

Agenda Item	6.2
Report No	PLN/024/24

HIGHLAND COUNCIL

Committee: North Planning Applications Committee

Date: 05 March 2024

Report Title: 23/00997/FUL: Pat Munro (Alness) Ltd

Land 220M East of Obsdale Primary School, Milnafua, Alness

Report By: Area Planning Manager - North

Purpose/Executive Summary

Description: Erection of 99 No dwellings, associated infrastructure and public open space

Ward: 06 - Cromarty Firth

Development category: Major development

Reason referred to Committee: Major development

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

1.1 Planning permission is sought for a residential development of 99 new homes, including 7 to be offered on affordable tenures. The range of house types comprises:

- 3 no 5-bedroom houses
- 16 no 4-bedroom houses
- 35 no 3-bedroom houses
- 17no 2-bedroom houses
- 6no 3-bedroom flats in blocks
- 18no 2-bedroom flats in blocks
- 4no 2-bedroom cottage flats

1.2 The application site borders on and seeks to take access onto Birch Road Alness, both directly and via the Old Milnafua road

1.3 Pre Application Consultation: The applicant utilised the Council's Pre-Application Advice Service for Major Developments prior to submission. In summary, the advice provided set out that:

Within the SDA there is a broad presumption in favour of development. However, proposals must also satisfy other key Development Plan policies before the development would be considered acceptable. The Development Plan requires that proposals must demonstrate sensitive siting and high-quality design in keeping with local character; are accessible by public transport, cycling and walking as well as car and that proposals should not adversely affect individual and residential amenity. As the proposed development is situated on land allocated for housing the principle of development is supported. The development must deliver the six qualities of successful places as outlined in Designing Streets. To support this a masterplan needs to be prepared and submitted There should be provision of good active travel connections required through and out of the site and the principle of place over movement should clearly be demonstrated through the street hierarchy.

1.4 Supporting Information: Archaeological Desk Based Assessment, Design and Access Statement, Drainage Impact Assessment, Dust and Air Quality Management Plan, Flood Risk Assessment, Landscaping Maintenance Plan, Pre Application Consultation (PAC) Report, Planning Statement, Transport Statement, Protected Species Survey

1.5 Variations:

- Amended site layout and landscaping arrangements – 19 June, 10 and 16 August and 17 November 2023.
- Further biodiversity enhancement and tree protection information – 16 August 2023, 12 October 2023, 16 and 17 November and 13 December 2023.

SITE DESCRIPTION

2.

2.1 The application site comprises an area of former agricultural ground, which has now been stripped back and contains areas of spoil. The site sits within a wider area designated within the Inner Moray Firth Local Development Plan and Proposed Plan, originally granted planning permission in 1973 by the, then Ross and Cromarty County Council, reference 8/6770/8/3607, for 148 dwellings. Previously completed phases of the wider development lie to the north. Access is proposed to be taken from the north of the site via Birch Road which has been subject to improvements through the approved housing to the north. Two rows of earlier housing also partially bound the site to the north and west with the remainder of the western boundary neighbouring Obsdale Primary School playing field. Core Path RC03.09 Obsdale School Path runs between the school and the site. The southern boundary of the site has partial vegetation with the Milnafua housing development neighbouring this part of the site. The Sustainable urban Drainage Systems (SUDS) pond, which also serves the earlier phases of the new development to the north, is already formed to the south of the site. The eastern boundary is an open field.

2.2 There are no landscape designations covering the site and there are no known cultural heritage features within the site itself. There are no natural heritage designations on, or adjacent to the site.

2.3 The site is denoted as being at medium risk of pluvial (surface water) flooding events, on the SEPA maps.

3. PLANNING HISTORY

3.1	21 October 2021	21/01353/FUL, Erection of 30 houses (Phases 3 & 4) (amended from 31)	Permission Granted
3.2	7 September 2020	20/00375/FUL, Erection of five houses (Phase 2)	Permission Granted
3.3	7 September 2020	19/03188/FUL, Erection of 10 houses (Phase 2)	Permission Granted
3.4	04 June 2019	18/01500/FUL, Erection of 19 houses (Phase 1) and installation of drainage infrastructure for wider housing development	Permission Granted

4. PUBLIC PARTICIPATION

4.1 Advertised: Ross-shire Journal - Schedule 3 development (14 days)

Date Advertised: 10 March 2023

Representation deadline: 27 March 2023

Timeous representations: 2 from 2 households

Late representations: None

4.2 Material considerations raised are summarised as follows:

- Concerns over the potential overdevelopment of the site.
- Concerns over the impact of the proposals on the capacity and safety of the local road network and lack of alternative transport means other than private cars, within the development.
- Concern over the impact of the proposals on local education services.

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Archaeology (Historic Environment Team):** raised no objections and recommended a condition to secure a written scheme of investigation for archaeological features, in advance of development commencing.

5.2 **Contaminated Land:** raised no objections and recommend a condition to secure a site investigation in advance of development commencing.

5.3 **The Development Plans Team:** raised no objections, provided advice on the planning policy context and defined the developer contributions required.

5.4 **The Ecology Officer:** initially raised concerns on the basis of insufficient information regarding biodiversity net gain. The applicant has submitted further information and metrics to support the proposals and the Ecology Officer's initial objection has now been withdrawn.

5.5 **Environmental Health:** did not object to the proposals and recommend a condition to secure a construction noise mitigation scheme in advance of development commencing.

5.6 **The Forestry Officer:** initially had objected to the proposals on the basis of pre-emptive forestry clearance on site. However, on submission of further documents detailing the scope of the extant permission on site, alongside a tree protection plan for those which do remain, this objection was withdrawn.

5.7 **The Transport Planning Team:** initially objected to the proposals but withdrew their objection, subject to conditions to secure offsite road improvements as well as further conditions regarding cycle provision, waste management, and construction traffic management, on receipt of further supporting information from the applicant.

5.8 **Flood Risk Management Team:** raised no objections on review of the applicant's Flood Risk Assessment, subject to conditions controlling finished

floor levels, watercourse separation and final drainage design.

5.9 **Nature Scot:** did not object to the proposals.

5.10 **Scottish Water** did not object. There is currently capacity in the local water supply and public sewer network to service the proposals.

5.11 **SEPA:** raised no objection to the proposals, subject to a condition relating to flood risk management within the application site, in common with the recommendations of the Council's Flood Risk Management Team.

5.12 **Transport Scotland:** did not object to the proposals, subject to conditions to secure a residential travel pack for new householders in addition to a Construction Traffic Management Plan

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application.

6.1 National Planning Framework (NPF) 4 Policies

1. Tackling the climate and nature crises
2. Climate mitigation and adaptation
3. Biodiversity
4. Natural places
5. Soils
7. Historic assets and places
13. Sustainable transport liveable places
14. Design, quality and place
15. Local living and 20-minute neighbourhoods
16. Quality homes
21. Play, recreation and sport
22. Flood risk and water management

6.2 Highland Wide Local Development Plan 2012

- 28 - Sustainable Design
- 29 - Design Quality and Place-making
- 30 - Physical Constraints
- 31 - Developer Contributions
- 32 - Affordable Housing
- 34 - Settlement Development Areas
- 51 - Trees and Development
- 55 - Peat and Soils
- 56 - Travel
- 57 - Natural, Built and Cultural Heritage
- 58 - Protected Species

- 59 - Other Important Species
- 60 - Other Important Habitats
- 61 - Landscape
- 63 - Water Environment
- 64 - Flood Risk
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage
- 70 - Waste Management Facilities
- 72 - Pollution
- 74 - Green Networks
- 75 - Open Space
- 77 - Public Access

6.3 Inner Moray Firth Local Development Plan (IMFLDP) (2015)

Within the Alness Settlement Development Area (SDA)

Site AL6 Milnafua Farm

6.4 Inner Moray Firth Proposed Local Development Plan (2022)

Within the Alness Settlement Development Area (SDA)

Site AL03

7. OTHER MATERIAL CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

National Planning Framework 3

Designing Streets

Creating Places

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

8.3 The key considerations in this case are:

- a) compliance with the development plan and other planning policy
- b) design, streetscape and residential amenity
- c) access and travel
- d) flood risk, drainage and servicing

- e) impact on natural heritage, landscaping and open space
- f) impact on infrastructure and services and proposed mitigation (developer contributions)
- g) any other material considerations.

Development plan/other planning policy

- 8.4 Both National Planning Framework (NPF) 4, through Policy 16 and the Highland wide Local Development Plan (HwLDP), through Policy 34 support the principle of development of new homes in the settlement development area and the principle of residential led mixed use development on this site may be considered as established through the existing IMFLDP designation and extant legacy planning permission. There is a presumption in favour of such development under Policy 16 – Quality homes of NPF 4 which seeks to encourage, promote and facilitate the delivery of more high quality, affordable and sustainable homes, in the right location.
- 8.5 The principal policy framework relating to the development of the site is therefore, set out in the adopted Inner Moray Firth Local Development Plan (IMFLDP) 2015 and IMFLDP 2 Proposed Plan (2022). The site corresponds with part of the allocated IMFLDP site AL6 and represents the fifth phase of the wider development, also comprising IMFLDP site AL2 to the north, to come forward following the approval of Phase 1, under permission 18/01500/FUL, Phase 2 under 20/00375/FUL and 19/03188/FUL and Phases 3 and 4 under 21.01353/FUL. The site is also allocated within the IMFLDP 2 Proposed Plan under AL03
- 8.6 Under NPF 4 Policy 15, development proposals will be assessed to the extent that they contribute to local living, and where relevant, 20-minute neighbourhoods. The policy considerations include how developments interconnect to local business, employment and community facilities.
- 8.7 It is accepted that a residential development of the scale proposed, can be accommodated satisfactorily on the site. The planning assessment that follows sets out how the detailed house design and layout for the first, residential phase presented here, addresses the subject specific considerations listed in the relevant NPF4 and HWLDP policies.
- 8.8 All development requires to be assessed against Policy 1 of NPF4 ‘Tackling the climate and nature crises’ which states that when considering development proposals significant weight will be given to global and climate nature crises with the intent of the policy being to encourage, promote and facilitate development that addresses the global climate emergency and nature crisis. The intended policy impacts include promoting local living and compact urban growth. Policy 3 – Biodiversity of NPF 4 applies to all development proposals. This seeks to protect biodiversity, reverse biodiversity loss, deliver positive effects from development and strengthen nature networks. For major developments such as this one, Policy 3b states that proposals will only be supported where they include measures to conserve, restore and enhance biodiversity, so this is in a demonstrably better state than without intervention. Policy 2 of the Proposed

IMFLDP requires enhancement to biodiversity in development and if adopted will seek a developer contribution to enhance biodiversity in future.

- 8.9 Policy 4 – Natural Places of NPF 4 seeks to protect, restore and enhance the natural assets of designated sites. There are no statutory natural heritage designations within the site boundary. Additionally, Policy 4 requires that where there is reasonable evidence to suggest that a protected species is present on a site or may be affected by a proposed development, steps must be taken to establish its presence. This is also a requirement of Policy 58 – Protected Species which requires Protected Species Surveys and mitigation to protect species should there be potential impacts.
- 8.10 Policy 5 – Soils, aims to protect carbon rich soils and prime agricultural land, of which areas exist within the eastern part of the application site, as defined through the land capability classification for agriculture developed by Macaulay Land Use Research Institute (now the James Hutton Institute). Under Policy 5 in isolation, development proposals will only be supported on prime agricultural land where they relate to essential infrastructure, renewable energy development or development associated with agricultural or processing of agricultural produce. Nevertheless, given the previous extant planning permission, the longstanding designation of the site as suitable for housing within the Local Development Plan Framework, the location within the Settlement Development Area and the support afforded through NPF 4 Policies 15 and 16, it is considered that on balance, the loss of prime agricultural land is outweighed by the potential to realise a quantity of new housing within a well-connected location in this instance.
- 8.11 NPF Policy 13 – Sustainable Transport requires development to encourage, promote and facilitate walking, wheeling, cycling and public transport for everyday travel and reduce the need to travel unsustainably. These requirements are also reflected in Policy 56 – Travel of the HwLDP.
- 8.12 Consideration has to be given to Policy 22 – Flood risk and water management with particular reference to policy 22c) which requires rain and surface water to be dealt with via sustainable urban drainage systems with a presumption against any connections into the combined sewer. 21d) states that development proposals will be supported if they can be connected to the public water mains, this aligns with policies 65 – Waste Water Treatment, 66 – Surface Water Drainage of the HwLDP and Policy 3 – Water and Waste Water Infrastructure Impacts of the Proposed IMFLDP.

Design, streetscape and residential amenity

- 8.13 The 99 proposed housing units will consist of a mix of detached, semi-detached and terraced houses as well as cottages and flats in two multi storey blocks. All properties will be finished in render on the external walls. Roofs will be finished in smooth concrete roof tiles, with an exact schedule of finishing materials to be secured via condition, in advance of development commencing. The proposed homes are arranged around grid form road network, with vehicle access off new junctions onto Birch and Old Milnafua Roads.

- 8.14 The different house types are used to create identifiable zones within the layout. A green space with footpath connections is located in the southern part of the development, providing separation from the existing part of Milnafua to the south. Where possible, the arrangement permits housing overlooking the street network and public spaces. The use of repeated pitched roofs with regular openings reflects the pattern of housing established in the area.
- 8.15 Parts of the street network will be developed as 'shared surfaces', with a minimum of the kinds of traditional traffic management features that have tended to allow vehicle drivers to assume priority, encouraging driver awareness and vehicle speed reduction. Parking will be accommodated within the house plots on driveways, and within dedicated courtyards for the flatted development. While the representation comments are acknowledged, it is considered that a suitable balance is achieved between achieving housing density and amenity within the proposals, as is discussed in more detail below.

Access and travel

- 8.16 Vehicle access to the site will be from new junctions onto Birch and Old Milnafua Roads. This route has already been upgraded with new surfacing and footways during the previous phases of the new development.
- 8.17 While the development is suitably focussed on the delivery of the 'place over movement' principle in Designing Streets, car ownership and usage requires to be accommodated, including provision of suitable parking facilities. The Transport Planning Team have assessed the proposals and are generally satisfied with the internal road layout and parking provision. Minor adjustments to the street and parking layout may be required and can be addressed through the Road Construction Consent process, but this is not anticipated to affect the overall layout of the development.
- 8.18 Considering the climate emergency, it is considered appropriate to facilitate the transition toward the phasing out of diesel and petrol cars. The applicant has designated electric car charging points within the development in this respect. Ten charge points will be provided for communal use within the parking area for the proposed flatted blocks. The provision of charge points in new housing is a matter for the building standards process, should the development progress to this stage.
- 8.19 The concerns raised in the representations regarding road safety and capacity, and non-car access are noted. The Transport Planning Team have withdrawn their initial objections to the proposals, based on further information submitted by the applicant. During the consultation process, the Transport Planning Team approached the Council's Active Travel Team who have asked that a raised road junction table with crossing points be formed at the junction of Birch Road and Rowan Drive, within the wider development to the west of the current site. This can be secured via condition. Detailed cycle parking arrangements for the flatted blocks will also be secured via condition and it is otherwise considered that suitable active travel opportunities exist, connecting the development into the local network of facilities.

Flood risk, drainage and servicing

- 8.20 A largely man-made watercourse called the Achmagarron Burn originating in the Crosshills area to the north of Alness runs adjacent to the eastern boundary of the site.
- 8.21 While the wider site is not generally designated as at risk of flooding on the SEPA maps, isolated areas of potential pluvial (surface water) are identified. The Flood Risk Management Team and SEPA are generally satisfied with the applicant's Flood Risk and Drainage Impact Assessments, subject to conditions to control finished floor levels and to maintain an adequate buffer zone from the Achmagarron Burn to the east.
- 8.22 The proposals will connect to the previously formed SUDS basin in the south of the site, also serving the wider new development in the area. This will retain storm water and eventually discharge it, via a grassed swale, to the existing water course on the eastern site boundary.
- 8.23 The new proposed homes will connect to the existing water supply and public sewer network. Suitable space is designated for the storage and uplift of refuse bins, in accordance with the Councils Managing Waste in New Developments guidance. The Transport Planning Team have requested a condition to secure details of the method of managing waste collection of the bins from the flatted blocks in advance of development commencing.

Residential Amenity

- 8.24 Due to the orientation of the new homes north – south, most overshadowing will fall within the application site boundaries. The proposals do not raise direct window to window loss of privacy issues with one another. While some overlooking of the rear garden area of properties along Birch / Old Milnafua Road may be possible, all properties within established residential areas are overlooked to some extent. All of the proposed dwellings generally respect the recommended 21m clearance between windows on habitable rooms and it is considered that the existing and proposed boundary treatments are sufficient to ensure an acceptable level of privacy for both the existing and proposed dwellings, where these adjoin in the northern and northeastern parts of the site.

Forestry, Natural Heritage, Landscaping and Open Space

- 8.25 Pre-emptive clearance works had taken place on site that had removed much of the existing tree cover. The Forestry Officer had initially objected to the proposals on this basis. However, on receipt of further information from the applicant, detailing the extant historical permission, which covers most of the current application site, the objection was withdrawn. While the pre-emptive tree removal is disappointing, the Forestry Officer considers that mitigation for the loss is best dealt with through the biodiversity enhancement measures required under NPF 4 Policy 3. The applicant's Tree Protection Plan details measures to safeguard the remaining trees during construction. No protected species were recorded on site by the applicant's surveys during November 2022

- 8.26 The applicant has submitted detailed landscaping and planting plans for the site. The landscaping plan provides a variety of new habitat types on site, making a positive contribution towards biodiversity enhancement. A detailed planting specification has been provided, along with a maintenance schedule and a condition is attached to secure a factoring agreement to provide for maintenance of the new planting and open spaces in future. In line with the Forestry Officer's consultation response, conditions are attached to secure the appointment of professional landscaping and arboricultural consultants in advance of development commencing, in order to ensure that the applicant's proposals in this regard are carried out as specified.
- 8.27 Under NPF4 Policy 3b, development proposals of this scale are required to demonstrate biodiversity enhancement. The applicant has submitted further information, in the form of an amended Biodiversity Enhancement Assessment Report so as to address the Ecology Officer's concerns. A detailed Habitat Management Plan (HMP) will be required, as secured via condition in this regard.
- 8.28 The applicant has set aside an area of ground in the southern part of the site for formal play facilities to complement the further areas of more general-purpose open space proposed. Details of the play equipment provision will be secured via condition. While the objection comments in this regard are noted, it is considered that a suitable amount of amenity open space has been provided in the development.

Developer contributions

- 8.29 Policy 31 requires that, where developments create a need for new or improved public services, facilities or infrastructure, the developer makes a fair and reasonable contribution in cash or kind towards these additional costs or requirements. The application site is located within the catchment area of Obsdale Primary School and Alness Academy Secondary.
- 8.30 Developer contributions will be required at the 1-classroom extension rate in respect of Obsdale Primary School.
- 8.31 Contributions will also be required to support the expansion of facilities at the Averon Leisure Centre, associated with the IMFLDP delivery programme.
- 8.32 The proposal occupies part of a wider site granted planning permission in 1973, straddling Birch Road, where only the first 11 of 148 permitted houses were built. During the consideration of Phases 1 -4 of the wider development on this site, amounting to a further 64 houses, following a review of the matter and legal advice it was established that no contributions would be required in respect of affordable housing on the basis that there was an extant historic permission without any affordable requirement. However, the extant permission that this agreement refers to now only applies to 73 of the 99 units proposed. Therefore, the additional 26 units will be subject to the 25% provision. In line with the consultation response from the Development Plans Team, the onsite provision of 7 affordable housing units is thus proposed.

- 8.33 Given the site's lack of public prominence and the degree of landscaping and play facilities provision incorporated within the design, a further contribution towards public art is not considered necessary required.

Other material considerations

- 8.34 The representation comments raised the issue of the impact of the development on local education services: as noted above, this can be addressed through developer contributions.

Non-material considerations

- 8.35 The representation comments raised the issue of the type of heating systems specified for the new properties. This matter is generally a consideration for the building standards process, should the proposals proceed to this stage.

Matters to be secured by Section 75 Agreement

- 8.36 In order to mitigate the impact of the development on infrastructure and services the following matters require to be secured prior to planning permission being issued:
- a) Contributions to the delivery of enhanced primary education capacity within the Obsdale Primary School catchment area at the single-classroom extension rate of £2,571 per house and £1457 per 2-bedroom flat.
 - b) Contributions to the delivery of expanded facilities at the Avero Leisure Centre at a rate of £1,019 per residential unit.
 - c) Minimum of 25% affordable housing provision (7 homes onsite)

The applicant has four months from the date that the Council's solicitor writes to the Applicant/Applicant's solicitor indicating the terms of the legal agreement or other appropriate mechanism to secure mitigation for the impacts of the development agreed by the Planning Service, to deliver to the Council a signed legal agreement. Should an agreement or other appropriate mechanism to secure the mitigation agreed by the Planning Service not be delivered within four months, the application may be refused under delegated powers for the following reason:

The proposed application has failed to conclude a legal agreement required to secure reasonable and proportionate contributions to secure mitigation for the impacts of the proposed development. As such the application is contrary to the provisions of Policy 31 Developer Contributions of the Highland-wide Local Development Plan and Policy 2 (Delivering Development) of the Inner Moray Firth Local Development Plan

9. CONCLUSION

- 9.1 This application brings forward development on a significant land allocation within the local development plan. The applicant has taken forward a master planning approach to deliver a mix of tenure and types of new homes on the site.
- 9.2 The layout, siting, design and infrastructure arrangements and impacts to amenity and the natural environment have been considered and mitigated through the design of the proposals
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation Y

Revocation of previous permission N

Subject to the above actions, it is recommended to

GRANT the application subject to the following conditions and reasons

Time Limit

- 1 The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse

Reason: In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

Design, Materials and Landscaping

2. No development shall commence until the materials to be used in external finishes (including but not limited to finishes of walls, roofs, rainwater goods, windows and doors) of any and all built structures, have been submitted to and approved in writing by the Planning Authority

Reason: To ensure that these matters can be considered in detail.

3. No development shall commence until the material finish of all roads within the development have been submitted to and approved in writing by the Planning Authority.

Reason: To ensure that these matters can be considered in detail to ensure the character and identity of the site is maintained in the interests of place making.

4. No development shall commence until the exact siting and design of all on street above ground infrastructure (including electrical substations, junction boxes and broadband cabinets) has been submitted to and approved in writing by the Planning Authority.

Reason: To ensure that these matters can be considered in detail in the interests of place making.

5. All landscaping works shall be carried out in accordance with the scheme and plans approved as part of this permission. All planting, seeding or turfing as may be comprised in the approved scheme and plans shall be carried out in the first planting and seeding seasons following the commencement of the development, unless otherwise stated in the approved scheme. Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species

Reason: In order to ensure that the approved landscaping works are properly undertaken on site.

6. A suitably qualified landscape consultant must be employed at the applicant's expense to ensure that the approved Landscape Plan is implemented to the agreed standard. Stages requiring supervision are to be agreed with the planning authority and certificates of compliance for each stage are to be submitted for approval. No development shall commence until a work instruction has been issued to the landscape consultant to enable them to undertake the necessary supervision unhindered for the duration of the project.

Reason: To secure the successful implementation of the approved landscape works.

7. A suitably qualified arboricultural consultant must be employed at the applicant's expense to ensure that the approved Tree Protection Plan is implemented to the agreed standard. Stages requiring supervision are to be agreed with the planning authority and certificates of compliance for each stage are to be submitted for approval. No development shall commence until an arboricultural consultant has been appointed and a work instruction issued enabling them to undertake the necessary supervision unhindered for the duration of the project.

Reason: To secure the successful implementation of the approved tree protection measures.

8. Before the first occupation of the development hereby approved, a scheme for the maintenance in perpetuity of all on-site green spaces and/or woodland and/or sports facilities, features or parts of the development that are not the exclusive property of any identifiable individual house owner such as communal parking areas, landscaping within the adopted carriageway, the common entrances to flatted developments and estate lighting, and those elements of surface water drainage regimes not maintained either by the Highland Council or Scottish Water for that Phase, shall be submitted to and agreed in writing by the planning Authority. The agreed scheme, which shall accord with the Highland Council's adopted standards contained within 'Open Space in Residential Development' and the provisions of the Property Factors (Scotland) Act 2011, shall be implemented thereafter to the satisfaction of the planning authority.

Reason: In the interests of amenity and to ensure that open space and recreational facilities are maintained in accordance with the Council's standards.

Site Investigation

9. No development shall commence until a scheme to deal with potential contamination on site has been submitted to and agreed in writing by the Planning Authority. The scheme shall include:
 - a) the nature, extent and type of contamination on site and identification of pollutant linkages and assessment of risk (i.e. a land contamination investigation and risk assessment), the scope and method of which shall be submitted to and agreed in writing by with the Planning Authority, and undertaken in accordance with PAN 33 (2000) and British Standard BS 10175:2011+A2:2017 Investigation of Potentially Contaminated Sites - Code of Practice;
 - b) the measures required to treat/remove contamination (remedial

strategy) including a method statement, programme of works, and proposed verification plan to ensure that the site is fit for the uses proposed;

- c) measures to deal with contamination during construction works;
- d) in the event that remedial action be required, a validation report that will validate and verify the completion of the agreed decontamination measures;
- e) in the event that monitoring is required, monitoring statements shall be submitted at agreed intervals for such time period as is considered appropriate by the Planning Authority.

No development shall commence until written confirmation has been received that the scheme has been implemented, completed and, if required, monitoring measurements are in place, all to the satisfaction of the Planning Authority.

Reason: In order to ensure that the site is suitable for redevelopment, given the nature of previous uses/processes on the site.

10. No works in connection with the development hereby approved shall commence unless an archaeological Written Scheme of Investigation (WSI) has been submitted to and approved in writing by the planning authority and a programme of archaeological works has been carried out in accordance with the approved WSI. The WSI shall include details of how the recording and recovery of archaeological resources found within the application site shall be undertaken, and how any updates, if required, to the written scheme of investigation will be provided throughout the implementation of the programme of archaeological works. Should the archaeological works reveal the need for post excavation analysis the development hereby approved shall not be occupied or brought into use unless a Post-Excavation Research Design (PERD) for the analysis, publication and dissemination of results and archive deposition has been submitted to and approved in writing by the planning authority. The PERD shall be carried out in complete accordance with the approved details.

Reason: In order to protect the archaeological and historic interest of the site.

Flood Risk and Drainage

11. No development shall commence until full details of all surface water drainage provision within the application site (which should accord with the principles of Sustainable Urban Drainage Systems (SUDS) and be designed to the standards outlined in Sewers for Scotland Fourth Edition, or any superseding guidance prevailing at the time) have been submitted to, and approved in writing by, the Planning Authority. For the avoidance of doubt, the final drainage design

submission shall include investigations to confirm that the existing manhole and drainage route can convey the site drainage without increasing flood risk from the network. It shall also include confirmation that the Roads Authority have been consulted and are content with the final design including any remedial work they may require.

Thereafter, only the approved details shall be implemented and all surface water drainage provision, as it relates to, or is relied upon by, an individual phase, shall be completed prior to the first occupation of any of the development within that phase.

Reason: To ensure that surface water drainage is provided timeously and complies with the principles of SUDS; in order to protect the water environment.

12. The dwellings hereby approved shall have finished floor levels of 600mm above the predicted 1 in 200 year plus climate change flood level, as listed in Table 7.1 of the approved Whitehills South, Alness Flood Risk Assessment by Enviro Centre dated February 2023.

Reason: To ensure that all flood mitigation measures, required in order to reduce the risk of flooding occurring both within and outwith the application site, are provided timeously.

13. No development shall take place, until the finished roof ridge height of the dwellings hereby approved, measured against an off-site datum, have been submitted to and agreed in writing with the planning authority

Reason: In the interests of amenity and because the final levels are likely to be affected by the requirement to work to a minimum floor level to avoid the risk of flooding

14. Notwithstanding the provisions of Article 3 and Schedule 1 of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended, revoked or re-enacted; with or without modification), no development nor work to alter ground levels shall take place within 6 metres of any watercourse without planning permission being granted on application to the Planning Authority.

