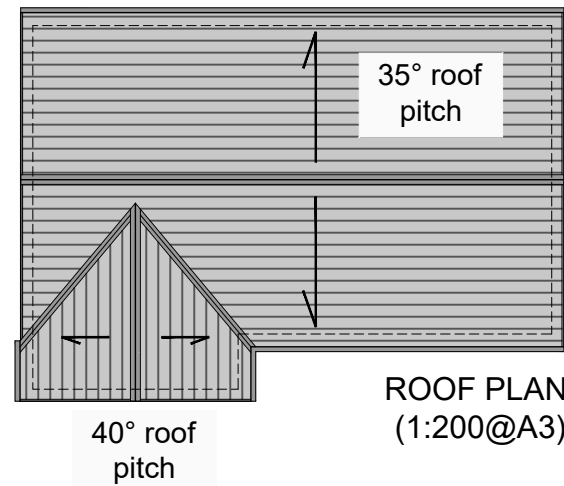
GROUND FLOOR PLAN



GROUND FLOOR PLAN

**WHEELCHAIR ACCESSIBILITY:**

- Hallways min. 1200mm wide
- Pass door leaves min. 926mm giving 870mm clear width
- 1500mm wheelchair turning circle to wet rooms



ROOF PLAN  
(1:200@A3)

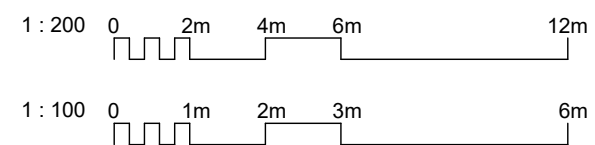
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**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
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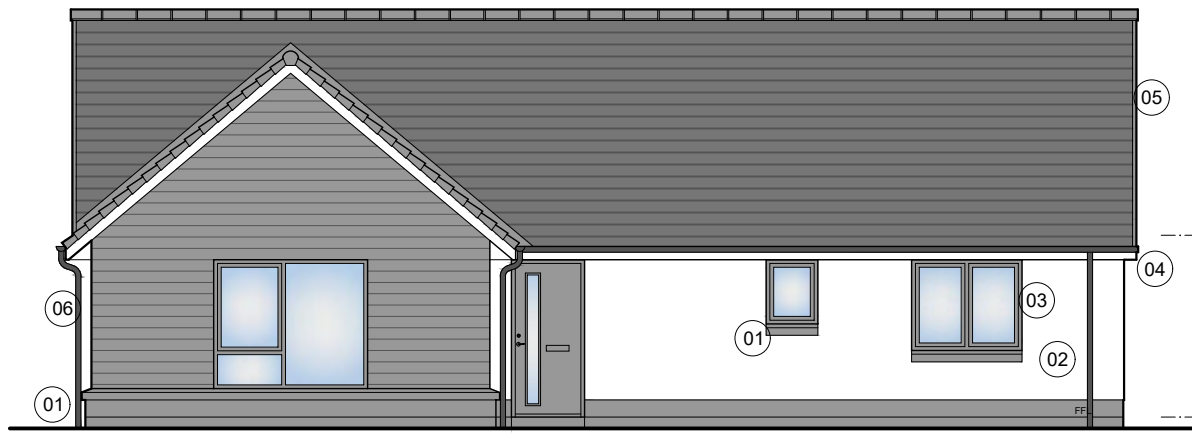
SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

NESS PLANS (HANDED)

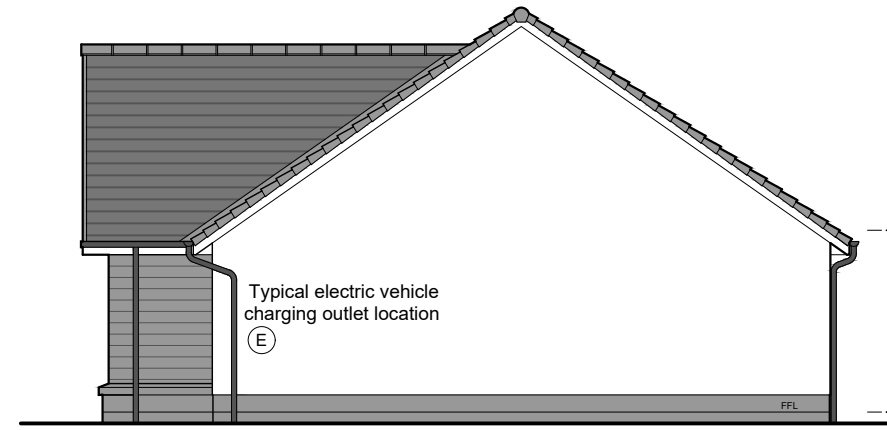


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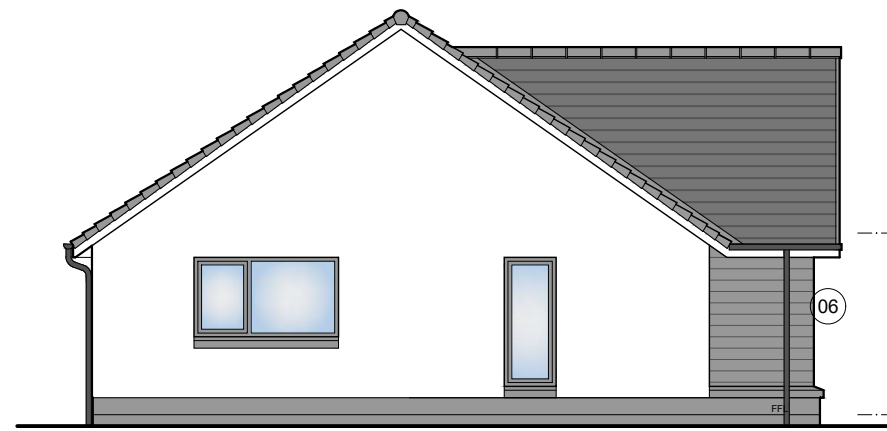
**Ness**  
 1 storey detached house / 3 Bedrooms  
 Floor Area = 105m<sup>2</sup>



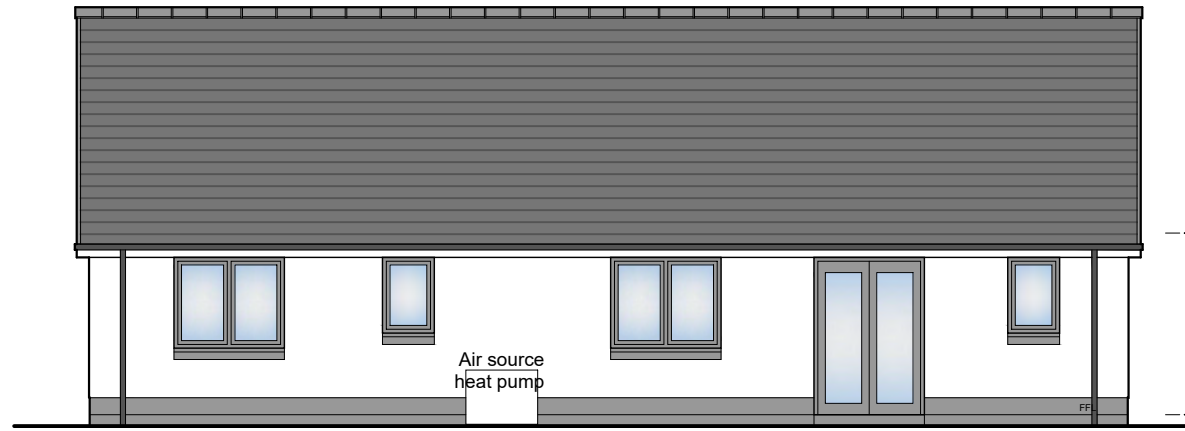
FRONT ELEVATION



GABLE ELEVATION



ENHANCED GABLE ELEVATION



REAR ELEVATION



3D PERSPECTIVE

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule

1 : 100 0 1m 2m 3m 6m

REV DATE DESCRIPTION DRN

**Bracewell Stirling CONSULTING**

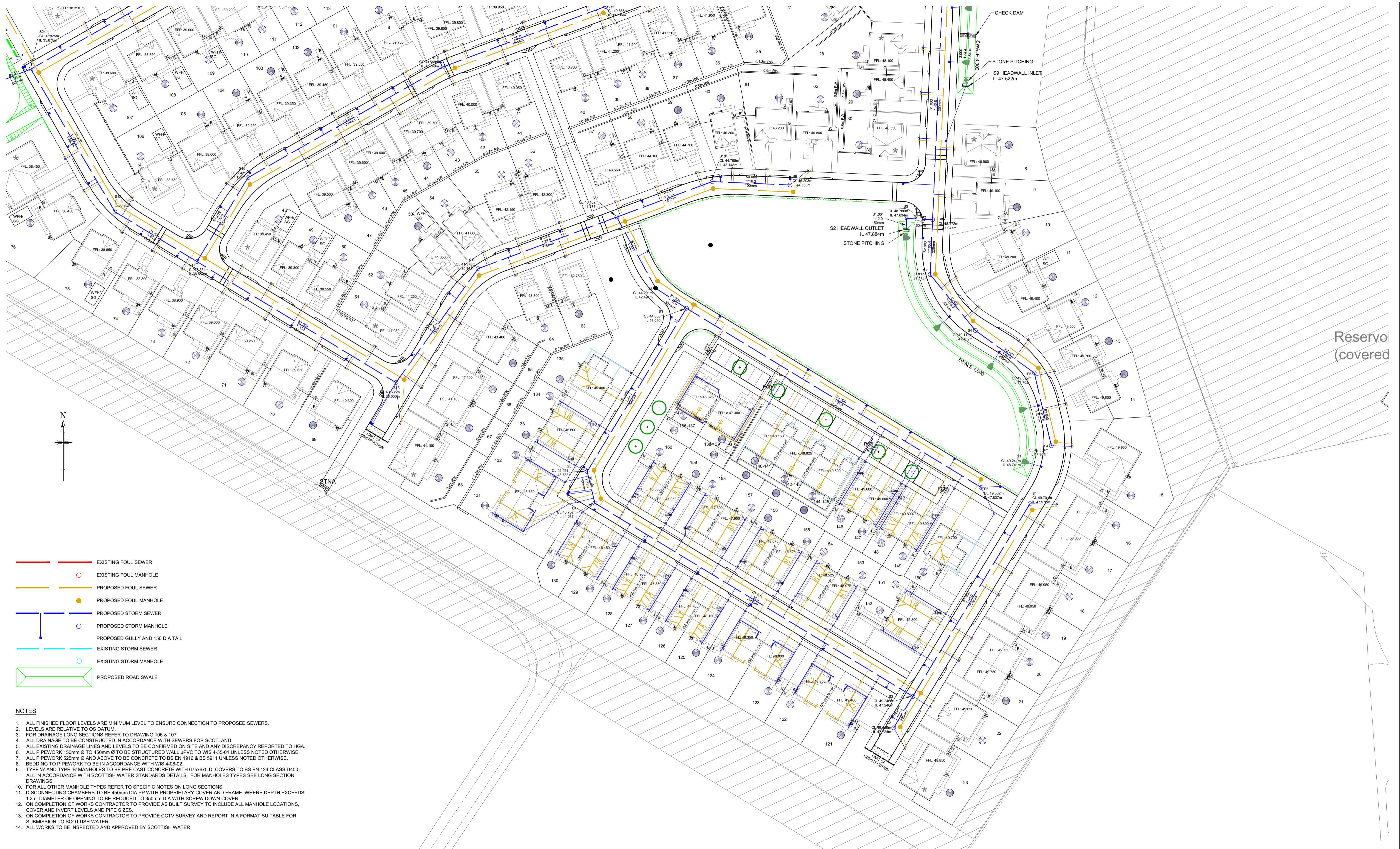
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD

NESS ELEVATIONS (HANDLED)

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Aug 2023
DWG No.	4576-01-118		REV.





- EXISTING FOUL SEWER
- EXISTING FOUL MANHOLE
- PROPOSED FOUL SEWER
- PROPOSED FOUL MANHOLE
- PROPOSED STORM SEWER
- PROPOSED STORM MANHOLE
- PROPOSED GULLY AND 150 DIA TAIL
- EXISTING STORM SEWER
- EXISTING STORM MANHOLE
- PROPOSED ROAD SWALE

- NOTES**
1. ALL FINISHED FLOOR LEVELS ARE MINIMUM LEVEL TO ENSURE CONNECTION TO PROPOSED SEWERS.
  2. LEVELS ARE RELATIVE TO OS DATUM.
  3. FOR DRAINAGE LONG SECTIONS REFER TO DRAWING 106 & 107.
  4. ALL DRAINAGE TO BE CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND.
  5. ALL EXISTING DRAINAGE LINES AND LEVELS TO BE CONFIRMED ON SITE AND ANY DISCREPANCY REPORTED TO HGA.
  6. ALL PIPEWORK 150mm Ø TO 450mm Ø TO BE STRUCTURED WALL uPVC TO BS EN 1181 UNLESS NOTED OTHERWISE.
  7. ALL PIPEWORK 525mm Ø AND ABOVE TO BE CONCRETE TO BS EN 1916 & BS 5911 UNLESS NOTED OTHERWISE.
  8. BEDDING TO PIPEWORK TO BE IN ACCORDANCE WITH WIS 4-28-02.
  9. TYPE 'A' AND TYPE 'B' MANHOLES TO BE PRE CAST CONCRETE WITH 675x675 DI COVERS TO BS EN 124 CLASS D400. ALL IN ACCORDANCE WITH SCOTTISH WATER STANDARDS DETAILS. FOR MANHOLES TYPES SEE LONG SECTION DRAWINGS.
  10. FOR ALL OTHER MANHOLE TYPES REFER TO SPECIFIC NOTES ON LONG SECTIONS.
  11. DISCONNECTING CHAMBERS TO BE 450mm DIA FP WITH PROPRIETARY COVER AND FRAME, WHERE DEPTH EXCEEDS 1.2m. DIAMETER OF OPENING TO BE REDUCED TO 350mm DIA WITH SCREW DOWN COVER.
  12. ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE AS BUILT SURVEY TO INCLUDE ALL MANHOLE LOCATIONS, COVER AND INVERT LEVELS AND PIPE SIZES.
  13. ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE CCTV SURVEY AND REPORT IN A FORMAT SUITABLE FOR SUBMISSION TO SCOTTISH WATER.
  14. ALL WORKS TO BE INSPECTED AND APPROVED BY SCOTTISH WATER.

Notes	Revisions	Date	Drn	Revisions	Date	Drn
	A	DRAINAGE SCHEMATIC AND DETAILS UPDATED	19.07.23	MC		
	B	PLANNING COMMENTS INCORPORATED	22.09.23	MC		

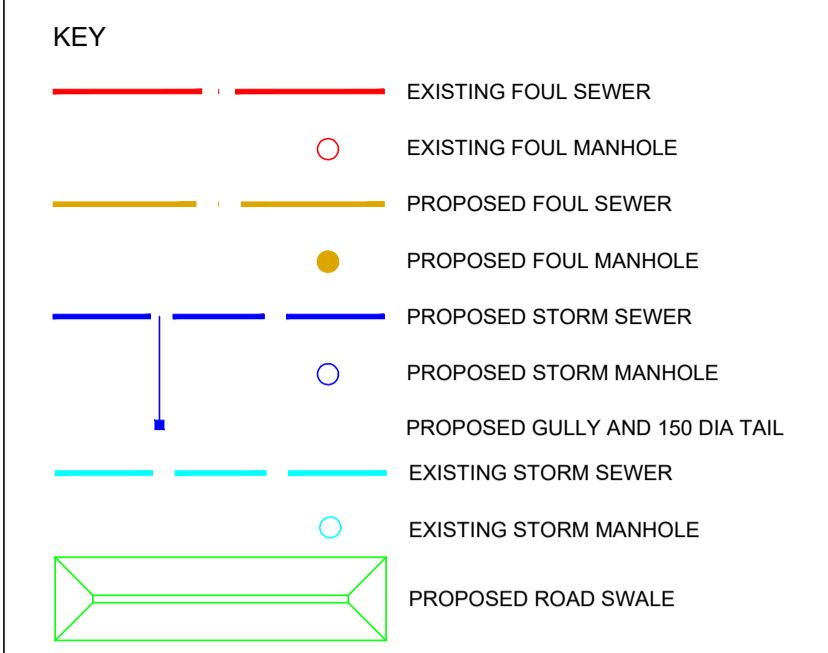
**TULLOCH HOMES LTD**

APPROVAL  
DRAWING

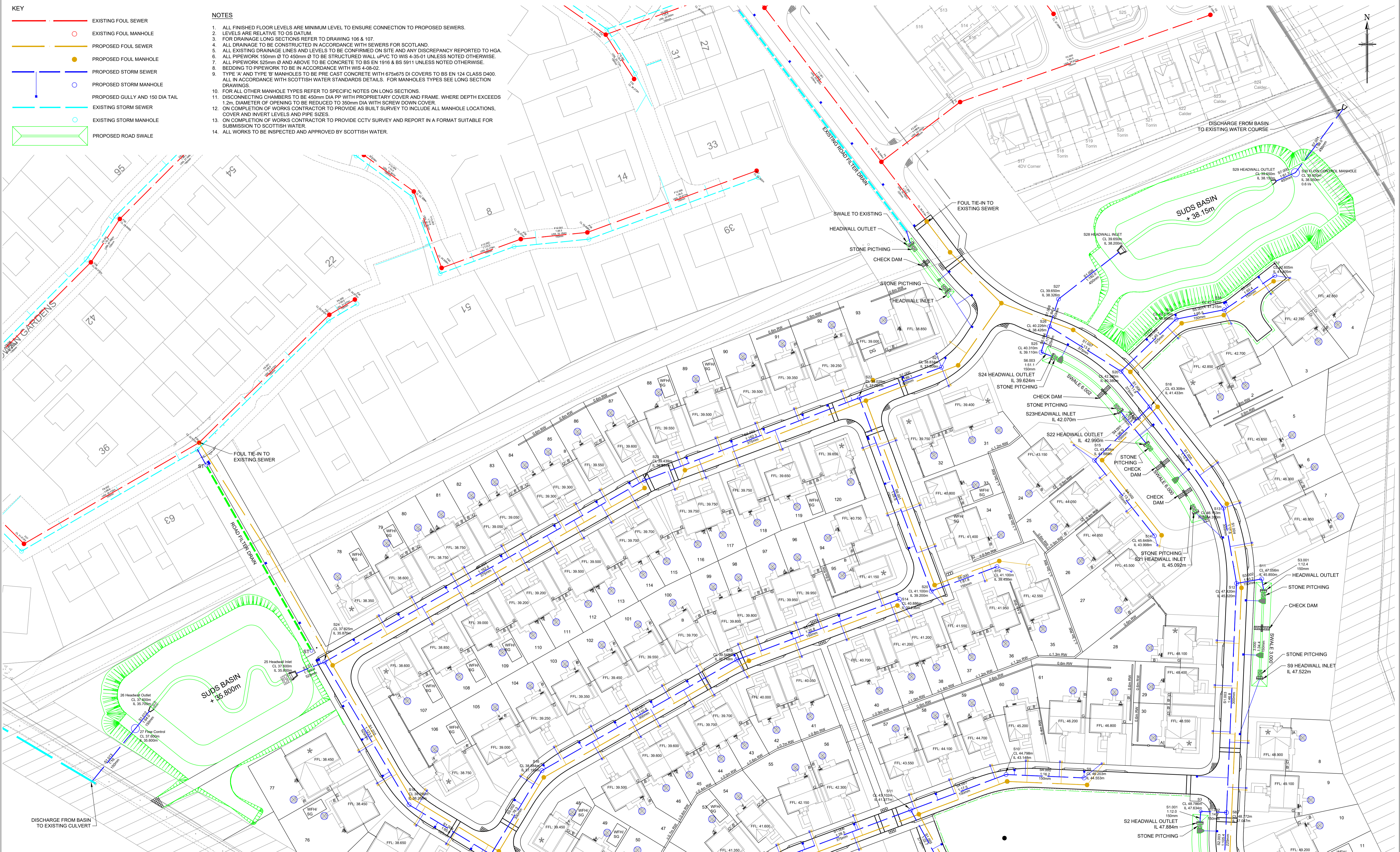
consulting engineers  
**hga**  
 HGA(UK) Ltd  
 Darach House  
 Stoneyfield Business Park  
 Inverness IV2 7PA  
 T: 01463 221717  
 F: 01463 224275  
 email: hga@hga-group.co.uk

DRAINAGE LAYOUT SHEET 1 OF 2			
Drawn: MC	Ck'd:	Scale: 1:500 (A1)	
Date: APRIL 23	Date:	DO NOT SCALE	
Drawing No. 3844.105/01		Revision B	





- NOTES**
1. ALL FINISHED FLOOR LEVELS ARE MINIMUM LEVEL TO ENSURE CONNECTION TO PROPOSED SEWERS.
  2. LEVELS ARE RELATIVE TO OS DATUM.
  3. FOR DRAINAGE LONG SECTIONS REFER TO DRAWING 106 & 107.
  4. ALL DRAINAGE TO BE CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND.
  5. ALL EXISTING DRAINAGE LINES AND LEVELS TO BE CONFIRMED ON SITE AND ANY DISCREPANCY REPORTED TO HGA.
  6. ALL PIPEWORK 150mm Ø TO 450mm Ø TO BE STRUCTURED WALL uPVC TO WIS 4-35-01 UNLESS NOTED OTHERWISE.
  7. ALL PIPEWORK 525mm Ø AND ABOVE TO BE CONCRETE TO BS EN 1916 & BS 5911 UNLESS NOTED OTHERWISE.
  8. BEDDING TO PIPEWORK TO BE IN ACCORDANCE WITH WIS 4-08-02.
  9. TYPE 'A' AND TYPE 'B' MANHOLES TO BE PRE-CAST CONCRETE WITH 675x675 DI COVERS TO BS EN 124 CLASS D400. ALL IN ACCORDANCE WITH SCOTTISH WATER STANDARDS DETAILS. FOR MANHOLES TYPES SEE LONG SECTION DRAWINGS.
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  14. ALL WORKS TO BE INSPECTED AND APPROVED BY SCOTTISH WATER.