Reason: To ensure that development which is normally permissible without the need for a planning application is carefully managed and does not encroach onto riparian buffer strips.

Access and Parking

15. Prior to the first occupation of the development hereby approved, a raised junction table and crossings at the Junction of Birch Road and Rowan Drive shall be completed in full and available for use.

Prior to the commencement of development, the following details

pertaining to these measures, shall be submitted to and approved in writing by the Planning Authority, in consultation with the Roads Authority;

- i. a detailed dimensioned layout, dimensioned cross sections and details of all structures including dimensions, finish material and construction methods.

The development shall thereafter proceed in accordance with the agreed details.

Reason: In the interests of road safety.

16. No building within the application site shall be occupied unless the vehicular accesses into the site from Old Milnafua Road and Birch Roads have been laid out and constructed substantially in accordance with approved drawing 3798:101/01 REV F or such other drawings as may subsequently be approved in writing by the planning authority.

Reason: In the interests of road safety and the effective management of the transport network.

17. No part of development shall be occupied until all roads and pavements within the application site are formed to base course level. Thereafter, the final wearing surface shall be applied concurrently with the construction of the last residential home, or upon the expiry of a period of three years from the date of first occupation, whichever is the sooner.

Reason: To ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity

18. No development shall commence until detailed designs showing visibility at all junctions within the development and forward visibility within the development has been submitted to and approved in writing by the Planning Authority in consultation with the Roads Authority. These designs should be submitted with a Road Safety Audit undertaken by suitably qualified independent safety professionals in accordance with current design and best-practice requirements, along with a Designers Response to the Audit findings. Thereafter the visibility splays on the approved drawings shall be maintained free of obstruction.

Reason: In the interests of road safety for motorised and non-motorised users.

19. No development shall commence until a scheme detailing secure, covered cycle parking spaces for the flatted blocks has been submitted and approved in writing by the Planning Authority. For the avoidance of doubt the scheme shall include cycle stores provided

and formed in accordance with The Highland Council's Roads and Transportation Guidelines for New Developments prior to first occupation of the elements of the development to which they relate, thereafter being maintained for this use in perpetuity.

Reason: To ensure that these matters can be considered in detail.

20. No development shall commence until a scheme for the storage of refuse and recycling within the application site has been submitted to, and approved in writing by, the Planning Authority. The approved scheme shall thereafter be implemented prior to the first use of the development and thereafter maintained in perpetuity.

Reason: To ensure that suitable provision is made for the storage of communal waste and recycling bins.

21. Prior to the occupation of any part of the development, a Residential Travel Pack that sets out proposals for reducing dependency on the private car shall be submitted and approved in writing by the Planning Authority, in consultation with Transport Scotland.

In order to reduce dependency on the private car and to encourage greater use of public transport.

Construction Phase

22. No development shall commence on site until a Construction Phase Traffic Management Plan (including a routing plan for construction vehicles and a wear and tear agreement for the route) has been submitted to, and approved in writing by, the Planning Authority, in consultation with the Roads Authority and Transport Scotland. This shall detail construction traffic routes, construction site operating times, removal of material from the site, and provide a commitment to no deliveries or heavy goods movements immediately before or after school pick up or drop off times for Obsdale Primary School.

Thereafter the approved traffic management plan shall be implemented prior to development commencing and remain in place until the development is complete.

Reason: To maintain safety for road traffic and the traffic moving to and from the development, and to ensure that the transportation of abnormal loads will not have any detrimental effect on the road network.

23. Prior to construction commencing the applicant shall submit, for the written approval of the planning authority, a construction noise mitigation scheme which demonstrates how the applicant/contractor will ensure the best practicable measures are implemented in order to reduce the impact of construction noise. The assessment should include but is not limited to the following: -

- A description of the most significant noise sources in terms of equipment; processes or phases of construction.
- The proposed operating hours and the estimated duration of the works for each phase.
- A detailed plan showing the location of noise sources, noise sensitive premises and any survey measurement locations if required).
- A description of noise mitigation methods that will be put in place including the proposals for community liaison. The best practice found in BS5228 Code of practice for noise and vibration control on construction and open sites should be followed. Any divergence requires to be justified.

Thereafter the development shall progress in accordance with the approved Noise Mitigation Scheme and all approved mitigation measures shall be in place prior to construction commencing or as otherwise may be agreed in writing by the Planning Authority

Reason: In order to safeguard the amenity of neighbouring properties and occupants

24. Vibration arising from construction works associated with this development shall not exceed the following limits as measured or calculated at any noise sensitive in accordance with BS 5228-2:2009+A1:2014 Code of practice for noise and vibration control on construction and open sites – Part2: Vibration

- Monday to Friday 8am to 6pm. The peak particle velocity shall not exceed 5 mm·s⁻¹
- Saturdays 8am to 1pm. The peak particle velocity shall not exceed 5 mm·s⁻¹
- Out-with the above times, the peak particle velocity shall not exceed 0.3 mm·s⁻¹

The above limits apply to all construction activities other than blasting. For blasting, it is expected that the best practicable measures will be employed to minimise the impact of noise and vibration

Reason: In order to safeguard the amenity of neighbouring properties and occupants

25. Prior to the development commencing, the applicant shall submit, for the written approval of the planning authority, details of a dust mitigation scheme designed to protect neighbouring properties from dust arising from this development.

Thereafter the development shall progress in accordance with the approved dust suppression scheme and all approved mitigation measures shall be in place prior to the commencement of operations or as otherwise may be agreed in writing by the Planning Authority.

Reason: In order to safeguard the amenity of neighbouring properties and occupants

Protected Species and Ecology

26. No development shall commence until a protected species pre-commencement survey has been undertaken and a report of survey has been submitted to, and approved in writing by, the Planning Authority. The survey shall cover both the application site and an area of 20 metres in all directions from the boundary of application site and the report of survey shall include mitigation measures where any impact, or potential impact, on protected species or their habitat has been identified. Development and work shall progress in accordance with any mitigation measures contained within the approved report of survey and the timescales contain therein.

Reason: To ensure that the site and its environs are surveyed and the development does not have an adverse impact on protected species or habitat.

27. No development shall commence until a Habitat Management Plan (HMP) has been submitted to and approved in writing by the Planning Authority.

The HMP shall set out proposed habitat management of the site including all mitigation, compensation and enhancement measures, and shall provide for the maintenance, monitoring and reporting of the habitat on site for a minimum period of 30 years.

The HMP shall include provision for regular monitoring and review to be undertaken against the HMP objectives and measures for securing amendments or additions to the HMP in the event that the HMP objectives are not being met.

Unless and until otherwise agreed in advance in writing with the Planning Authority, the approved HMP (as amended from time to time with written approval of the Planning Authority) shall be implemented in full.

Reason: to ensure the delivery of the agreed biodiversity protection and enhancement measures

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies

contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks & Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud & Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities: You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Nesting Birds

Construction works have the potential to disturb nesting birds or damage their nest sites, and as such, checks for nesting birds should be made, not more than 24 hours prior to the commencement of development if this coincides within the main bird breeding season (March- August inclusive). This survey should include the redline boundary. All wild bird nests are protected from damage, destruction, interference and obstruction under the Wildlife and Countryside Act 1981 (as amended). Some birds (listed on schedule 1 of the Wildlife and Countryside Act) have heightened protection where it is also an offence to disturb these birds while they are in or around the nest.

Designation: Area Planning Manager - North

Author: Michael Kordas

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

Document Type	Document No.	Version No.	Date Received
Location Plan	A0-00-01		27 February 2023
Site Layout Plan	A1-00-01	REV BB	17 November 2023
Landscaping Plan	PMH 102.22 SL-01	REV F	16 August 2023
Landscaping Plan	PMH 102.22 SL-02	REV C	17 November 2023
Landscaping Plan	PMH 102.22 SL-03	REV C	17 November 2023
Tree Constrains Plan	TCP_PM_280623		16 August 2023
Tree Protection Plan	TCP_PM_280623		16 August 2023
Road Layout Plan	3798:101/01	REV H	17 November 2023
Road Layout Plan	3798:101/02	REV H	17 November 2023
Road Layout Plan	3798:101/03	REV H	17 November 2023
Kerb Layout Plan	3798:108/01	REV F	17 November 2023
Kerb Layout Plan	3798:108/02	REV F	17 November 2023
Surfacing Plan	A1-00-04	REVF	10 August 2023
Junction Layout Plan	3798:501		27 February 2023
Swept Path Analysis	3798:109/01	REV A	19 June 2023
Swept Path Analysis	3798:109/02	REV A	19 June 2023
Vehicle Parking Plan	A1-00-05	REV A	19 June 2023
Waste Collection Plan	A1-00-06	REV D	17 November 2023
Road Long Sections	3798:102/01		27 February 2023
Road Long Sections	3798:102/01		27 February 2023
Road Adoption Plan	3798/104	REV E	17 November 2023
Drainage Layout Plan	3798:105/01	REV G	17 November 2023
Drainage Layout Plan	3798:105/02	REV G	17 November 2023
Drainage Layout Plan	3798:105/03	REV G	17 November 2023
Street Elevations	A1-00-07	REV D	17 November 2023
Street Elevations	A1-00-03	REV D	17 November 2023
Site Sections	A1-00-02	REV E	17 November 2023
General Plan – Eathie	A2-EA-01	REV C	10 August 2023
General Plan – Dorain	A2-DO-01	REV A	27 February 2023
General Plan – Dorain Terrace	A2-DO-02	REV A	27 February 2023
General Plan – Rosehaugh Semi	A2-RO-01	REV A	27 February 2023
General Plan – Rosehaugh	A2-RO-02	REV A	27 February 2023
General Plan – Carnach	A2-CA-01	REV C	16 August 2023
General Plan – Etive Semi	A2-ET2-01		16 August 2023
General Plan – Etive	A2-ET2-02		16 August 2023

General Plan – Gillean	A2-GI-02	REV C	16 August 2023
General Plan – Gillean Semi	A2-GI-01	REV A	27 February 2023
General Plan – Cromarty	A2-CR-01	REV C	16 August 2023
General Plan – Hawthorn	A2-HA-01	REV A	27 February 2023
General Plan - Willow Cottage Flat	A2-WI-01	REV A	27 February 2023
General Plan – HT 99 & 86	A2-99&86-01	REV A	27 February 2023
Elevations – Block 49-60	A3-A1-01	REV A	27 February 2023
Ground Floor Plan – Block 49-60	A2-A1-01	REV A	27 February 2023
First Floor Plan – Block 49-60	A2-A1-02	REV A	27 February 2023
Second Floor Plan – Block 49-60	A2-A1-03	REV A	27 February 2023
Elevations – Block 61-72	A3-A2-01		27 February 2023
Ground Floor Plan – Block 61-72	A2-A2-01		27 February 2023
First Floor Plan – Block 61-72	A2-A2-02		27 February 2023
Second Floor Plan – Block 61-72	A2-A2-03		27 February 2023

Appendix 2

	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
Type	Contribution	Rate (per house)	Rate (per flat)	Total Amount* ¹	Index Linked ¹	Base Date* ²	Payment Trigger* ³	Accounting Dates* ⁴	Clawback Period* ⁵
Schools²									
Primary – Build Costs	Expansion of Obsdale Primary School	£2,571	£1,457	£223,337	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Primary – Land Costs		£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Secondary – Build Costs		£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Secondary – Land Costs		£0.00	£0.00	£0.00	No		TOC/CC	Apr/Oct	15 or 20
Community Facilities									
	Financial contribution to expand facilities at Averon Leisure Centre	£1,019	£1019	£100,881	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Affordable Housing									
On-site provision ³	7 units	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Off-site provision ⁴	-	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Commuted Sum ⁵	-	N/A	N/A	£0.00	N/A	N/A	Insert specific payment date	N/A	5 Years
Agreement for Delivery Needed	Y – scheme for delivery to be agreed four months from date of determination by North Planning Applications Committee, if approved	N/A	N/A	N/A	N/A	N/A	Insert date for submission to Planning Authority	N/A	N/A
Transport									

¹ If the contribution is to be used towards infrastructure projects involving building e.g. new school, new cycle route etc BCIS ALL IN TENDER will be the index, if it doesn't involve building then another appropriate index may need to be chosen with the agreement of Team Leader

² Indicate whether or not 1 bed houses/flats are exempt

³ Indicate whether a penalty payment due for late delivery (and, if so, what it is based upon).

⁴ As above

⁵ Indicate whether a penalty payment is due for late payment of commuted sum (and, if so, what it is based upon)

	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
Type	Contribution	Rate (per house)	Rate (per flat)	Total Amount* ¹	Index Linked ¹	Base Date* ²	Payment Trigger* ³	Accounting Dates* ⁴	Clawback Period* ⁵
Active Travel		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Safer Routes to Schools		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Public Realm		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Wayfinding		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Public Transport		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
School Transport		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Road Improvements		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Parking		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
EV Charging		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Traffic Signals		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Lighting		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Road Traffic Orders		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Cumulative Transport Contributions		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Green Infrastructure									
Open Space		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Green Network		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Built/Natural Heritage		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Water and Waste									
Catchment Improvement Works		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Strategic Flood Scheme		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Maintenance of SuDs		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Off Street Waste Storage		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Recycling Point Provision		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Glass Banks		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
		£0.00	£0.00	£0.00					
Public Art		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Other (Please Specify)		£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20

*1 Adjust total to take account of flat exemptions

*2 Base Date – Set out in Supplementary Guidance on Developer Contributions

*3 TOC/CC – The earlier of the issue of either a temporary occupation certificate or a completion certificate – or specify alternative time if appropriate

*4 Accounting dates - 1 April and 1 October each year of development (if the contribution is to be paid on a basis other than related to units completed in

the preceding 6 months (e.g. lump sum on a specific date) then indicate this instead of the Apr/Oct payment dates)

*5 Clawback – 15 years for Major development; 20 years for Local development

Other Legal Agreement requirements

Type	Details
Bond	N/A
Habitat Management Plan	The Habitat Management Plan shall set out proposed habitat management of the site including all mitigation, compensation and enhancement measures as outlined in the approved Biodiversity Enhancement Assessment, during the period of construction, operation, decommissioning, restoration and aftercare, and shall provide for the maintenance, monitoring and reporting of the habitat on site.
Road Survey	N/A
Land and Asset Transfer	N/A



Proposed West Elevation
1:100

Proposed North Elevation
1:100



Proposed East Elevation
1:100

Proposed South Elevation
1:100

SCALE IN METRES 1:100



ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	Ground Floor:
	Ashlar Smooth Face Block (Buff)
	First Floor & above:
White render	
Render Bands	Smooth cement render - grey
Metal Railings	Black
Roof	Concrete roof tiles - grey
Windows & Doors	White uPVC/composite
Rainwater Goods	Black Upvc

A	19.12.22	Amended as per client's comments	OF	DH
Rev.	Date	Details	Drawn	Checked

PLANNING

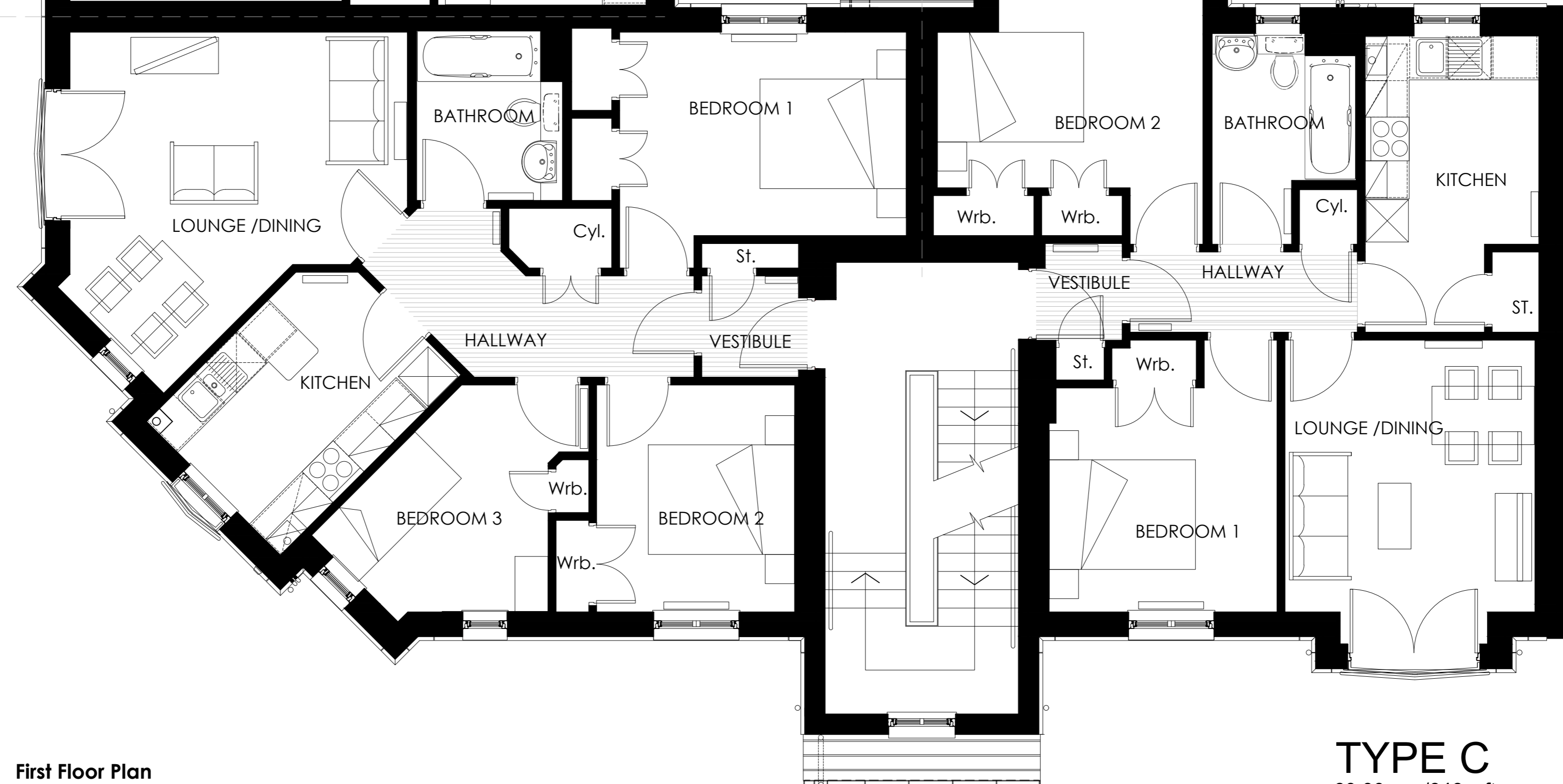
Project/Client:	Project No:
Whitehills South, AIness	THE 22-0010
Pat Munro Homes	Drawing No:
	A3-A1-01
	Revision:
	A
Drawing:	Scale:
GA Elevations	1:100@ A1
Apartment Block 49-60	Drawn by:
	OF
	Date:
	11/22
	Checked by:
	DH
	Date:
	11/22



TYPE C
60.00sqm/646sqft



TYPE C
60.00sqm/646sqft



TYPE D
74.87sqm/805sqft

First Floor Plan
1:50

TYPE C
60.00sqm/646sqft

SCALE IN METRES 1:50



A	19.12.22	Amended as per client's comments	OF	DH
Rev.	Date	Details	Drawn	Checked
Issued for:				
PLANNING				
Project/Client:		Project No:		
Whitehills South, Alness		THE 22-0010		
Pat Munro Homes		Drawing No:		
		A2-A1-02		
		Revision:		
		A		
Drawing:		Scale:		
First Floor GA Plan		1:50@ A1		
Apartment Block 49-60		Drawn by:		
		OF		
		Date:		
		11/22		
		Checked by:		
		DH		
		Date:		
		11/22		

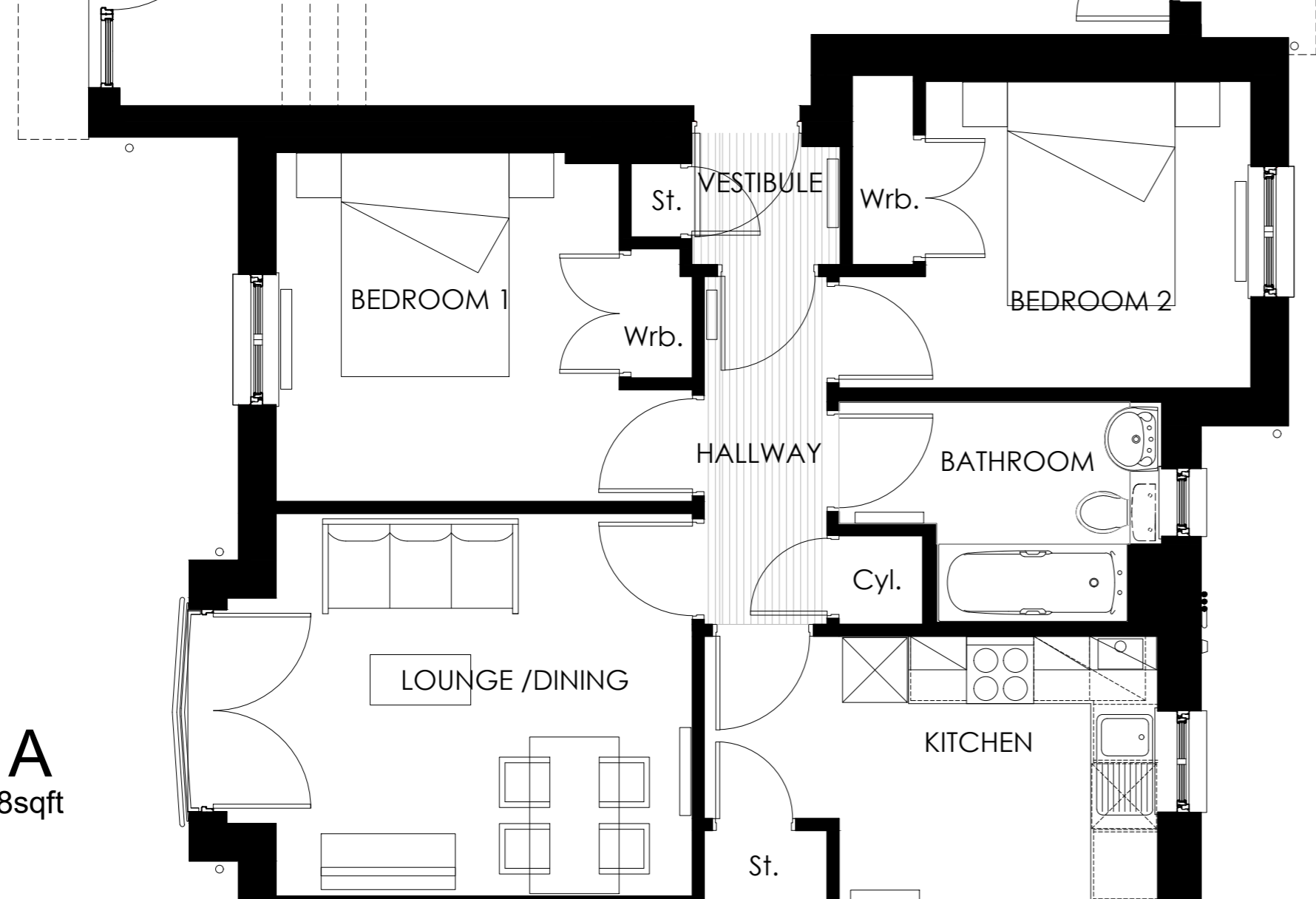


24 North Silver Street, Aberdeen, AB10 1RL
Telephone: 01224 556 277
email: info@the-ap.co.uk
web site: www.the-ap.co.uk

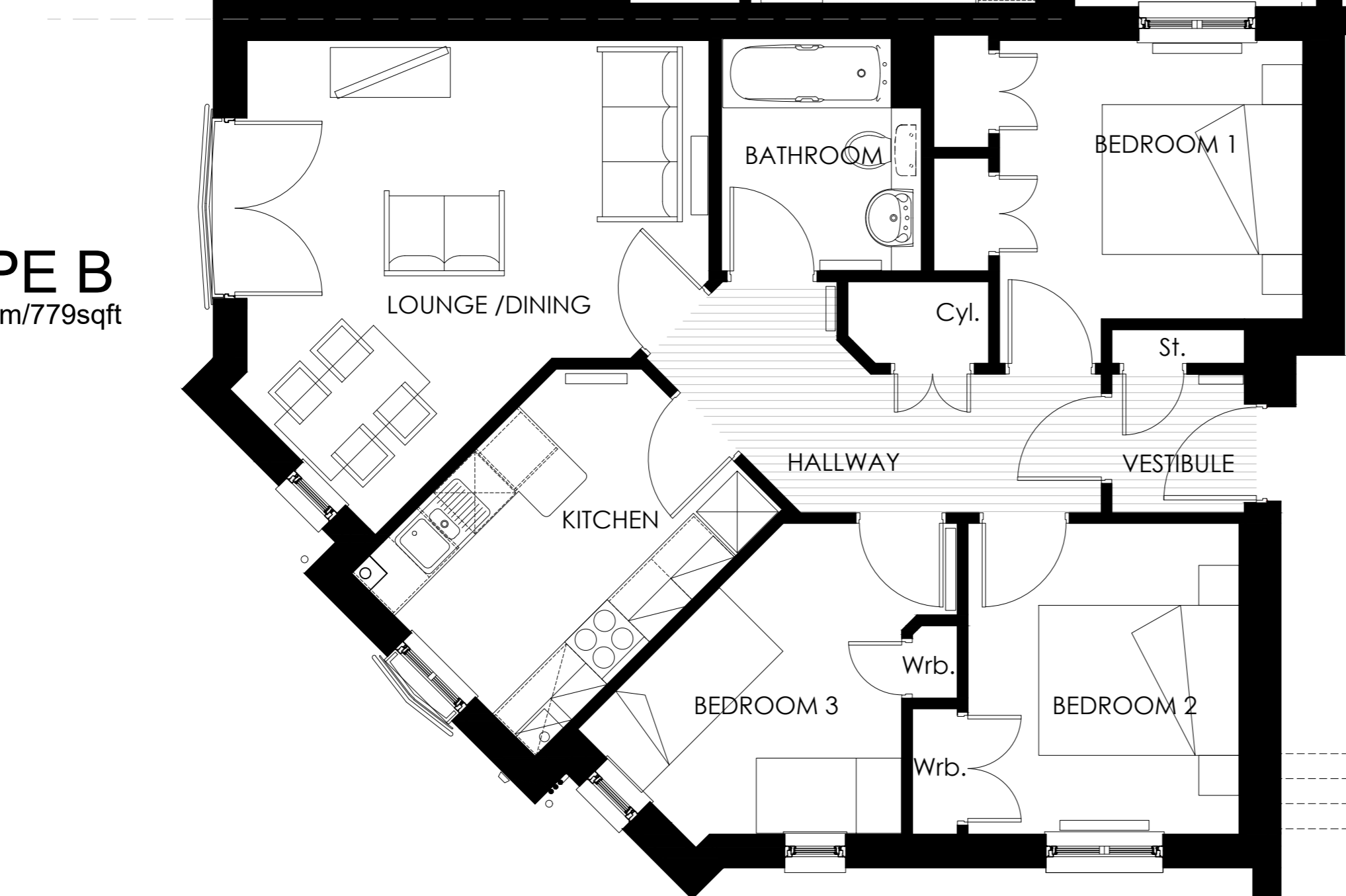
TYPE A
57.44sqm/618sqft



TYPE A
57.44sqm/618sqft



TYPE B
72.38sqm/779sqft



TYPE A
57.44sqm/618sqft

Ground Floor Plan
1:50

SCALE IN METRES 1:50



A	19.12.22	Amended as per client's comments	OF	DH
Rev.	Date	Details	Drawn	Checked

PLANNING

Project/Client:	Project No:
Whitehills South, Alness	THE 22-0010
Pat Munro Homes	Drawing No:
	A2-A1-01
	Revision:
	A

Drawing:	Scale:	1:50@ A1
Ground Floor GA Plan	Drawn by:	OF
Apartment Block 49-60	Date:	11/22
	Checked by:	DH
	Date:	11/22

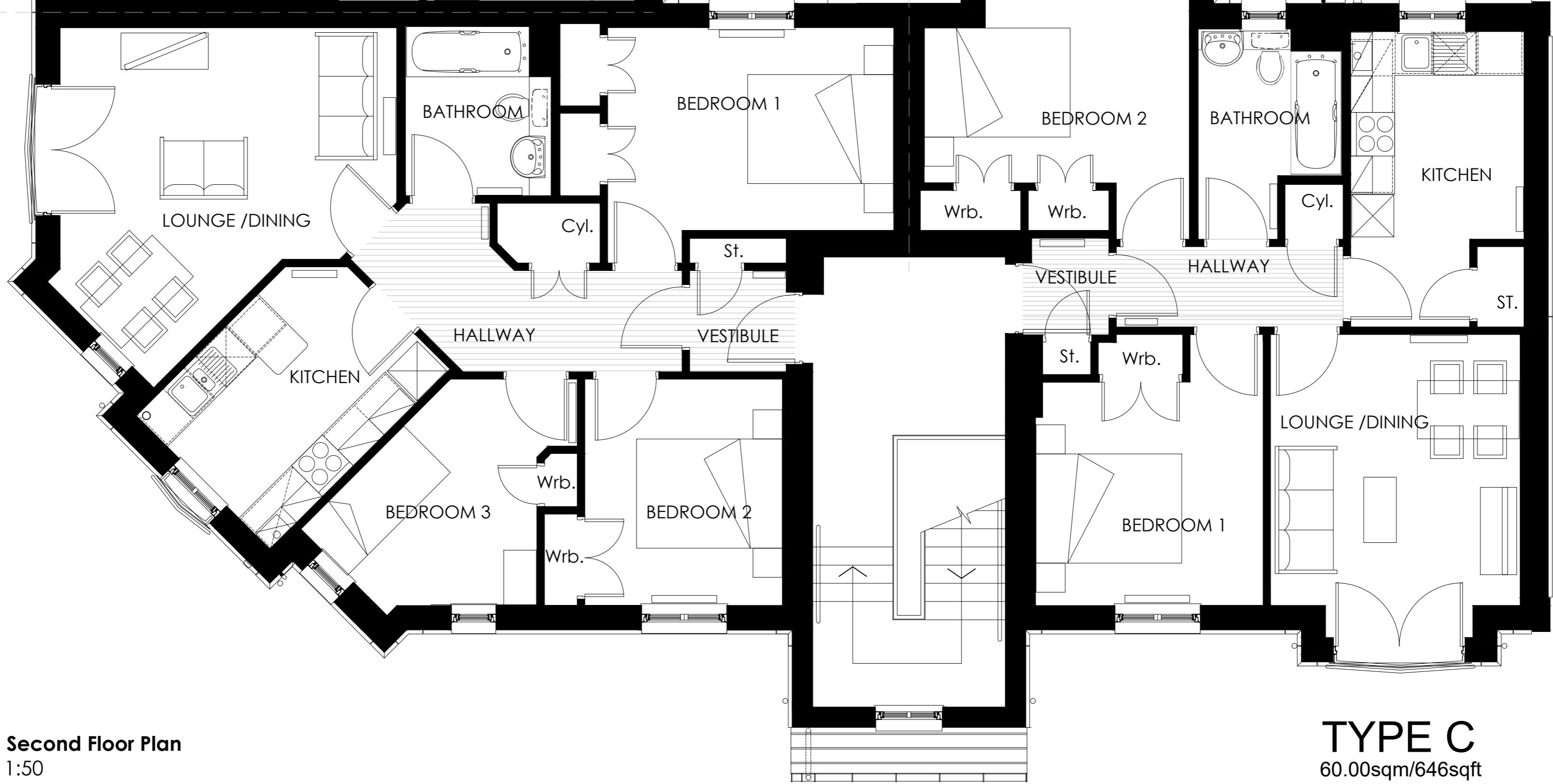


TYPE C
60.00sqm/646sqft



TYPE C
60.00sqm/646sqft

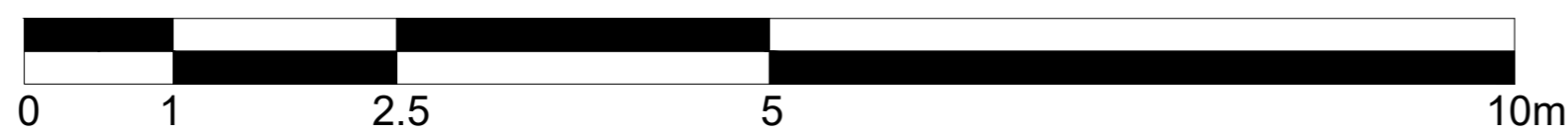
TYPE D
74.87sqm/805sqft



Second Floor Plan
1:50

TYPE C
60.00sqm/646sqft

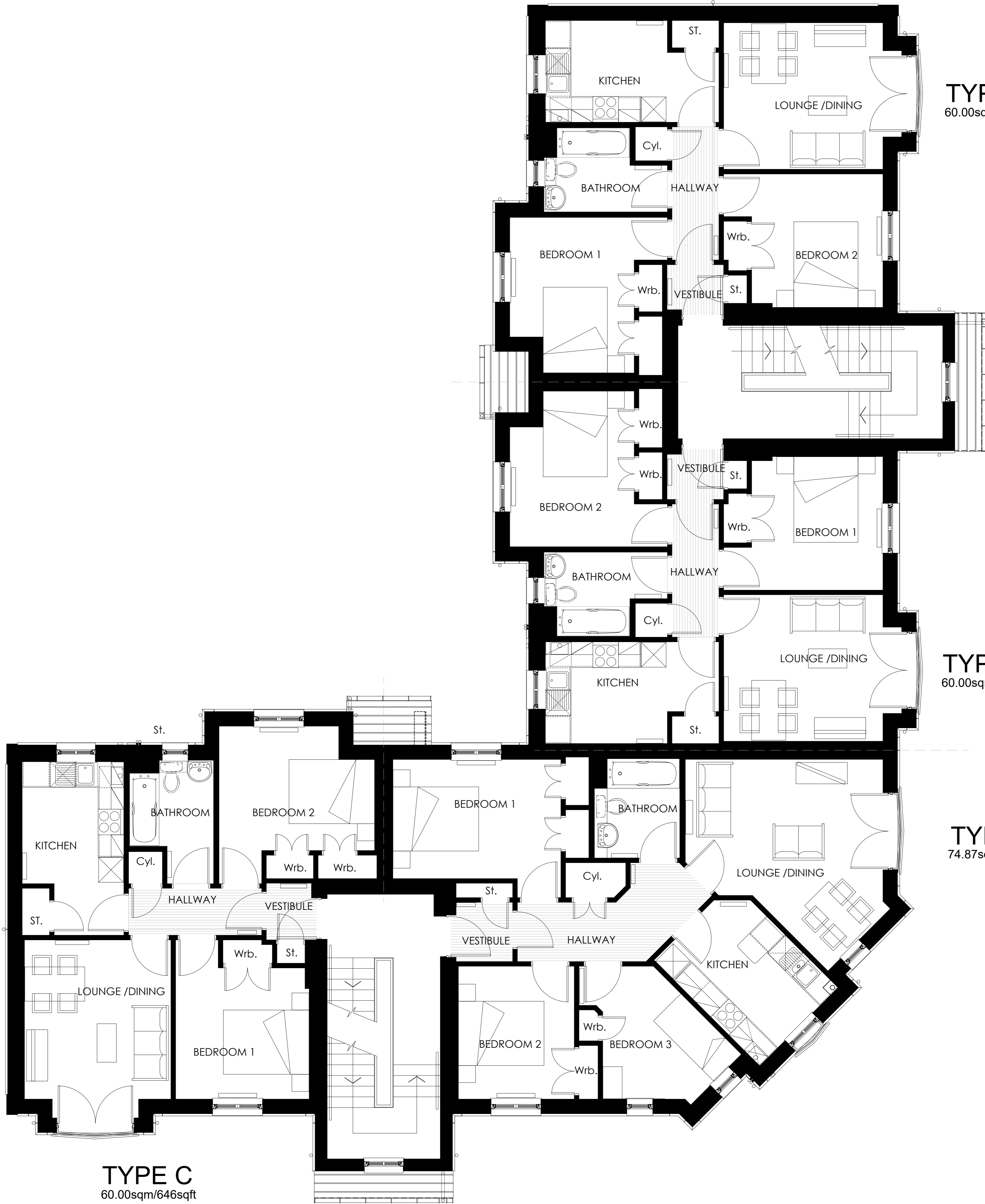
SCALE IN METRES 1:50



A	19.12.22	Amended as per client's comments	OF	DH
Rev.	Date	Details	Drawn	Checked
Issued for:				
PLANNING				
Project/Client:		Project No:		
Whitehills South, Alness		THE 22-0010		
Pat Munro Homes		Drawing No:		
		A2-A1-03		
		Revision:		
		A		
Drawing:		Scale:		
Second Floor GA Plan		1:50@ A1		
Apartment Block 49-60		Drawn by:		
		OF		
		Date:		
		11/22		
Checked by:		Date:		
DH		11/22		



24 North Silver Street, Aberdeen, AB10 1RL
Telephone: 01224 556 277
email: info@the-ap.co.uk
web site: www.the-ap.co.uk



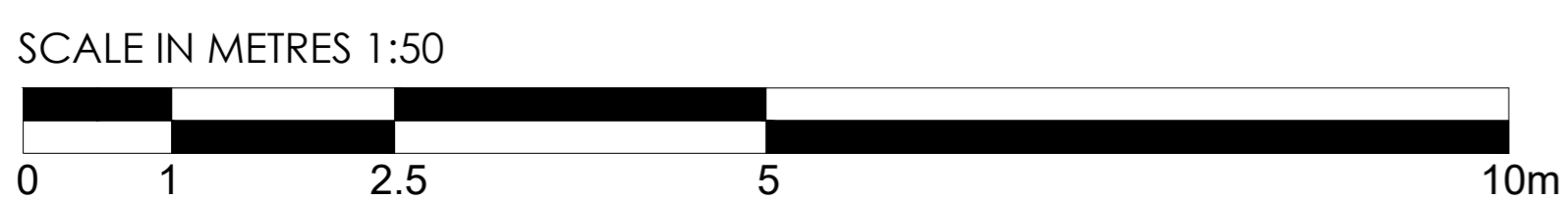
TYPE C
60.00sqm/646sqft

TYPE C
60.00sqm/646sqft

TYPE D
74.87sqm/805sqft

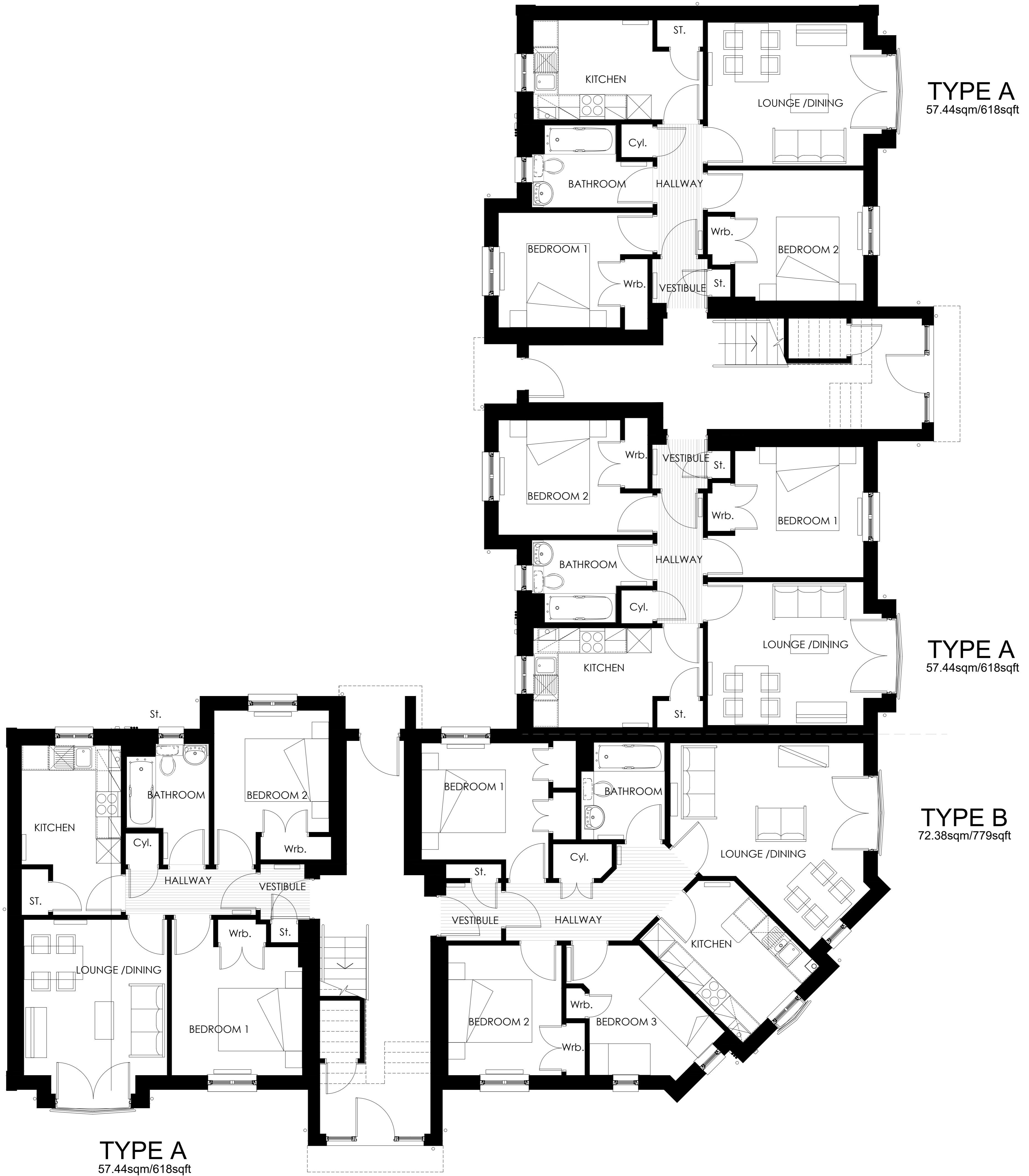
TYPE C
60.00sqm/646sqft

First Floor Plan
1:50

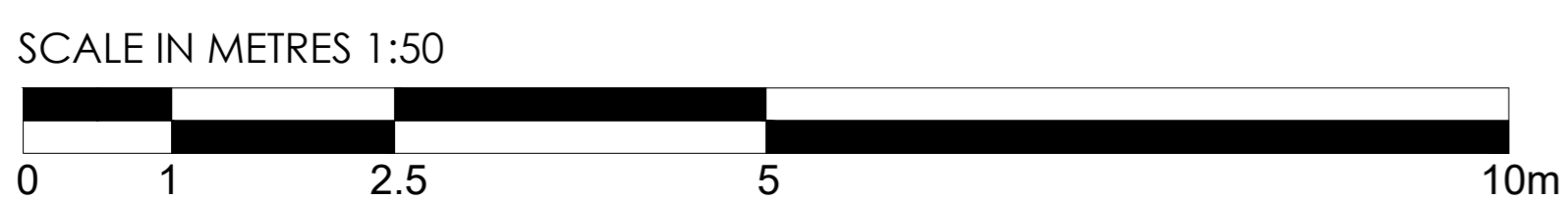


Rev.	Date	Details	Drawn	Checked
Issued for: PLANNING				
Project/Client:		Project No:		
Whitehills South, Alness		THE 22-0010		
Pat Munro Homes		Drawing No:		
		A2-A2-02		
		Revision:		
Drawing:		Scale:		
First Floor GA Plan		1:50@ A1		
Apartment Block 61-72		Drawn by:		
		OF		
		Date:		
		12/22		
		Checked by:		
		DH		
		Date:		
		12/22		



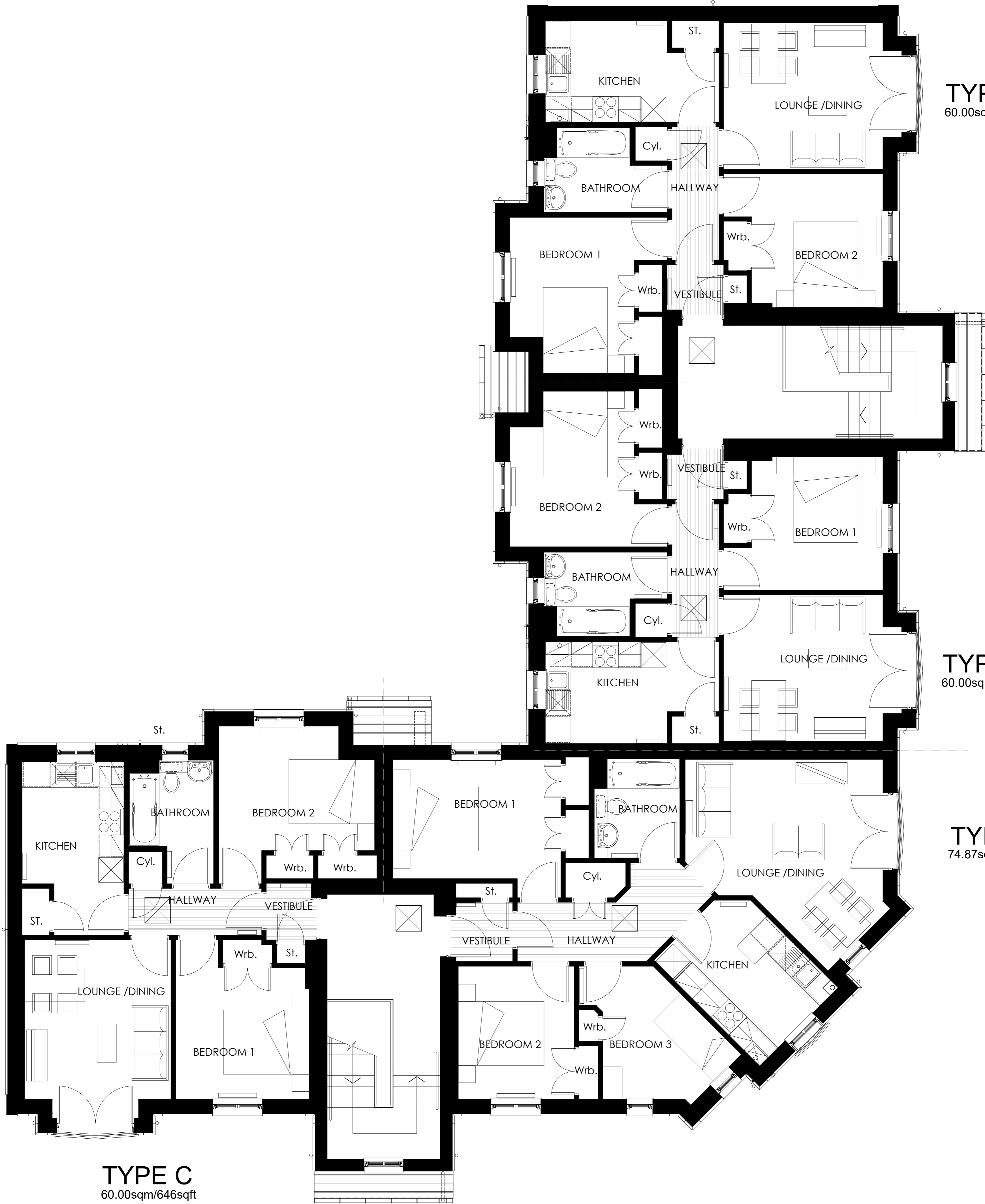


Ground Floor Plan
1:50



Rev.	Date	Details	Drawn	Checked
Issued for: PLANNING				
Project/Client:		Project No:		
Whitehills South, Alness		THE 22-0010		
Pat Munro Homes		Drawing No:		
		A2-A2-01		
		Revision:		
Drawing:		Scale:		
Ground Floor GA Plan		1:50@ A1		
Apartment Block 61-72		Drawn by:		
		OF		
		Date:		
		12/22		
Checked by:		Date:		
DH		121/22		





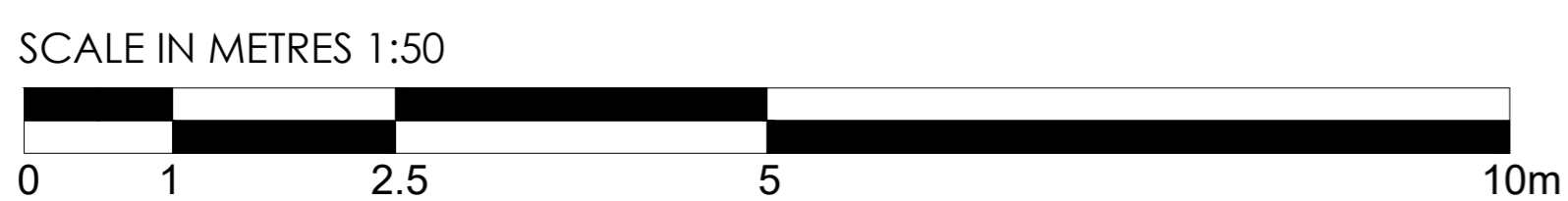
TYPE C
60.00sqm/646sqft

TYPE C
60.00sqm/646sqft

TYPE D
74.87sqm/805sqft

TYPE C
60.00sqm/646sqft

Second Floor Plan
1:50



Rev.	Date	Details	Drawn	Checked
Issued for:				
PLANNING				
Project/Client:		Project No:		
Whitehills South, Alness		THE 22-0010		
Pat Munro Homes		Drawing No:		
		A2-A2-03		
		Revision:		
Drawing:		Scale:		
Second Floor GA Plan		1:50@ A1		
Apartment Block 61-72		Drawn by:		
		OF		
		Date:		
		12/22		
		Checked by:		
		DH		
		Date:		
		12/22		



24 North Silver Street, Aberdeen, AB10 1RL
Telephone: 01224 556 277
email: info@the-ap.co.uk
web site: www.the-ap.co.uk



Proposed East Elevation
1:100

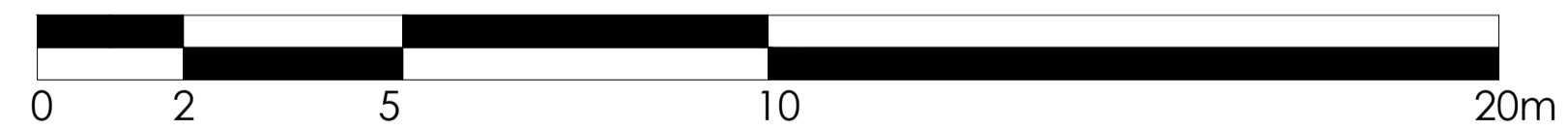
Proposed North Elevation
1:100



Proposed West Elevation
1:100

Proposed South Elevation
1:100

SCALE IN METRES 1:100



ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	Ground Floor: Ashlar Smooth Face Block (Buff) First Floor & above: White render
Render Bands	Smooth cement render - grey
Metal Railings	Black
Roof	Concrete roof tiles - grey
Windows & Doors	White
Rainwater Goods	Black Upvc

Rev. Date Details Drawn Checked
Issued for:

PLANNING

Project/Client: Whitehills South, AIness
Pat Munro Homes

Project No: THE 22-0010
Drawing No: A3-A2-01
Revision:

Drawing: GA Elevations Apartment Block 61-72

Scale: 1:100@ A1

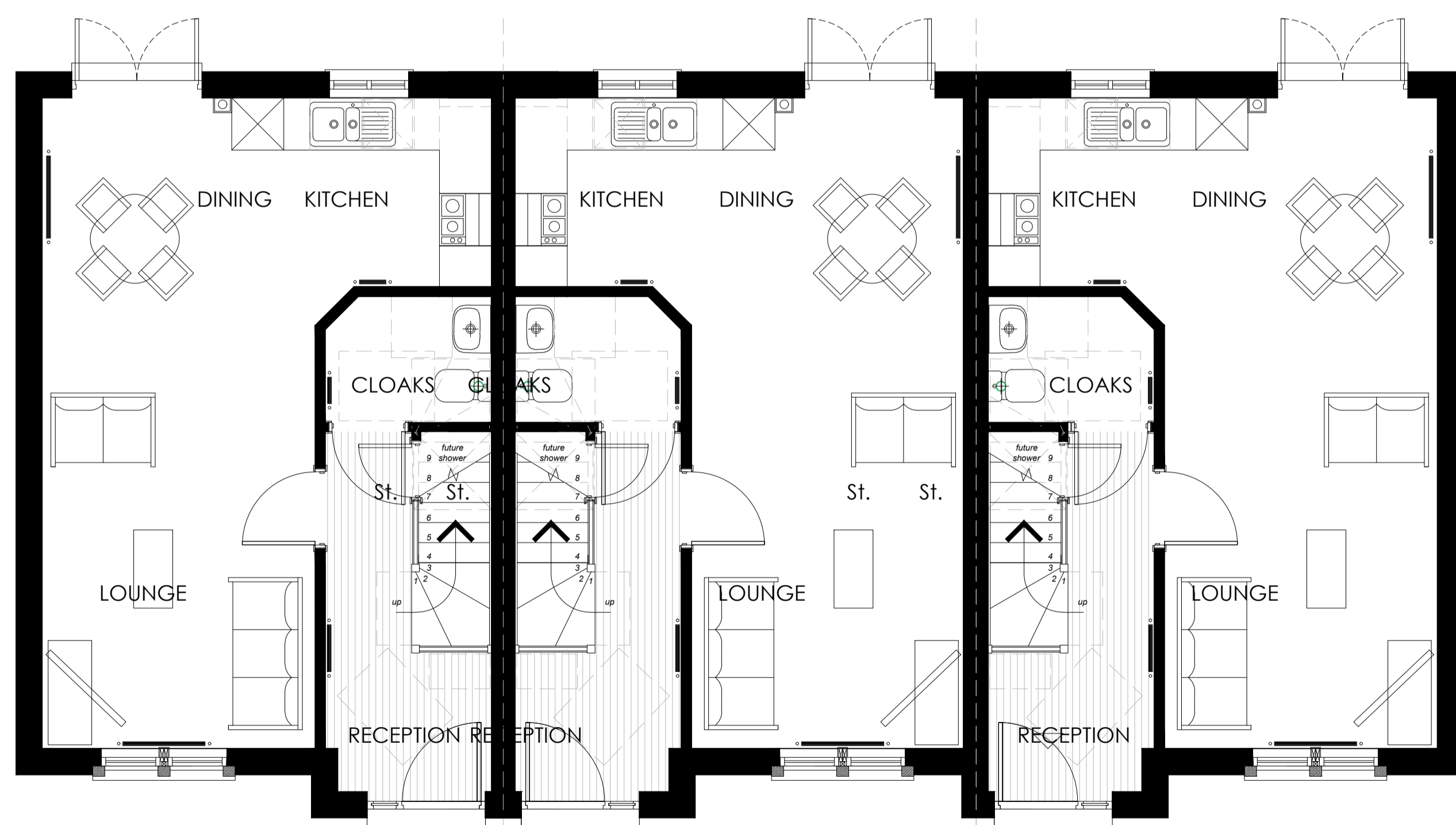
Drawn by: OF Date: 12/22

Checked by: DH Date: 12/22





Proposed First Floor Plan
1:50



Proposed Ground Floor Plan
1:50

SCALE IN METRES 1:50



Proposed Front Elevation
1:100

Proposed Side Elevation
1:100



Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

SCALE IN METRES 1:100



A	19.12.22	Amended as per client's comments	OF	DH
Rev.	Date	Details	Drawn	Checked