Notes

Revisions	Date	Drn
A DRAINAGE SCHEMATIC AND DETAILS UPDATED	19.07.23	MC
B PLANNING COMMENTS INCORPORATED	22.09.23	MC

Revisions	Date	Drn

**TULLOCH HOMES LTD**

**APPROVAL  
DRAWING**

consulting engineers  
**hga**

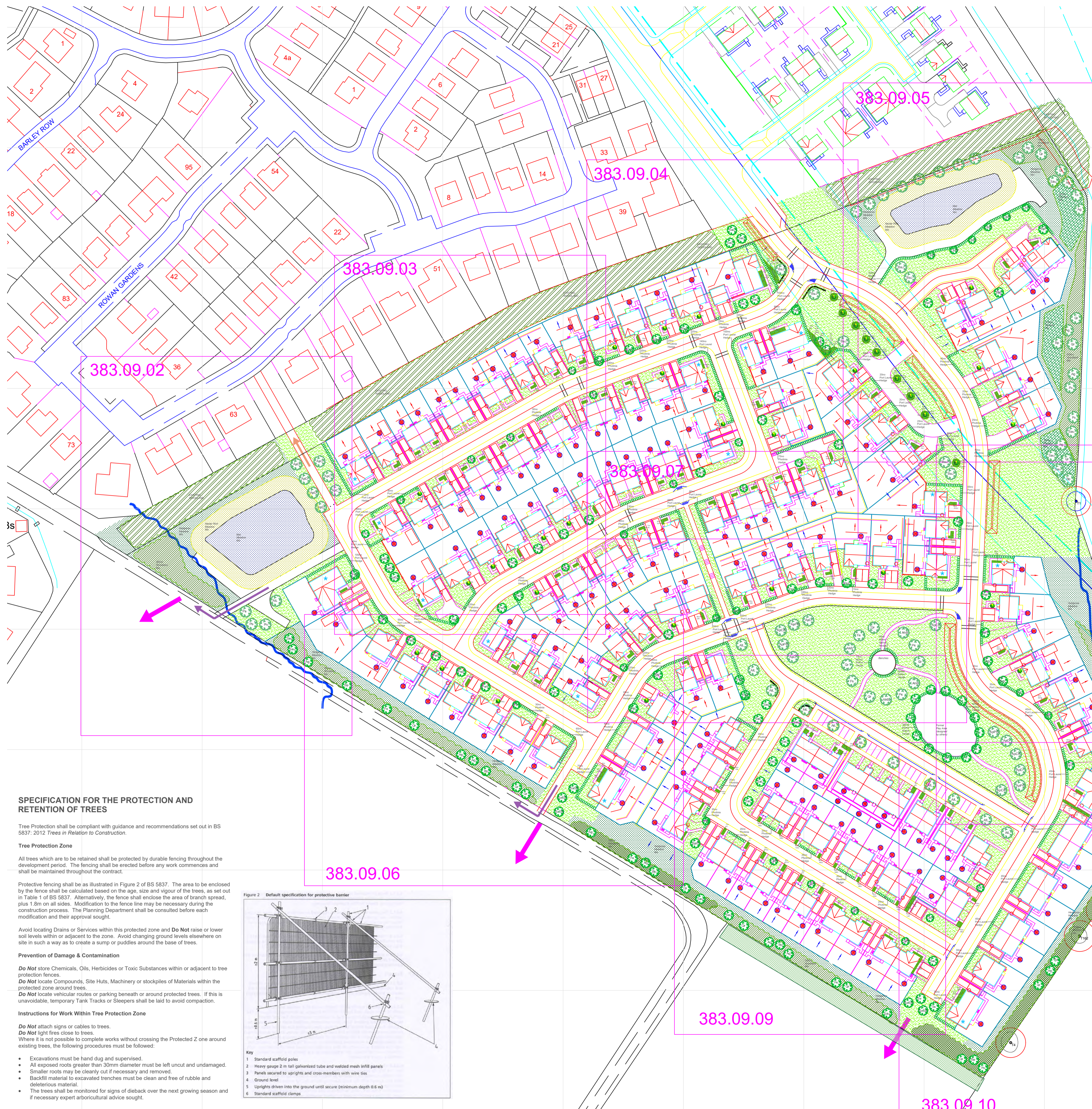
HGA(UK) Ltd  
Darach House  
Stoneyfield Business Park  
Inverness IV2 7PA  
T: 01463 221717  
F: 01463 224275  
email: hga@hga-group.co.uk

**BRAES OF CONON SOUTH**

**DRAINAGE LAYOUT  
SHEET 2 OF 2**

Drawn: MC	Ck'd	Scale: 1:500 (A1)
Date: APRIL 23	Date:	DO NOT SCALE
Drawing No. 3844.105/02	Revision B	





**PLANTING SCHEDULE**

CARE SHOULD BE TAKEN TO ENSURE THAT ALL TREES ARE PLANTED A MINIMUM OF 1M AWAY FROM ALL FOOTPATHS AND SERVICE STRIPS.

These plants have been chosen taking into account the recommendations of the Postcode plant database published by the Natural History Museum and the RHS Plant Selector. Where possible, plants which are particularly attractive to bees have been used.

**PROPOSED TREES**

Agr	Acer griseum (Paper Bark Maple)	11no
Bp	Betula pendula (Weeping Birch)	5no
BpY	Betula pendula 'Youngii' (Weeping Birch)	4no
COFF	Colinus betulus (Common Pheasant)	18no
Mt	Malus 'Idenburg' (Flowering Crabapple)	4no
PA	Prunus 'Amanogawa' (Flamingo Cherry)	8no
PE	Prunus 'Aurea' (Flowering Cherry)	16no
PSA	Prunus 'Aurea' (Flowering Cherry)	7no
SaSS	Sorbus alba (White Flowering Dogwood)	8no
SAL	Sorbus aria (Whitebeam)	15no
Sv	Sorbus vilmoriniana (Whitebeam)	2no

All of the above trees to be Heavy Standard size (12 to 14cm girth) double short-staked and root balled. Where trees are planted into turf, an area 1m dia, at the base of the tree, should be mounded and kept clear of weeds and grass and other deleterious material.

AiL	Ailanthus glandulosa (Tree of Heaven)	12no
Ac	Acer campestre (Field Maple)	12no
Ag	Acer glabrum (Sycamore)	12no
ApC	Acer platanoides 'Columnare' (Upright Maple)	3no
ApD	Acer platanoides 'Drummondii' (Upright Maple)	8no
ApPG	Acer platanoides 'Princeton Gold' (Upright Maple)	4no
APCK	Acer platanoides 'Crimson King' (Upright Maple)	4no
AHb	Aesculus hippocastanum 'Baumanni' (Horse Chestnut)	4no
Bp	Betula pendula (Silver Birch)	8no
Fs	Fagus sylvatica (Beech)	10no
Or	Quercus robur (Common Oak)	20no
Sau	Sorbus aucuparia (Rowan)	10no

All of the above trees to be Extra Heavy Standard size (14 to 16cm girth) double short-staked and root balled. Where trees are planted into turf, an area 1m dia, at the base of the tree, should be mounded and kept clear of weeds and grass and other deleterious material.

BuJ	Betula utilis 'Jacquemontii' (White-Stemmed Birch)	7no
Ps	Pinus sylvestris	5no

All of the above to be root-balled conifers (2-2.5m height) double short-staked.

**PROPOSED SPECIMEN SHRUBS**

ApD	Acer palmatum Dissectum	25L as spec	6no
CcRP	Cotinus coggygria 'Royal Purple'	25L as spec	5no
HSC	Hydrangea quercifolia 'Snow Queen'	25L as spec	5no
Ms	Magnolia 'Stellata'	25L as spec	10no
SML	Syringa 'Madame Lemoine'	25L as spec	9no

**PROPOSED HERBACEOUS PERENNIALS**

CJ	Crocus 'Lucifer'	3L pot as spec	15no
GJB	Geranium 'Johnston's Blue'	3L pot as spec	15no
HMB	Helium 'Moerheim Beauty'	3L pot as spec	15no

**PROPOSED SHRUBS**

Bdi	Berberis davidii	30 to 40cm 3L	3m <sup>2</sup>	28no
CI	Choisya ternata 'Sundance'	30 to 40cm 3L	3m <sup>2</sup>	84no
CIR	Ceanothus thyrsiflorus 'Repens'	30 to 40cm 3L	4m <sup>2</sup>	120no
BEG	Euonymus fortunei	30 to 40cm 3L	4m <sup>2</sup>	164no
EMG	'Emerald Gaiety'	30 to 40cm 3L	4m <sup>2</sup>	64no
HAG	Hebe 'Autumn Glory'	30 to 40cm 3L	4m <sup>2</sup>	64no
HBG	Hebe 'Blue Gem'	30 to 40cm 3L	4m <sup>2</sup>	118no
Nn	Nandivera macrophylla sp	40 to 60cm 3L	3m <sup>2</sup>	118no
LAK	Lavandula 'Hidcote'	30 to 40cm 3L	6m <sup>2</sup>	102no
PIA	Potentilla fruticosa 'Abbotswood'	30 to 40cm 3L	4m <sup>2</sup>	114no
P'DOL'	Prunus laurocerasus 'Oto Luyken'	40 to 60cm 3L	3m <sup>2</sup>	45no
SJF	Skimmia japonica 'Fragrans'	40 to 60cm 3L	3m <sup>2</sup>	105no
Sh	Sarcococca hookeriana	20 to 30cm 2L	4m <sup>2</sup>	72no
Vb	Viburnum x bodnantense 'Dawn'	45 to 60cm 3L	3m <sup>2</sup>	38no
Vt	Viburnum tinus 'Eve Price'	45 to 60cm 3L	3m <sup>2</sup>	119no

**PHOTINIA HEDGE**

Photinia x fraseri 'Red Robin' 40 to 60cm 3L 1000no

Photinia hedge is to be planted in one row, evenly spaced, at 300mm centres.

**PORT. LAUREL HEDGE**

Prunus lusitana 40 to 60cm 3L 2115no

Portuguese Laurel hedge is to be planted in one row, evenly spaced, at 300mm centres.

**MIXED HEDGE (1190no)**

30% Crataegus monogyna 60 to 80cm 1+2 357no  
 20% Prunus spinosa (Blackthorn) 60 to 80cm 1+1 238no  
 20% Corylus avellana 60 to 80cm 1+2 238no  
 20% Viburnum opulus 60 to 80cm 1+2 119no

Mixed hedge is to be planted in two alternate rows at 300mm centres either side of a 900mm high post and wire fence.

**HEDGEROW MIX (1990no)**

35% Crataegus monogyna (Hawthorn) 60 to 80cm 1+1 697no  
 15% Ligustrum vulgare (Privet) 60 to 80cm 1+1 299no  
 15% Sambucus nigra (Elder) 60 to 80cm 1+1 299no  
 15% Corylus avellana (Hazel) 60 to 80cm 1+1 299no  
 10% Ilex aquifolium (Holly) 20 to 30cm Cell grown 198no  
 10% Prunus spinosa (Blackthorn) 60 to 80cm 1+1 198no

Hedgerow mix is to be planted in groups of 5 to 10 at 2 per m<sup>2</sup>. All unprotected edges are to be enclosed with a 900mm high timber post and 3 wire fence.

**RIPARIAN MIX (665no)**

10% Betula pubescens (Downy Birch) 60 to 80cm 1+1 66no  
 10% Ailanthus glandulosa (Alder) 60 to 80cm 1+1 66no  
 15% Populus tremula (Poplar) 60 to 80cm 1+1 105no  
 5% Quercus petraea (Oak) 60 to 80cm 1+1 32no  
 20% Salix caprea (Goat Willow) 60 to 80cm 1+1 132no  
 20% Salix purpurea (Purple Willow) 60 to 80cm 1+1 132no  
 20% Crataegus monogyna (Hawthorn) 60 to 80cm 1+1 132no

Riparian mix is to be planted in groups of 5 to 10 at 1 per m<sup>2</sup>. All unprotected edges are to be enclosed with a 900mm high timber post and 3 wire fence.

**WOODLAND MIX (2840no)**

20% Betula pendula (Birch) 40 to 60cm 1+1 568no  
 20% Quercus petraea (Sessile Oak) 60 to 80cm 1+1 568no  
 15% Ailanthus glandulosa (Alder) 40 to 60cm 1+1 426no  
 15% Sorbus aucuparia (Rowan) 40 to 60cm 1+1 426no  
 10% Crataegus monogyna (Hawthorn) 60 to 80cm 1+1 426no  
 10% Pinus sylvestris (Scots Pine) 40 to 60cm Cell grown 284no  
 5% Larix x eurolopiensis (European larch) 40 to 60cm Cell grown 142no

Woodland mix is to be planted in groups of 5 to 10 at 1 per m<sup>2</sup>. All unprotected edges are to be enclosed with a 900mm high timber post and 3 wire fence.

**PROPOSED WILDFLOWER MIX**

Hedgerow Meadow Mix available from: <http://www.scotlaseeds.co.uk/shop/hedgerow-mix/>

Get Nectar-Rich Quick Mix available from: <http://www.scotlaseeds.co.uk/shop/get-nectar-rich-quick-mix/>

Wet Meadow Mix available from: <http://www.scotlaseeds.co.uk/shop/wet-meadow-mix/>

**PROPOSED AMENITY GRASS MIX**

British Seed Houses A19 (Lawns and Landscaping) available from: <http://www.bsahamity.com>

**SPECIFICATION FOR THE PROTECTION AND RETENTION OF TREES**

Tree Protection shall be compliant with guidance and recommendations set out in BS 5837: 2012 *Trees in Relation to Construction*.

**Tree Protection Zone**

All trees which are to be retained shall be protected by durable fencing throughout the development period. The fencing shall be erected before any work commences and shall be maintained throughout the contract.

Protective fencing shall be as illustrated in Figure 2 of BS 5837. The area to be enclosed by the fence shall be calculated based on the age, size and vigour of the trees, as set out in Table 1 of BS 5837. Alternatively, the fence shall enclose the area of branch spread, plus 1.8m on all sides. Modification to the fence line may be necessary during the construction process. The Planning Department shall be consulted before each modification and their approval sought.

Avoid locating Drains or Services within this protected zone and Do Not raise or lower soil levels within or adjacent to the zone. Avoid changing ground levels elsewhere on site in such a way as to create a sump or puddles around the base of trees.

**Prevention of Damage & Contamination**

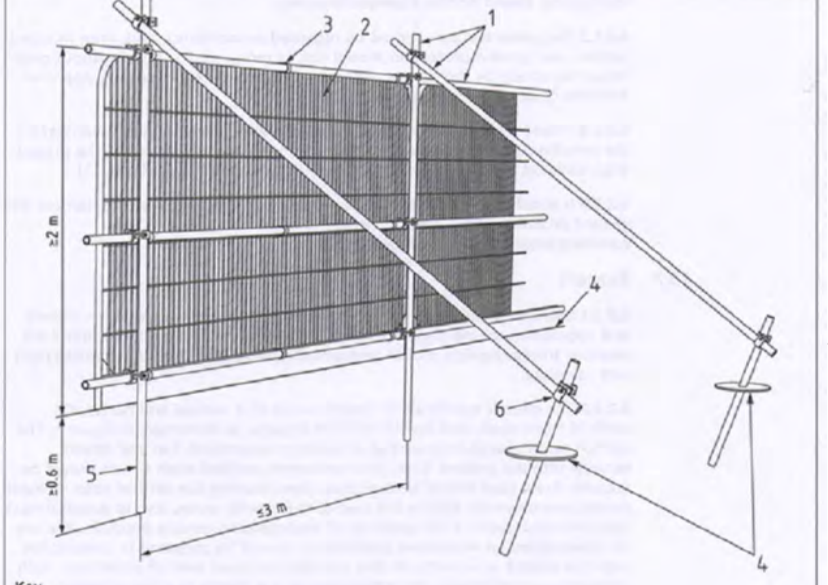
- Do Not store Chemicals, Oils, Herbicides or Toxic Substances within or adjacent to tree protection fences.
- Do Not locate Compounds, Site Huts, Machinery or stockpiles of Materials within the protected zone around trees.
- Do Not locate vehicular routes or parking beneath or around protected trees. If this is unavoidable, temporary Tank Tracks or Sleepers shall be laid to avoid compaction.

**Instructions for Work Within Tree Protection Zone**

- Do Not attach signs or cables to trees.
- Do Not light fires close to trees.
- Where it is not possible to complete works without crossing the Protected Zone around existing trees, the following procedures must be followed:

- Excavations must be hand dug and supervised.
- All exposed roots greater than 30mm diameter must be left uncut and undamaged.
- Smaller roots may be cleanly cut if necessary and removed.
- Backfill material to excavated trenches must be clean and free of rubble and deleterious material.
- The trees shall be monitored for signs of dieback over the next growing season and if necessary expert arboricultural advice sought.

Figure 2 Default specification for protective barrier



- Key**
- Standard scaffold poles
  - Heavy gauge 2-in tall galvanized tube and welded mesh infill panels
  - Panel secured to uprights and cross-members with wire ties
  - Ground level
  - Uprights driven into the ground until secure (minimum depth 0.6 m)
  - Standard scaffold clamps

See Sheets 2 for Specification and Maintenance Schedules

REVISION			
C	As per comments	JP	Oct 2023
B	As per comments	JP	Aug 2023
A	As per comments	JP	Aug 2023

Drawing: **LANDSCAPE PROPOSALS**  
 Sheet 1 of 10

Job: **CONAN - SOUTH**

Client: **TULLOCH HOMES**

No: **383-09-01c**

Date: **Mar 2023** Scale: **NTS @ A1** Drawn: **JP** Checked: **AM**



**PLANTING SPECIFICATION**

**GRASS MIX**

- The grassed area is to be carefully checked to ensure that the soil is appropriate and free from rubble, stones, weeds and other deleterious material. If not appropriate, it should be replaced with quality material or the Landscape Architect should be advised.  
*(Note: It is the responsibility of the contractor to ensure that he is planting into the correct quality of material)*
- Where topsoil is to be added the subsoil should be fully broken up to ensure adequate drainage and a layer not less than 150mm deep applied.
- The topsoil should be cultivated to a fine, even tilth with no undulations or bumps.
- All grass areas are to be turfed or seeded in accordance with guide-lines set out in BS 4426: Code of Practice for general landscape operations: 1989.
- Front gardens are to be turfed with approved, good quality turves (unless otherwise specified). The soil shall be of loam texture and free from stones over 15mm in any one direction. Open spaces are to be either turfed or seeded, as specified, with an approved proprietary mix applicable to the locality.

**MEADOW GRASS**

- The areas for seeding are to be cleared of invasive weeds by hand, mechanical or chemical means. Herbicide pre-treatment with approved Glyphosate only.
- Areas to be kept free from rubble, stones and other deleterious material. Subsoil is to be broken up to ensure adequate drainage, with surface then prepared by raking or harrowing.
- NO APPLICATION OF TOPSOIL OR FERTILISER.**
- Seed to be sown to supplier recommendations.
- Areas to be gently harrowed or rolled after sowing.

**SHRUBS**

- The whole planting bed is to be carefully set out and the soil checked to ensure that it meets the standards set out in BS 3882: 2015 Specification for Topsoil. If it does not, it should be replaced with the appropriate quality material or the Landscape Architect must be advised.  
*(Note: It is the responsibility of the contractor to ensure that he is planting into the correct quality of material)*
- If new topsoil is required the subsoil base should be fully broken up to ensure adequate drainage.
- The bed should be inspected after the subsoil base is broken up and before topsoil cultivation for any signs of flooding. If there are signs and these cannot be resolved the Landscape Architect should be advised.  
*(Note: It is the responsibility of the contractor to ensure that he is not planting into a waterlogged bed)*
- Planting should not be undertaken below 2 degrees centigrade, or when the ground is snow covered or frozen.
- The topsoil should be cultivated throughout the bed to a depth of 100mm. It should be left with a central ridge 150mm above the edges of the bed.
- When the bed has been fully cultivated and formed, planting holes shall be dug 150mm wider than the root spread. Bare-root plants shall have the roots carefully teased out and pot-grown plants shall have the roots carefully loosened from the soil. 2 to 2.5 litres, depending on the size of the plant, of Fison's Peat-Free Planting Compost, or similar approved, shall be worked into the backfill. The plants shall be planted so that the finished topsoil level is at the nursery level on the stem of the plant.
- The plants shall be well firmed in and, after planting, a slow acting fertiliser shall be carefully worked into the top 50mm of soil round each plant taking care to avoid contact with the stem.
- Immediately after planting the whole bed shall be well watered in.
- All work shall be carried out in accordance with best horticultural practice.
- With regard to the Rhododendron planting, these two plants should be planted separately into a cairn style planter filled with ericaceous compost to ensure an adequate level of acidity is maintained. Each year at the end of summer, this compost should be topped up until the shrubs are suitably established.

**TREES**

- Trees shall be planted at the appropriate season depending on root-grown or bare-root, and in line with BS 8845:2014 Trees in nurseries to independence in the landscape.
- Tree pits are to be dug not less than 1m cube and not smaller than 250mm larger than the overall root spread. Care is to be taken to ensure that all sides are permeable and have not been "bashed", and that all pits are free draining with 50mm of washed round pea gravel to the base of the tree pits.
- A pressure-treated timber stake 75 x 75mm shall be used. It shall extend 500mm above the finished soil level, with a proprietary tie set 100mm below the top of the stake.
- One tie shall be used on standard and feathered trees up to 2m high. Two will be required for Heavy and Extra-Heavy Standard trees up to 18cm girth. Above this three will be required unless an underground guying system is specified.
- Backfill for the tree pits is to be 20% Peat-free Compost, Fison's or similar approved.
- The backfill is to be a raised mound at the top with the centre 150mm above the edges. Care is to be taken to ensure that the finished backfill level is at the nursery level on the tree and that the level is at the centre of the mound 150mm above the edges of the pit when the tree has been well firmed in.
- On completion of the planting the tree shall be well watered in with not less than 10 gallons of water. Thereafter it should be watered as required, following periods of any more than three consecutive hot, dry days, until the tree is fully established.

**HEDGES**

- Hedge planting should be as for the shrubs, set out above. However, the planting bed should be established by using the line of the hedge as the length. The width will be the planted line of the hedge plus 300mm either side. (ie a single line of hedge will be 600mm wide and a double, 500mm apart, will be 1100mm wide).
- After achieving the correct quality topsoil and with the base broken up, if topsoil is imported, the soil shall be cultivated to ensure a ridge, into which the hedge is planted, set 150mm above the edge of the bed.
- Thereafter all of the above, fertilizer shall be applied and the hedge well watered in.
- After planting the hedge should be trimmed back to an even line, to encourage growth, with the amount of trimming dependent on species.

**WOODLAND MIX**

- The planting area shall be initially checked for quality of soil and risk of flooding. If there is a problem with either of these, remedial actions shall be taken.  
*(Note: It is the responsibility of the contractor to ensure that he is planting into the correct quality of material and not into waterlogged soil)*
- The area shall be cultivated either by harrowing to produce a series of ridges and furrows or by 'Spit and Place' to ensure a series of raised mounds.
- The whips shall be placed at the higher point in each case.
- All plants are to be staked and tied, and protected with a 600mm high Tubex Standard tree shelter.
- Each plant is to be supported with a stake driven to a firm base, with the proprietary tie positioned at 500mm above ground, and with the stake a further 100mm above the tie. The tree should be planted ensuring that the stake will be on the windward side of the tree shelter. The tree shelter should then be carefully positioned over the tree, making sure not to damage the lateral branches and ensuring that the releasable ties slide over the stake. It should be pushed into the ground a minimum of 20mm. The thumb release ratchet ties should then be tightened to ensure that the tree shelter is firmly positioned. The tie end should then be tucked into the hole in the tree shelter.

**MAINTENANCE**

The developer will ensure, within the mistics, that purchasers are responsible for common areas. On completion of the site, a Factor will be appointed who will assist in the establishment of a Residents' Association. The Residents' Association will thereafter ensure that the Factor organises the following maintenance regime:

**Grass:**

- Fine grass cut 16 times per year.
- All cuttings to be raked and removed from the site.

**Meadow Grass:**

- Areas of Meadow and Wetland Meadow are to be maintained as per supplier/seed merchant recommendations and guidelines, or:
- Early meadow cut in the first year ONLY if unwanted annual weeds appear and grow rapidly. Cut material should be removed. Cutting annual weeds may not be necessary if there is little growth, few weed plants or the appearance is acceptable. Annual weeds should disappear once the meadow is established.
- Meadows should be cut and the cuttings removed once a year at the end of the growing season (normally September). This should be the only management required.

**Shrubs:**

The objective is to provide a full even cover and prevent overcrowding. To that end the site should be inspected once per year by a suitably qualified horticulturalist and the following regime followed:

- The shrub beds shall be kept clear of weeds, either mechanically or by using an approved herbicide.
- Shrubs shall be pruned up to twice per year, in Spring and Autumn depending on the species, to maintain their natural shape and habit. Any damaged, diseased or broken branches should be removed.
- In the first five years all dead and dying shrubs should be replaced by shrubs of similar size and species to those originally planted.
- From the second year beds should be inspected and thinned out where appropriate. Where suitable, these shrubs can be used to fill gaps in the planting area. Otherwise gaps should be in-filled with appropriate new plants as for 'e' above.
- After 10 years a systematic programme of replacement should be established.

**Trees:**

Trees have been chosen for their appropriateness to their individual location. Pruning, other than for health and safety reasons, should not be necessary. They should, however, be inspected by a suitably qualified arboriculturalist annually.

- An area 1m diameter at the base of the trees shall be kept clear of weed and grass either mechanically or by using an approved herbicide.
- Tree stakes and ties should be inspected 3 times per year (Autumn, Winter and Spring).
- All dead and diseased branches, or those broken due to malicious action or wind damage should be clearly removed and the scar cleaned up.
- All trees which have been removed or which are found to be dying, severely diseased or damaged will be replaced by trees of similar size and species to those originally planted. These should be replaced as soon as seasonal weather conditions allow.

**NEW GRASS TURF/SEED**

The areas delineated for new turf/seed are approximations for m<sup>2</sup> calculations.

Areas will be seeded/turfed AFTER the removal of existing deleterious plant and landscape material, AND AFTER the installation of new bed configurations as per plan.

Where existing grass to remain has been disturbed and/or damaged through the improvement works, it is the contractors responsibility to level areas, replace turf and make good to a satisfactory condition.

Where new seeded/turfed areas are to tie into existing, it is the contractors responsibility to level ground accordingly and create a seamless blend as far as is practicable.

ALL seeding and turfing is to be carried out to the specifications set forth below.

**Woodland Mix:**

The woodland has been designed to achieve a naturally regenerating full cover, mixed woodland with varying canopy heights and characteristics. The ground cover will be allowed to establish naturally, although this can be helped with appropriate maintenance.

- The woodland should be inspected annually by a qualified arboriculturalist.
- All dead and dying trees lost in the first five years shall be replaced by trees of similar size and species to those originally planted.
- After five years the woodland shall be assessed and thinned out by approximately 10 per cent. This should be repeated at five year intervals for the next fifteen years.

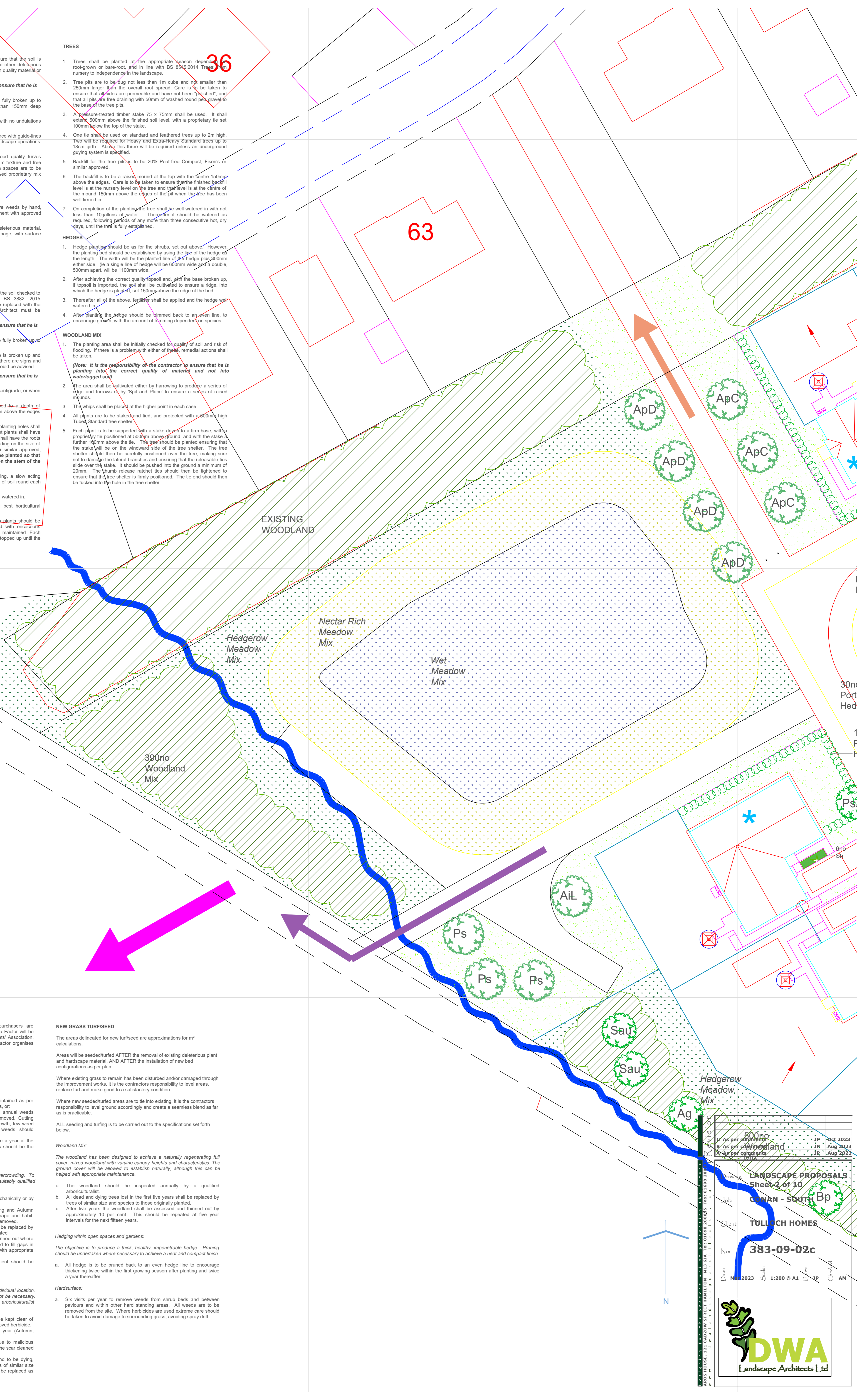
**Hedging within open spaces and gardens:**

The objective is to produce a thick, healthy, impenetrable hedge. Pruning should be undertaken where necessary to achieve a neat and compact finish.

- All hedge is to be pruned back to an even hedge line to encourage thickening twice within the first growing season after planting and twice a year thereafter.

**Hardsurface:**

- Six visits per year to remove weeds from shrub beds and between pavements and within other hard standing areas. All weeds are to be removed from the site. Where herbicides are used extreme care should be taken to avoid damage to surrounding grass, avoiding spray drift.



Scale	1:200 @ A1	Date	10 Oct 2023
Client	TULLOCH HOMES	Drawn	JP
No.	383-09-02c	Checked	AM
<p><b>LANDSCAPE PROPOSALS</b> Sheet 2 of 10 CANAN - SOUTH</p>			

DWA Landscape Architects Ltd



51

EXISTING WOODLAND

EXISTING WOODLAND

30no Photinia Hedge

115no Port Laurel Hedge

30no Port Laurel Hedge

30no Port Laurel Hedge

30no Port Laurel Hedge

100no Port Laurel Hedge

40no Photinia Hedge

35no Photinia Hedge

55no Port Laurel Hedge

50no Port Laurel Hedge

1	As per comments	JP	Oct 2023
2	As per comments	JP	Aug 2023
3	As per comments	JP	Aug 2023

Drawing: **LANDSCAPE PROPOSALS**  
 Sheet 3 of 10  
 Job: **CONAN - SOUTH**  
 Client: **TULLOCH HOMES**  
 No: **383-09-03c**

Date: 14/10/23  
 Scale: 1:200 @ A1  
 Drawn: JP  
 Checked: AM

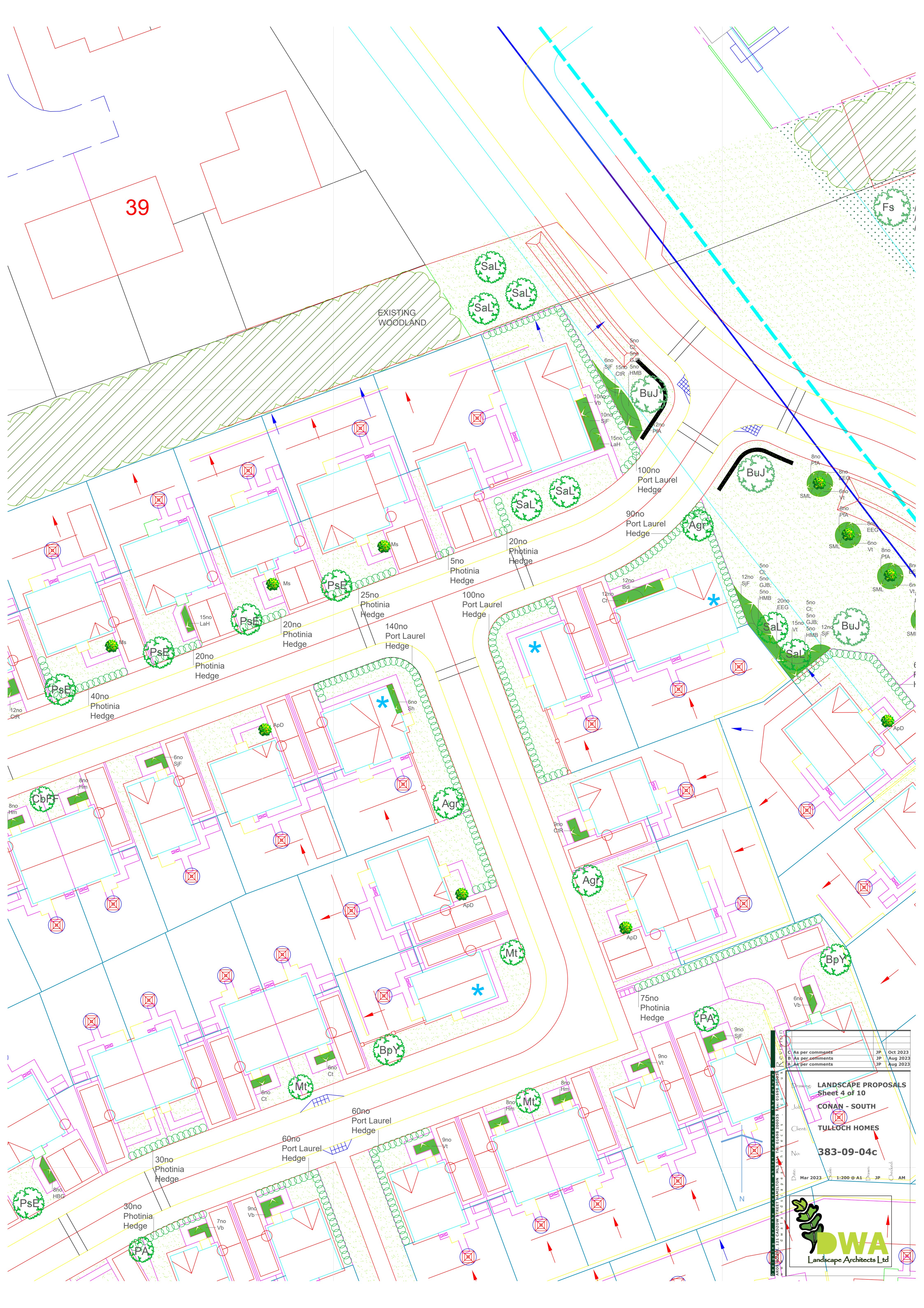


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39

EXISTING WOODLAND

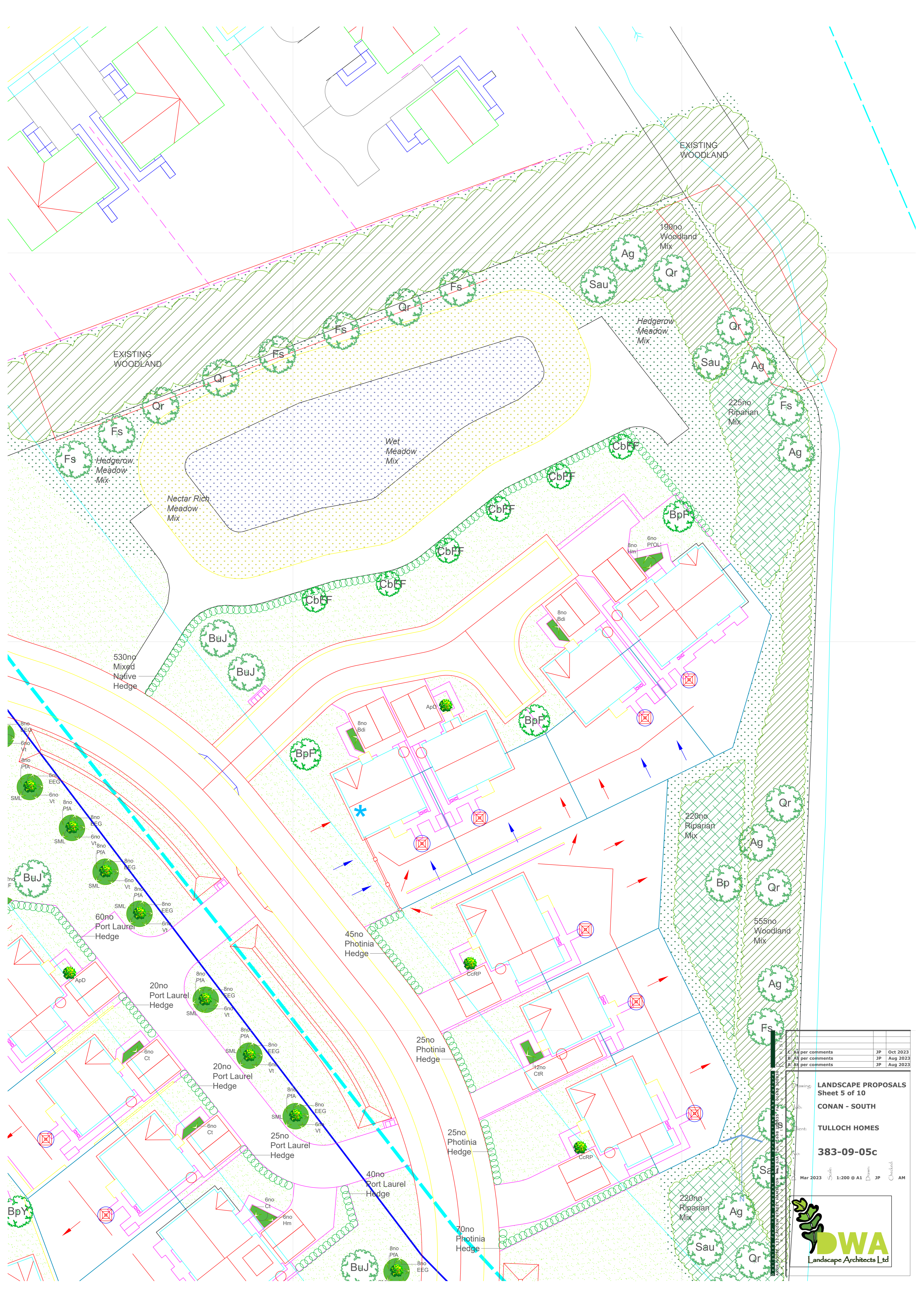


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B	As per comments	JP	Aug 2023
A	As per comments	JP	Aug 2023

Drawing: **LANDSCAPE PROPOSALS**  
 Sheet 4 of 10  
 CONAN - SOUTH  
 Client: **TULLOCH HOMES**  
 No: **383-09-04c**  
 Date: Mar 2023  
 Scale: 1:200 @ A1  
 Drawn: JP  
 Checked: AM







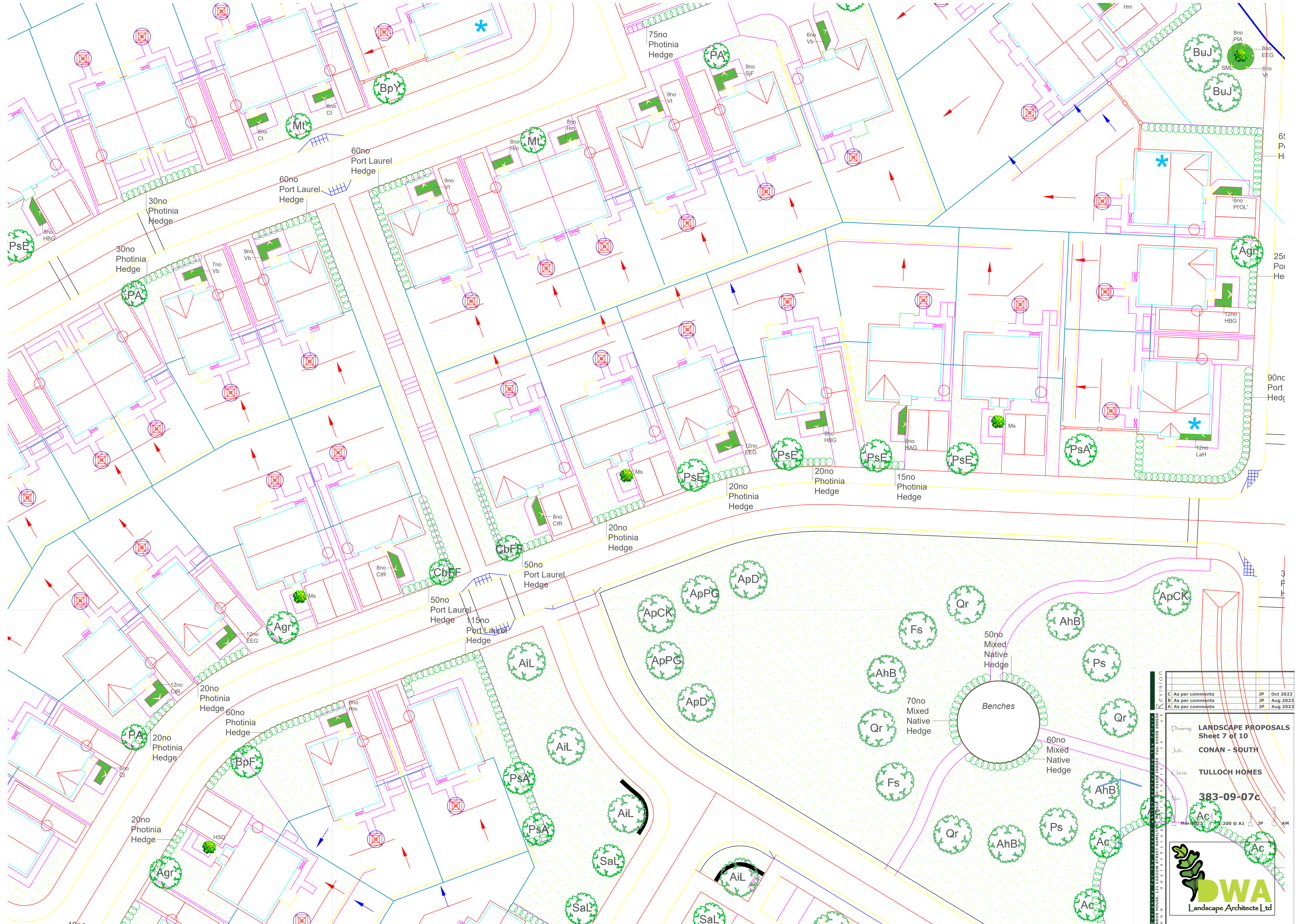
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B/A3 per comments	JP	Aug 2023
A/A3 per comments	JP	Aug 2023

Drawing: **LANDSCAPE PROPOSALS**  
 Sheet 5 of 10  
**CONAN - SOUTH**  
 Client: **TULLOCH HOMES**  
 Project: **383-09-05c**  
 Date: Mar 2023 Scale: 1:200 @ A1 Drawn: JP Checked: AM









Revision	Description	By	Date
C	As per comments	JP	Oct 2023
B	As per comments	JP	Aug 2023
A	As per comments	JP	Aug 2023

Drawing: **LANDSCAPE PROPOSALS**  
 Sheet 7 of 10  
 Job: **CONAN - SOUTH**  
 Client: **TULLOCH HOMES**  
 No: **383-09-07c**  
 Scale: 1:200 @ A1  
 Date: 10/10/23

DWA  
 Landscape Architects Ltd

40no

290no

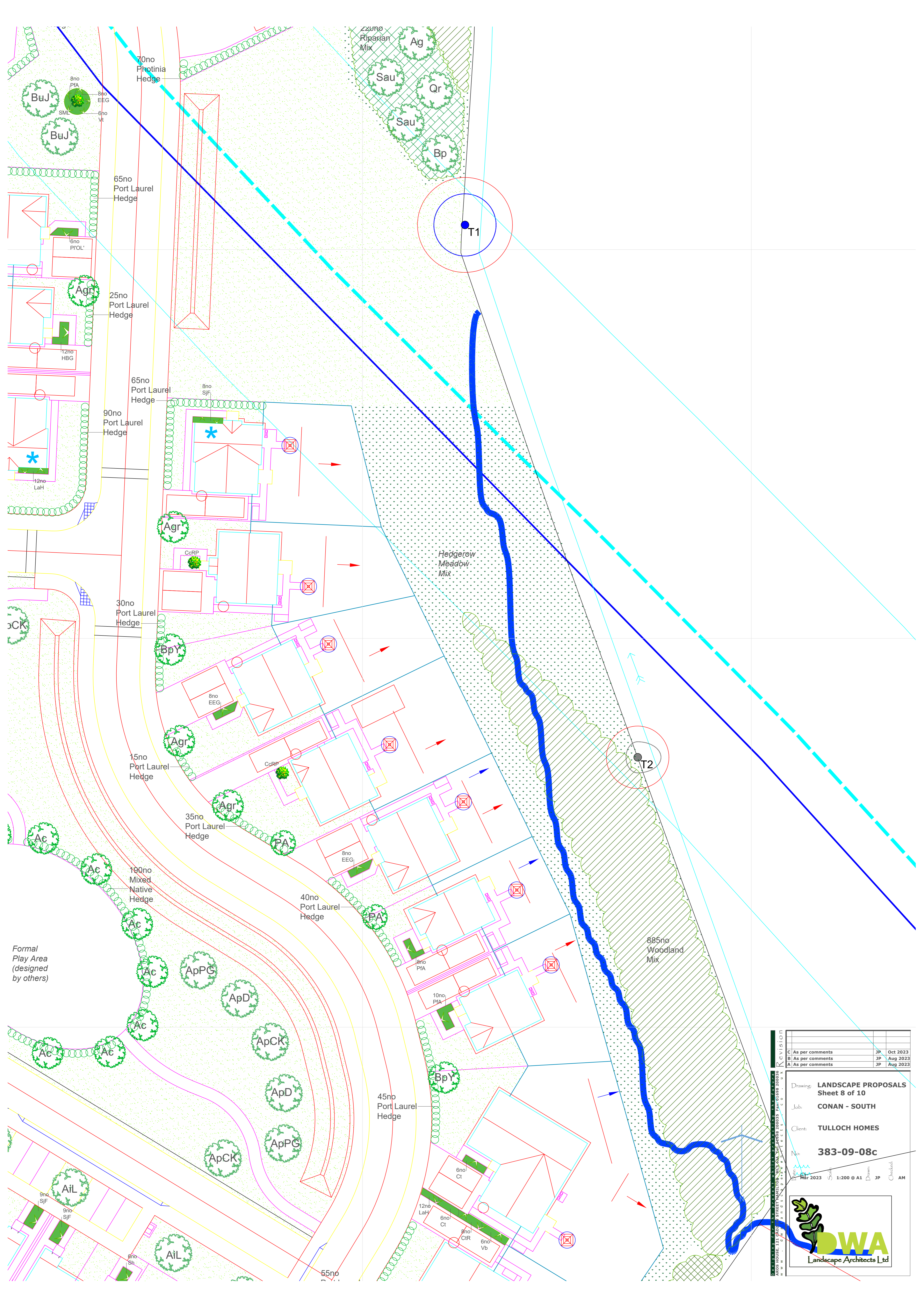
6' Pr H

25' Po He

90nc Port Hedg

3' Pr H





Formal Play Area (designed by others)

KCVISION			
C	As per comments	JP	Oct 2023
B	As per comments	JP	Aug 2023
A	As per comments	JP	Aug 2023