PLANNING

Project/Client:	Project No:
WhiteHills South, Alness	THE22-0010
Pat Munro Homes	Drawing No:
	A2-DO-02
	Revision:
	A
Drawing:	Scale:
GA Plans & Elevations	as shown @ A1
HouseType Dorain	Drawn by:
(Terrace of 3)	OF
	Date:
	11/22
	Checked by:
	DH
	Date:
	11/22

ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render -grey
Basecourse	Grey Fyestone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC, Doors: various colours principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc



24 North Silver Street, Aberdeen, AB10 1RL Telephone: 01224 586 277
 email: info@the-ep.co.uk
 web site: www.the-ep.co.uk



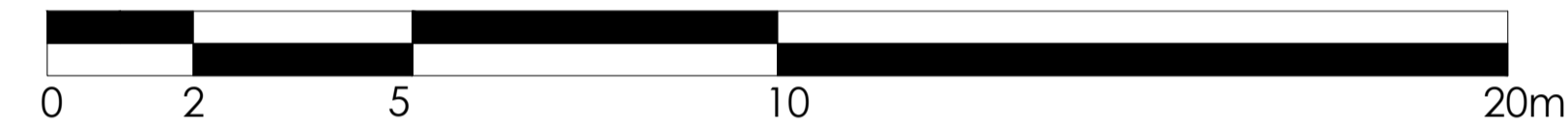
Proposed Front Elevation
1:100

Proposed Side Elevation
1:100

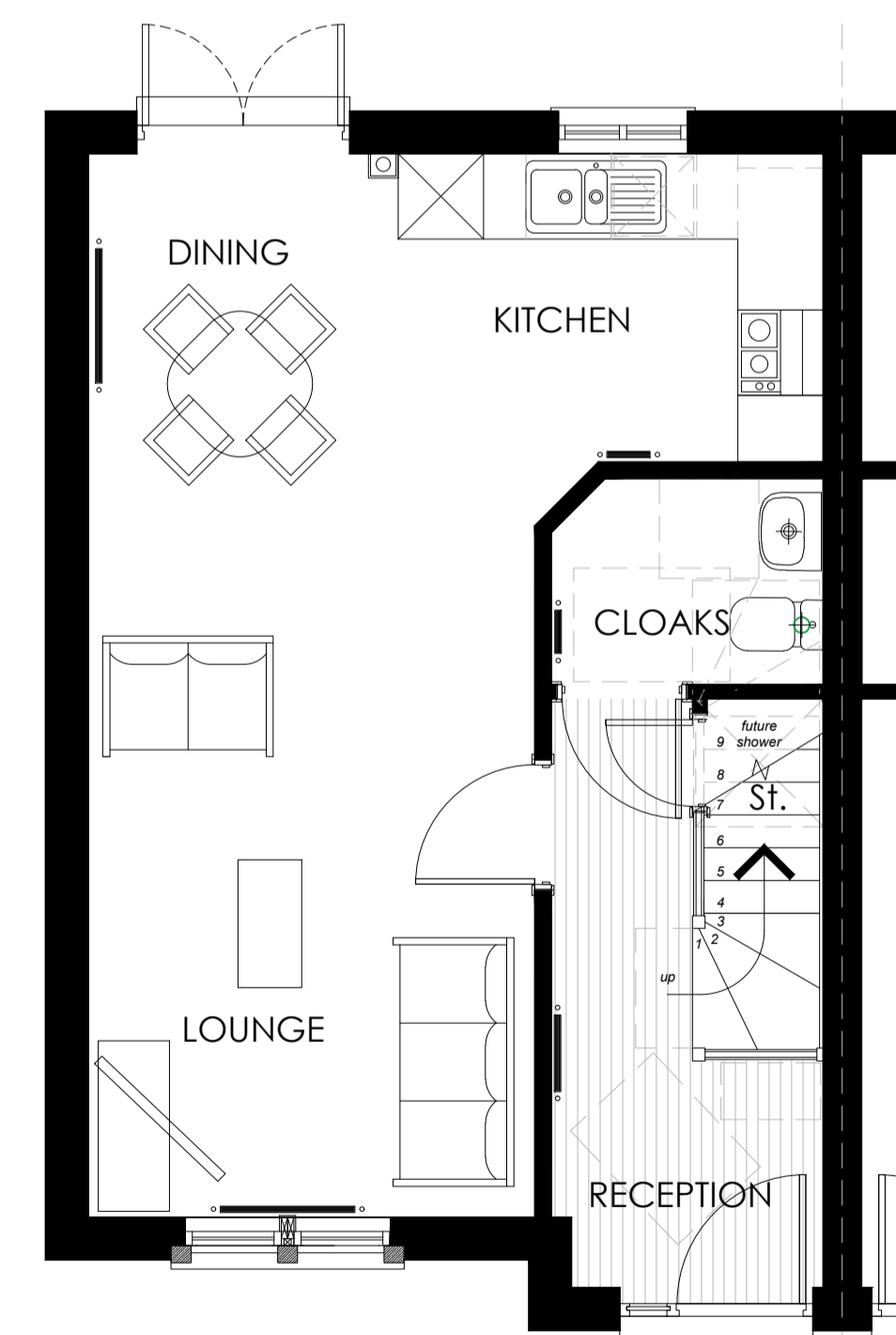
Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

SCALE IN METRES 1:100

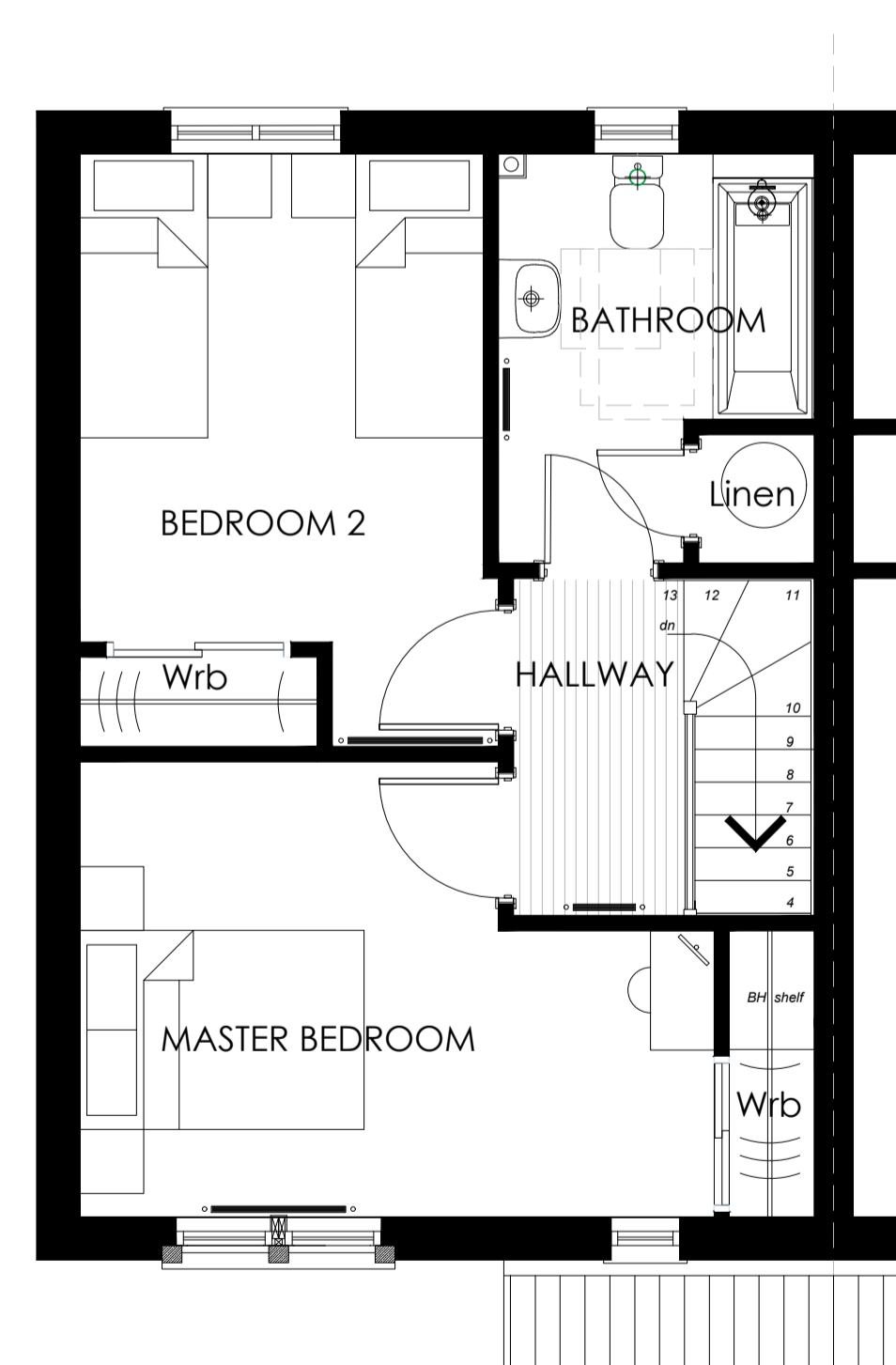
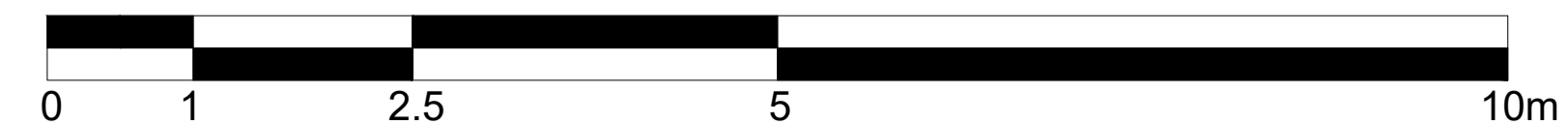


ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render -grey
Basecourse	Grey Fyestone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC, Doors: various colours principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc



Proposed Ground Floor Plan
1:50

SCALE IN METRES 1:50



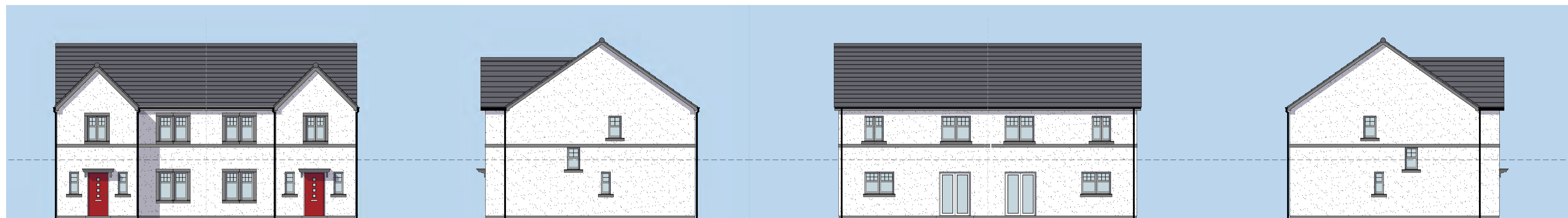
Proposed First Floor Plan
1:50



A 19.12.22 Amended as per client's comments		OF	DH
Rev.	Date	Details	Drawn, Checked
Issued for:			
PLANNING			
Project/Client:		Project No:	
WhiteHills South, AIness		THE22-0010	
Pat Munro Homes		Drawing No:	
		A2-DO-01	
		Revision:	
		A	
Drawing:		Scale:	
GA Plans & Elevations		as shown @ A1	
HouseType Dorain		Drawn by: OF	
		Date: 11/22	
		Checked by: DH	
		Date: 11/22	



24 North Silver Street, Aberdeen, AB10 1RL Telephone: 01224 586 277
 email: info@the-ep.co.uk
 web site: www.the-ep.co.uk



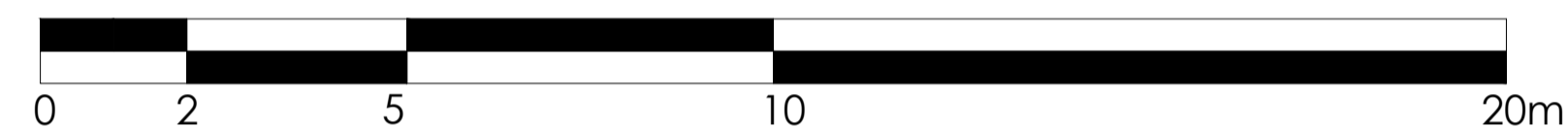
Proposed Front Elevation
1:100

Proposed Side Elevation
1:100

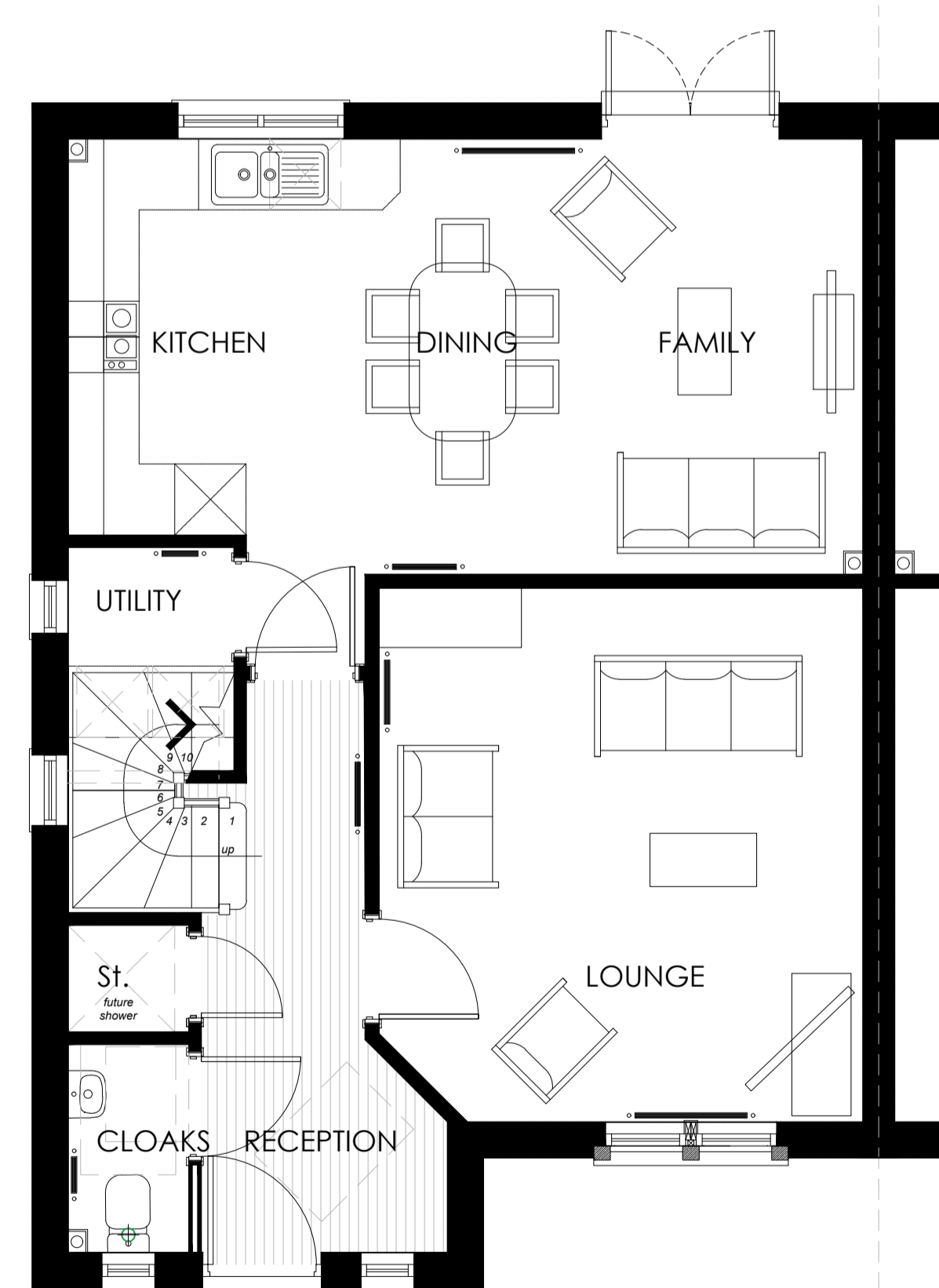
Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

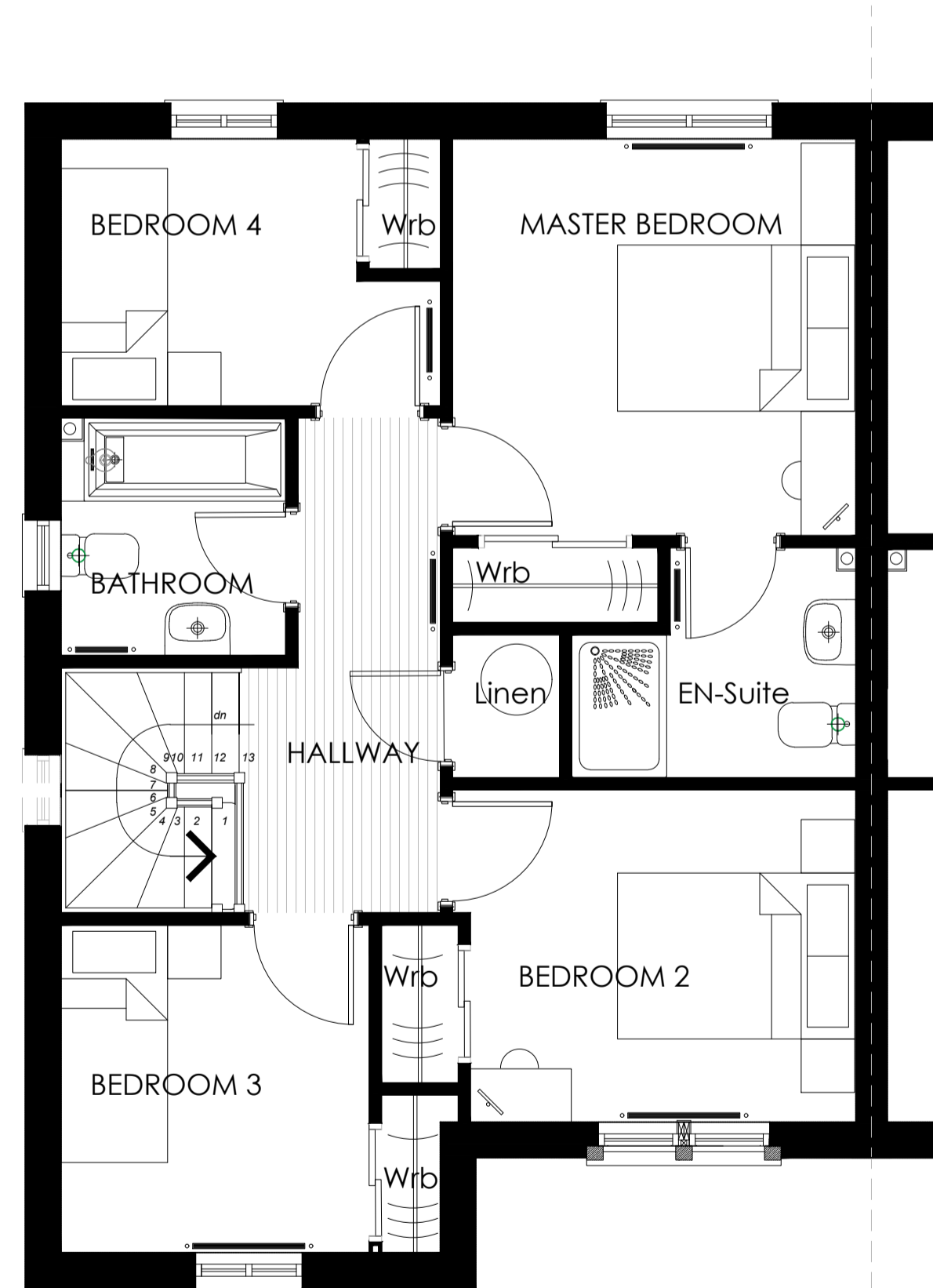
SCALE IN METRES 1:100



ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render - grey
Basecourse	Grey Fyestone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC, Doors: various colours principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc



Proposed Ground Floor Plan
1:50



Proposed First Floor Plan
1:50

SCALE IN METRES 1:50



Rev.	Date	Details	Drawn	Checked
A	19.12.22	Amended as per client's comments	OF	DH

Issued for: **PLANNING**

Project/Client:	Project No:
WhiteHills South, AIness	THE22-0010
Pat Munro Homes	Drawing No:
	A2-GI-01
	Revision:
	A
Drawing:	Scale:
GA Plans & Elevations HouseType Gillean (Semi-detached)	as shown @ A1
Drawn by:	Date:
OF	11/22
Checked by:	Date:
DH	11/22



24 North Silver Street, Aberdeen, AB10 1RL Telephone: 01224 586 277
email: info@the-ep.co.uk
web site: www.the-ep.co.uk



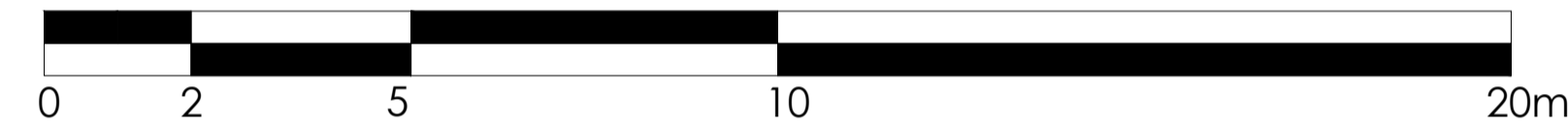
Proposed Front Elevation
1:100

Proposed Side Elevation
1:100

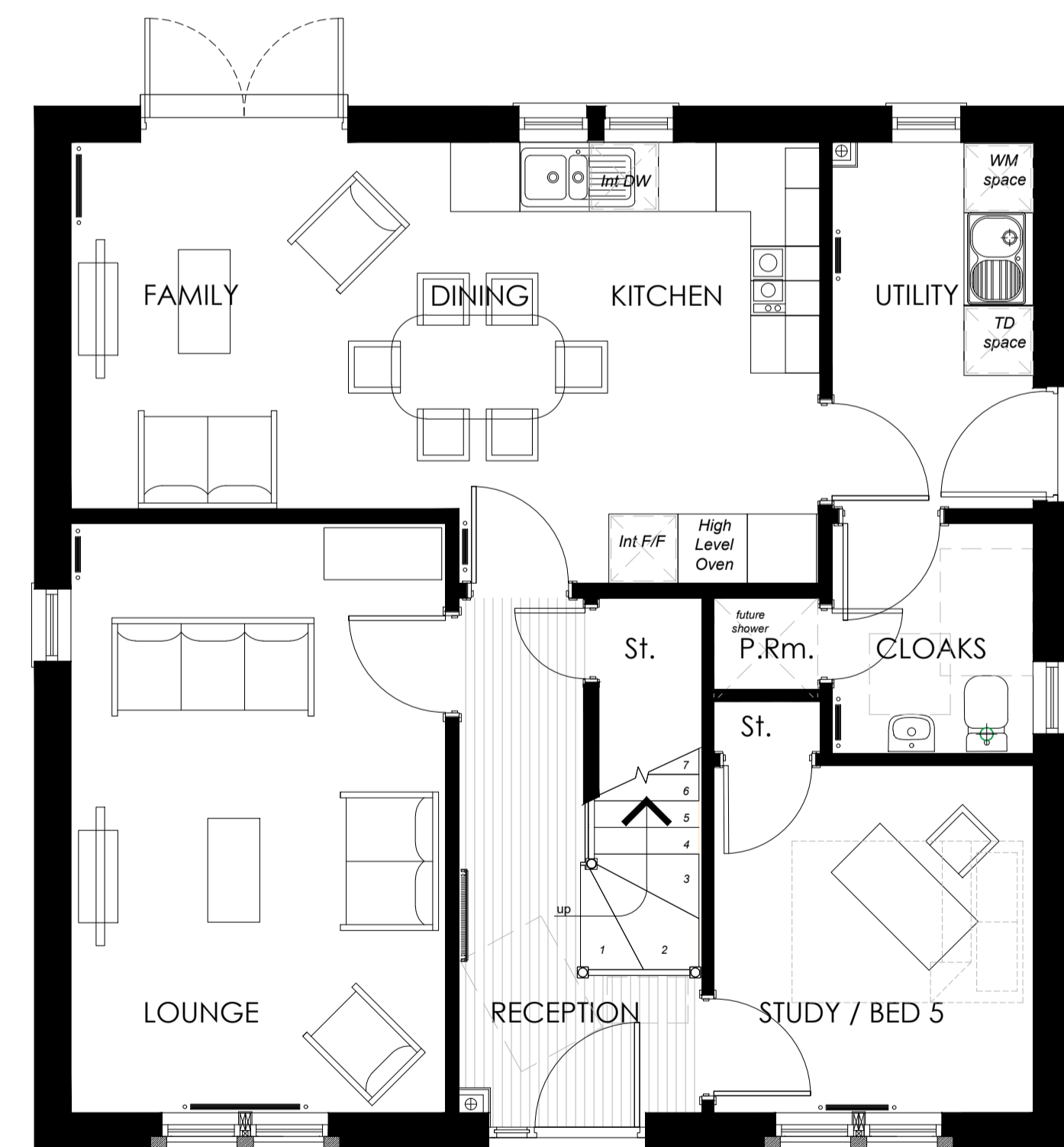
Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

SCALE IN METRES 1:100



ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render - grey
Basecourse	Grey Fyestone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC, Doors: various colours principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc



Proposed Ground Floor Plan
1:50

SCALE IN METRES 1:50



Proposed First Floor Plan
1:50



A	19.12.22	Amended as per client's comments	OF	DH
Rev.	Date	Details	Drawn	Checked
Issued for:				
PLANNING				
Project/Client:		Project No:		
WhiteHills South, AIness		THE22-0010		
Pat Munro Homes		Drawing No:		
		A2-HA-01		
		Revision:		
		A		
Drawing:		Scale:		
GA Plans & Elevations		as shown @ A1		
HouseType Hawthorn		Drawn by: Date:		
		OF 11/22		
		Checked by: Date:		
		DH 11/22		