Drawing: **LANDSCAPE PROPOSALS**  
 Sheet 8 of 10

Job: **CONAN - SOUTH**

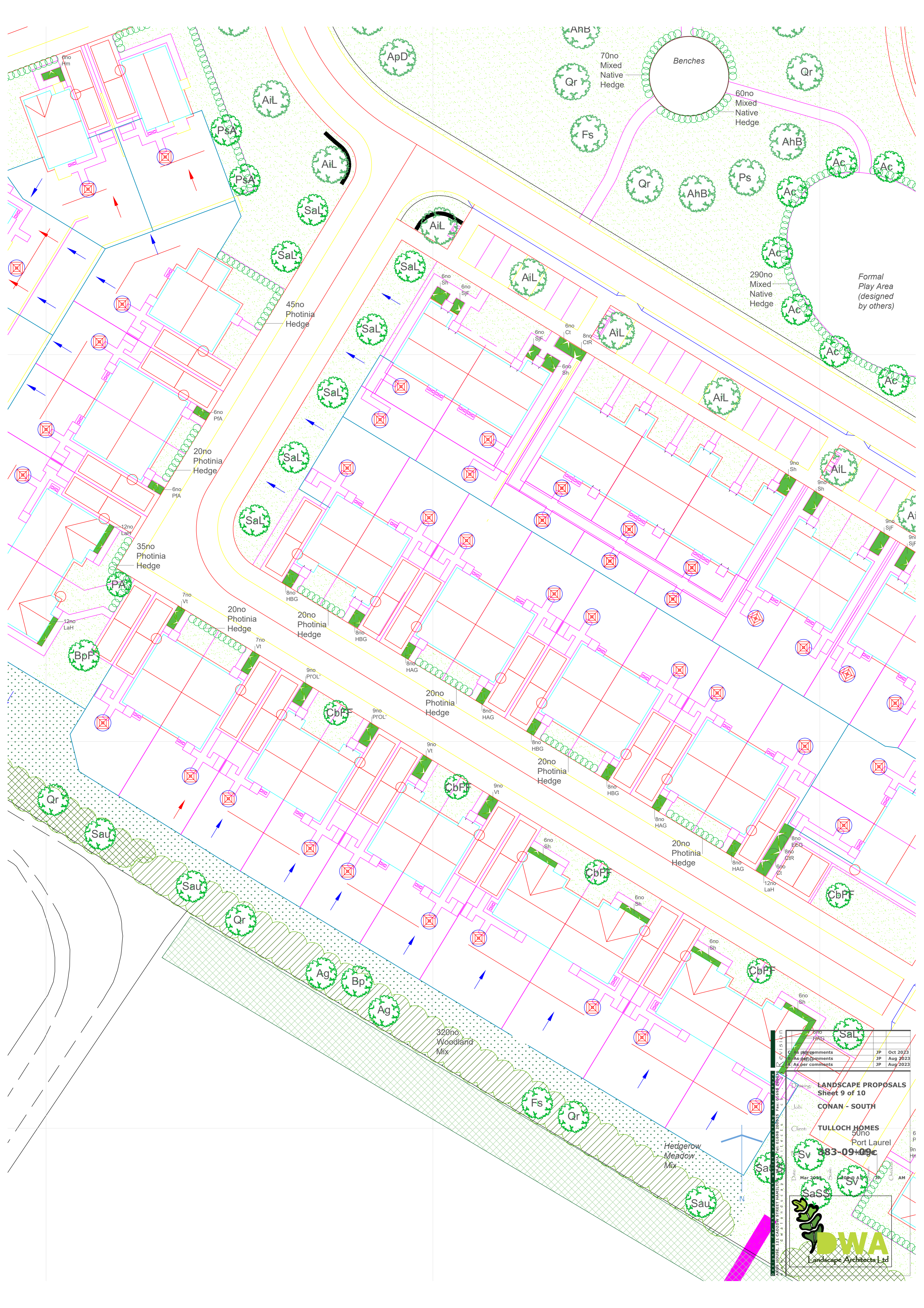
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No: **383-09-08c**

Date: Mar 2023 Scale: 1:200 @ A1 Drawn: JP Checked: AM





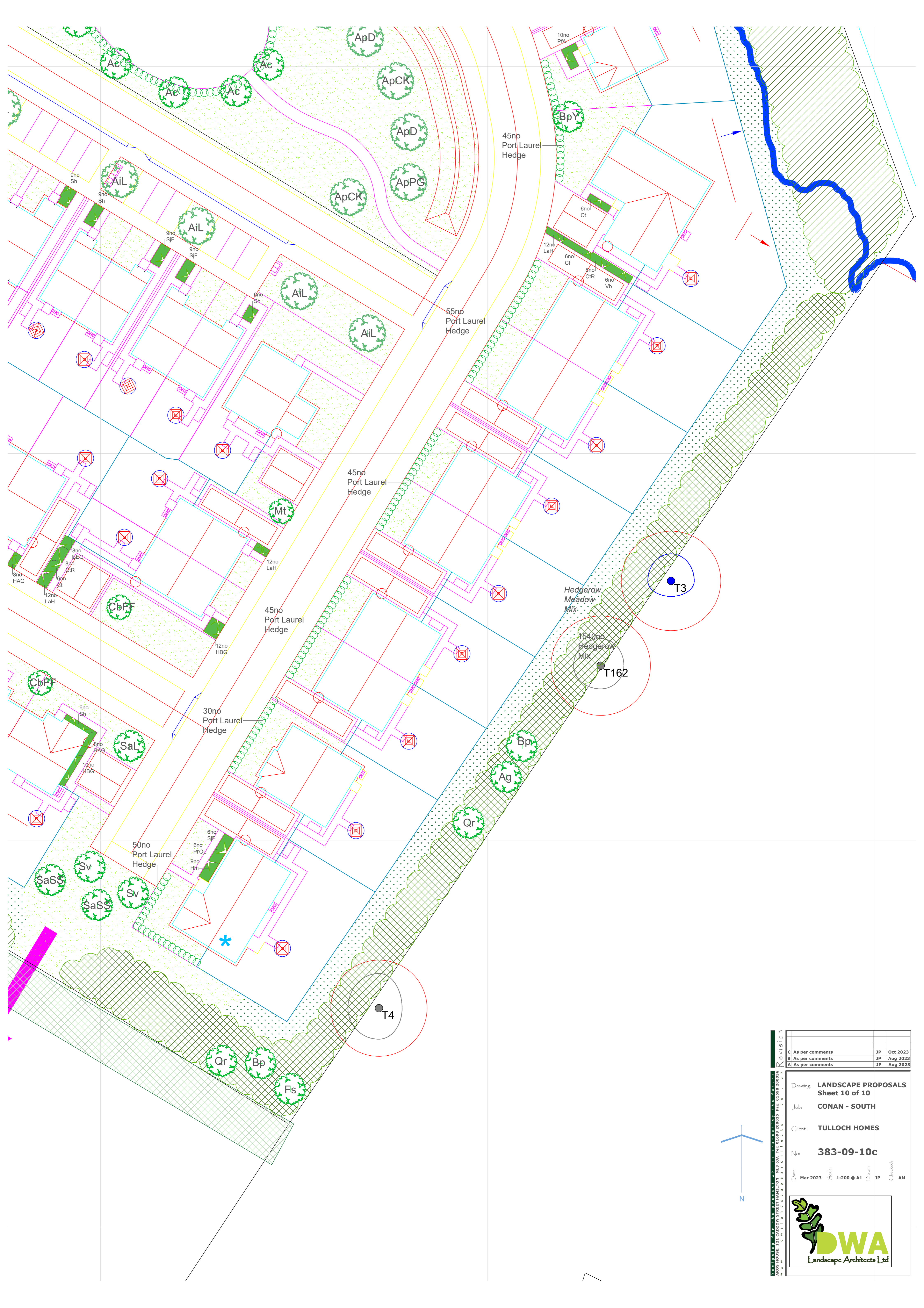


Client	TULLOCH HOMES	50no	Port Laurel
Phone	01323	883-094000	
Date	Mar 2023	Scale	1:100 @ A1
Drawn	J.P.	Checked	AM
Client's comments	JP	Oct 2023	
As per comments	JP	Aug 2023	
As per comments	JP	Aug 2023	

**LANDSCAPE PROPOSALS**  
**Sheet 9 of 10**  
**CONAN - SOUTH**

**DWA**  
 Landscape Architects Ltd



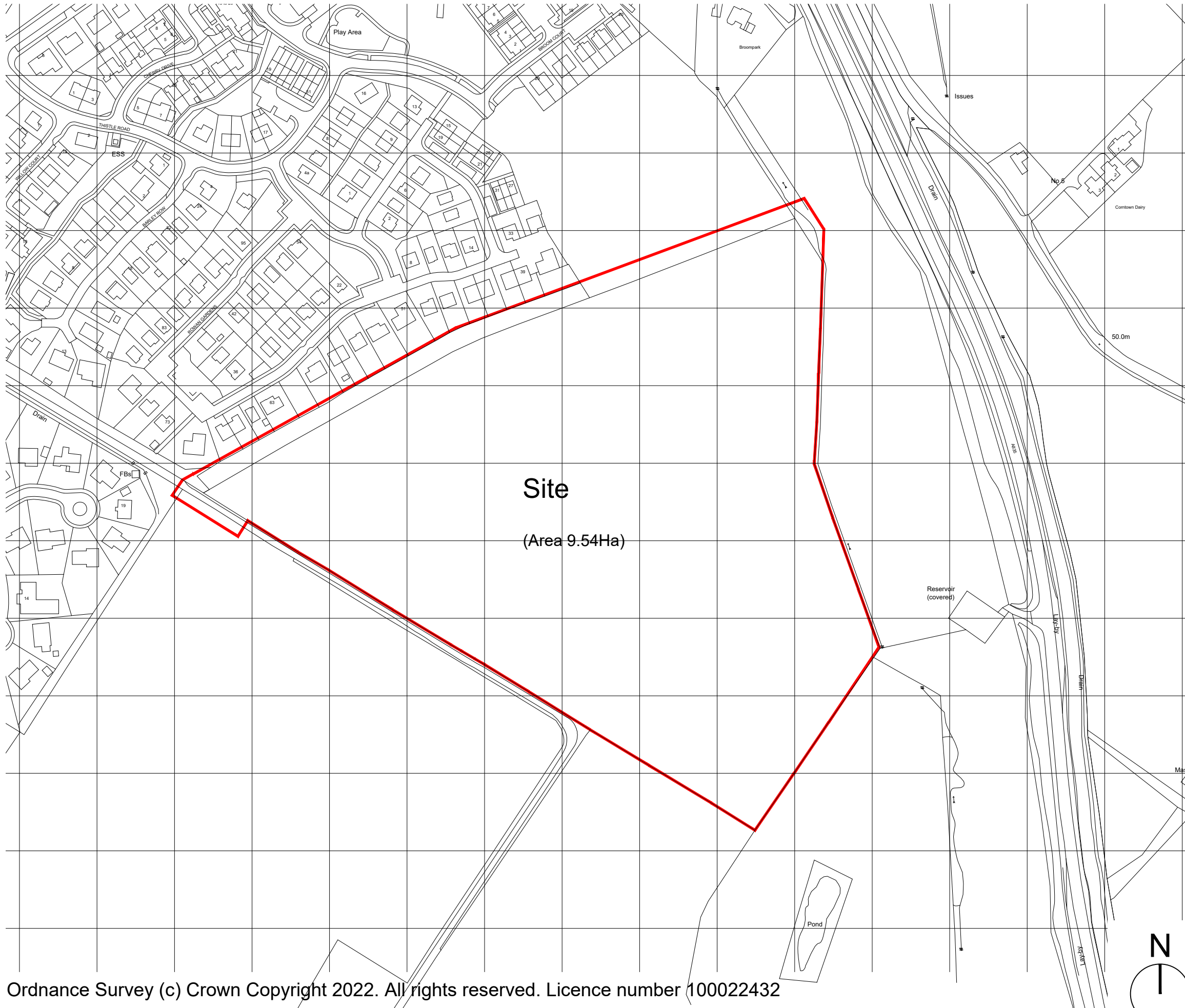


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B	As per comments	JP	Aug 2023
A	As per comments	JP	Aug 2023

Drawing: **LANDSCAPE PROPOSALS**  
 Sheet 10 of 10  
 Job: **CONAN - SOUTH**  
 Client: **TULLOCH HOMES**  
 No: **383-09-10c**  
 Date: Mar 2023 Scale: 1:200 @ A1 Drawn: JP Checked: AM







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REV	DATE	DESCRIPTION	DRN

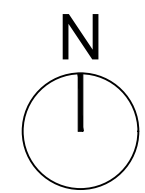
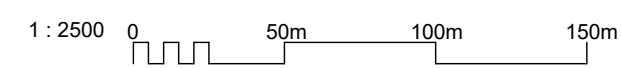
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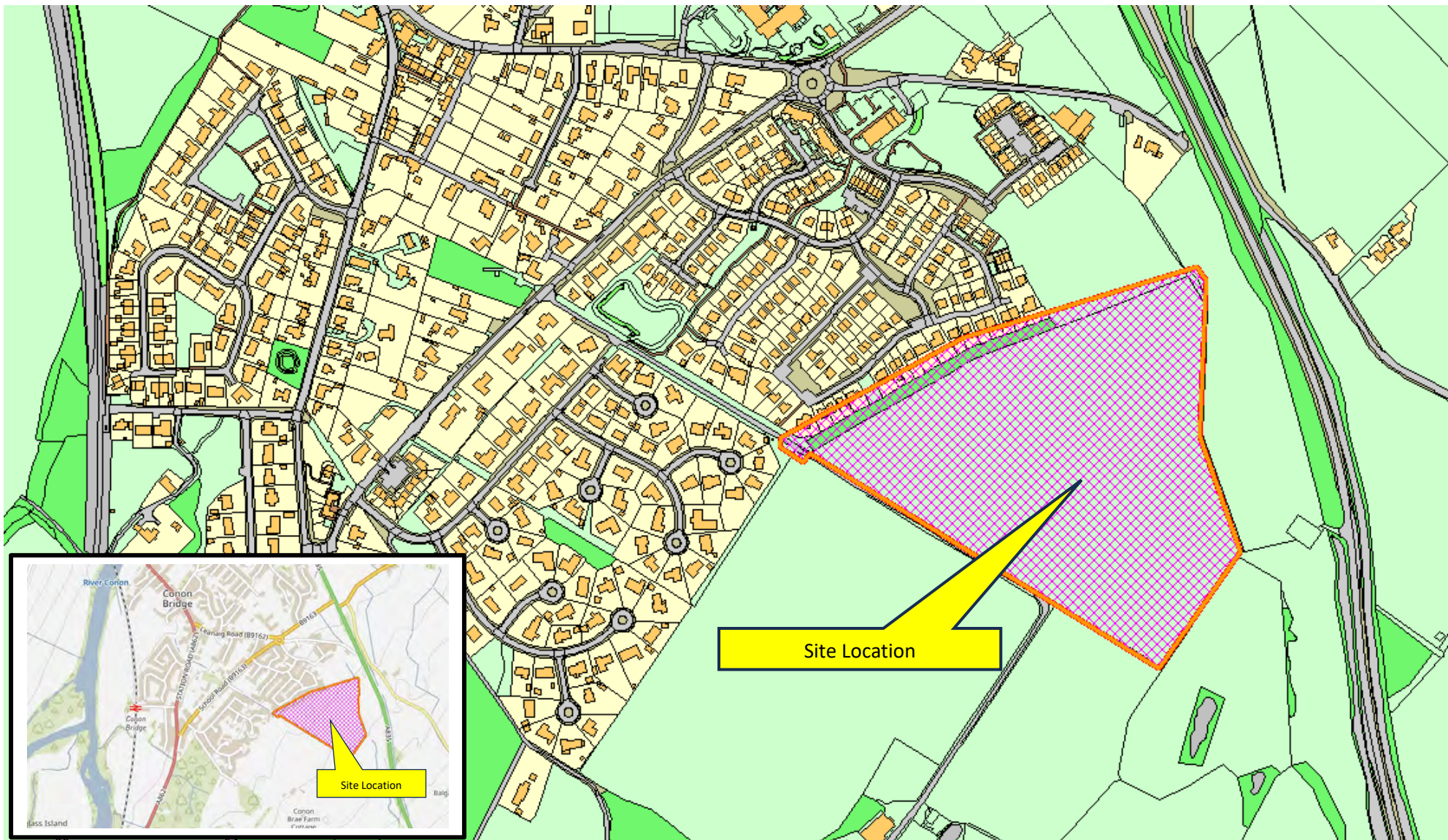
38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

**SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD**

**LOCATION PLAN**

SCALE:	1 : 2500	DRAWN:	DAK
PAPER SIZE:	A3	DATE:	Nov 2022
DWG No.	<b>4576-01-004</b>	REV.	





**23/02147/FUL**

Residential Development of 160 affordable and private dwelling houses with infrastructure, open space and landscaping at Land 155m South of Rowan Gardens, Conon Bridge.

October 2023





- KEY**
- ROAD CONSTRUCTION
  - FOOTWAY CONSTRUCTION
  - VISIBILITY SPLAY
  - VERGE AREA



Notes

Revisions	Date	Drn	Revisions	Date	Drn
A	T.H.C COMMENTS INCORPORATED	19.07.23	MC		
B	T.H.C COMMENTS INCORPORATED	22.09.23	MC		

TULLOCH HOMES LTD

**APPROVAL  
DRAWING**

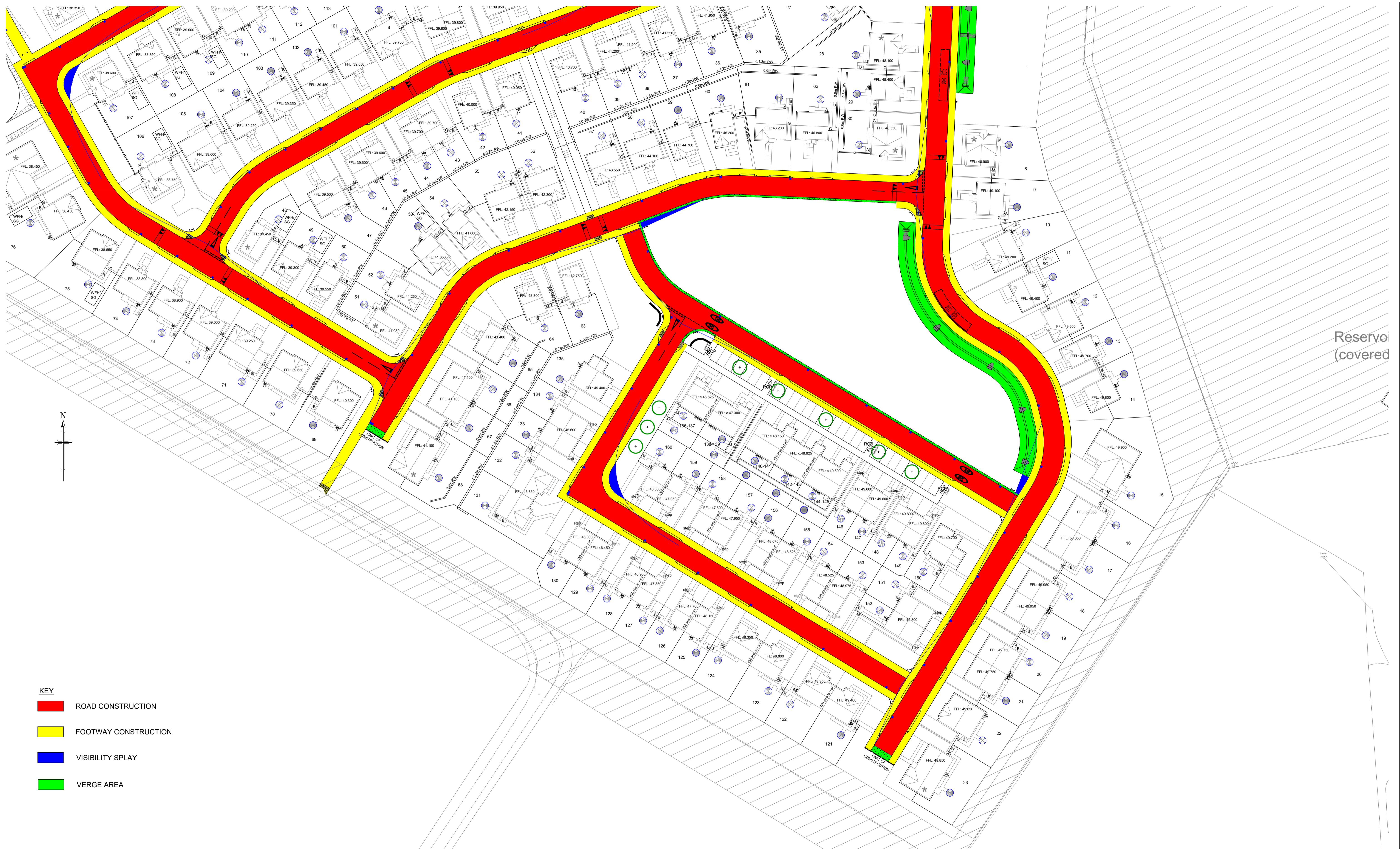
consulting engineers  
**hga**

HGA(UK) Ltd  
Darach House  
Stoneyfield Business Park  
Inverness IV2 7PA  
T: 01463 221717  
F: 01463 224275  
email: hga@hga-group.co.uk

**BRAES OF CONON SOUTH**

ROAD ADOPTION AREAS SHEET 1 OF 2		
Drawn: MC	Ck'd	Scale: 1:500 (A1)
Date: APRIL 23	Date:	DO NOT SCALE
Drawing No. 3844:104/01	Revision B	





Reservo  
(covered)

- KEY**
- ROAD CONSTRUCTION
  - FOOTWAY CONSTRUCTION
  - VISIBILITY SPLAY
  - VERGE AREA

<p>Notes</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Revisions</th> <th>Date</th> <th>Drn</th> </tr> </thead> <tbody> <tr> <td>A T.H.C COMMENTS INCORPORATED</td> <td>19.07.23</td> <td>MC</td> </tr> <tr> <td>B T.H.C COMMENTS INCORPORATED</td> <td>22.09.23</td> <td>MC</td> </tr> </tbody> </table>	Revisions	Date	Drn	A T.H.C COMMENTS INCORPORATED	19.07.23	MC	B T.H.C COMMENTS INCORPORATED	22.09.23	MC	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Revisions</th> <th>Date</th> <th>Drn</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Revisions	Date	Drn			
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B T.H.C COMMENTS INCORPORATED	22.09.23	MC															
Revisions	Date	Drn															

**TULLOCH HOMES LTD**

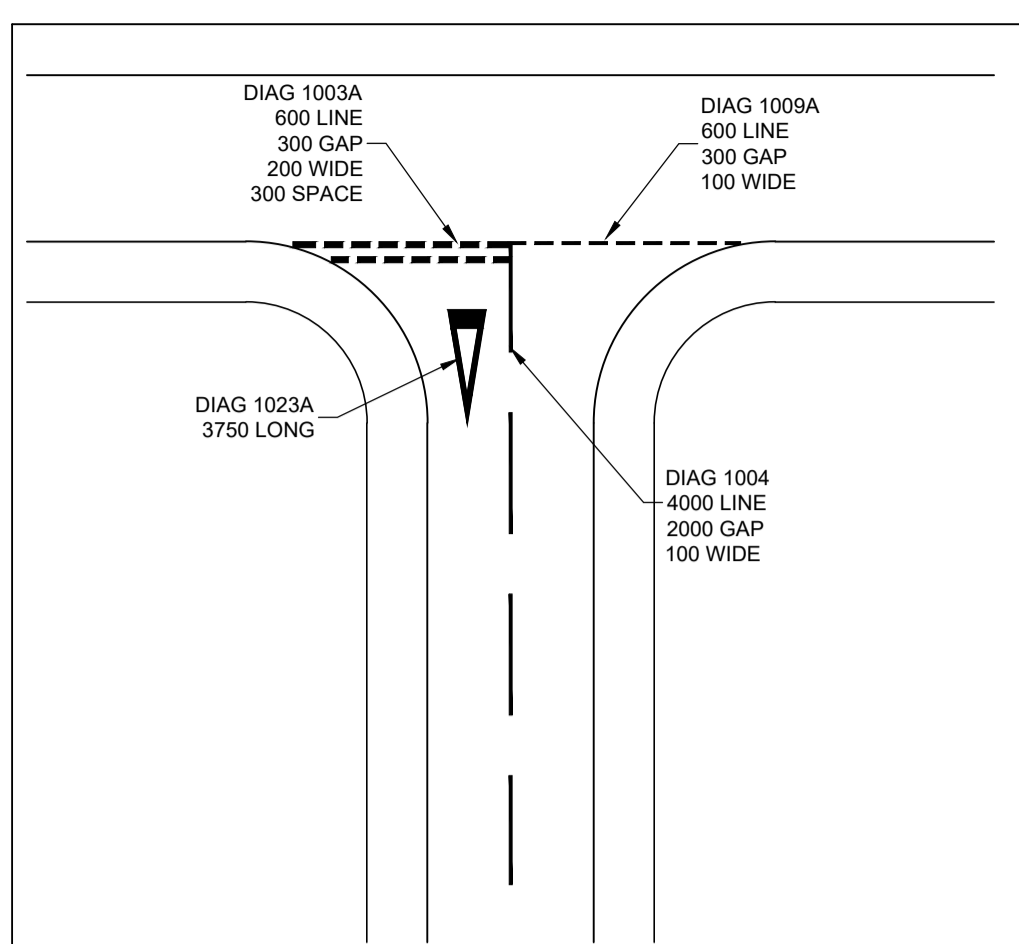
APPROVAL  
DRAWING

consulting engineers  
**hga**  
 HGA(UK) Ltd  
 Darach House  
 Stoneyfield Business Park  
 Inverness IV2 7PA  
 T: 01463 221717  
 F: 01463 224275  
 email: hga@hga.co.uk

BRAES OF CONON SOUTH

<b>ROAD ADOPTION AREAS SHEET 2 OF 2</b>		
Drawn: MC	Ck'd	Scale: 1:500 (A1)
Date: APRIL 23	Date:	DO NOT SCALE
Drawing No. 3844:104/02	Revision B	





TYPICAL JUNCTION DETAIL  
 SCALE 1:250

VISIBILITY SPPLAY				
JUNCTION	X	Y LEFT	Y RIGHT	
2 TO 1	2.4m	25m	25m	
2A TO 1	2.4m	25m	25m	
2B TO 1	2.4m	25m	25m	
2C TO 1	2.4m	25m	25m	
4 TO 1	2.4m	25m	25m	
5 TO 1	2.4m	25m	25m	
6 TO 1	2.4m	25m	18.9m (END)	
2 TO 3	2.4m	25m	23.2m (TAN)	
3 TO 2	2.4m	25m	25m	
4 TO 2	2.4m	25m	15.2m (END)	
5 TO 4	2.4m	25m	25m	
6 TO 5	2.4m	13.0m (TAN)	25m	

ROAD CLASSIFICATIONS	
ROAD	CLASSIFICATION
1 (CH 0 - CH310)	MAIN RESIDENTIAL STREET
1 (CH 310 TO END)	MINOR RESIDENTIAL STREET
2A	CUL-DE-SAC
2B	CUL-DE-SAC
2C	CUL-DE-SAC
3	MINOR RESIDENTIAL STREET
4	MINOR RESIDENTIAL STREET
5	MINOR RESIDENTIAL STREET
6	MINOR RESIDENTIAL STREET

NOTES  
 1. ALL ROADWORKS TO BE CONSTRUCTED IN ACCORDANCE WITH MCDHW VOL. 1 SPECIFICATION FOR HIGHWAY WORKS.  
 2. DESIGN SPEED AND STOPPING SITE DISTANCE  
 2.1. MAIN RESIDENTIAL STREET 20 mph / 25 m  
 2.2. MINOR RESIDENTIAL STREET 15 mph / 17 m  
 (NOTE: ALL FORWARD VISIBILITY WITHIN ROAD ENVELOPE)  
 3. REFER TO DRAWING 3844:102 FOR ROAD LONGITUDINAL SECTIONS.  
 4. REFER TO DRAWING 3844:103 FOR ROAD CONSTRUCTION DETAILS.  
 5. ALL DRIVEWAYS TO BE PROFILED TO SHED RUN OFF TO GARDENS AND ENSURE NO RUN OFF TO ADOPTABLE ROAD.



Notes

Revisions	Date	Drn.	Revisions	Date	Drn.
A PLANNING COMMENTS INCORPORATED	19.07.23	MC			
B PLANNING COMMENTS INCORPORATED	22.09.23	MC			

TULLOCH HOMES LTD  
 APPROVAL DRAWING

consulting engineers  
**hga**  
 HGA(UK) Ltd  
 Darach House  
 Stoneyfield Business Park  
 Inverness IV2 7PA  
 T: 01463 221717  
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ROAD LAYOUT SHEET 1 OF 2

Drawn: MC	Ck'd	Scale: 1:500 (A1)
Date: APRIL 23	Date:	DO NOT SCALE

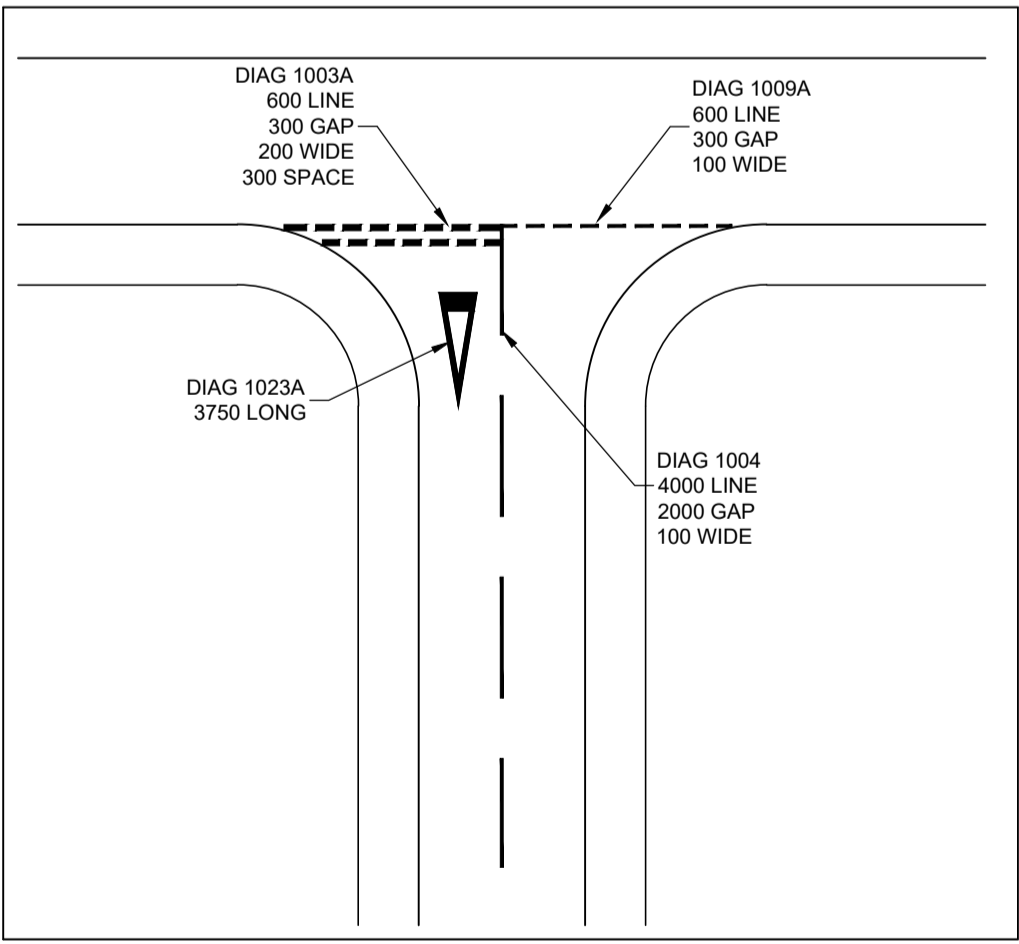
Drawing No. 3844:101/01  
 Revision B

BRAES OF CONON SOUTH





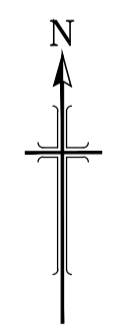
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  - DESIGN SPEED AND STOPPING SITE DISTANCE
    - MAIN RESIDENTIAL STREET 20 mph / 25 m
    - MINOR RESIDENTIAL STREET 15 mph / 17 m
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  - REFER TO DRAWING 3844:102 FOR ROAD LONGITUDINAL SECTIONS.
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TYPICAL JUNCTION DETAIL  
SCALE 1:250

VISIBILITY SPLAY				
JUNCTION	X	Y LEFT	Y RIGHT	
2 TO 1	2.4m	25m	25m	
2A TO 1	2.4m	25m	25m	
2B TO 1	2.4m	25m	25m	
2C TO 1	2.4m	25m	25m	
4 TO 1	2.4m	25m	25m	
5 TO 1	2.4m	25m	25m	
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3	MINOR RESIDENTIAL STREET
4	MINOR RESIDENTIAL STREET
5	MINOR RESIDENTIAL STREET
6	MINOR RESIDENTIAL STREET



Notes	Revisions	Date	Drn
	A PLANNING COMMENTS INCORPORATED	19.07.23	MC
	B PLANNING COMMENTS INCORPORATED	22.09.23	MC

Revisions	Date	Drn

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**APPROVAL DRAWING**

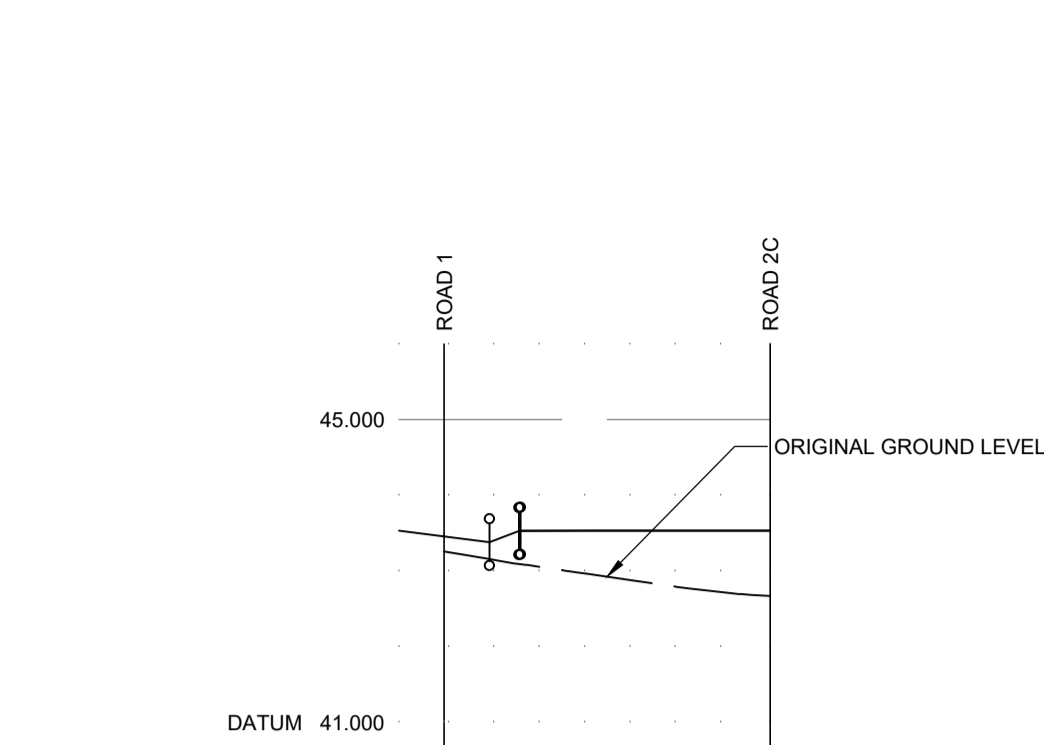
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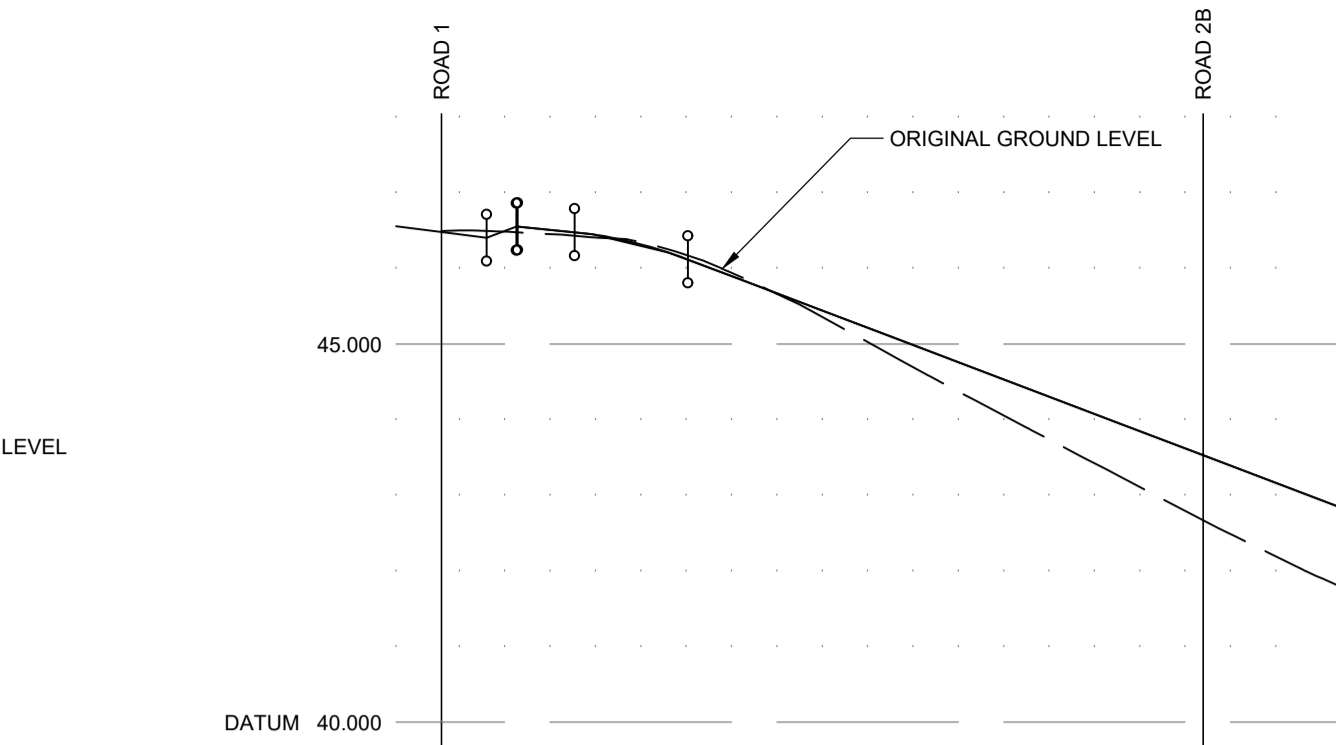
ROAD LAYOUT SHEET 2 OF 2

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Drawing No. 3844:101/02	Revision B	

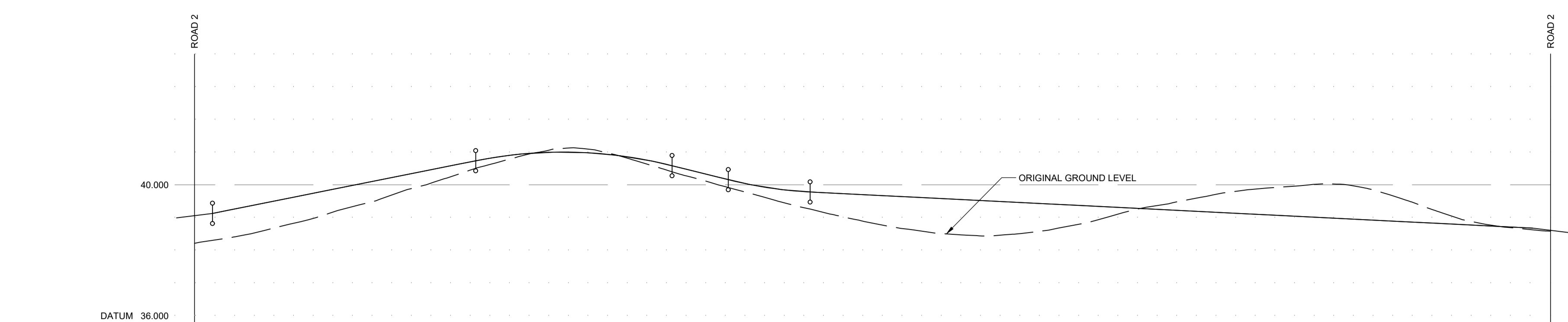




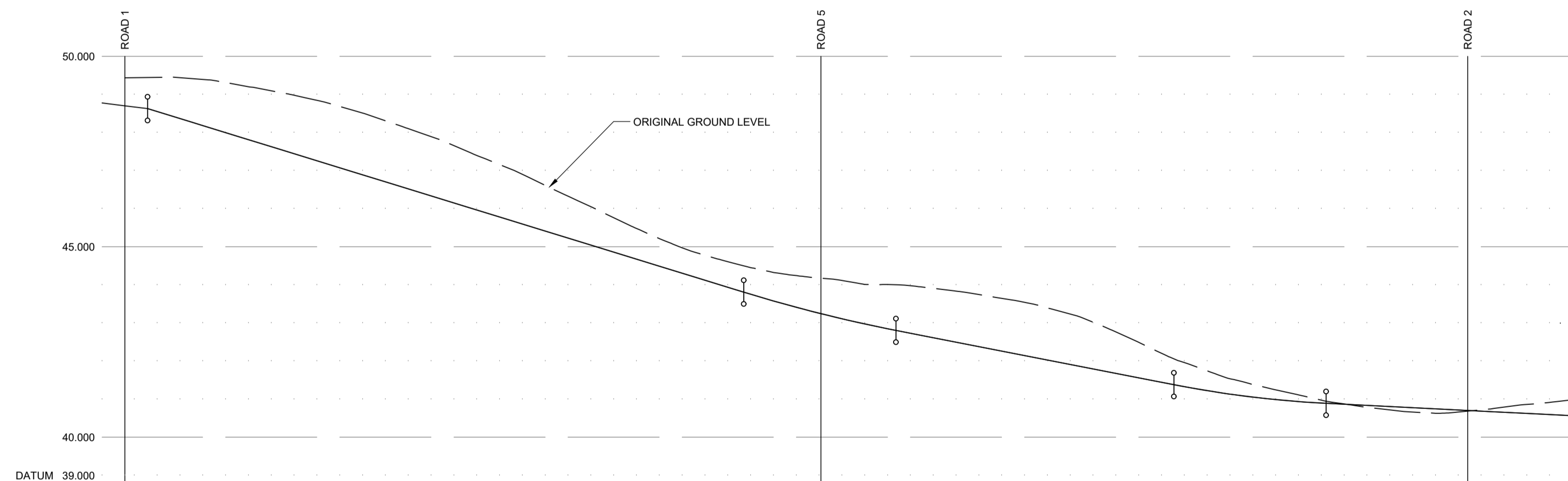
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3.000	43.380	43.380				43.530
6.000	42.946	43.530				43.530
10.000	42.685	43.530				43.530
20.000	42.685	43.530				43.530
21.582	42.689	43.530				43.530



CHAINAGE	EXISTING GROUND LEVEL	ALIGNMENT LEVEL	VERTICAL ALIGNMENT	HORIZONTAL ALIGNMENT	CROSSFALLS	CENTRE LINE
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3.000	46.553	46.553				46.211
6.000	46.410	46.410				46.449
13.339	45.868	46.211				45.838
16.371	45.868	46.211				45.459
20.000	44.823	45.078	G= -7.600% L= 30.000 KF= -3.33333	R= 8.750	RH=+2.50% LH=-2.50%	45.078
23.862	44.823	44.823				44.698
30.000	43.756	44.318				44.318
40.000	42.708	43.558				43.558
59.266	41.801	42.846				43.178



CHAINAGE	EXISTING GROUND LEVEL	ALIGNMENT LEVEL	VERTICAL ALIGNMENT	HORIZONTAL ALIGNMENT	CROSSFALLS	CENTRE LINE
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2.750	38.568	38.415				38.265
6.000	39.089	38.815				38.615
10.000	39.676	40.215				39.815
20.000	40.303	40.615				40.015
30.000	40.892	40.942				40.215
40.000	41.104	40.982	G= -5.000% L= 30.000 KF= -3.33333	R= 10.250	LH=+2.50% RH=-2.50%	40.415
43.000	40.892	40.982				40.615
45.000	40.892	40.982				40.809
48.263	40.892	40.982				40.904
50.000	40.892	40.982				40.982
55.000	40.892	40.982	G= -1.000% L= 12.500 KF= 3.1250	R= 62.750	LH=+2.50% RH=-2.50%	40.999
58.333	40.892	40.982				40.999
60.000	40.892	40.982				40.982
64.000	40.892	40.982				40.889
70.000	40.584	40.722				40.722
73.000	40.584	40.584				40.485
80.000	40.002	40.235	G= -1.000% L= 100.000 KF= 3.1250	R= 32.750	LH=+2.50% RH=-2.50%	40.235
81.807	40.002	40.235				40.235
85.000	39.846	40.003				40.003
90.000	39.780	39.780				39.846
94.107	39.721	39.721				39.771
100.000	38.621	38.621				39.721
109.000	38.439	38.439				38.671
120.000	38.439	38.439				38.621
130.000	38.421	38.421				38.571
140.000	38.321	38.321				38.521
150.000	38.221	38.221				38.471
160.000	38.121	38.121				38.421
170.000	38.021	38.021				38.371
172.686	38.021	38.021				38.321
180.000	38.021	38.021				38.271
188.000	38.021	38.021				38.221
198.532	38.021	38.021				38.171
200.000	38.021	38.021				38.121
207.282	38.021	38.021				38.071



CHAINAGE	EXISTING GROUND LEVEL	ALIGNMENT LEVEL	VERTICAL ALIGNMENT	HORIZONTAL ALIGNMENT	CROSSFALLS	CENTRE LINE
0.000	49.435	48.825	G= -6.150% L= 20.000 KF= 8.88889	R= 42.750	LH=+2.50% RH=-2.50%	48.932
3.000	48.935	48.195				48.935
6.000	48.066	47.580				47.587
20.000	48.581	46.965				47.580
30.000	47.906	46.350				47.272
40.000	47.096	45.735				46.865
50.000	46.164	45.120				46.457
60.000	45.233	44.505				46.050
70.000	44.568	43.890	G= -3.900% L= 20.000 KF= 6.89655	R= 27.750	LH=+2.50% RH=-2.50%	44.568
73.164	43.890	43.317				44.197
80.000	43.317	43.072				43.890
81.381	42.855	42.855				43.590
85.000	42.855	42.855				43.317
90.000	42.464	42.464				43.072
91.476	42.464	42.464				42.855
96.000	42.074	42.074				42.639
100.000	41.684	41.684				42.424
101.351	41.684	41.684				42.209
110.000	41.377	41.377				42.074
120.000	41.297	41.297				41.859
130.000	41.136	41.136				41.644
140.000	41.011	41.011				41.429
145.000	40.822	40.822				41.214
148.545	40.822	40.822				41.000
150.000	40.822	40.822				40.785
155.000	40.822	40.822				40.570
157.876	40.822	40.822				40.355
160.000	40.822	40.822				40.140
170.000	40.651	40.651				39.925
178.477	40.651	40.651				39.710
180.000	40.651	40.651				39.495
180.000	40.651	40.651				39.280
190.000	40.651	40.651				39.065
191.477	40.651	40.651				38.850