24 North Silver Street, Aberdeen, AB10 1RL Telephone: 01224 586 277
email: info@the-ep.co.uk
web site: www.the-ep.co.uk



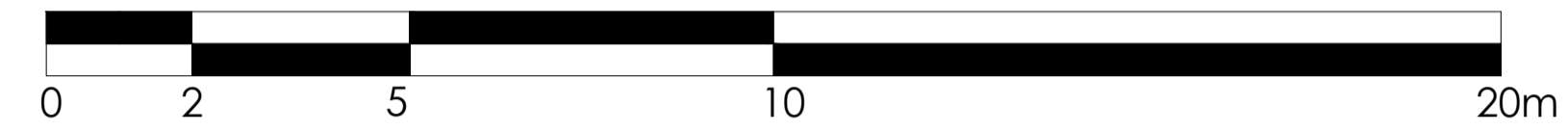
Proposed Front Elevation
1:100

Proposed Side Elevation
1:100

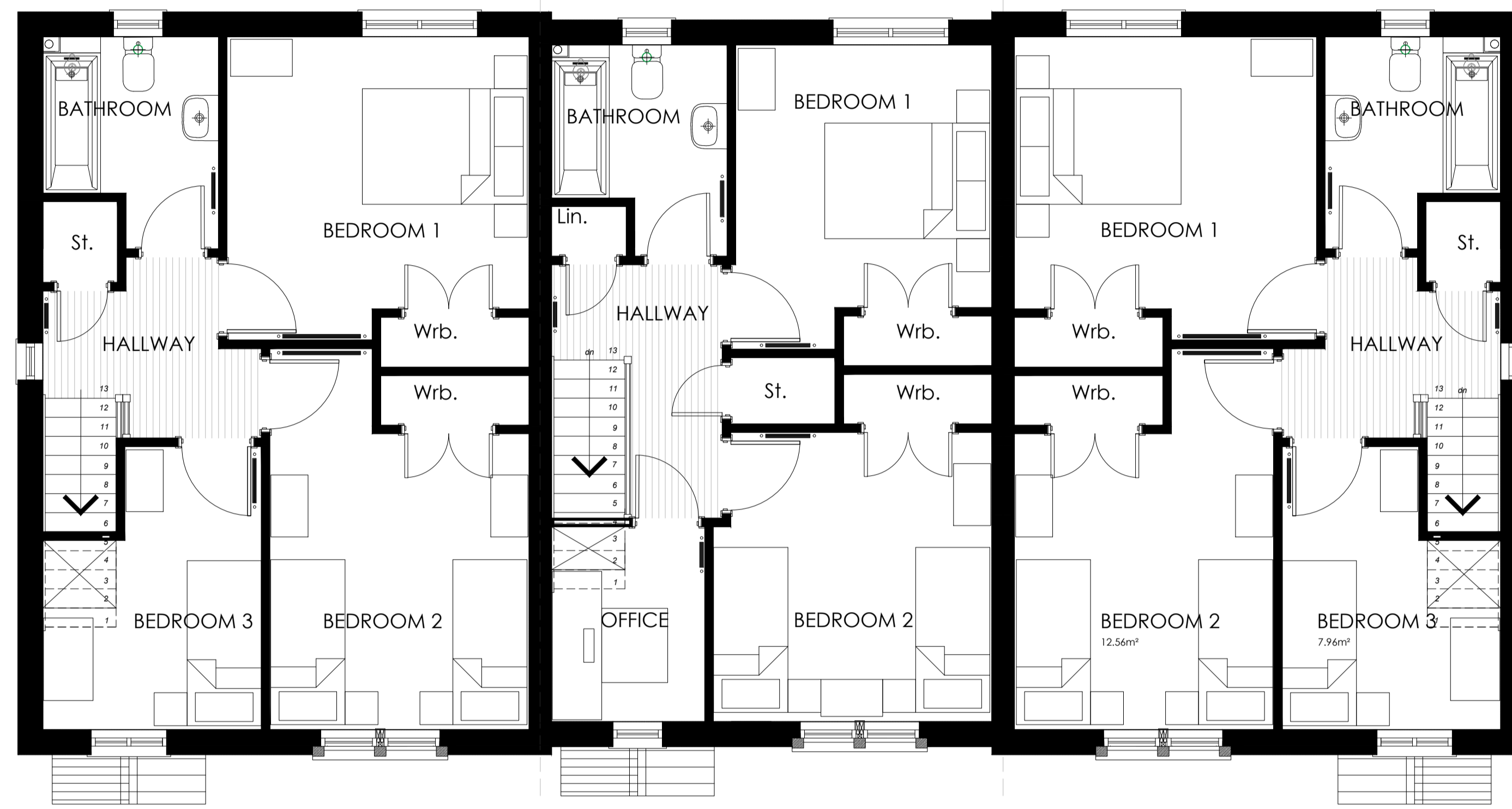
Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

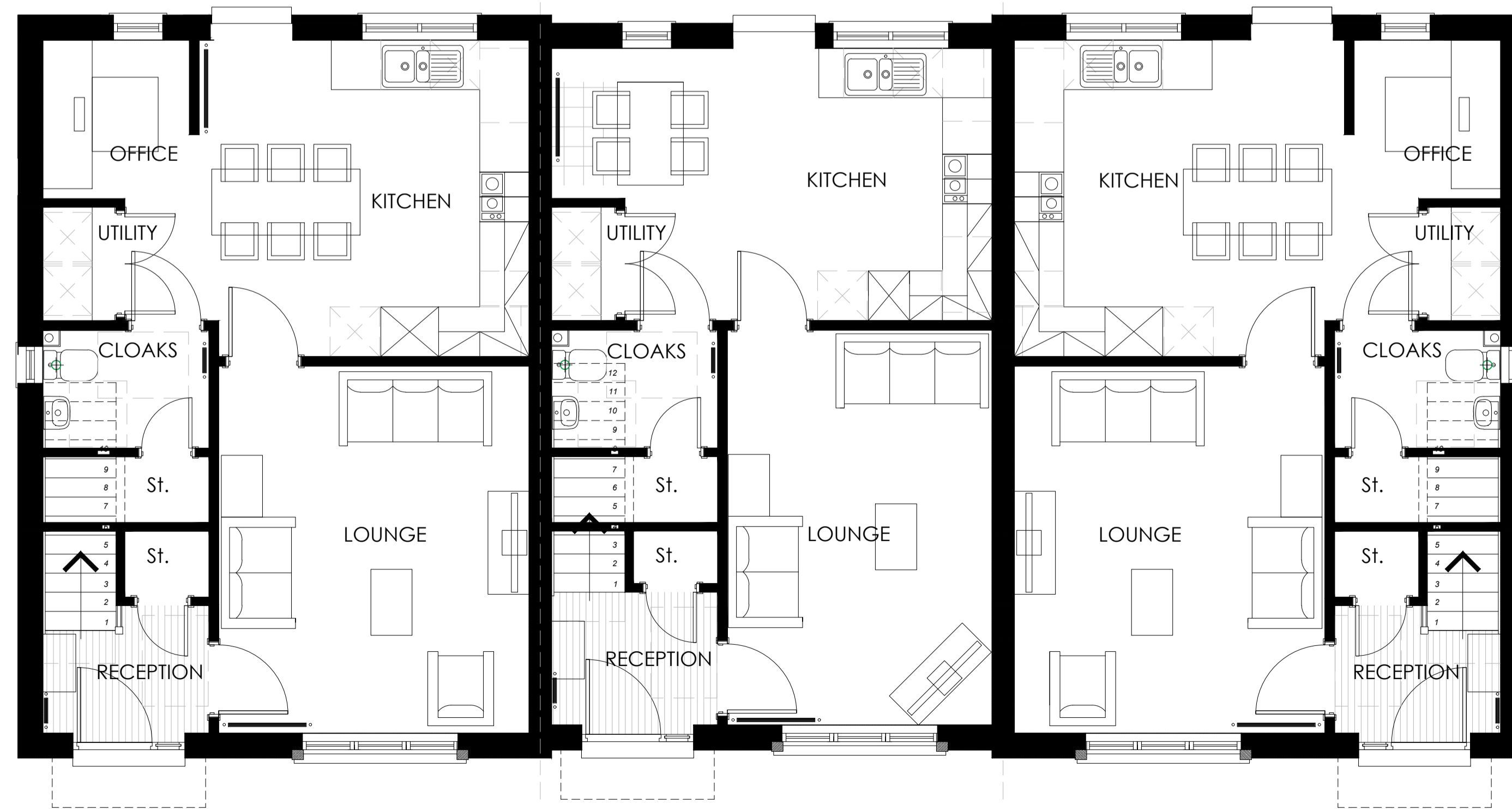
SCALE IN METRES 1:100



ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render - grey
Basecourse	Grey Fylestone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC, Doors: various colours principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc

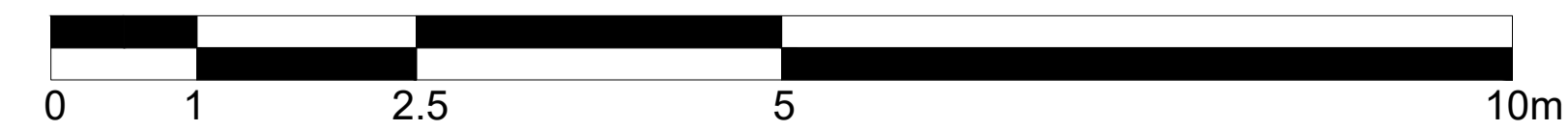


Proposed First Floor Plan
1:50



Proposed Ground Floor Plan
1:50

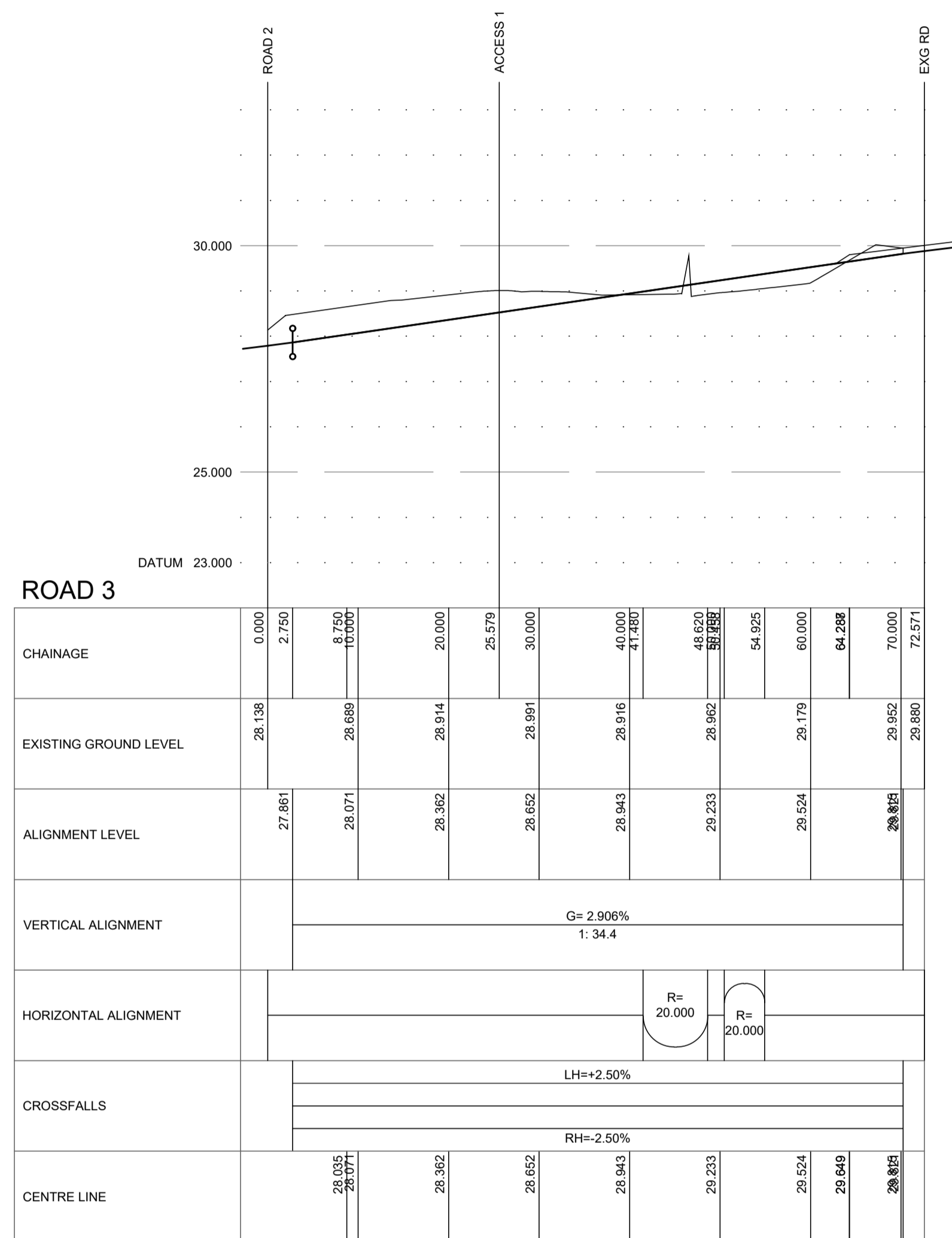
SCALE IN METRES 1:50



A 19.12.22 Amended as per client's comments		OF	DH
Rev.	Date	Details	Drawn/Checked
Issued for: PLANNING			
Project/Client: WhiteHills South, AIness		Project No: THE22-0010	
Pat Munro Homes		Drawing No: A2-99&86-01	
		Revision: A	
Drawing: GA Plans & Elevations HouseTypes 99&86		Scale: as shown @ A1	
		Drawn by: OF Date: 11/22	
		Checked by: DH Date: 11/22	



24 North Silver Street, Aberdeen, AB10 1RL Telephone: 01224 586 277
 email: info@the-ap.co.uk
 web site: www.the-ap.co.uk



Notes

Revisions	Date	Drn.	Revisions	Date	Drn.

PAT MUNRO (ALNESS) Ltd

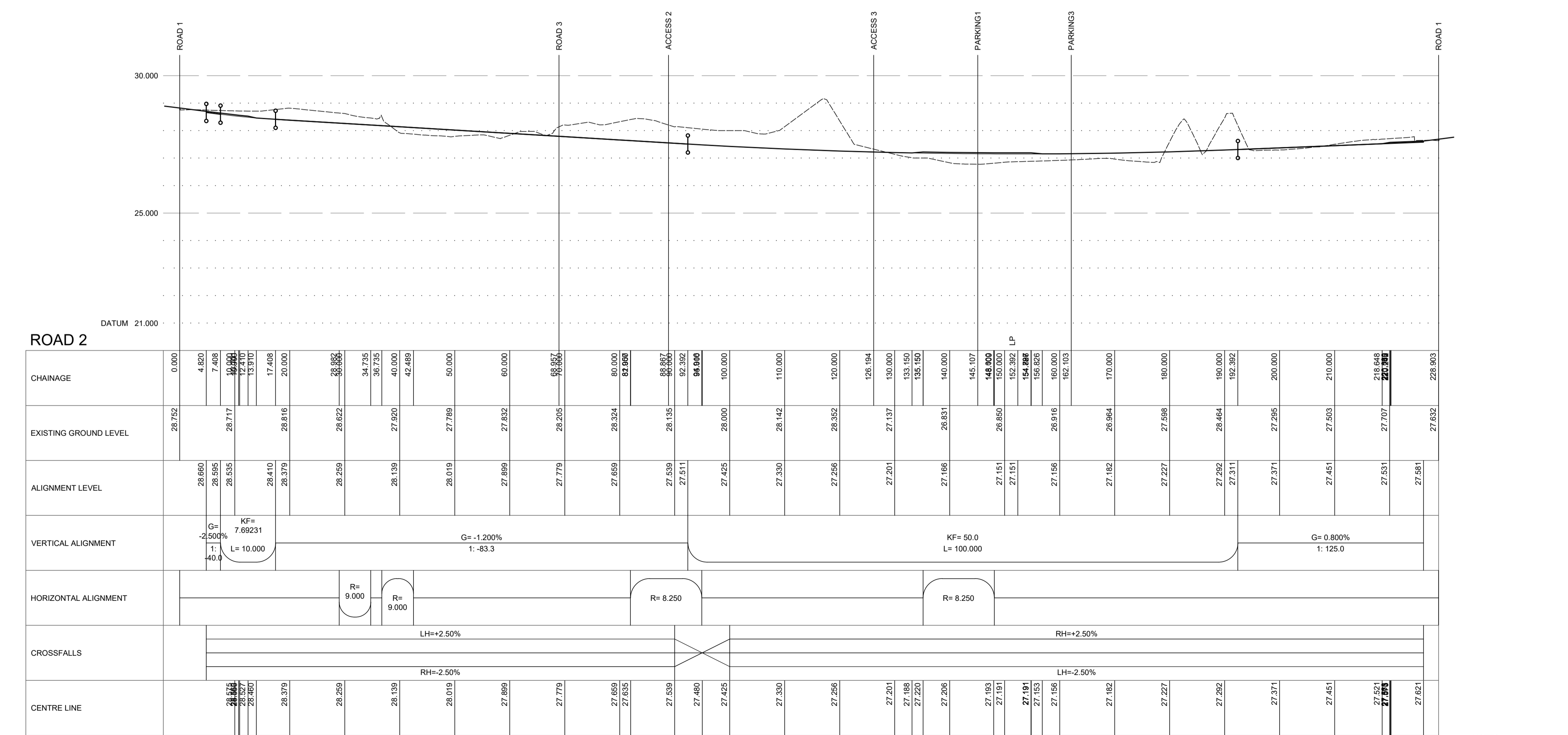
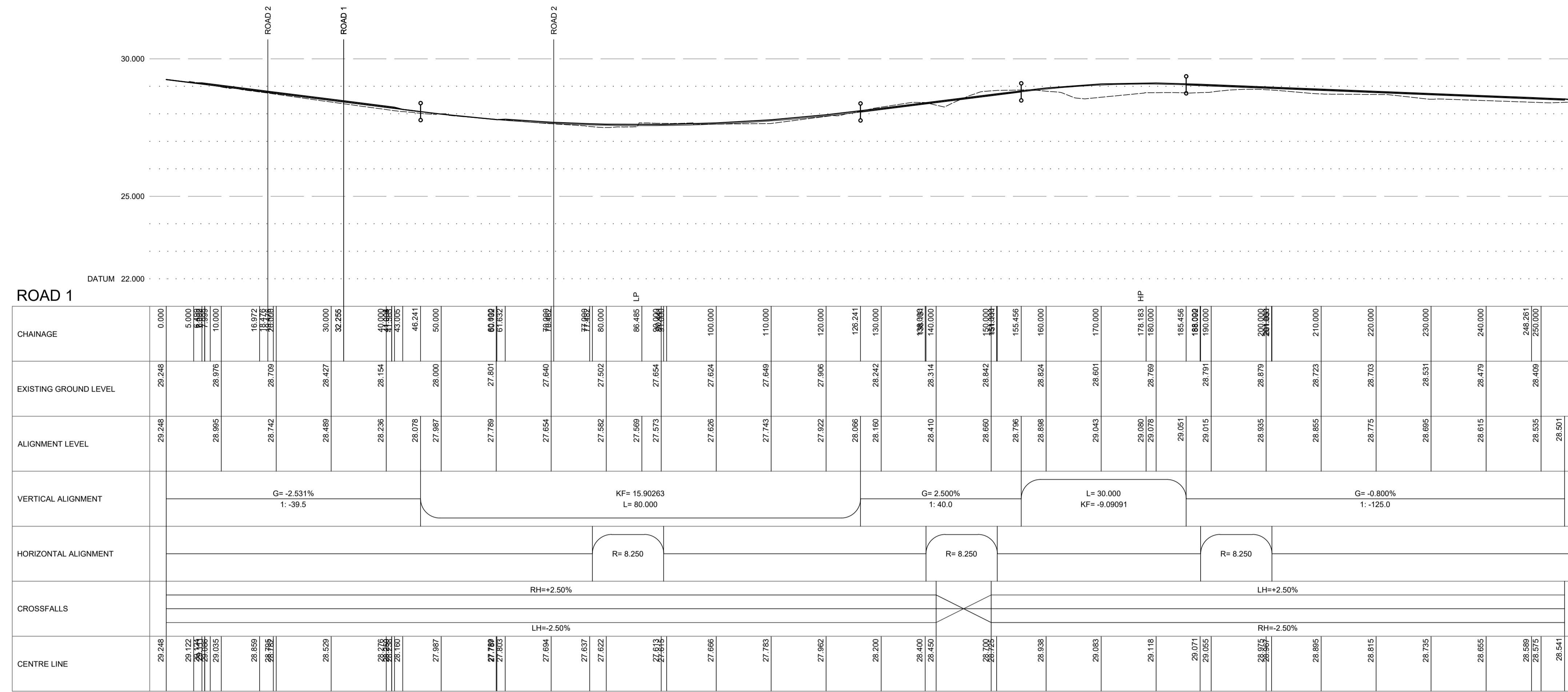
**APPROVAL
DRAWING**

consulting engineers
hga

HGA(UK) Ltd
Darach House
Stoneyfield Business Park
Inverness IV2 7PA
T: 01463 221717
F: 01463 224275
email: hga@hga.co.uk

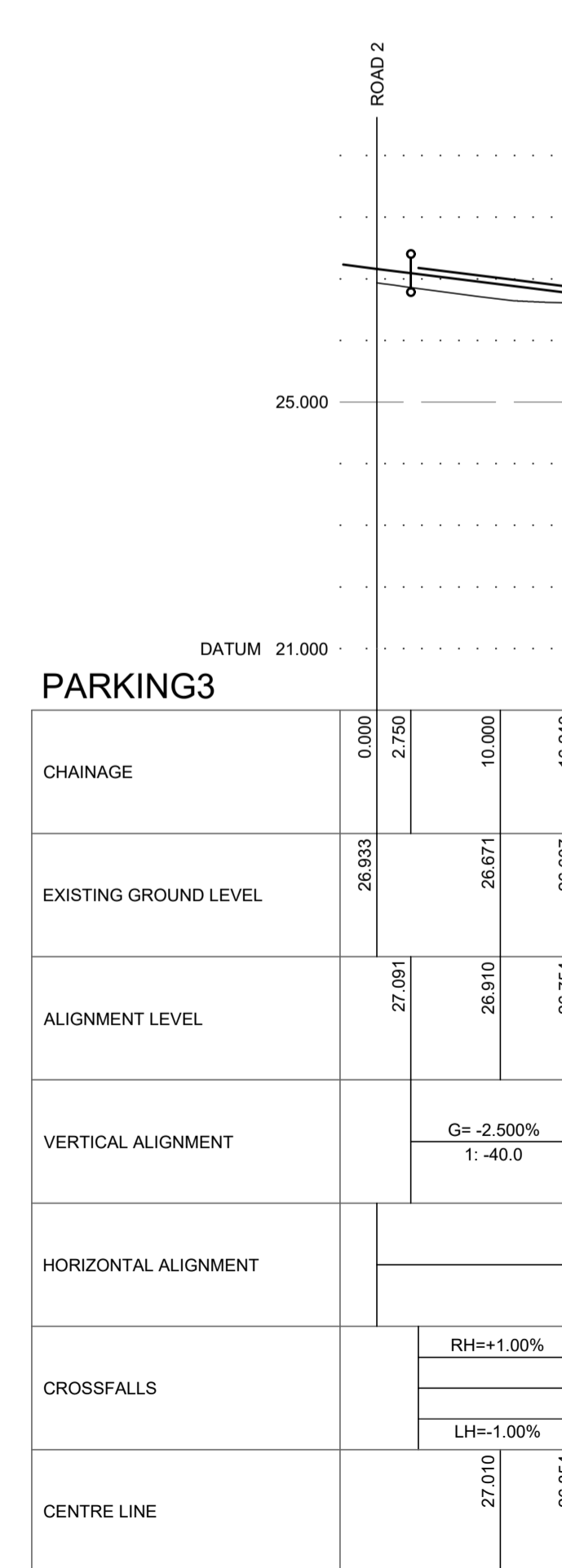
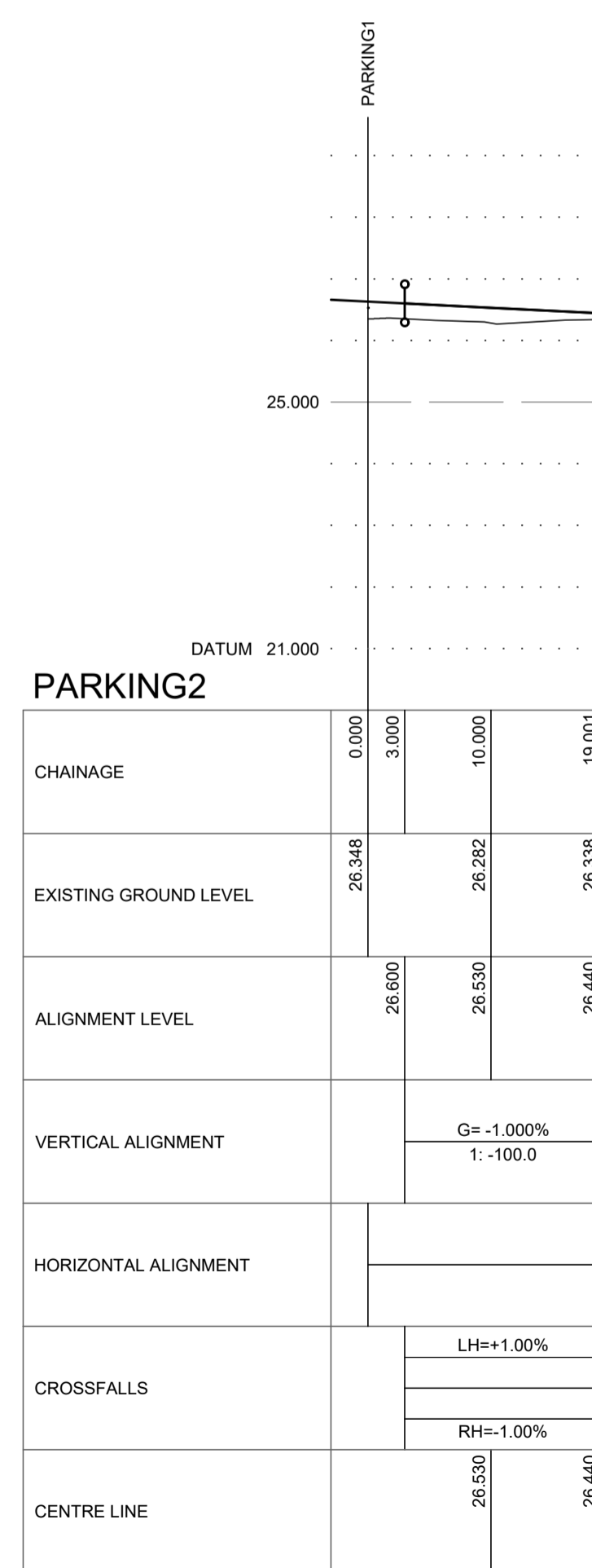
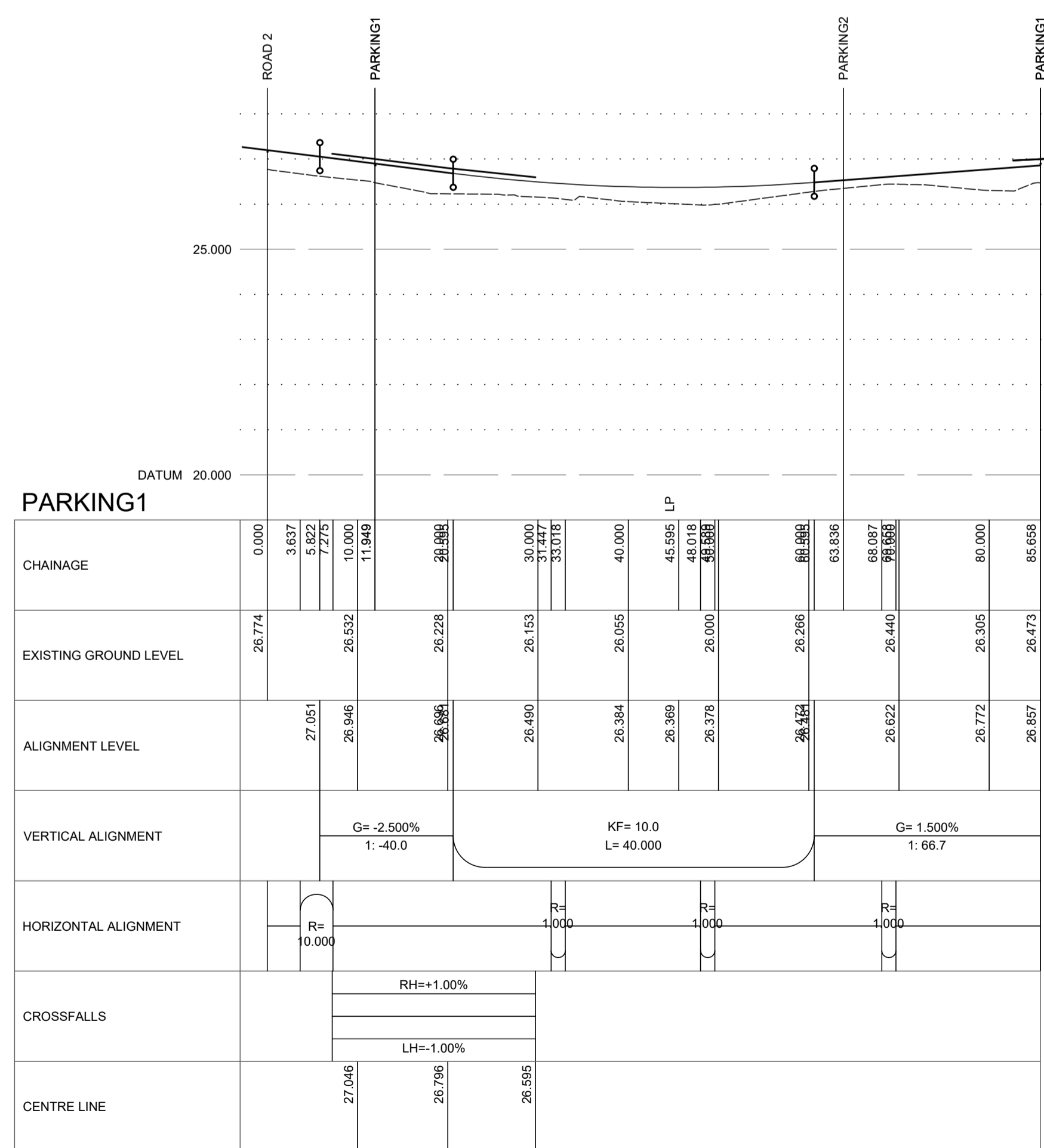
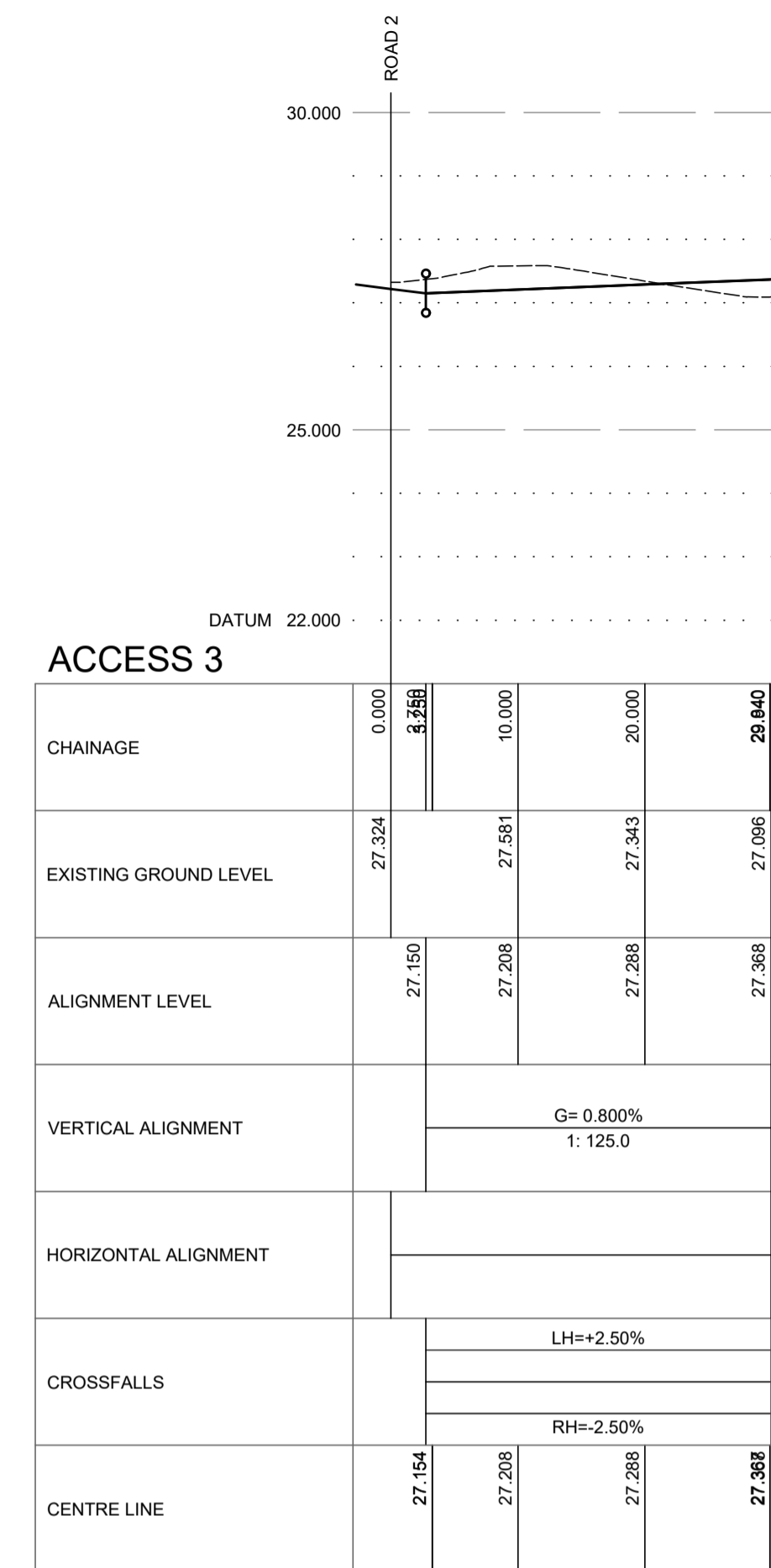
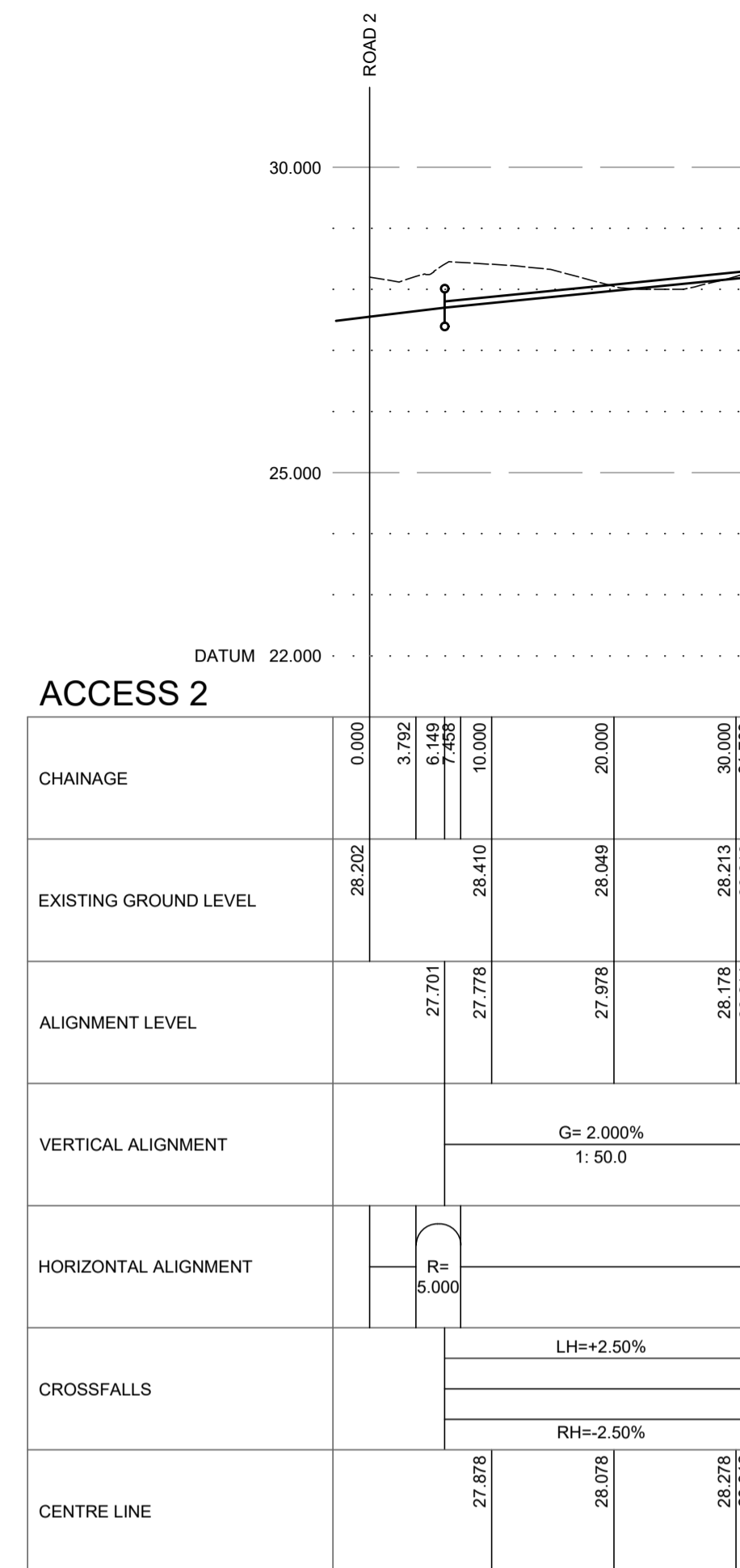
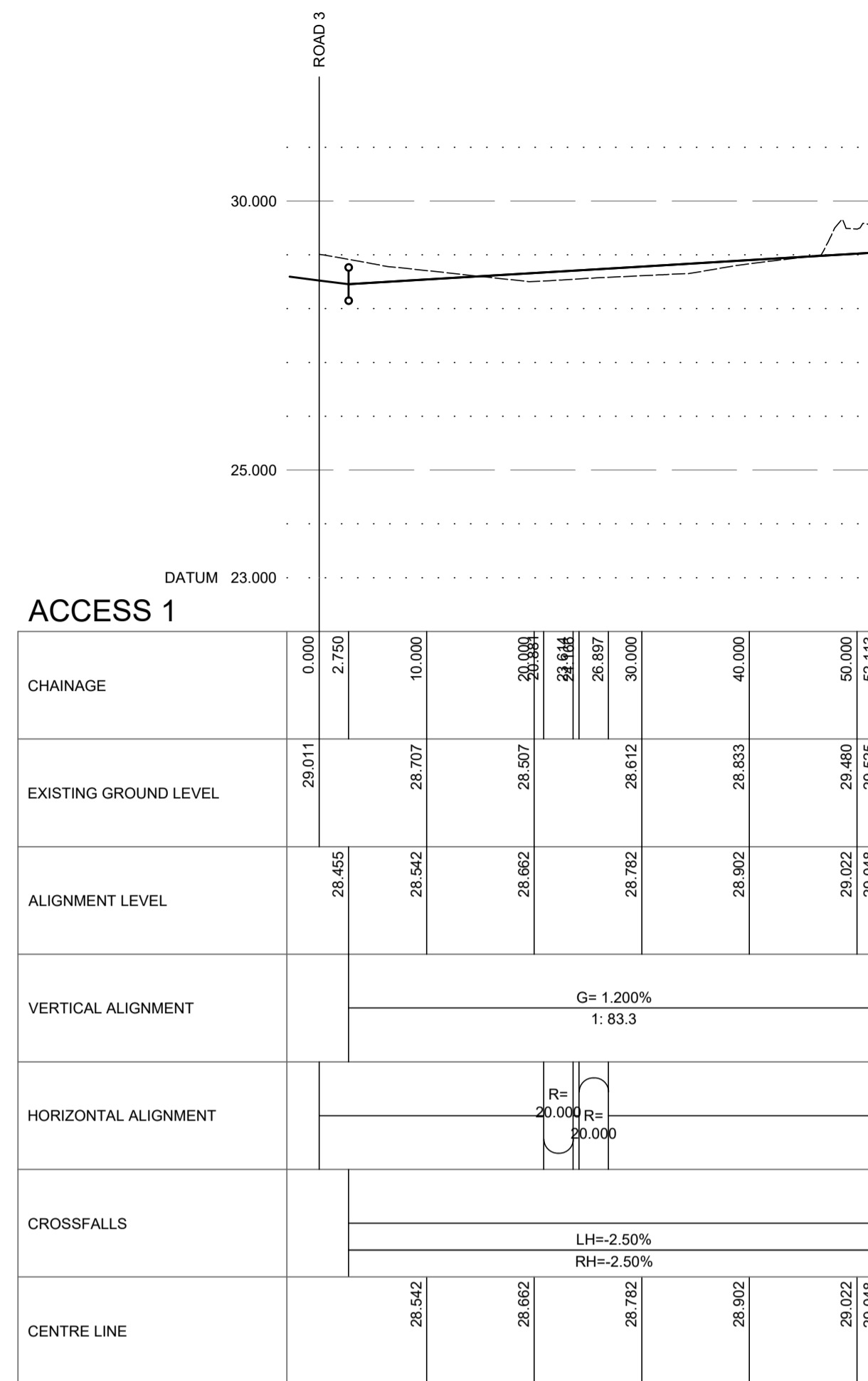
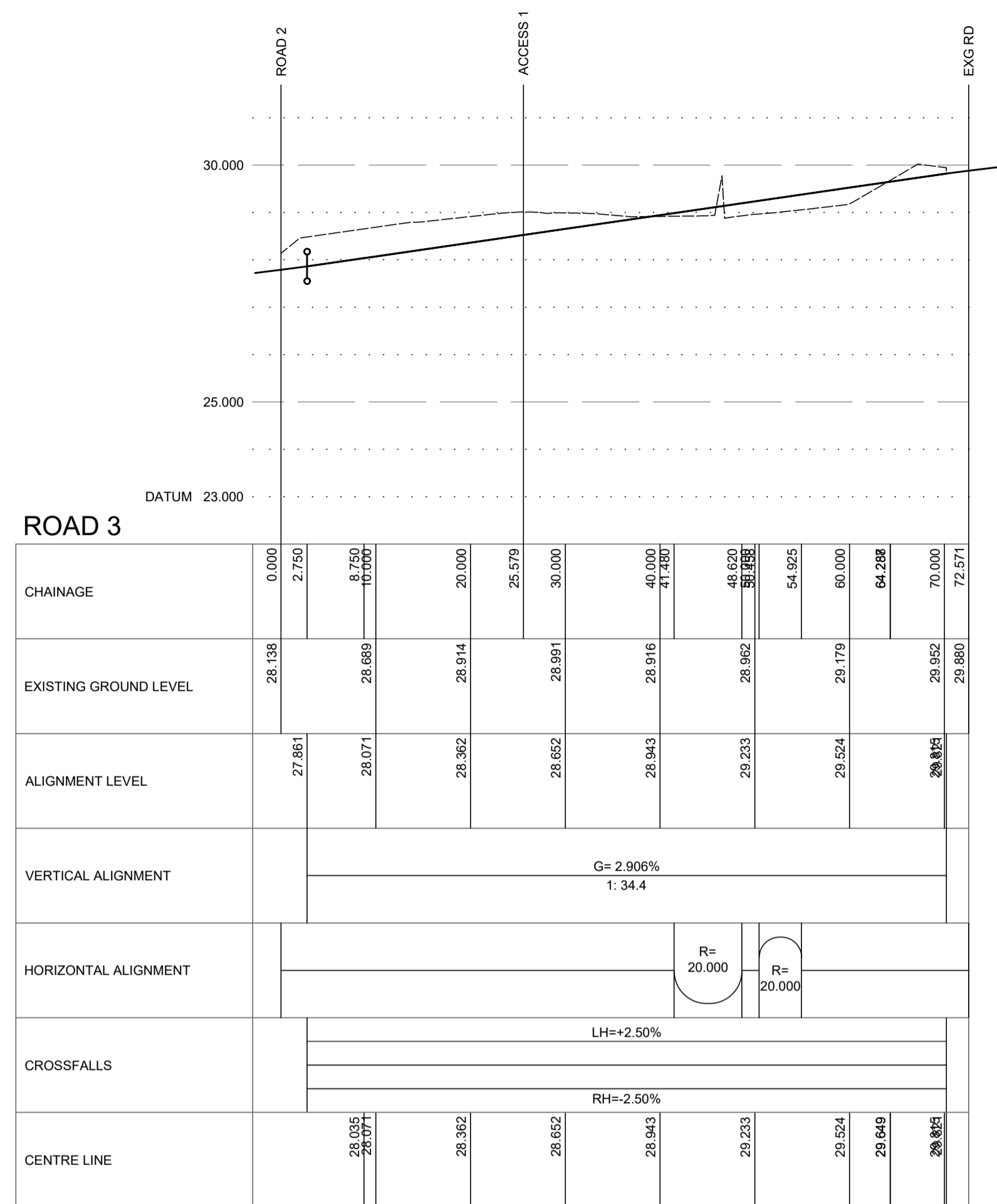
WHITEHILLS, ALNESS
SOUTH

JUNCTION LAYOUT		
Drawn: IM	Ck'd	Scale: 1:250
Date: Dec 2022	Date:	DO NOT SCALE
Drawing No. 3798:501	Revision	



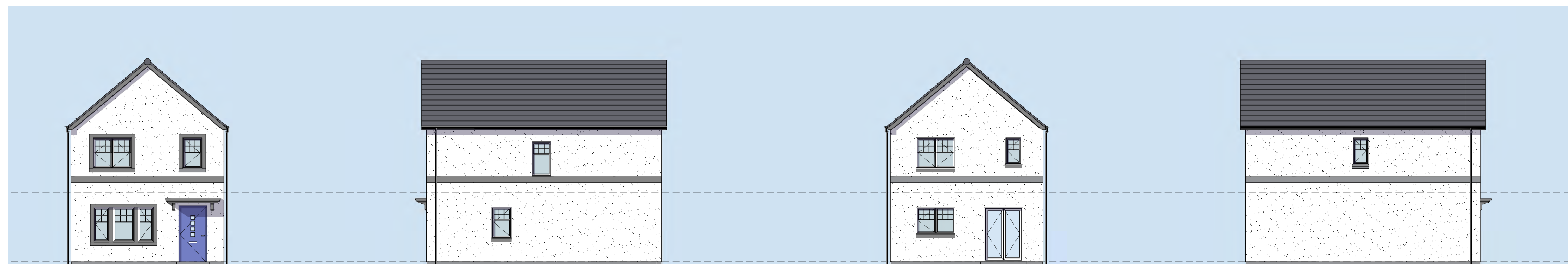
NOTES
ALL ROAD CROSSFALLS ARE TO BE 2.5% UNLESS NOTED OTHERWISE

Drawing No. 3798:102/01		Revision
Revisions	Date	Drn.
APPROVAL DRAWING		
PAT MUNRO (ALNESS) LTD		
WHITEHILLS SOUTH ALNESS		
ROAD LONG SECTION SHEET 1 OF 2		
Drawn: IM	Ck'd: Date:	Scale: 1:500 @ A1 DO NOT SCALE
Date: Dec 2022		
		HGA(UK) Ltd Darach House Stonyfield Business Park Inverness IV2 7PA T: 01463 221717 F: 01463 224275 email: hga@hagagroup.co.uk
Drawing No. 3798:102/01		Revision



NOTES
ALL ROAD CROSSFALLS ARE TO BE 2.5% UNLESS NOTED OTHERWISE

Drawing No. 3798:102/02		Revision
Revisions	Date	Drn.
APPROVAL DRAWING		
PAT MUNRO (ALNESS) LTD		
WHITEHILLS SOUTH ALNESS		
ROAD LONG SECTION SHEET 2 OF 2		
Drawn: IM	Ck'd: Date:	Scale: 1:500 @ A1 DO NOT SCALE
Date: Dec 2022		
		HGA(UK) Ltd Darach House Stonyfield Business Park Inverness IV2 7PA T: 01463 221717 F: 01463 224275 email: hga@hagagroup.co.uk
Drawing No. 3798:102/02		Revision



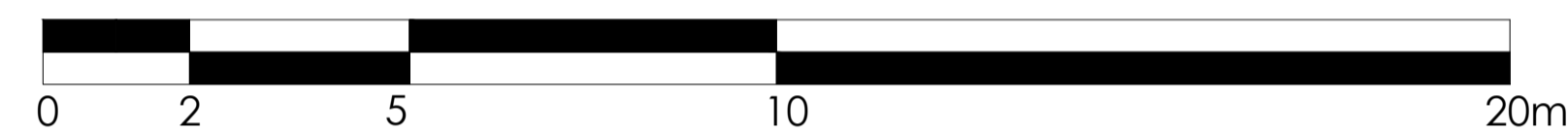
Proposed Front Elevation
1:100

Proposed Side Elevation
1:100

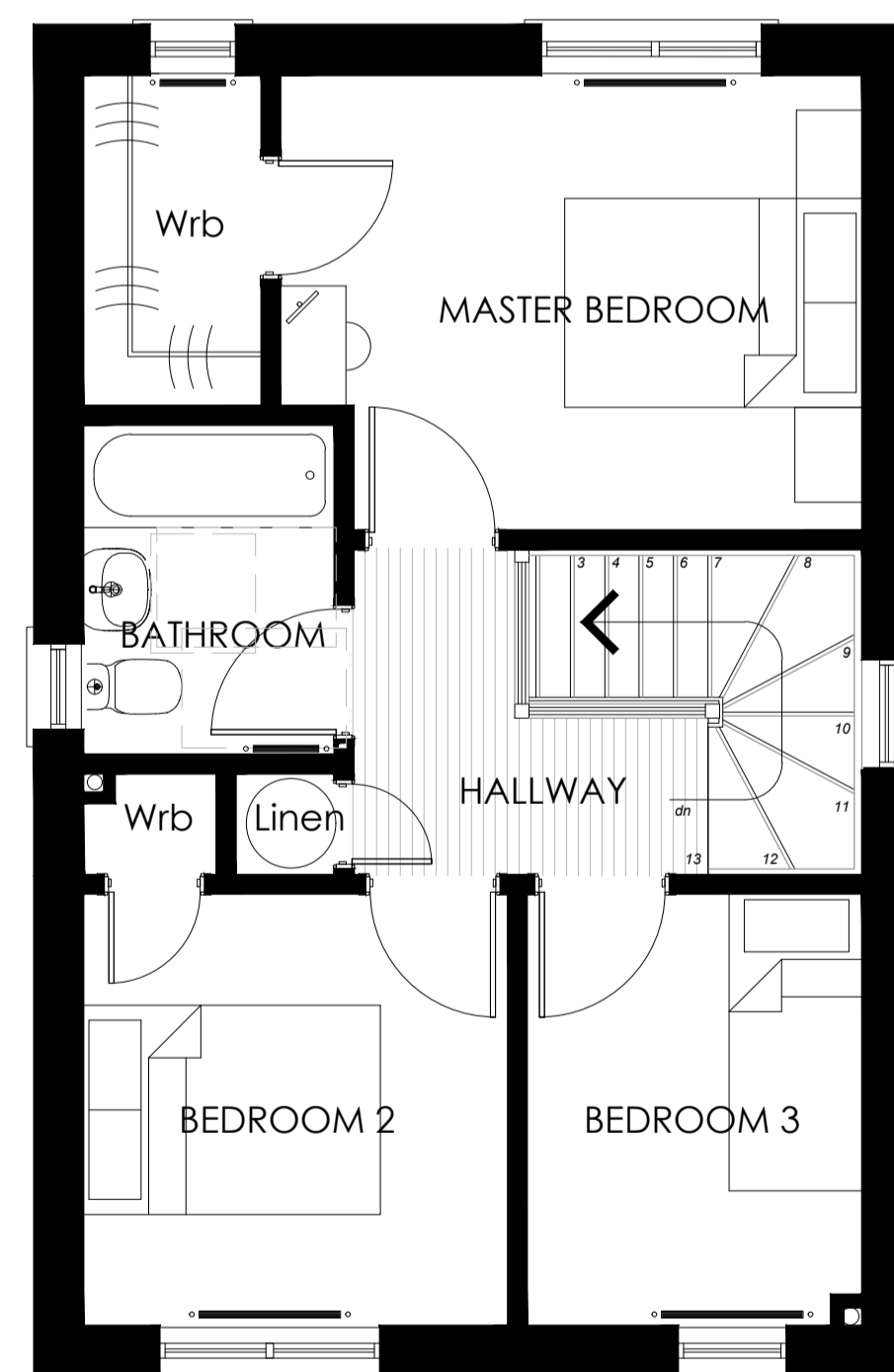
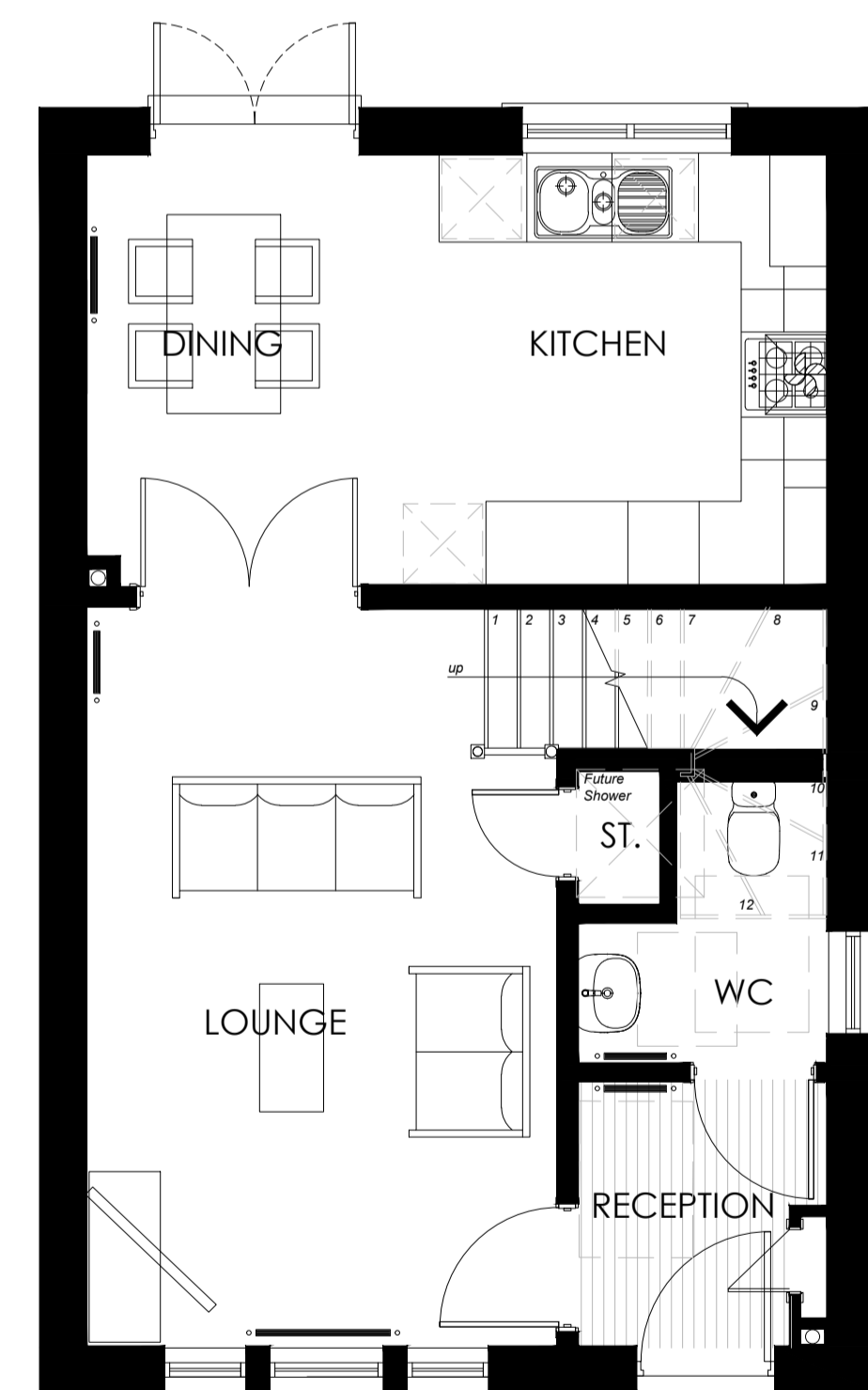
Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