Drawing No. 3844:102/03 Revision C

Revisions	Date	Drn.
A ROAD 1, 4, 5, & 6 VERTICAL ALIGNMENT REVISED	18.04.23	MC
B ROAD 1 CROSS FALL REVISED, ROAD 2B & ROAD 2C ADDED.	19.07.23	MC
C ROAD 2A REVISED	22.09.23	MC

APPROVAL DRAWING

TULLOCH HOMES LTD

BRAES OF CONON SOUTH

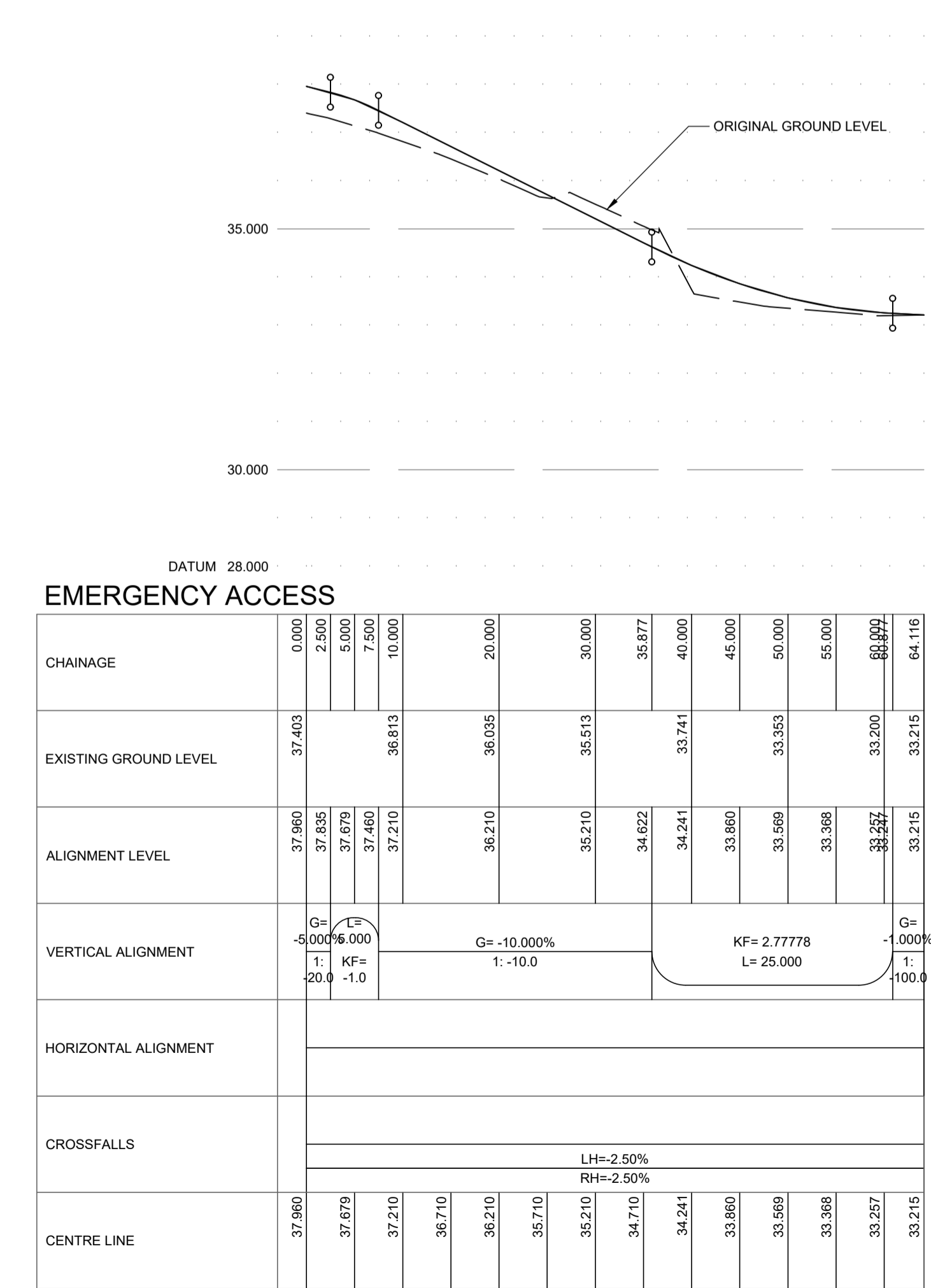
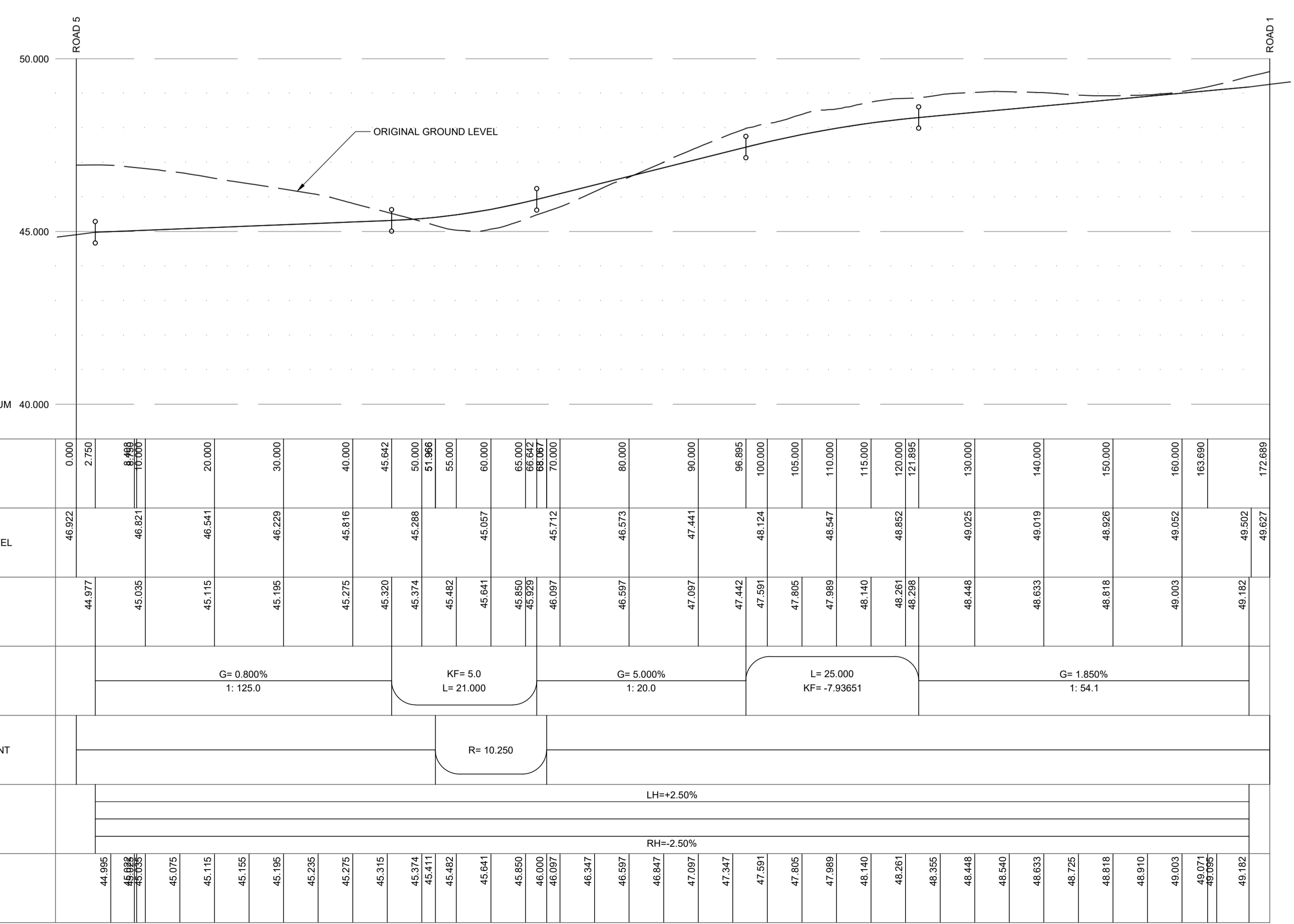
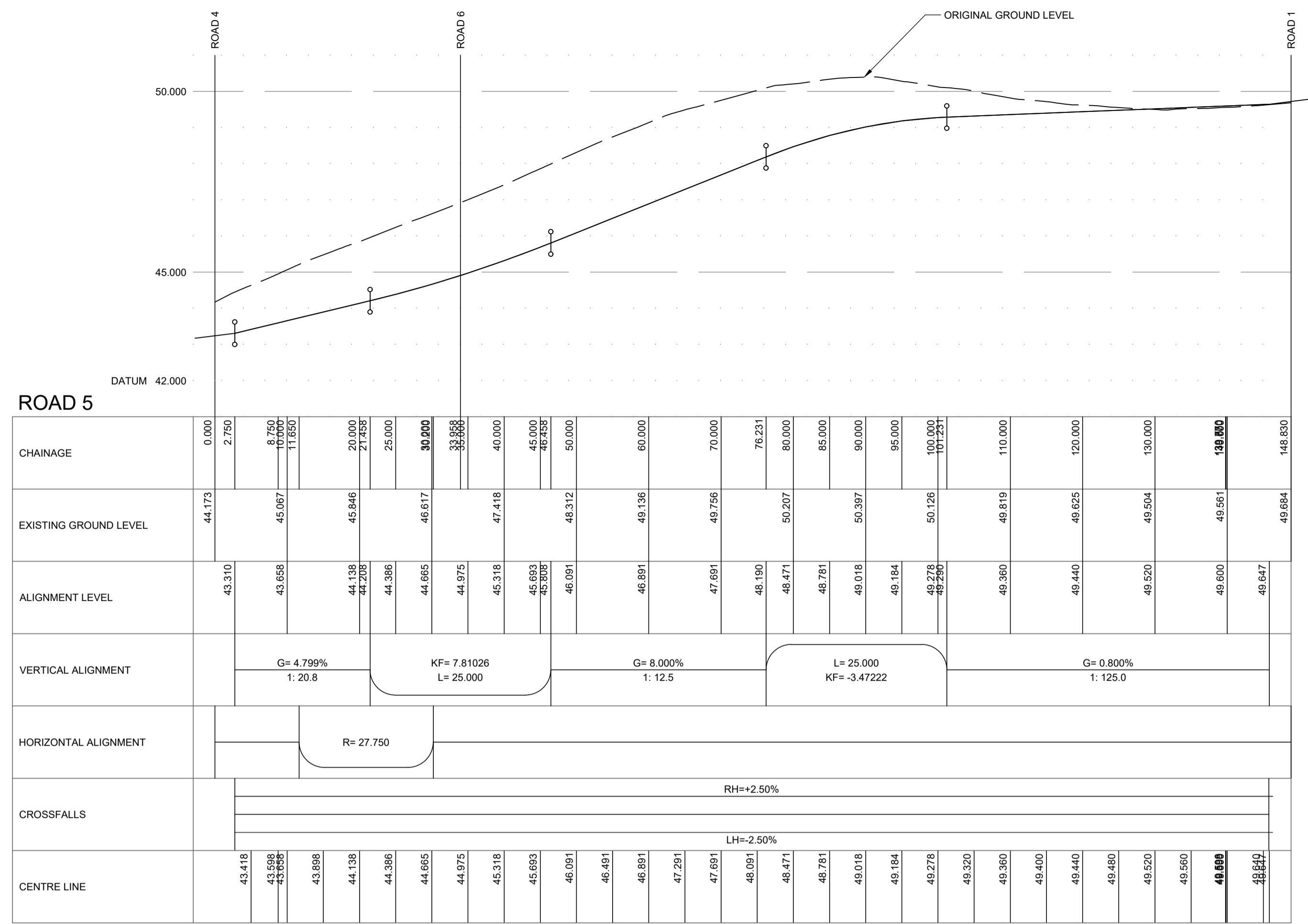
ROAD LONG SECTIONS SHEET 3 OF 4

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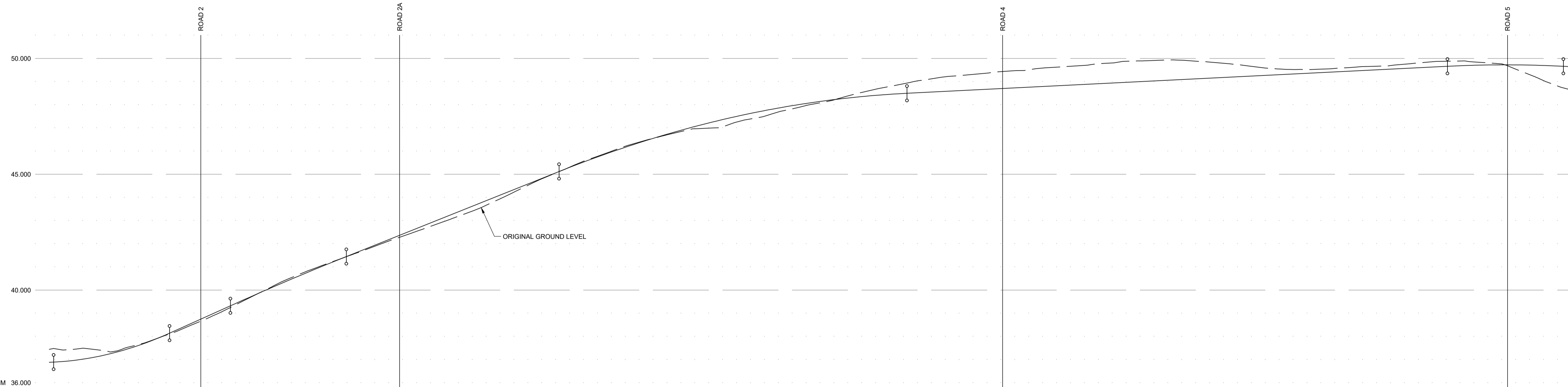


Drawing No. 3844:102/03 Revision C





Drawing No.	3844:102/04	Revision	C
Revisions	Date	Drn.	
A ROAD 1, 4, 5, & 6 VERTICAL ALIGNMENT REVISED	18.04.23	MC	
B ROAD 1 CROSS FALL REVISED, ROAD 2B & ROAD 2C ADDED.	19.07.23	MC	
C ROAD 2A REVISED	22.09.23	MC	
<b>APPROVAL DRAWING</b>			
<b>TULLOCH HOMES LTD</b>			
<b>BRAES OF CONON SOUTH</b>			
<b>ROAD LONG SECTIONS SHEET 4 OF 4</b>			
Drawn:	MC	Scale:	HOR 1:500, VER 1:100
Date:	MARCH 23	Date:	DO NOT SCALE
<b>hga</b> consulting engineers		HGA(UK) Ltd Darach House Stoneyfield Business Park Inverness IV2 7PA T: 01463 221717 F: 01463 224275 email: hga@hga.co.uk	
Drawing No.	3844:102/04	Revision	C



CHAINAGE	EXISTING GROUND LEVEL	ALIGNMENT LEVEL	VERTICAL ALIGNMENT	HORIZONTAL ALIGNMENT	CROSSFALLS	CENTRE LINE
0.000	37.444	36.883	1.000%			36.883
5.000	37.431	36.869	1.000%			36.869
10.000	37.431	37.114	KF= 3.1250 L= 25.000			37.114
16.800	37.349	37.349				37.349
20.000	37.663	37.663				37.663
25.000	38.058	38.058				38.058
26.500	38.144	38.144				38.144
30.000	38.454	38.507	G= 9.000% 1: 11.1			38.507
32.697	39.343	39.223				39.223
35.000	39.849	39.849		R= 53.000		39.849
40.000	40.293	40.293				40.293
50.000	40.706	40.706				40.706
55.000	41.119	41.119				41.119
60.000	41.448	41.448				41.448
64.075	41.922	41.922				41.922
70.000	42.322	42.322				42.322
75.558	42.722	42.722				42.722
80.000	43.318	43.318				43.318
90.000	44.207	44.322				44.322
100.000	45.119	45.119				45.119
115.000	45.510	45.510				45.510
120.000	45.875	45.875				45.875
125.000	46.217	46.217				46.217
130.000	46.535	46.535				46.535
135.000	46.830	46.830				46.830
140.000	47.101	47.101				47.101
145.000	47.349	47.349				47.349
147.420	47.574	47.574				47.574
150.000	47.775	47.775				47.775
155.000	47.954	47.954				47.954
160.000	48.108	48.108				48.108
165.000	48.240	48.240				48.240
170.000	48.348	48.348				48.348
175.000	48.433	48.433				48.433
180.000	48.494	48.494				48.494
184.956	48.544	48.544				48.544
190.000	48.644	48.644				48.644
197.707	48.694	48.694				48.694
200.000	48.744	48.744				48.744
205.596	48.844	48.844				48.844
210.000	48.944	48.944				48.944
215.000	49.044	49.044				49.044
220.000	49.144	49.144				49.144
225.000	49.244	49.244				49.244
230.000	49.344	49.344				49.344
235.000	49.444	49.444				49.444
240.000	49.544	49.544				49.544
245.000	49.644	49.644				49.644
250.000	49.715	49.715				49.715
255.000	49.707	49.707				49.707
260.000	49.673	49.673				49.673
265.500	49.659	49.659				49.659

Drawing No. 3844:102/01 Revision C

Revisions	Date	Drn.
A ROAD 1, 4, 5, & 6 VERTICAL ALIGNMENT REVISED	18.04.23	MC
B ROAD 1 CROSS FALL REVISED, ROAD 2B & ROAD 2C ADDED.	19.07.23	MC
C ROAD 2A REVISED	22.09.23	MC

APPROVAL DRAWING

TULLOCH HOMES LTD

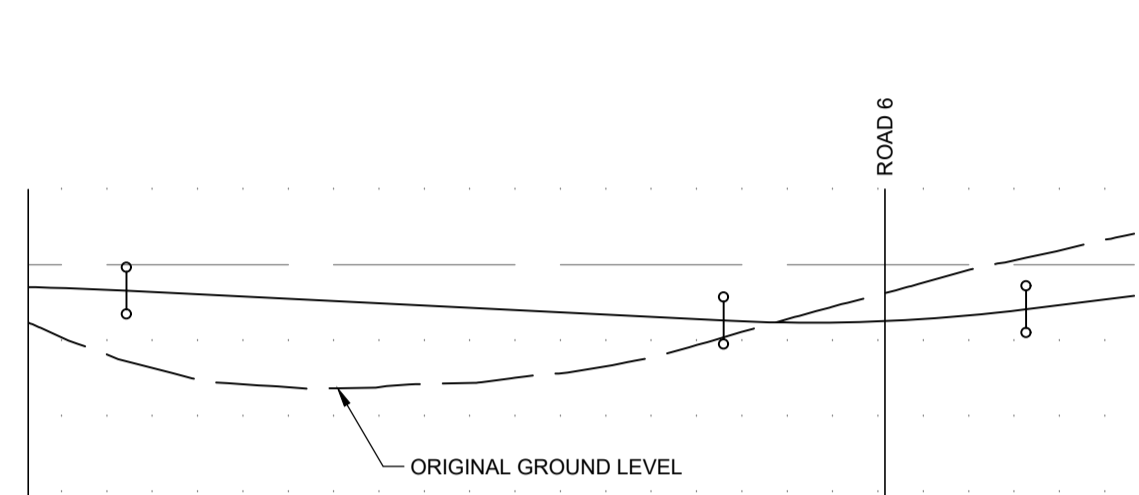
BRAES OF CONON SOUTH

ROAD LONG SECTIONS SHEET 1 OF 4

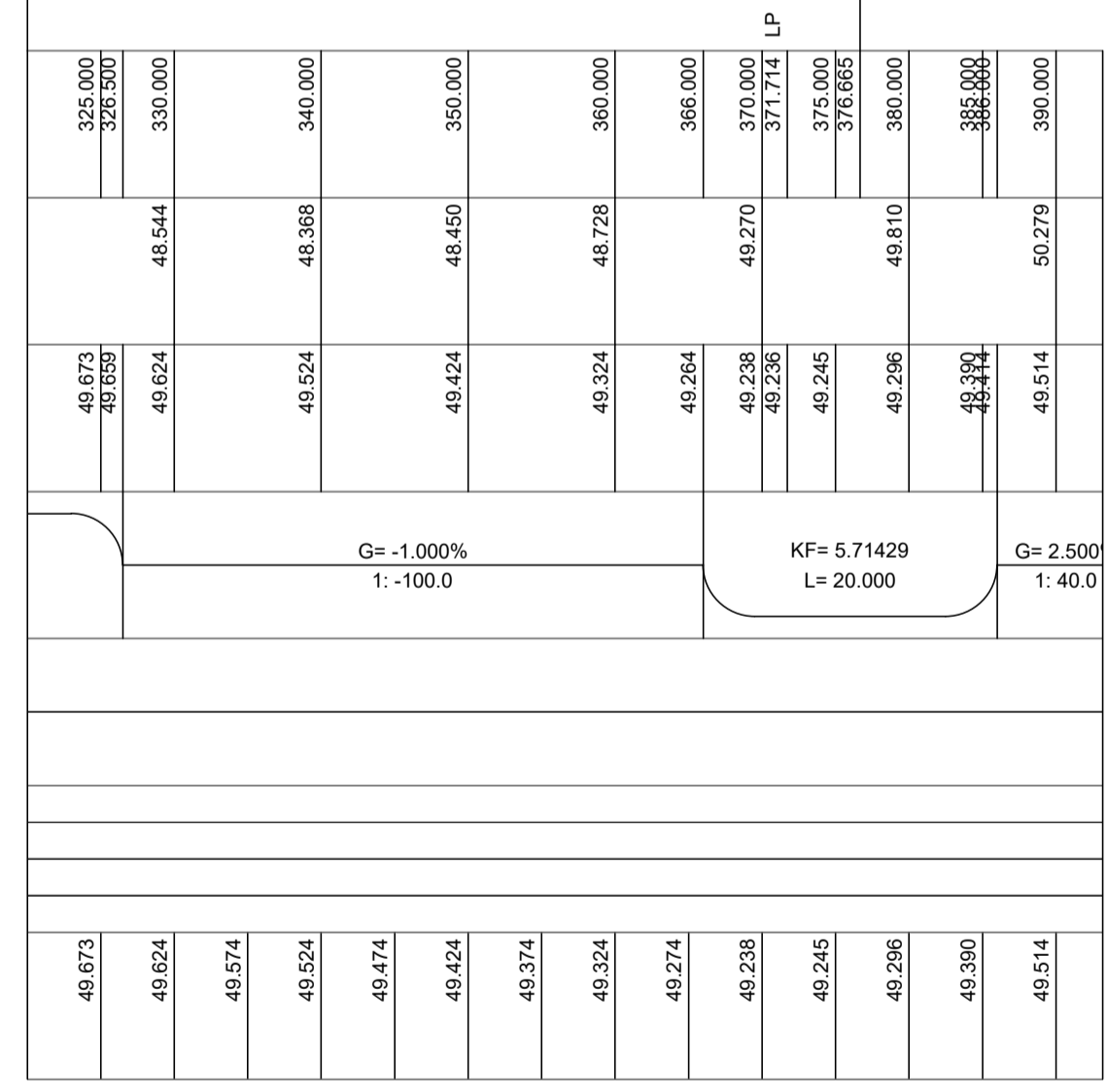
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Date: MARCH 23 Date: DO NOT SCALE

consulting engineers **hga**  
HGA(UK) Ltd  
Darach House  
Stoneyfield Business Park  
Inverness IV2 7PA  
T: 01463 231717  
F: 01463 224275  
email: hga@hagagroup.co.uk