SCALE IN METRES 1:100



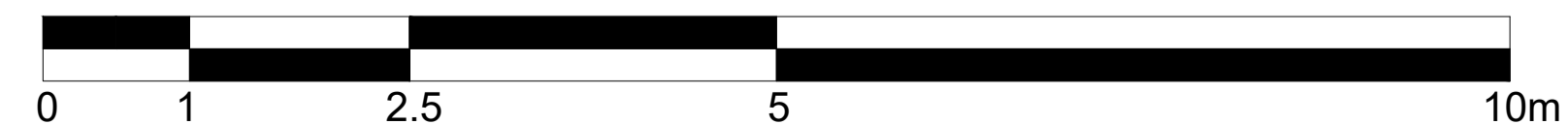
ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render - grey
Basecourse	Grey Fyestone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC, Doors: various colours principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc



Proposed Ground Floor Plan
1:50

Proposed First Floor Plan
1:50

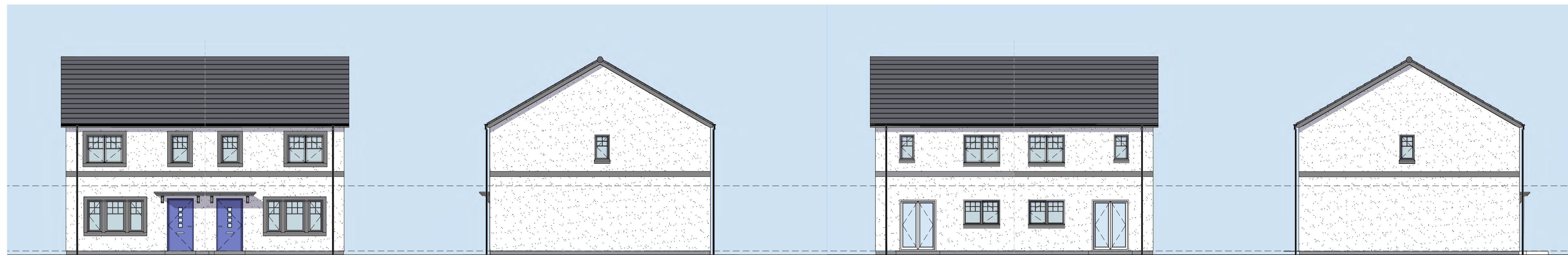
SCALE IN METRES 1:50



A	19.12.22	Amended as per client's comments	OF	DH
Rev.	Date	Details	Drawn	Checked
Issued for:				
PLANNING				
Project/Client:		Project No:		
WhiteHills South, Alness		THE22-0010		
Pat Munro Homes		Drawing No:		
		A2-RO-02		
		Revision:		
		A		
Drawing:		Scale:		
GA Plans & Elevations		as shown @ A1		
HouseType Rosehaugh (Detached)		Drawn by: OF		
		Date: 11/22		
		Checked by: DH		
		Date: 11/22		



24 North Silver Street, Aberdeen, AB10 1RL Telephone: 01224 586 277
email: info@the-op.co.uk
web site: www.the-op.co.uk



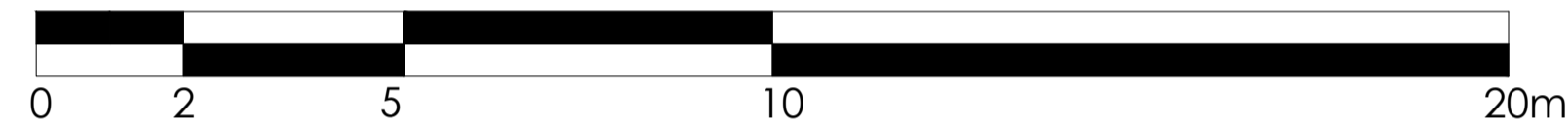
Proposed Front Elevation
1:100

Proposed Side Elevation
1:100

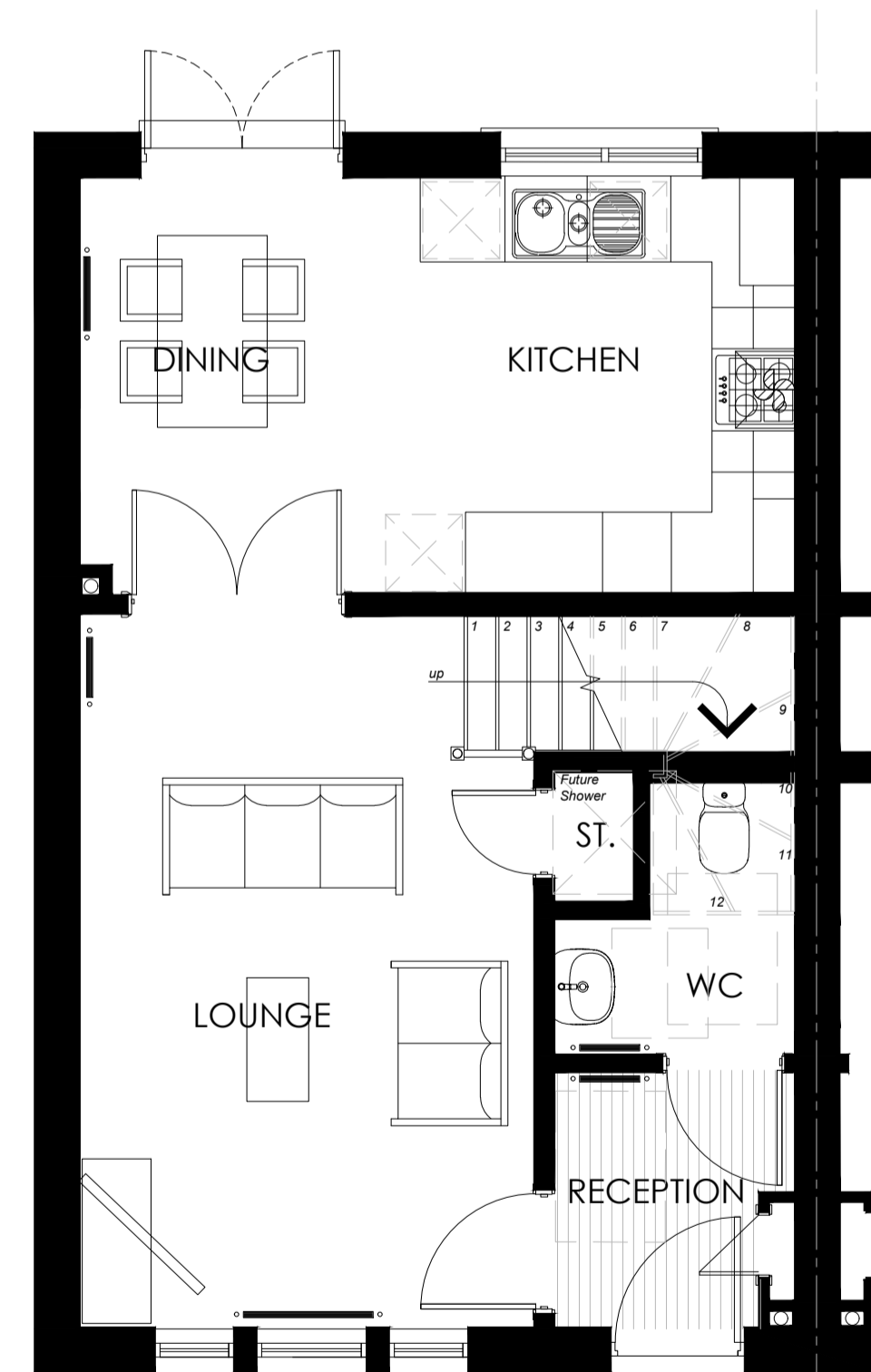
Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

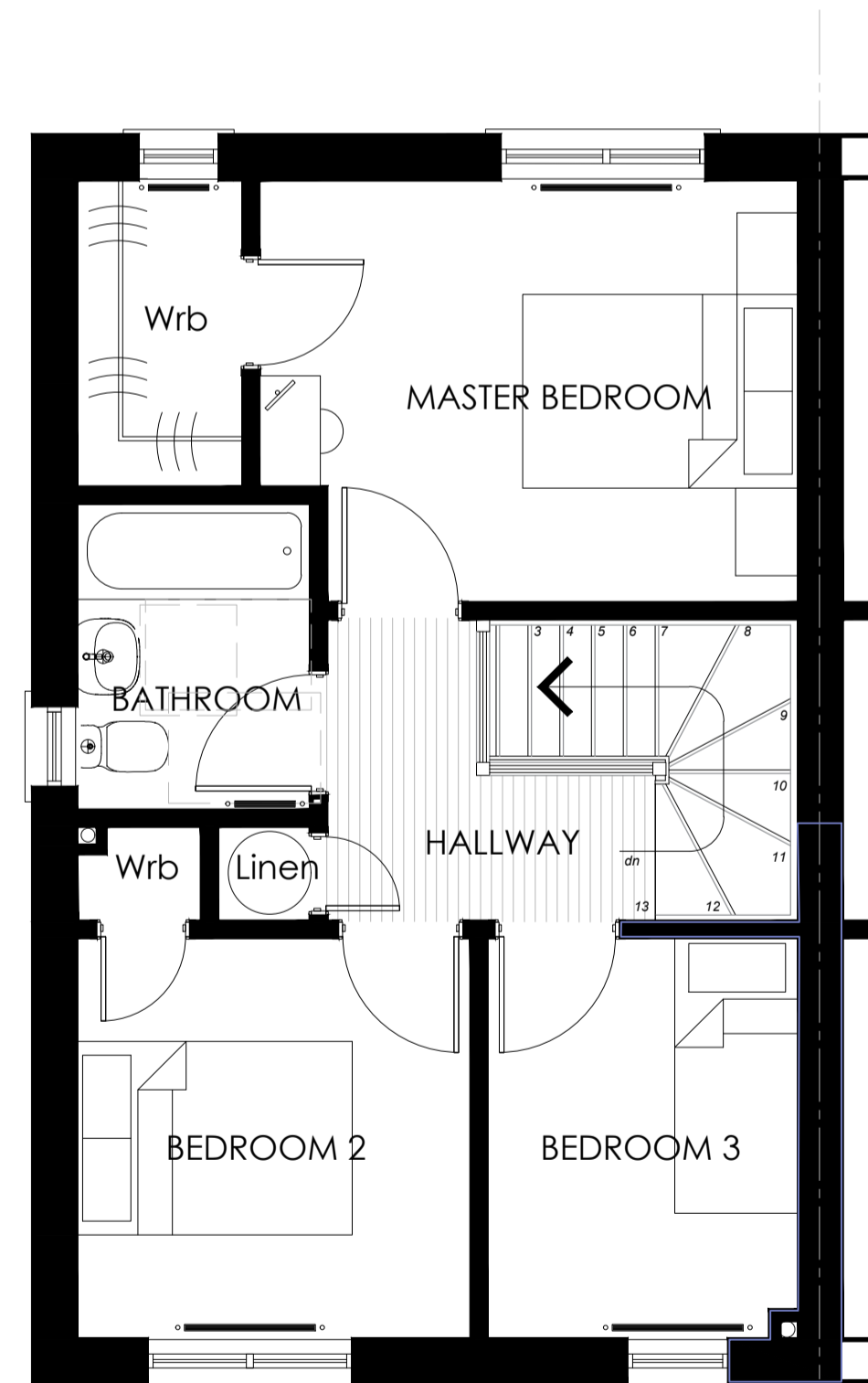
SCALE IN METRES 1:100



ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render - grey
Basecourse	Grey Fyestone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC, Doors: various colours principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc



Proposed Ground Floor Plan
1:50



Proposed First Floor Plan
1:50

SCALE IN METRES 1:50



A	19.12.22	Amended as per client's comments	OF	DH
Rev.	Date	Details	Drawn	Checked

Issued for: **PLANNING**

Project/Client: WhiteHills South, Alness
Pat Munro Homes

Project No: THE22-0010
Drawing No: A2-RO-01
Revision: A

Drawing: GA Plans & Elevations
House type Rosehaugh (Semi-detached)

Scale: as shown @ A1

Drawn by: OF
Date: 11/22

Checked by: DH
Date: 11/22



24 North Silver Street, Aberdeen, AB10 1RL
Telephone: 01224 586 277
email: info@the-ap.co.uk
web site: www.the-ap.co.uk



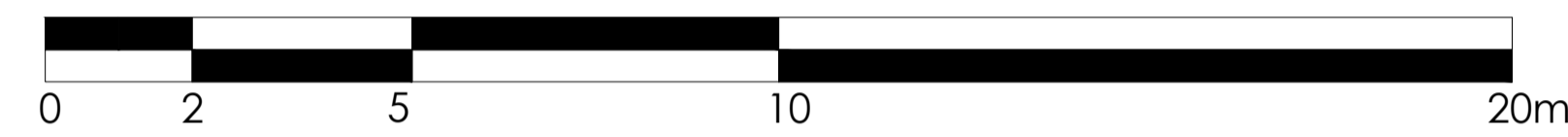
Proposed Front Elevation
1:100

Proposed Side Elevation
1:100

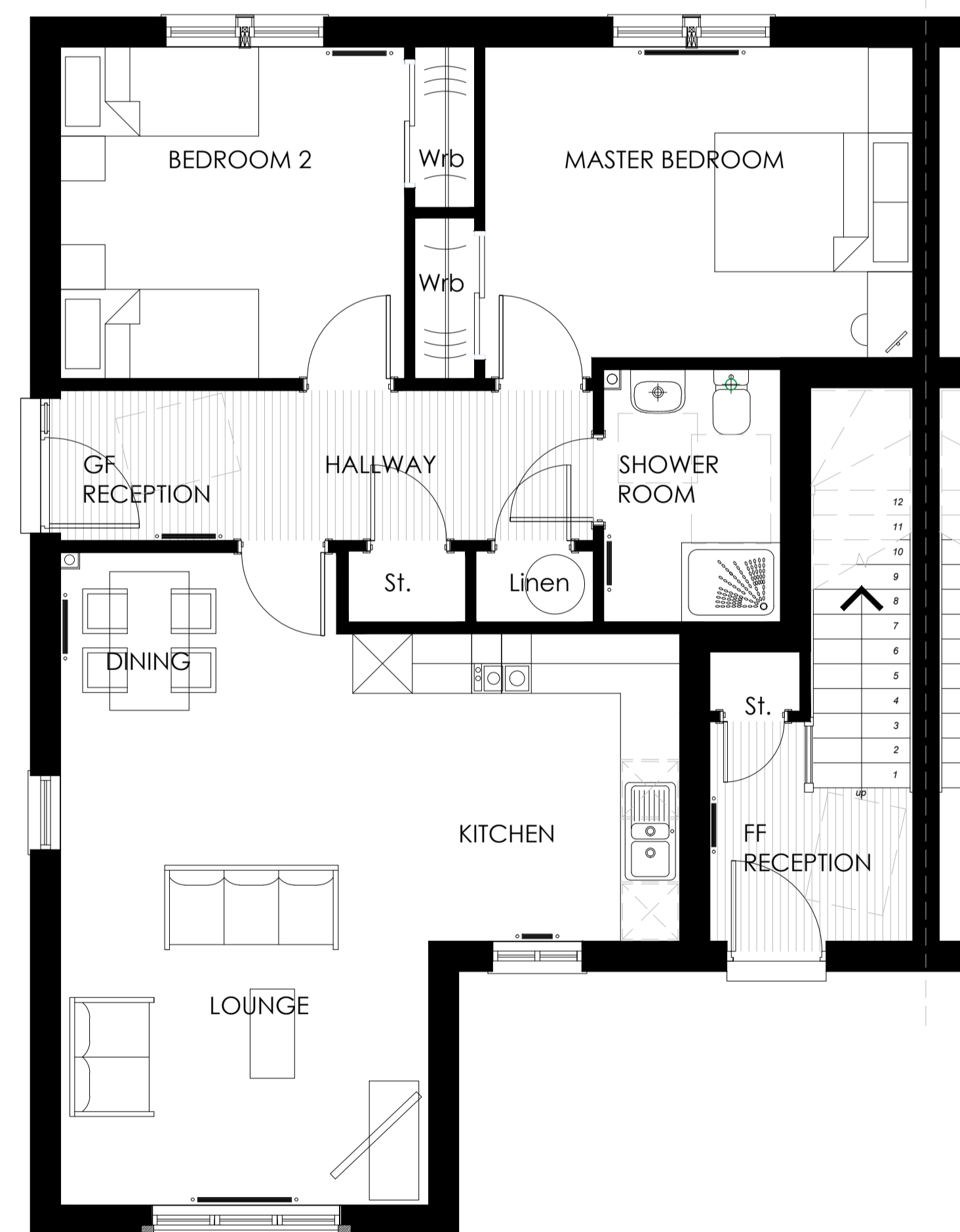
Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

SCALE IN METRES 1:100

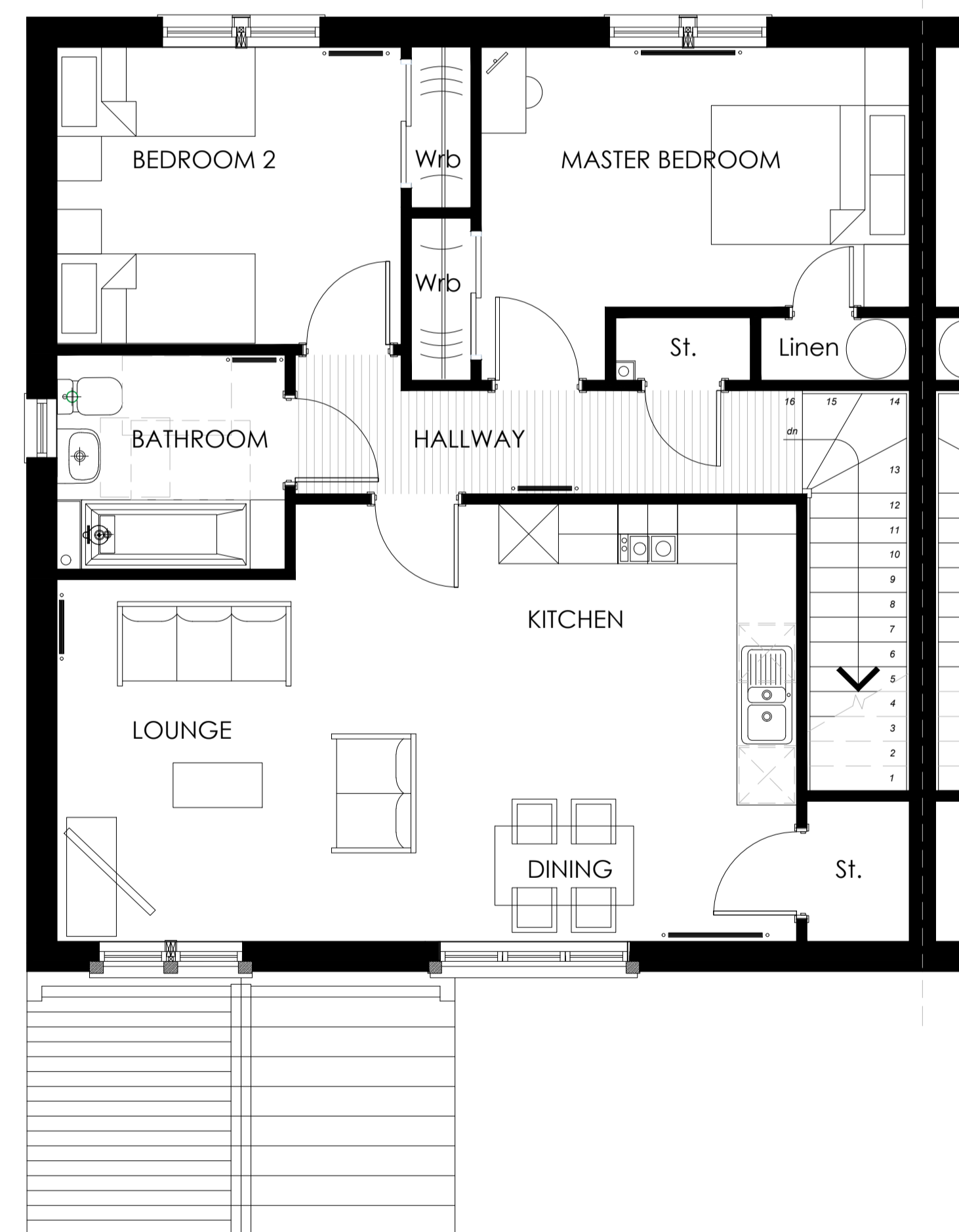
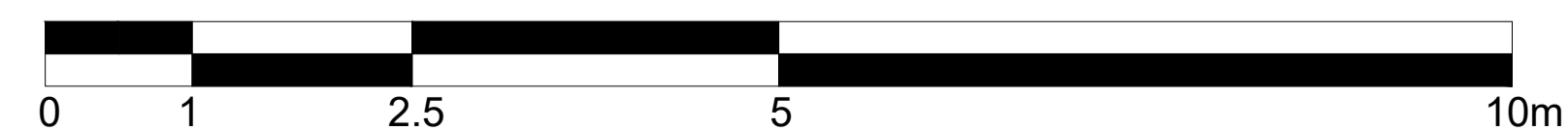


ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render - grey
Basecourse	Grey Fyestone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC, Doors: various colours principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc



Proposed Ground Floor Plan
1:50

SCALE IN METRES 1:50



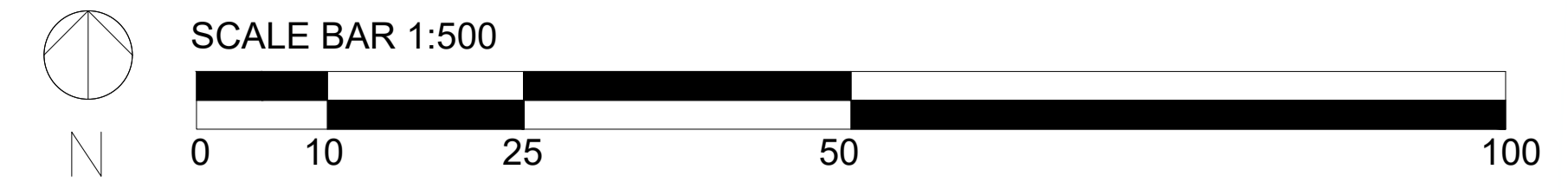
Proposed First Floor Plan
1:50



Rev.	Date	Details	Of	DH
A	19.12.22	Amended as per client's comments		
Issued for:				
PLANNING				
Project/Client:		Project No:		
WhiteHills South, AIness		THE22-0010		
Pat Munro Homes		Drawing No:		
		A2-WI-01		
		Revision:		
		A		
Drawing:		Scale:		
GA Plans & Elevations		as shown @ A1		
HouseType Willow		Drawn by: Date:		
		OF 11/22		
		Checked by: Date:		
		DH 11/22		



24 North Silver Street, Aberdeen, AB10 1RL Telephone: 01224 586 277
 email: info@the-ep.co.uk
 web site: www.the-ep.co.uk



PARKING PROVISION :

FLATS: 36 SPACES

HOUSES: (65x2) + (3x3) = 139 SPACES

65 NO. 2,3 & 4 BEDS (2 SPACES)
3 NO. 5 BED (3 SPACES)

AFFORDABLES:

COTTAGE FLATS: 4 SPACES + 2 VISITORS
TERRACES: 3 SPACES +1 VISITORS

VISITORS: 22 SPACES (OVERMARKED ON PLAN)

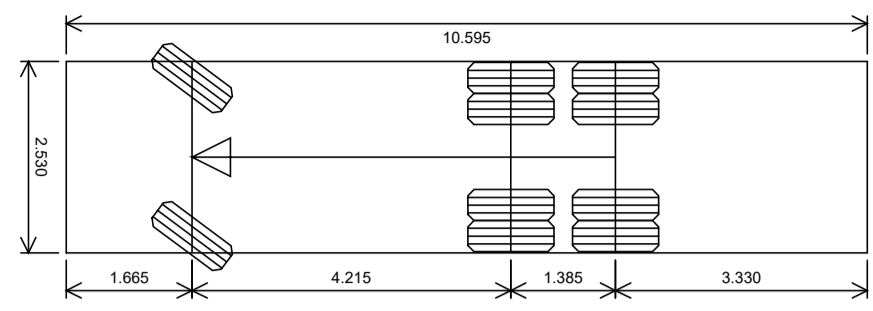
LEGEND :

- FLATS PARKING BAY 2500 x 5000mm
- FLATS DISABLED PARKING BAY 3600 x 5000mm
- VISITOR PARKING BAY 2500 X 5000mm
- VISITOR PARKING BAY 2500 X 6000mm

PLOT NUMBER 21-2 **PARKING SPACE PROVISION**

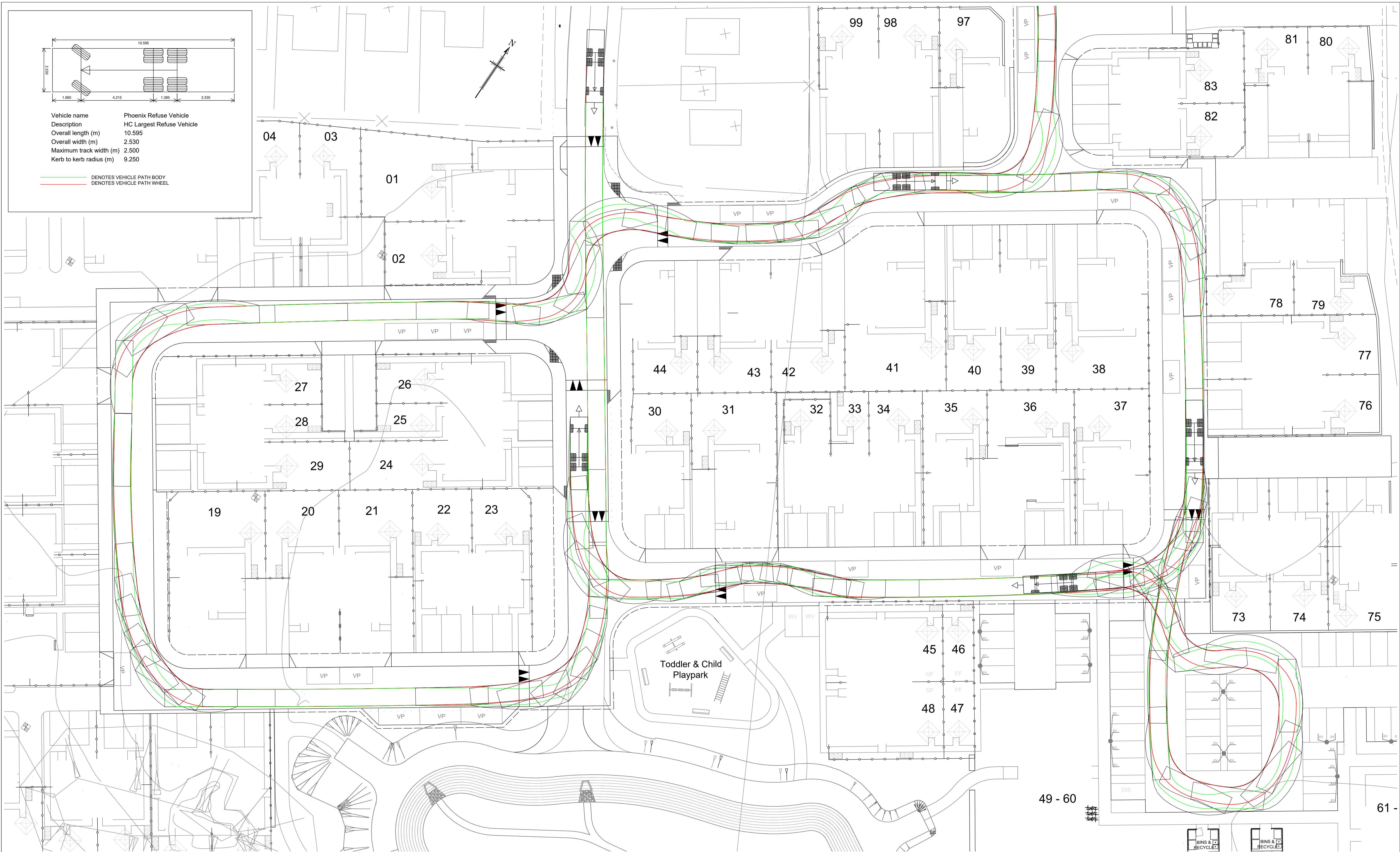
Rev. A	29.05.23	Amended as per Client's comments.	OF	DH
Rev.	Date	Details	Drawn	Checked
Issued for: PLANNING				
Project/Client:		Project No:		
WhiteHills South, Alness		THE22-0010		
Pat Munro Homes		Drawing No:		
		A1-00-05		
		Revision:		
		A		
Drawing:		Scale:		
Vehicle Parking Allocations		1:500 @ A1		
		Drawn by:	Date:	
		OF	05/23	
		Checked by:	Date:	
		DH	05/23	