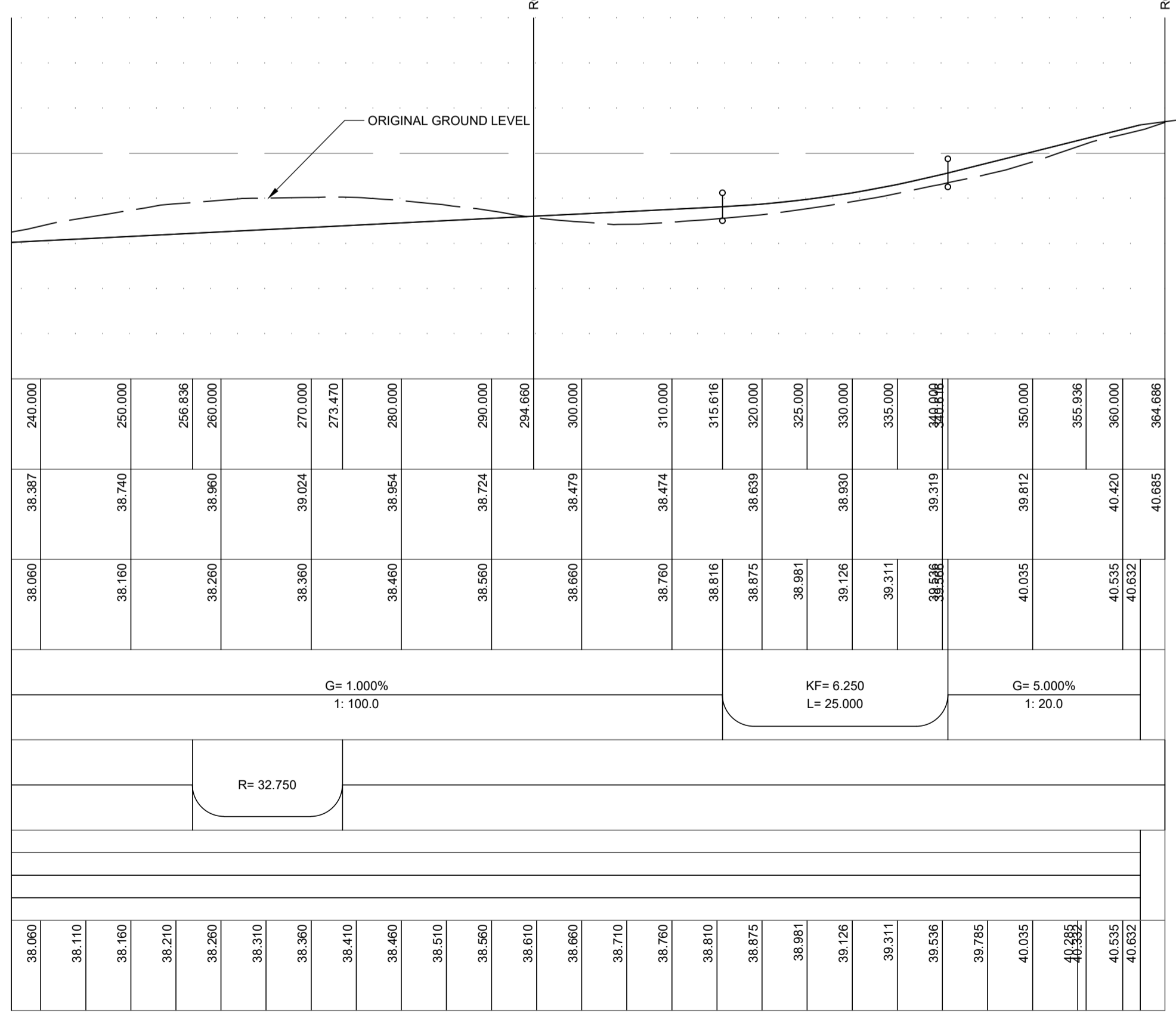
Drawing No. 3844:102/01 Revision C



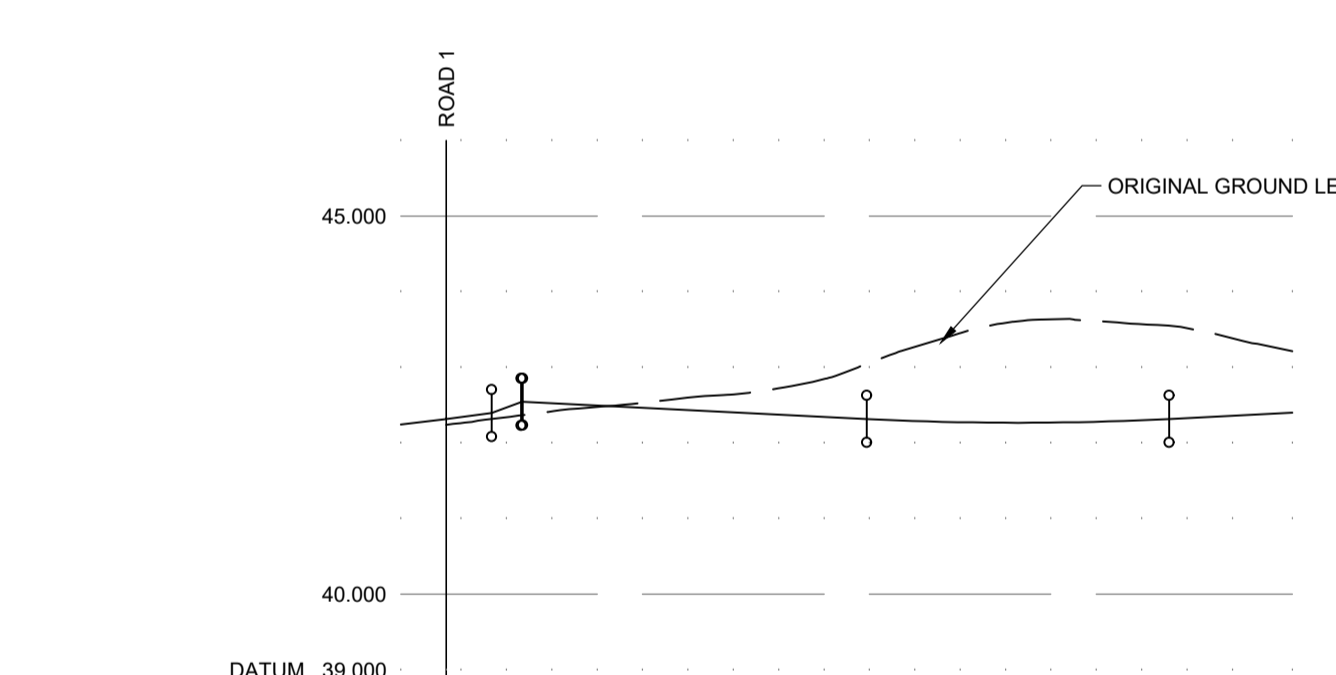
CHAINAGE	EXISTING GROUND LEVEL	ALIGNMENT LEVEL	VERTICAL ALIGNMENT	HORIZONTAL ALIGNMENT	CROSSFALLS	CENTRE LINE
0.000	38.659	38.674				38.660
3.000						38.718
6.300	38.625	38.731				38.731
10.000						38.771
13.100						38.811
20.000	38.663	38.811				38.852
30.000	38.551	38.802				38.862
40.000						38.832
50.000	38.375	38.873				38.873
60.000	38.214	39.053				39.013
70.000						39.053
80.000	38.460	39.295				39.295
90.000	38.848	39.376				39.336
100.000						39.376
110.000	38.881	39.416				39.416
120.000	39.095	39.450				39.450
130.000	39.471	39.471				39.471
140.000	39.196	39.480				39.480
150.000	39.476	39.476				39.476
160.000	39.459	39.459				39.459
170.000	39.430	39.430				39.430
180.000	38.850	39.389				39.389
190.000	39.000	39.335				39.335
200.000	38.530	39.268				39.268
210.000	38.542	39.192				39.189
220.000	38.879	39.104				39.104
230.000	38.879	39.019				39.019
240.000	38.594	38.934				38.934
250.000	38.594	38.849				38.849
260.000	38.858	38.764				38.764
270.000	38.398	38.679				38.679
280.000	39.111	38.594				38.594
290.000	38.858	38.509				38.509
300.000	38.254	38.424				38.424
310.000	38.398	38.339				38.339
320.000	38.919	38.254				38.254
330.000	38.015	38.169				38.169
340.000	37.708	38.084				38.084
350.000	37.974	37.974				37.974
360.000	37.959	37.959				37.959
370.000	37.971	37.971				37.971
380.000	38.005	38.005				38.010
390.000	38.060	38.060				38.060
400.000	38.387	38.110				38.110



ROAD 1 CONTINUED



ROAD 2 CONTINUED



CHAINAGE	EXISTING GROUND LEVEL	ALIGNMENT LEVEL	VERTICAL ALIGNMENT	HORIZONTAL ALIGNMENT	CROSSFALLS	CENTRE LINE
0.000	42.241	42.396				42.345
3.000						42.496
6.300	42.478	42.448				42.448
10.000						42.396
18.630	42.664	42.396				42.346
20.000						42.299
25.625	42.318	42.318				42.272
27.799	43.211	42.299				42.271
30.000	42.272	42.268				42.294
37.798	42.271	42.271				42.316
43.636	42.294	42.294				42.341
45.000	42.316	42.316				42.366
47.799	42.341	42.341				42.366
50.000	42.400	42.400				42.366
55.948	43.216	43.216				43.216

Drawing No. <b>3844:102/02</b>		Revision <b>C</b>
Revisions	Date	Drn.
A ROAD 1, 4, 5, & 6 VERTICAL ALIGNMENT REVISED	18.04.23	MC
B ROAD 1 CROSS FALL REVISED, ROAD 2B & ROAD 2C ADDED.	19.07.23	MC
C ROAD 2A REVISED	22.09.23	MC

**APPROVAL  
DRAWING**

**TULLOCH HOMES LTD**

**BRAES OF CONON SOUTH**

**ROAD LONG SECTIONS  
SHEET 2 OF 4**

Drawn: MC	Ck'd:	Scale: HOR 1:500, VER 1:100
Date: MARCH 23	Date:	DO NOT SCALE

consulting engineers  
**hga**

HGA(UK) Ltd  
Darach House  
Stoneyfield Business Park  
Inverness IV2 7PA  
T: 01463 221717  
F: 01463 224275  
email: hga@hagagroup.co.uk

Drawing No. <b>3844:102/02</b>		Revision <b>C</b>
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Accommodation Schedule	Code	Type	Storeys	Tenure	Units
Birch (B)	25866	Semi	1	PD	6
Cedar (Ca)	35882	Semi	1	PD	2
Beech (Be)	30884	Detached	1	PD	5
Nova (Nv) - Accessible	30836	Detached	1	PD	4
Lochy (Lo) - Accessible	30817	Detached	1	PD	2
Corran (Co)	35882	Semi	2	PD	10
Torrin (To)	35888	Semi	2	PD	14
Calder (Ca)	30893	Detached	2	PD	11
Elm (E)	30896	Detached	2	PD	5
Affric (Af)	308104	Detached	2	PD	13
Tweed (Tw)	408105	Detached	2	PD	13
Elvie (E)	408118	Detached	2	PD	13
Elvie EG (E (EG))	408118	Detached	2	PD	2
Tarvie (Ta)	408124	Detached	2	PD	5
Willow (W)	408131	Detached	2	PD	6
Lochra's (Lo)	408139	Detached	2	PD	7
Culean (Cu)	408177	Detached	2	PD	2
<b>Sub-total</b>					<b>120</b>
283P Amenity Bungalow	28 AM	Detached	1	AFF	6
182P Cottage Flat	182PF	Detached	2	AFF	4
284P Cottage Flat	284PF	Detached	2	AFF	6
284P Villa	284PV	Semi	2	AFF	10
385P Villa	385PV	Semi	2	AFF	12
487P Villa	487PV	Semi	2	AFF	2
<b>Sub-total</b>					<b>40</b>
<b>TOTAL</b>					<b>160</b>

- Key:**
- 221 Plot numbers
  - BV/B\* House/Type code / Handed house/Type code
  - A Indicative location on air source heat pump to near of House
  - W/W/G Indicative work from home / studio / workshop single garage location
  - GG Double garage
  - SG Indicative single garage location
  - G Gate to rear garden
  - ⊗ Indicative rotary clothes drier location
  - Indicative garden gradients
  - Indicative break point between levels and graded garden ground

- Boundary Treatments / Landscaping:**
- 1.8m screen wall / fence with posts
  - 1.8m timber screen fence
  - 0.9m timber screen fence
  - 0.9m post & wire fence
  - Plot division line
  - Hedge
  - Stone wall detail
  - Existing Stone wall subject to repair
  - Communal open space
  - Indicative shrub planting
  - Woodland
  - Indicative tree planting

- Car Parking / EV Charging:**
- In-courtyard 2.5 x 5.0m car parking space
  - Future in-courtyard car parking space
  - All properties have 2no. in-courtyard car parking spaces, contained within either a 3.0m wide x 11.0m long or a 5.0m wide x 6.0m long driveway
  - Cutback house types also have an integral double garage. Affric and Elvie house types have an integral single garage, while Lochra's house types have an attached single garage.
  - Indicative in-courtyard EV charging point location
  - Indicative communal car connector EV charging point location (Active provision)
  - Indicative future communal EV charging point location (Passive provision)

- In-Courtyard EV Charging Provision**
- Provision for up to 7kW Electric Car Charging in accordance with Approved Document P: Electricity - Part 7: Electricity at Work Regulations (BS7671 18th edition (2018)) and the IET Code of Practice for EV Charging (provisions within a driveway or garage to have a 13A external socket device supplied. External socket device to be complete with isolation supply and be suitable for upgrading in the future to a fast-charging device. External socket device to have a dedicated supply from the consumer unit, be certified for continuous load and suitably earthed. External socket device to be located 1.7m above finished ground level).

- Active Communal EV Charging Provision**
- External public 7kW fast charger EV charging unit off loadshed supply, provides all necessary supporting infrastructure including capacity to connect to the local electricity distribution network. Active for loading to the open parking spaces to enable simple installation and activation of the charge point at a future date.

- Refuse / Bin Collection:**
- In-courtyard location of refuse bin stance
  - Refuse Collection Point for shared private driveways
  - All properties have space for in-courtyard bin storage.
  - Phase 2/3: 283P, 284P, 385P & 487P 1000 litre units will be the kerbside of the adopted road and will require occupants to transport the refuse bin from the site to the kerbside.
  - Phase 1/4: 284P, 385P & 487P 1300 litre units will be the kerbside of the adopted road from one of the identified Refuse Collection Points. Occupants will be required to transport the refuse bin from the bin stance to a Refuse Collection Point.

- Private Garden Gradients:**
- Private rear gardens are generally flat for the first 5m from the building, rising or falling a maximum of 100mm over the 5m length. Some gardens continue to be relatively flat beyond 5m. Where gardens require to be steeper, a 1:7 fallline is proposed beyond the 5m. In some instances parts of gardens require to be steeper or have retaining structures introduced. The various different solutions are indicated as shown in the key below.
- Break line between relatively flat garden and an increased fall or rise to garden
  - Low masonry retaining wall typically only between house gates
  - Low timber sleeper retaining wall typically contained within rear garden
  - Interlocking masonry retaining wall to typically support design typically along rear garden boundary
  - Garden gradient, typically 1:7
  - Garden gradient, typically steeper than 1:7, up to 1:3

- Accessibility:**
- All house/units will be provided with accessible access routes in line with the relevant Building Regulations.
- 6% of the private for sale houses will be designed to be usable by wheelchair users, comprising of the 2no. Larchy and 4no. Nova house types.
- All 4no. Affordable units will be designed to be compliant with the Housing for Worrying Needs guidelines which contain various accessibility standards.

- \* Houses with enhanced gables / dual frontages
- 01 New access formed off Broom Court providing vehicular and pedestrian access into the development site.
- 02 Adjacent proposed development covered by Planning Permission 21/03207/FUL.
- 03 SuDS location (Sustainable Drainage Solutions).
- 04 Existing water main provides opportunity for green infrastructure route through development.
- 05 Pocket park and opportunity to include active frontage.
- 06 Proposed landscape planting to edge of development.
- 07 Views through to adjacent farmland.
- 08 Pedestrian link from Pocket Park connecting to existing access track.
- 09 Pedestrian link to allow access through to the development.
- 10 Pedestrian/emergency access.
- 11 Looped access roads to avoid any dead ends for vehicular traffic.

**Bracewell Stirling CONSULTING**

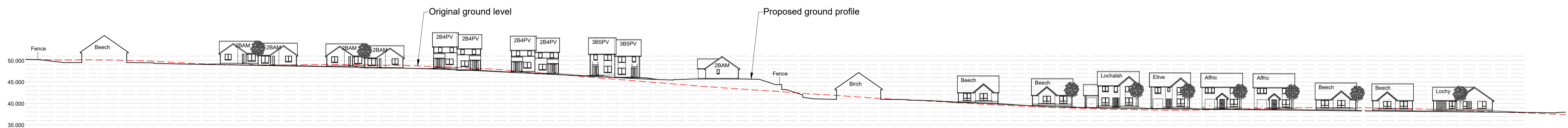
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 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCKSIDE STREET, OBAN, PA34 4HP 01831 399564

**SITE CB2, BRAES OF CONON CONON BRIDGE TULLOCH HOMES LTD**

**SITE LAYOUT PLAN**

SCALE: 1:500 DRAWN: [ ]  
 PAPER SIZE: A3 DATE: Sep 2023  
 DWG No: 4576-02-003 REV: D





Section A-A



Section B-B



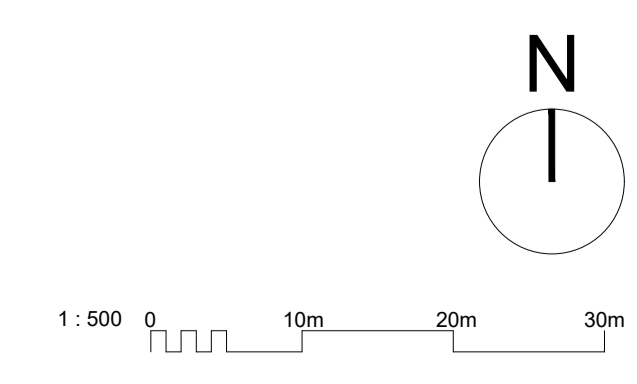
Section C-C

REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**  
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 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

SITE CB2, BRAES OF CONON  
 CONON BRIDGE  
 TULLOCH HOMES LTD  
 SITE SECTIONS

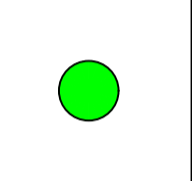
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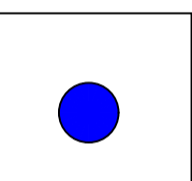


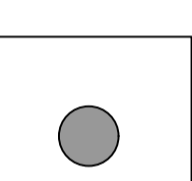


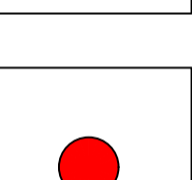
# Tree Constraints Plan showing tree categories and root protection zones.

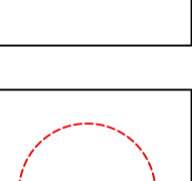
BS5837:2012 Tree Categories

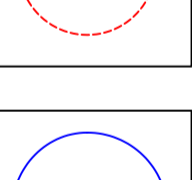
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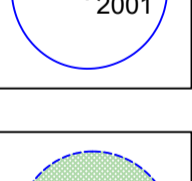
**Category A**  
Trees of high quality with an estimated remaining life expectancy of at least 40 years.
- 

**Category B**  
Trees of moderate quality with an estimated remaining life expectancy of at least 20 years.
- 

**Category C**  
Trees of low quality with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150 mm.
- 

**Category U**  
Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
- 

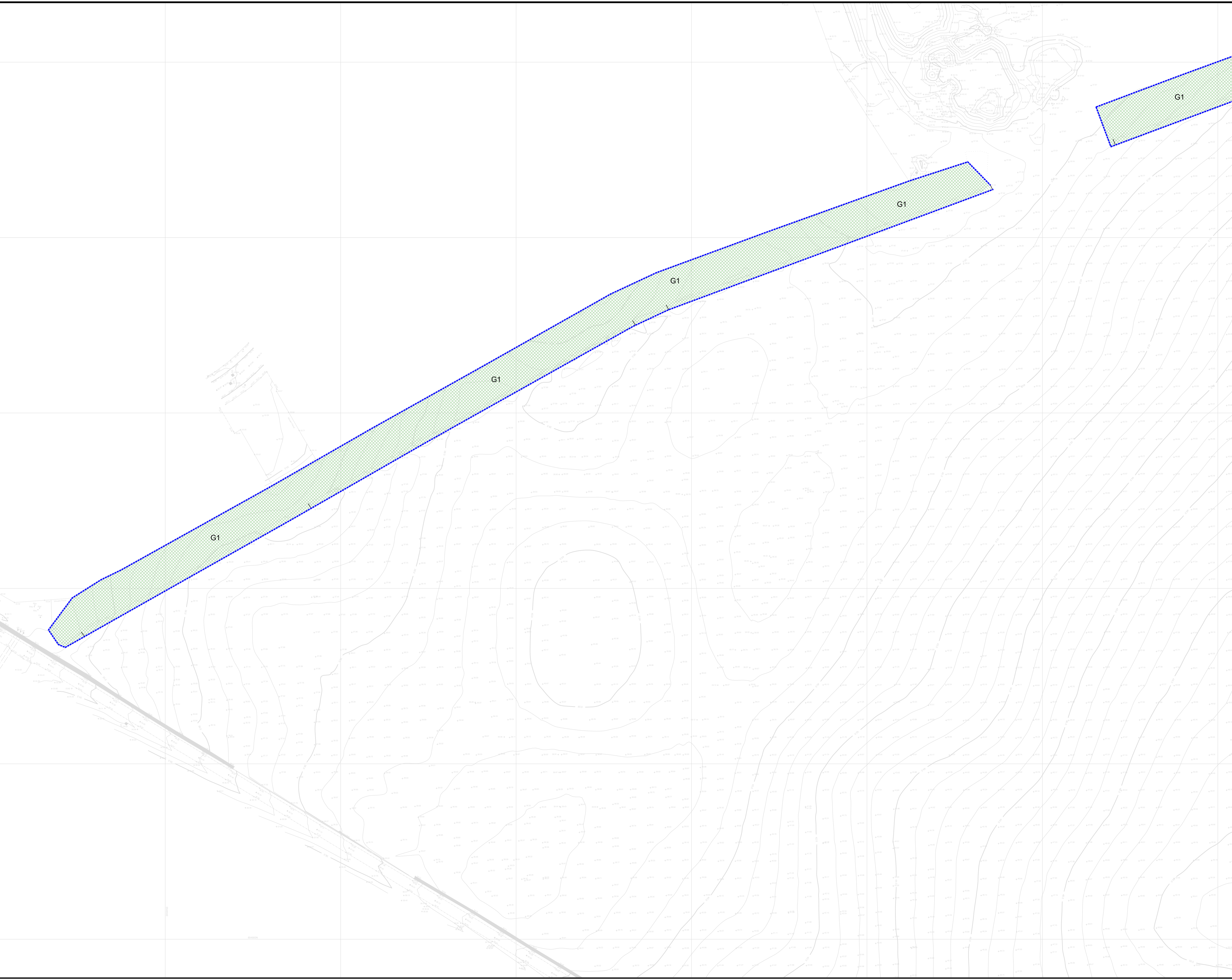
**BS 5837:2012 Root Protection Area RPA**
- 

**Tree**  
Showing Canopy extents, category colour and tag number
- 

**Group**  
Showing canopy extents and category colour, which will also represent RPA unless detailed separately

## Proposed Development Conon South Cononbridge Tree Constraints Plan

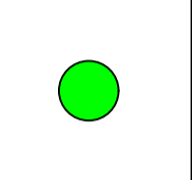
Client: Tulloch Homes Stonyfield Business Park Inverness, IV2 7PA	Drawing No: <b>1347.1 - TCP</b>
Scale: <b>1:500</b>	Surveyed by: LCM
Date: 20th March 2023	Checked by: RW
ACAD File No: 1347-TCP.DWG	Sheet: 1 of 3
Grid Used: Local Based on OS	Level Datum Used: Ordnance (GPS)

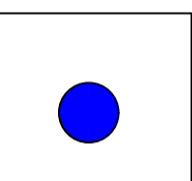


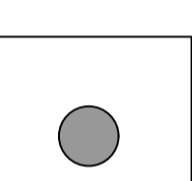


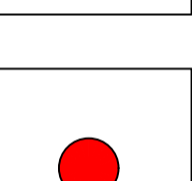
# Tree Constraints Plan showing tree categories and root protection zones.

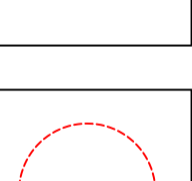
BS5837:2012 Tree Categories

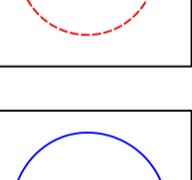
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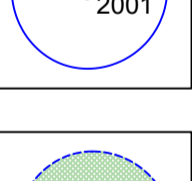
**Category A**  
Trees of high quality with an estimated remaining life expectancy of at least 40 years.
- 

**Category B**  
Trees of moderate quality with an estimated remaining life expectancy of at least 20 years.
- 

**Category C**  
Trees of low quality with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150 mm.
- 

**Category U**  
Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
- 

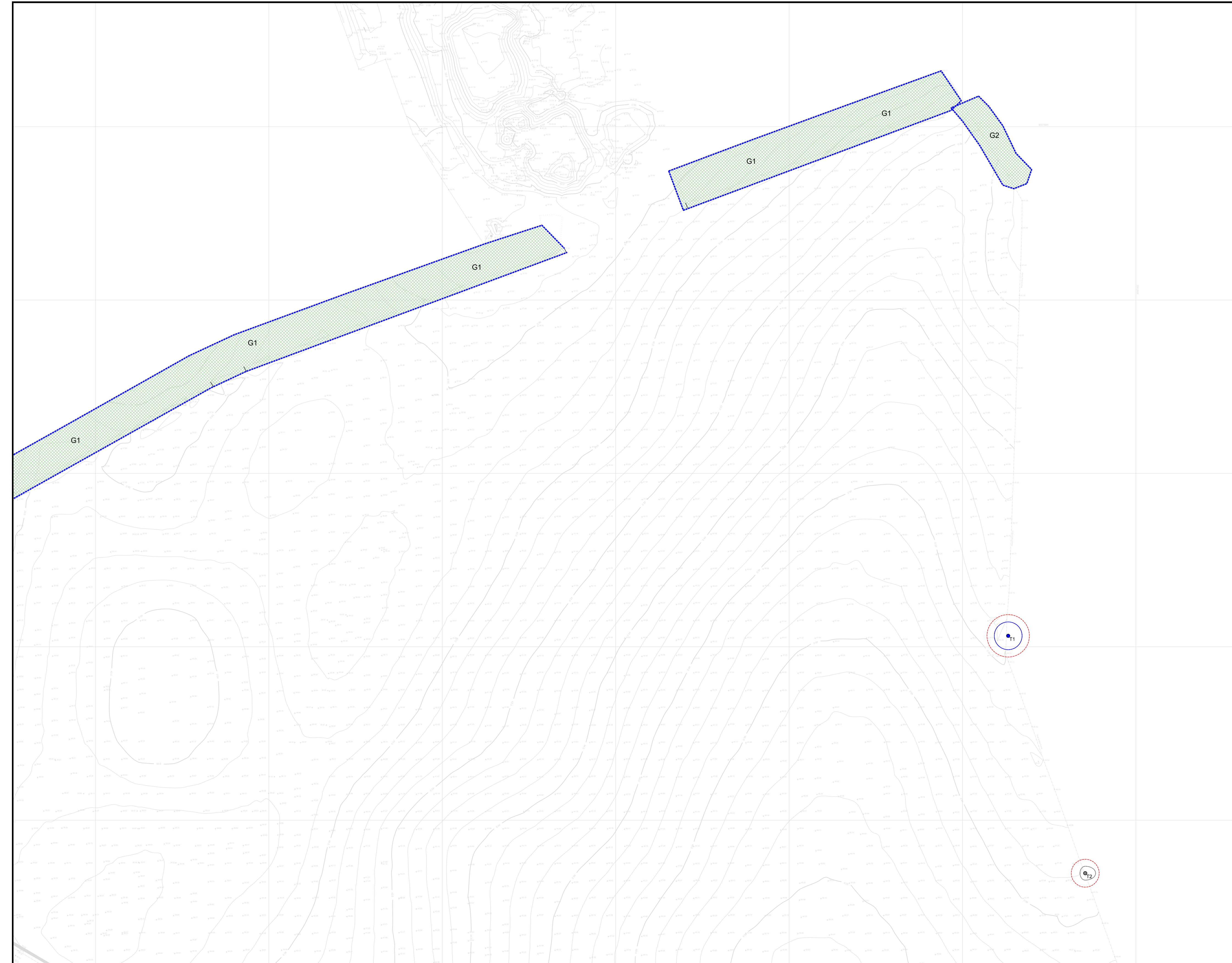
**BS 5837:2012 Root Protection Area RPA**
- 

**Tree**  
Showing Canopy extents, category colour and tag number
- 

**Group**  
Showing canopy extents and category colour, which will also represent RPA unless detailed separately

## Proposed Development Conon South Cononbridge Tree Constraints Plan

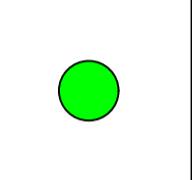
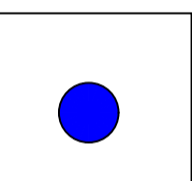
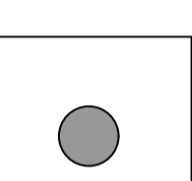
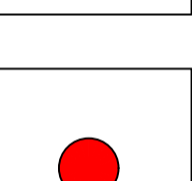
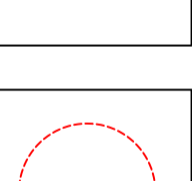
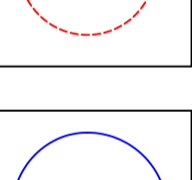
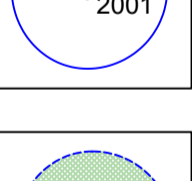
Client: Tulloch Homes Stoneyfield Business Park Inverness, IV2 7PA	1347.2 - TCP
Scale: <b>1:500</b> @A1	Surveyed by: LCM
Date: 20th March 2023	Checked by: RW
ACAD File No: 1347-TCP.DWG	Sheet: 2 of 3
Grid Used: Local Based on OS	Level Datum Used: Ordnance (GPS)





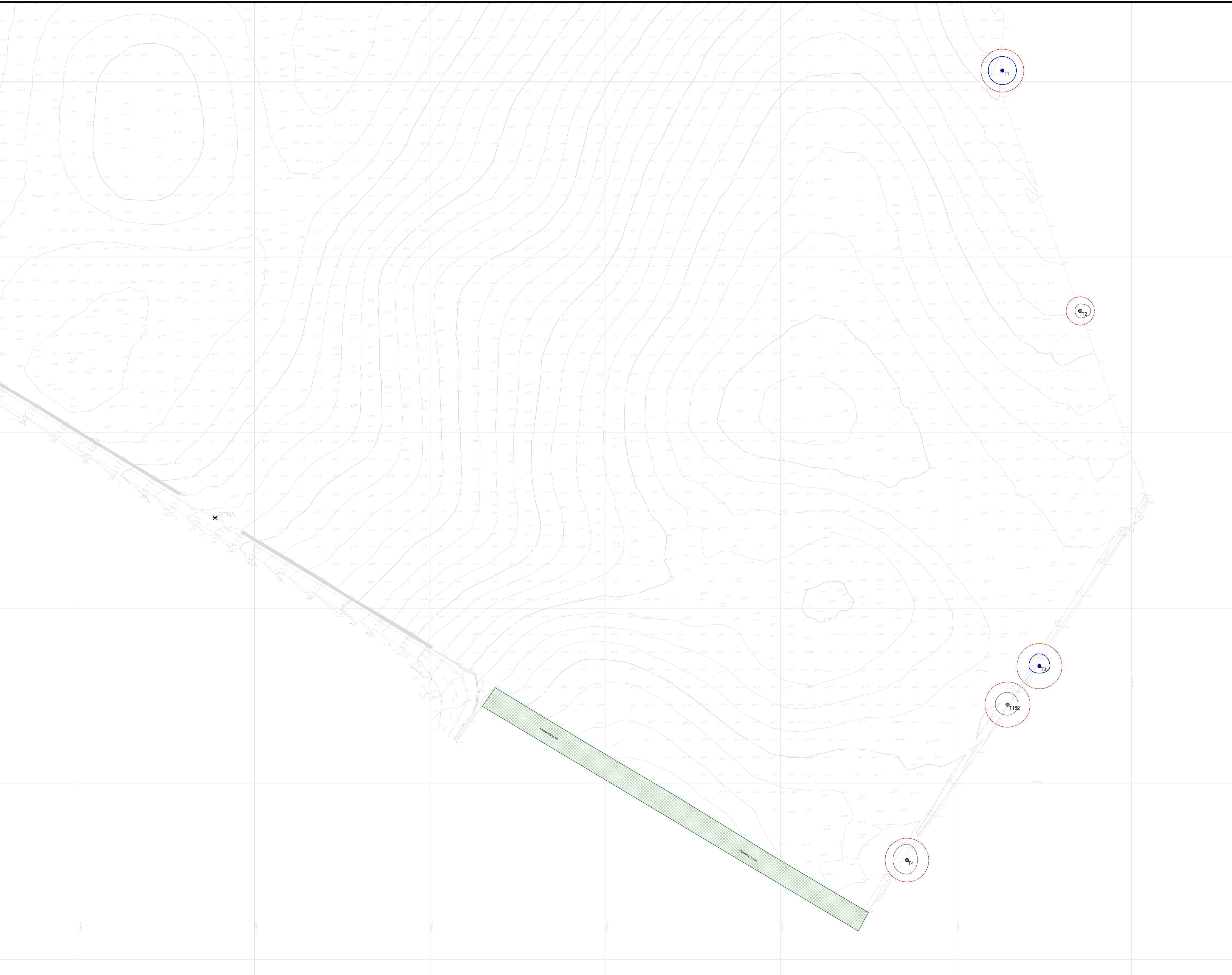
# Tree Constraints Plan showing tree categories and root protection zones.

BS5837:2012 Tree Categories

- 
**Category A**  
 Trees of high quality with an estimated remaining life expectancy of at least 40 years.
- 
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- 
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 Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
- 
**BS 5837:2012 Root Protection Area RPA**
- 
**Tree**  
 Showing Canopy extents, category colour and tag number
- 
**Group**  
 Showing canopy extents and category colour, which will also represent RPA unless detailed separately

## Proposed Development Conon South Cononbridge Tree Constraints Plan


Client: Tulloch Homes Stoneyfield Business Park Inverness, IV2 7PA	Drawing No: <b>1347.3 - TCP</b>
Scale: <b>1:500</b>	Surveyed by: LCM
Date: 20th March 2023	Checked by: RW
ACAD File No: 1347-TCP.DWG	Sheet: 3 of 3
Grid Used: Local Based on OS	Level Datum Used: Ordnance (GPS)








Tree Protection Plan showing tree categories and root protection zones.


BS5837:2012 Tree Categories


 BS 5837:2012 Root Protection Area RPA, or Construction Exclusion Zone

 **Category A**  
Trees of high quality with an estimated remaining life expectancy of at least 40 years.

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 **Group**  
Showing canopy extents and category colour which will also represent RPA unless detailed separately

 Tree for Removal

 Tree protection Fencing

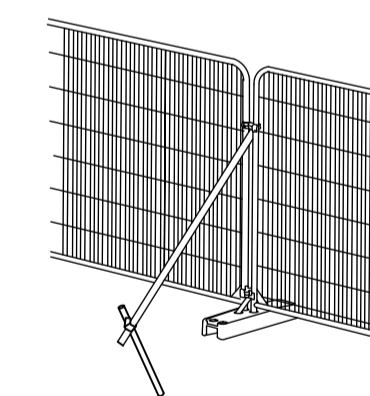


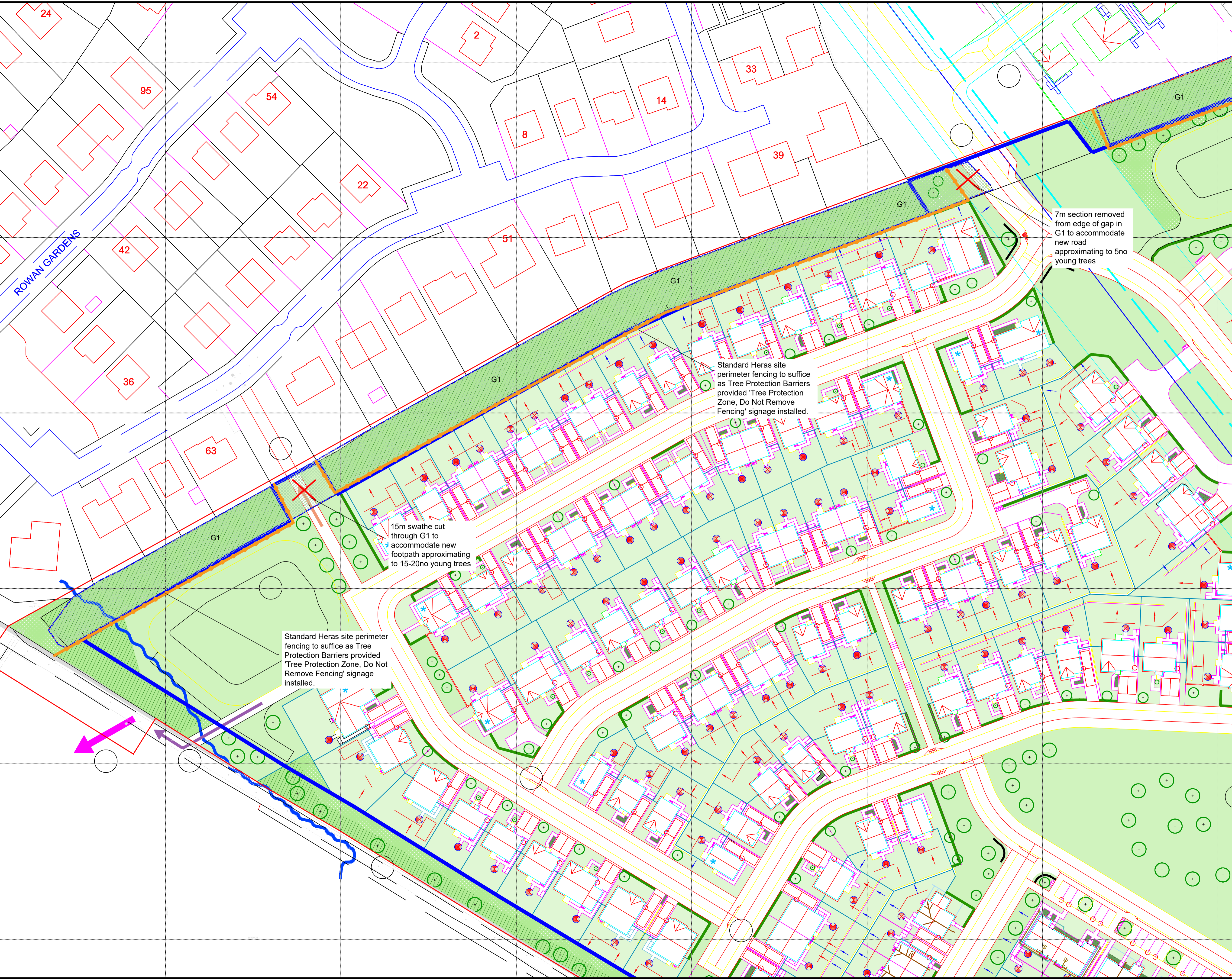
ILLUSTRATION SHOWING HERAS FENCING AS TEMPORARY ROOT PROTECTION BARRIER WITH SCAFFOLD BACKSTAY CLAMPED ONTO DRIVEN UPRIGHT ON ROOT SIDE AS RECOMMENDED BY BS 5837:2012 SEE PLAN FOR POSITIONING

The Proposed Development  
Conon South  
Cononbridge  
Tree Protection Plan

Client: Tulloch Homes Stonyfield Business Park Inverness, IV2 7PA	Drawing No: <b>1347.1 - TPP</b>
Scale: <b>1:500</b>	Surveyed by: LCM
Date: 26th July 2023	Checked by: RW
ACAD File No: 1347-TPP.DWG	Sheet: 1 of 3
Grid Used: Local Based on OS	Level Datum Used: Ordnance (GPS)











Unit 3 - The Green House - Greenwood Business Park North  
Inverness - IV2 3BL  
01463 718 953





**Tree Protection Plan showing tree categories and root protection zones.**

**BS5837:2012 Tree Categories**

-  BS 5837:2012 Root Protection Area RPA, or Construction Exclusion Zone
-  **Category A**  
Trees of high quality with an estimated remaining life expectancy of at least 40 years.
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-  **Group**  
Showing canopy extents and category colour which will also represent RPA unless detailed separately
-  **Tree for Removal**
-  **Tree protection Fencing**

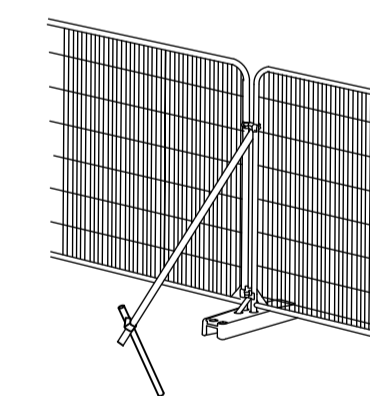
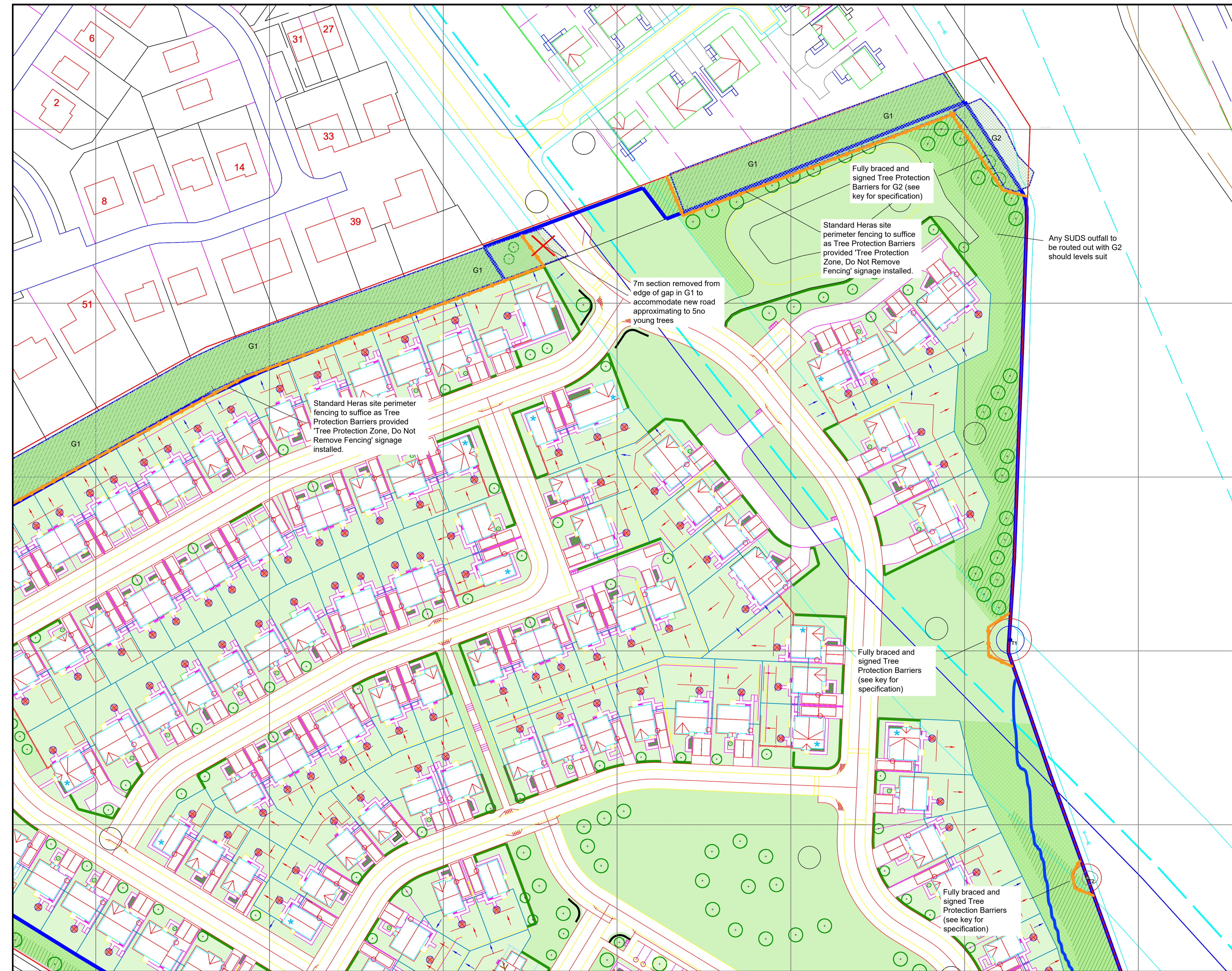


ILLUSTRATION SHOWING HERAS FENCING AS TEMPORARY ROOT PROTECTION BARRIER WITH SCAFFOLD BACKSTAY CLAMPED ONTO DRIVEN UPRIGHT ON ROOT SIDE AS RECOMMENDED BY BS 5837:2012. SEE PLAN FOR POSITIONING

**Proposed Development  
Conon South  
Cononbridge  
Tree Protection Plan**









Client: Tulloch Homes Stoneyfield Business Park Inverness, IV2 7PA	Drawing No: <b>1347.2 - TPP</b>
Scale: <b>1:500</b>	Surveyed by: LCM
Date: 26th July 2023	Checked by: RW
ACAD File No: 1347-TPP.DWG	Sheet: 2 of 3
Grid Used: Local Based on OS	Level Datum Used: Ordnance (GPS)





Tree Protection Plan showing tree categories and root protection zones.

BS5837:2012 Tree Categories

-  BS 5837:2012 Root Protection Area RPA, or Construction Exclusion Zone
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-  Tree for Removal
-  Tree protection Fencing

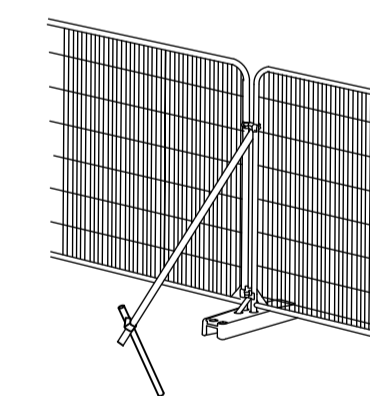


ILLUSTRATION SHOWING HERAS FENCING AS TEMPORARY ROOT PROTECTION BARRIER WITH SCAFFOLD BACKSTAY CLAMPED ONTO DRIVEN UPRIGHT ON ROOT SIDE AS RECOMMENDED BY BS 5837:2012 SEE PLAN FOR POSITIONING

**Proposed Development**  
**Conon South**  
**Cononbridge**  
Tree Protection Plan

Client: Tulloch Homes Stonyfield Business Park Inverness, IV2 7PA	Drawing No: <b>1347.3 - TPP</b>
Scale: <b>1:500</b>	Surveyed by: LCM
Date: 26th July 2023	Checked by: RW
ACAD File No: 1347-TPP.DWG	Sheet: 3 of 3
Grid Used: Local Based on OS	Level Datum Used: Ordnance (GPS)



Fully braced and signed Tree Protection Barriers (see key for specification)

Fully braced and signed Tree Protection Barriers (see key for specification)

Fully braced and signed Tree Protection Barriers (see key for specification)

Fully braced and signed Tree Protection Barriers (see key for specification)