Vehicle name Phoenix Refuse Vehicle
 Description HC Largest Refuse Vehicle
 Overall length (m) 10.595
 Overall width (m) 2.530
 Maximum track width (m) 2.500
 Kerb to kerb radius (m) 9.250

— DENOTES VEHICLE PATH BODY
 — DENOTES VEHICLE PATH WHEEL



Notes

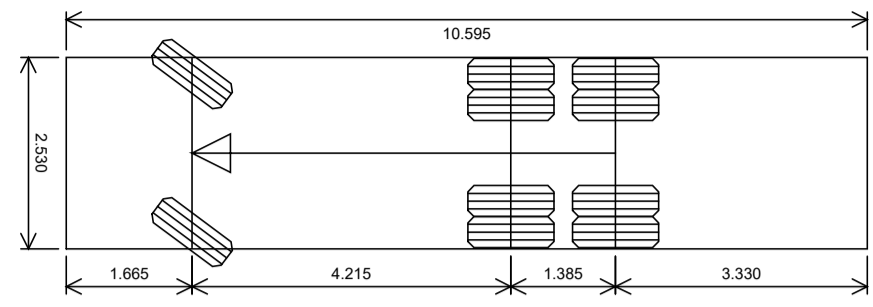
Revisions	Date	Drn.	Revisions	Date	Drn.
A	LAYOUT UPDATED	15.06.23	IM		

PAT MUNRO (ALNESS) Ltd
**APPROVAL
 DRAWING**

consulting engineers
hga
 HGA(UK) Ltd
 Darach House
 Stonefield Business Park
 Inverness IV2 7PA
 T: 01463 221717
 F: 01463 224275
 email: hga@hgapgroup.co.uk

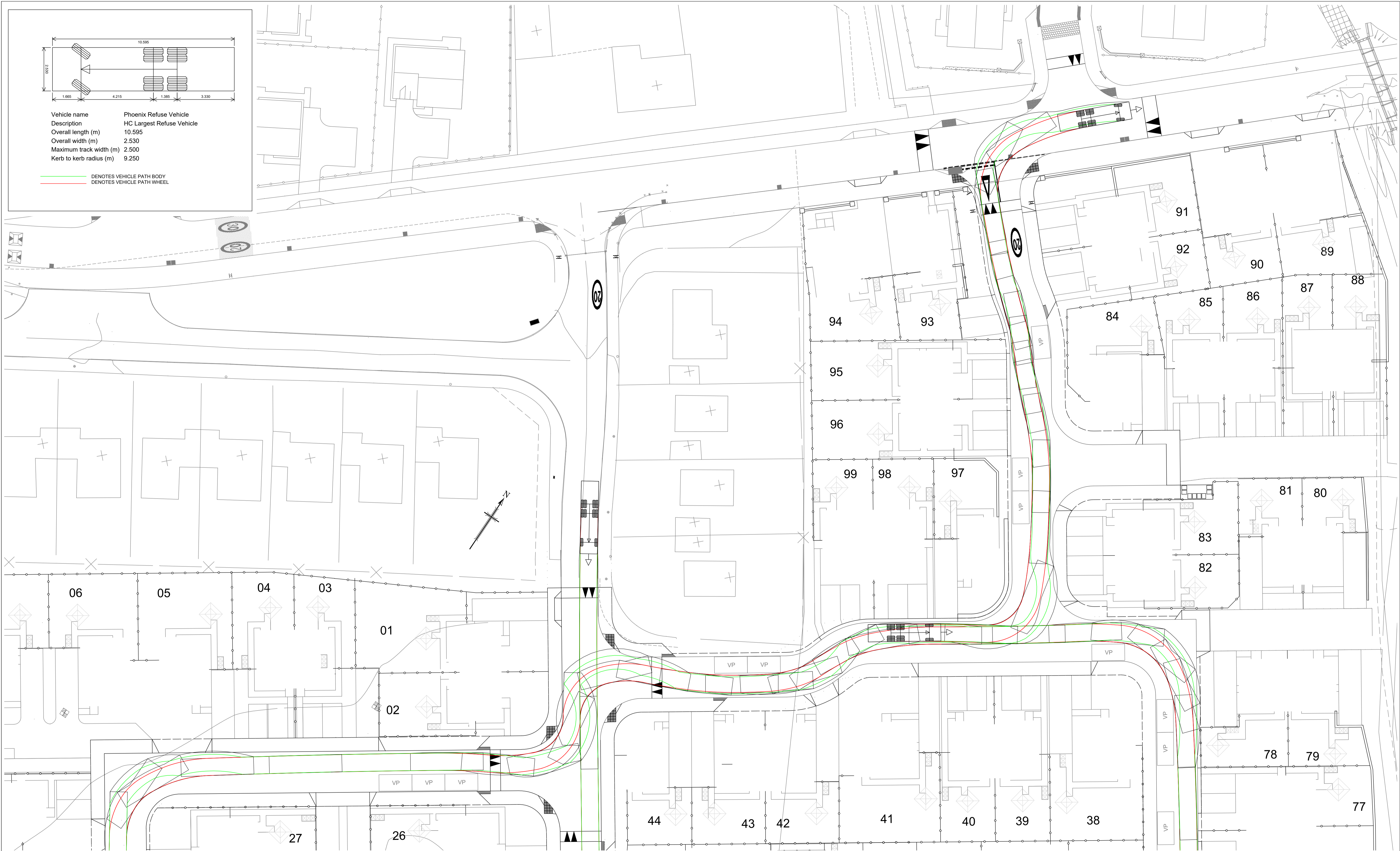
**VEHICLE SWEEP PATH
 SHEET 1 OF 2**

Drawn: IM	Ck'd	Scale: 1:250
Date: May 2022	Date:	DO NOT SCALE
Drawing No. 3798:109/01	Revision A	



Vehicle name Phoenix Refuse Vehicle
 Description HC Largest Refuse Vehicle
 Overall length (m) 10.595
 Overall width (m) 2.530
 Maximum track width (m) 2.500
 Kerb to kerb radius (m) 9.250

——— DENOTES VEHICLE PATH BODY
 ——— DENOTES VEHICLE PATH WHEEL



Notes

Revisions	Date	Drn	Revisions	Date	Drn
A	LAYOUT UPDATED			15.06.23	IM

PAT MUNRO (ALNESS) Ltd
**APPROVAL
DRAWING**

consulting engineers
hga
 HGA(UK) Ltd
 Darach House
 Stonefield Business Park
 Inverness IV2 7PA
 T: 01463 221717
 F: 01463 224275
 email: hga@hgapgroup.co.uk

WHITEHILLS, ALNESS
SOUTH

VEHICLE SWEEP PATH SHEET 2 OF 2		
Drawn: IM	Ck'd	Scale: 1:250
Date: May 2022	Date:	DO NOT SCALE
Drawing No. 3798:109/02	Revision A	



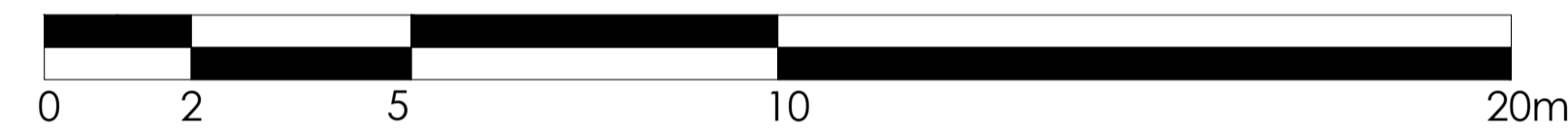
Proposed Front Elevation
1:100

Proposed Side Elevation
1:100

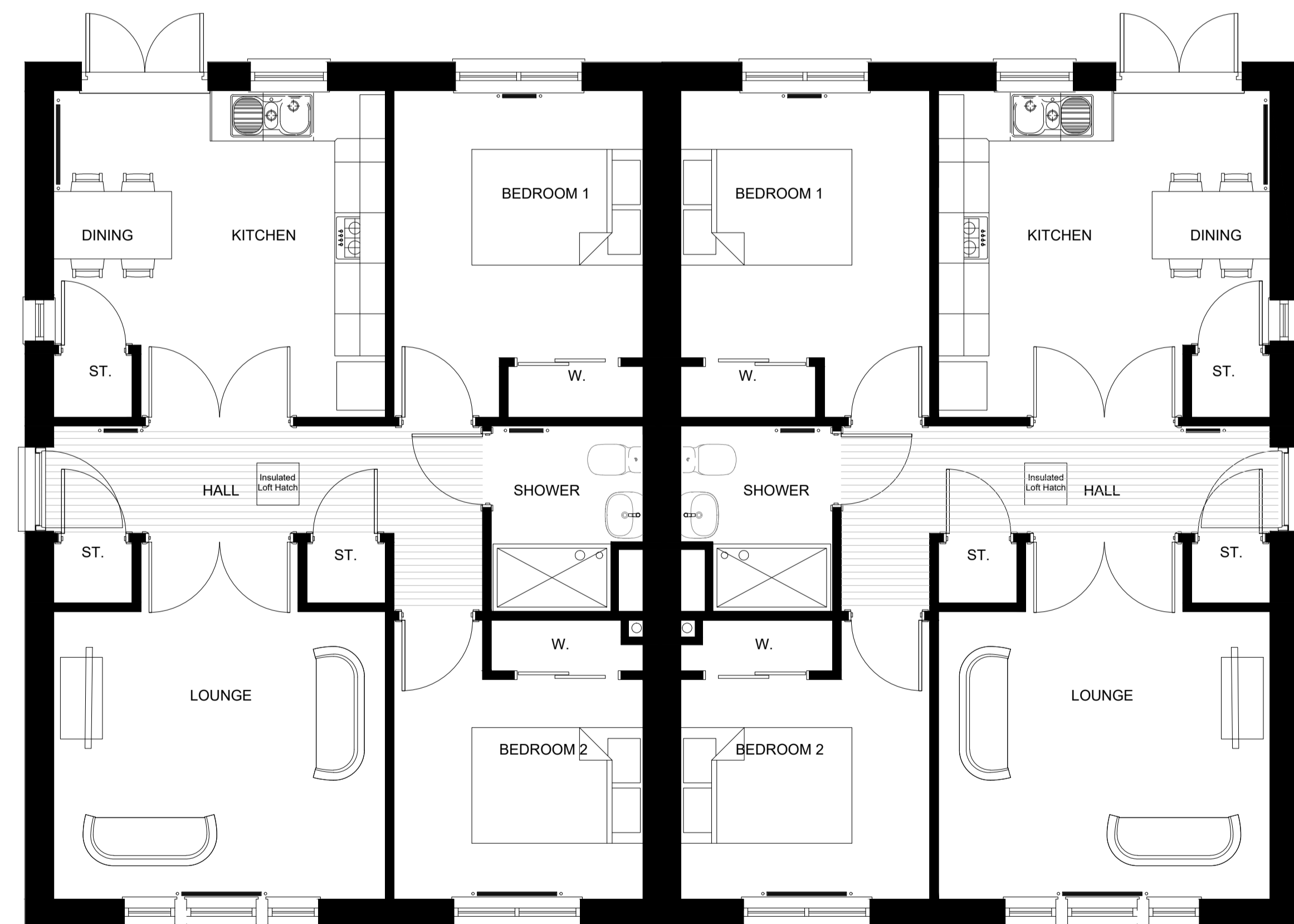
Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

SCALE IN METRES 1:100

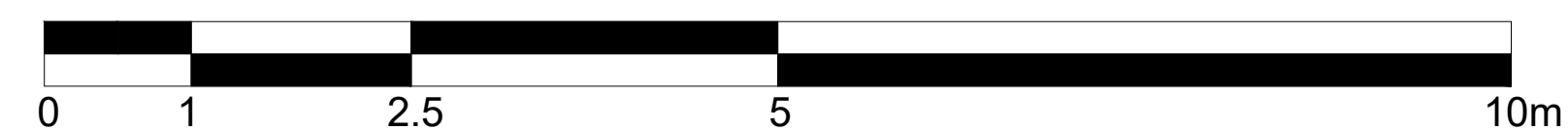


ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render -grey
Basecourse	Grey Fyestone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC, Doors: various colours principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc



Proposed Ground Floor Plan
1:50

SCALE IN METRES 1:50








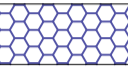


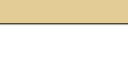






C	27.07.22	Dining Area window amended.	OF	DH
B	24.07.22	Window added in Dining Area	OF	DH
A	19.12.22	Amended as per client's comments	OF	DH
Rev.	Date	Details	Drawn	Checked

Issued for:	
PLANNING	
Project/Client:	Project No:
WhiteHills South, AIness	THE22-0010
Pat Munro Homes	Drawing No:
	A2-EA-01
	Revision:
	C
Drawing:	Scale:
GA Plans & Elevations	as shown @ A1
House type Eathie	Drawn by:
(Semi-detached)	OF
	Date:
	11/22
	Checked by:
	DH
	Date:
	11/22



24 North Silver Street, Aberdeen, AB10 1RL Telephone: 01224 586 277
email: info@the-ep.co.uk
web site: www.the-ep.co.uk

BOUNDARIES AND SURFACES

-  LOW LEVEL HEDGING @ 900MM
-  1800MM SCALLOPED TIMBER FENCE; FYFESTONE PILLARS WITH CONCRETE CAPPING STONE
-  LOW LEVEL RENDERED WALL @ 1200MM WITH CONCRETE CAPPING STONE
-  TIMBER FENCE @ 1800MM
-  RETAINING WALL WITH MIN. 1.1M TIMBER FENCE IN ON TOP
-  ROADS - CHIP TARMAC
-  ROADS (RAISED TABLES) - LOCKBLOCK
-  DRIVEWAYS - POROUS TARMAC
-  DRIVEWAYS / PARKING SPACES - COLOUR CHIP TARMAC
-  MAIN FOOTPATHS ALONG ROADS, COMMUNAL BINS PICK UP POINTS - TARMAC
-  WHINDUST FOOTPATHS
-  SUDS ACCESS TRACK - GRASSCRETE
-  PLAY AREA - BARK WITH TACTILE PAVING AROUND APPARATUS
-  2M WIDE SERVICE STRIP
-  500MM ROAD OVERRUN AREA



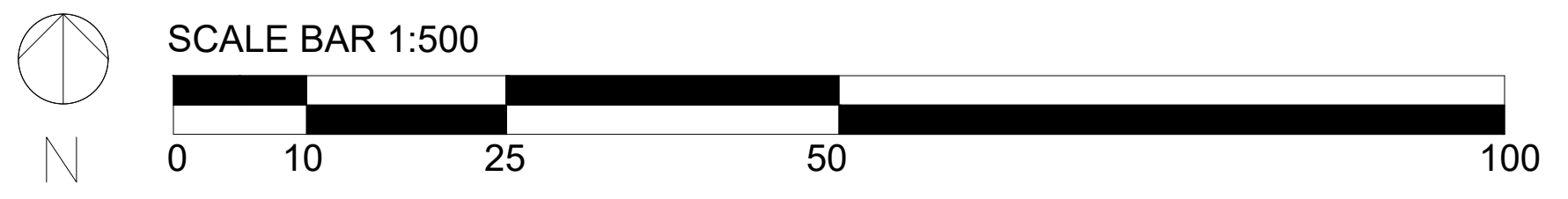
F	09/08/2023	Updated in accordance with clients comments	LG	DH
E	03/08/2023	Updated in accordance with clients comments	LG	DH
D	03/07/2023	Updated in accordance with clients comments	OF	DH
C	29/05/2023	Updated in accordance with planning comments	OF	DH
B	17/05/2023	Updated in accordance with planning comments	OF	DH
A	04/01/2023	Updated in accordance with clients comments	OF	DH
Rev.	Date:	Details:	Drawn:	Checked:

Issued for: **PLANNING**

Project/Client: WhiteHills South, Alness
 Pat Munro Homes

Project No: THE22-0010
 Drawing No: A1-00-04
 Revision: F

Drawing: Boundaries and Surfaces Layout
 Scale: 1:500 @ A1
 Drawn by: OF
 Date: 12/22
 Checked by: DH
 Date: 12/22





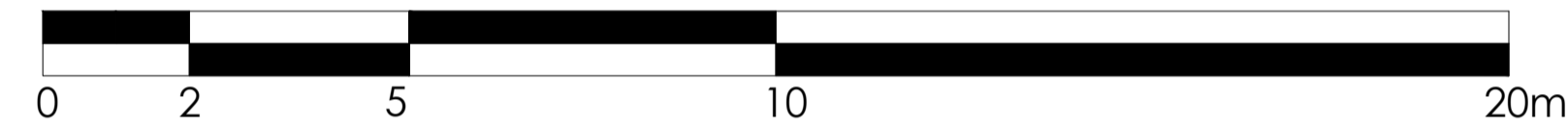
Proposed Front Elevation
1:100

Proposed Side Elevation
1:100

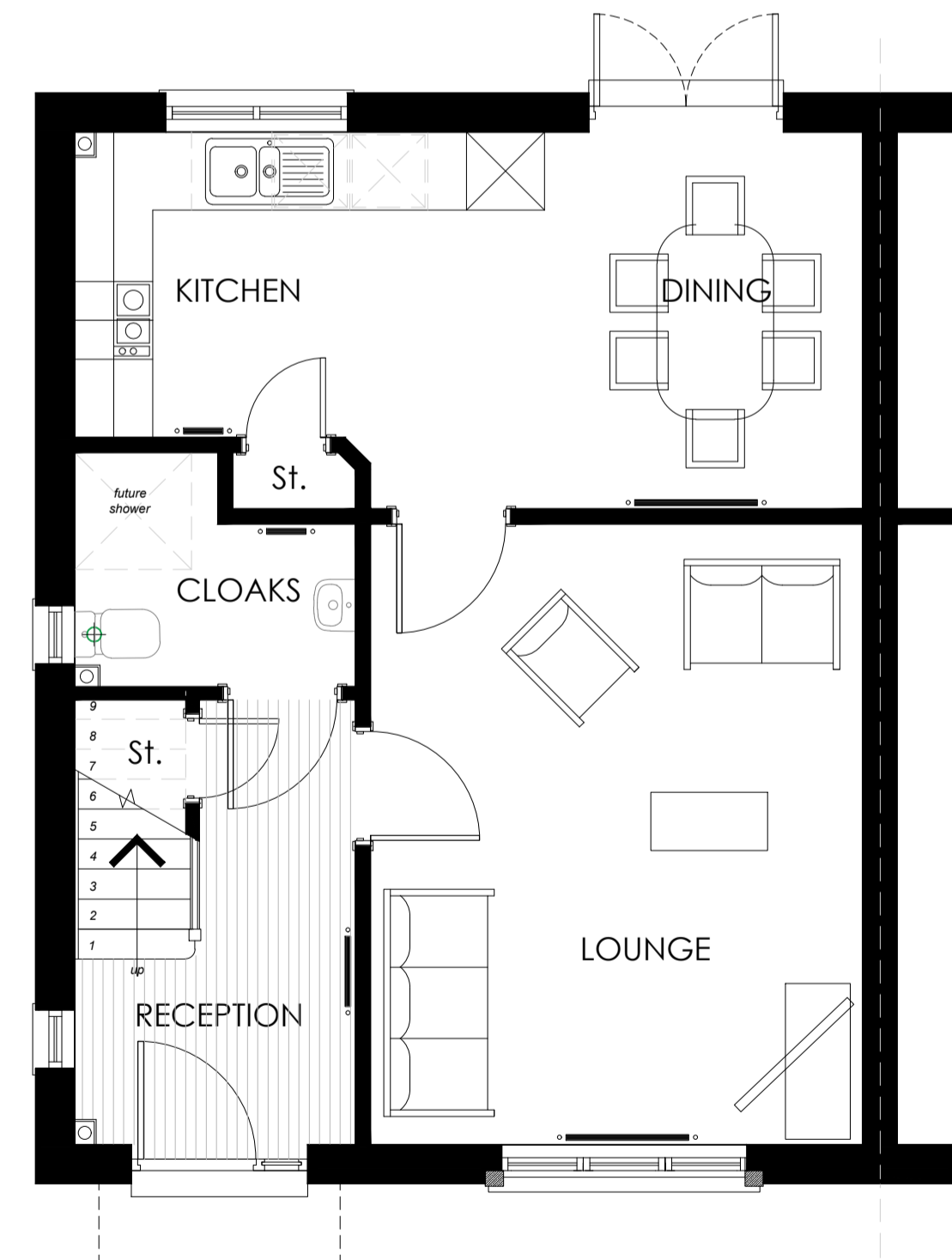
Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

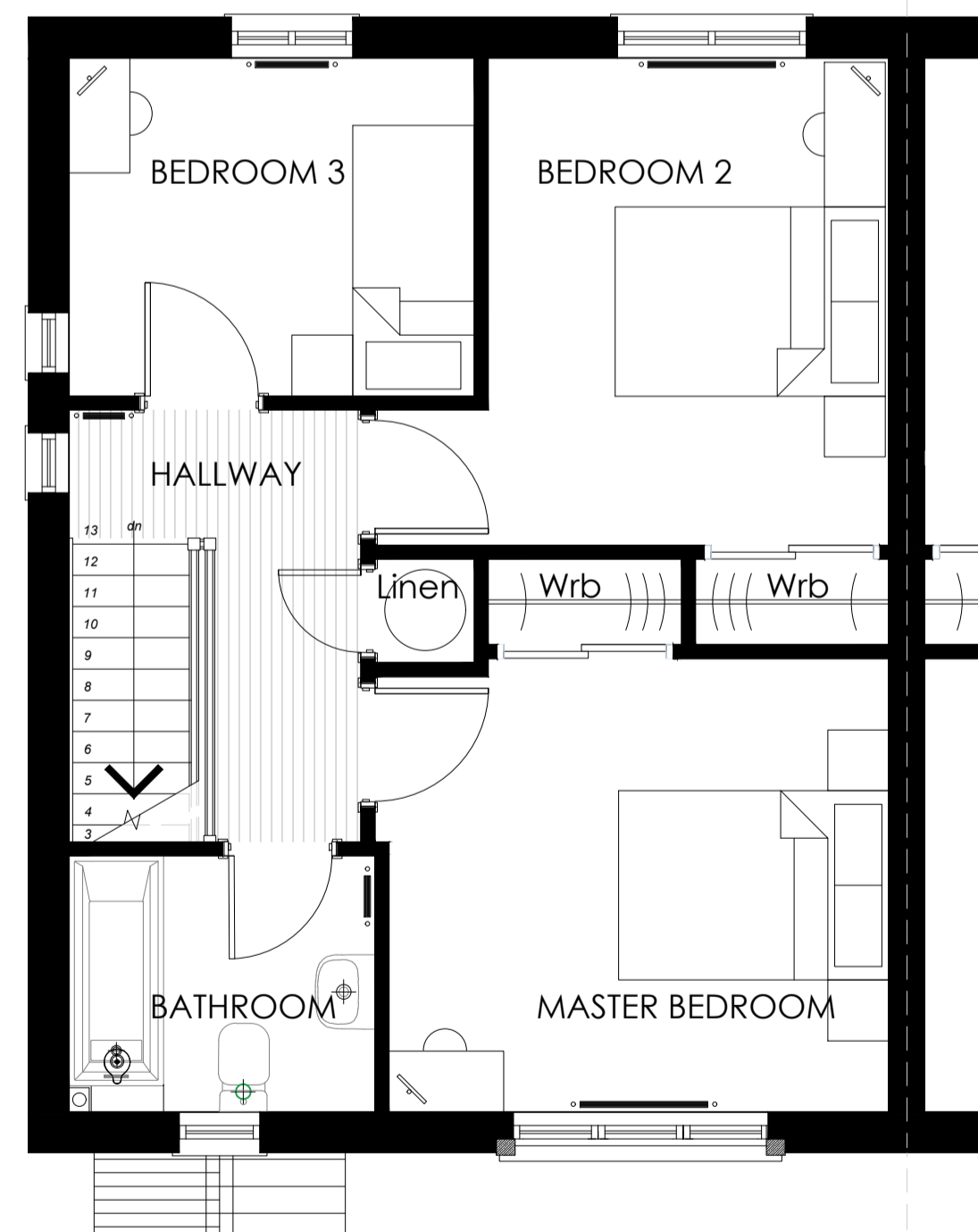
SCALE IN METRES 1:100



ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render -grey
Basecourse	Grey Flystone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC, Doors: various colours principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc

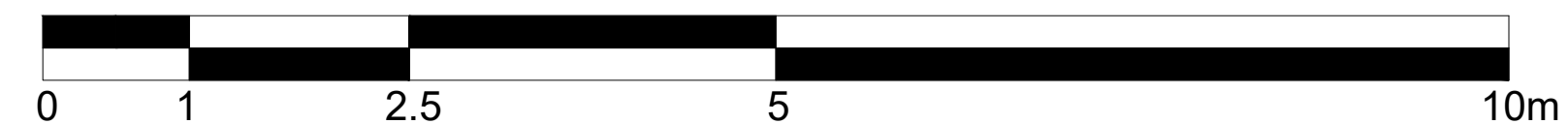


Proposed Ground Floor Plan
1:50



Proposed First Floor Plan
1:50

SCALE IN METRES 1:50



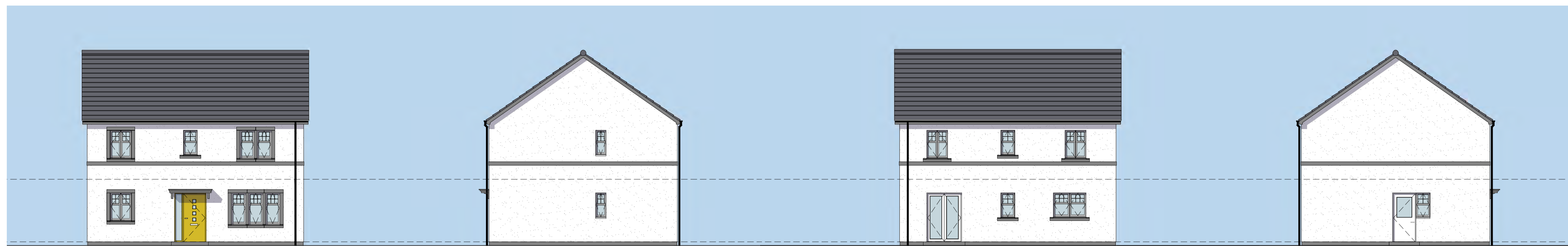
C	28.06.23	Amended as per client's comments	OF	DH
B	26.06.23	Amended as per client's comments	OF	DH
A	19.12.22	Amended as per client's comments	OF	DH
Rev.	Date	Details	Drawn	Checked

Issued for: **PLANNING**

Project/Client:	Project No:
WhiteHills South, Alness	THE22-0010
Pat Munro Homes	Drawing No:
	A2-CA-01
	Revision:
	C
Drawing:	Scale:
GA Plans & Elevations	as shown @ A1
HouseType Camach	Drawn by: OF
	Date: 11/22
	Checked by: DH
	Date: 11/22



24 North Silver Street, Aberdeen, AB10 1RL Telephone: 01224 586 277
email: info@the-ep.co.uk
web site: www.the-ep.co.uk



Proposed Front Elevation
1:100

Proposed Side Elevation
1:100

Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

SCALE IN METRES 1:100

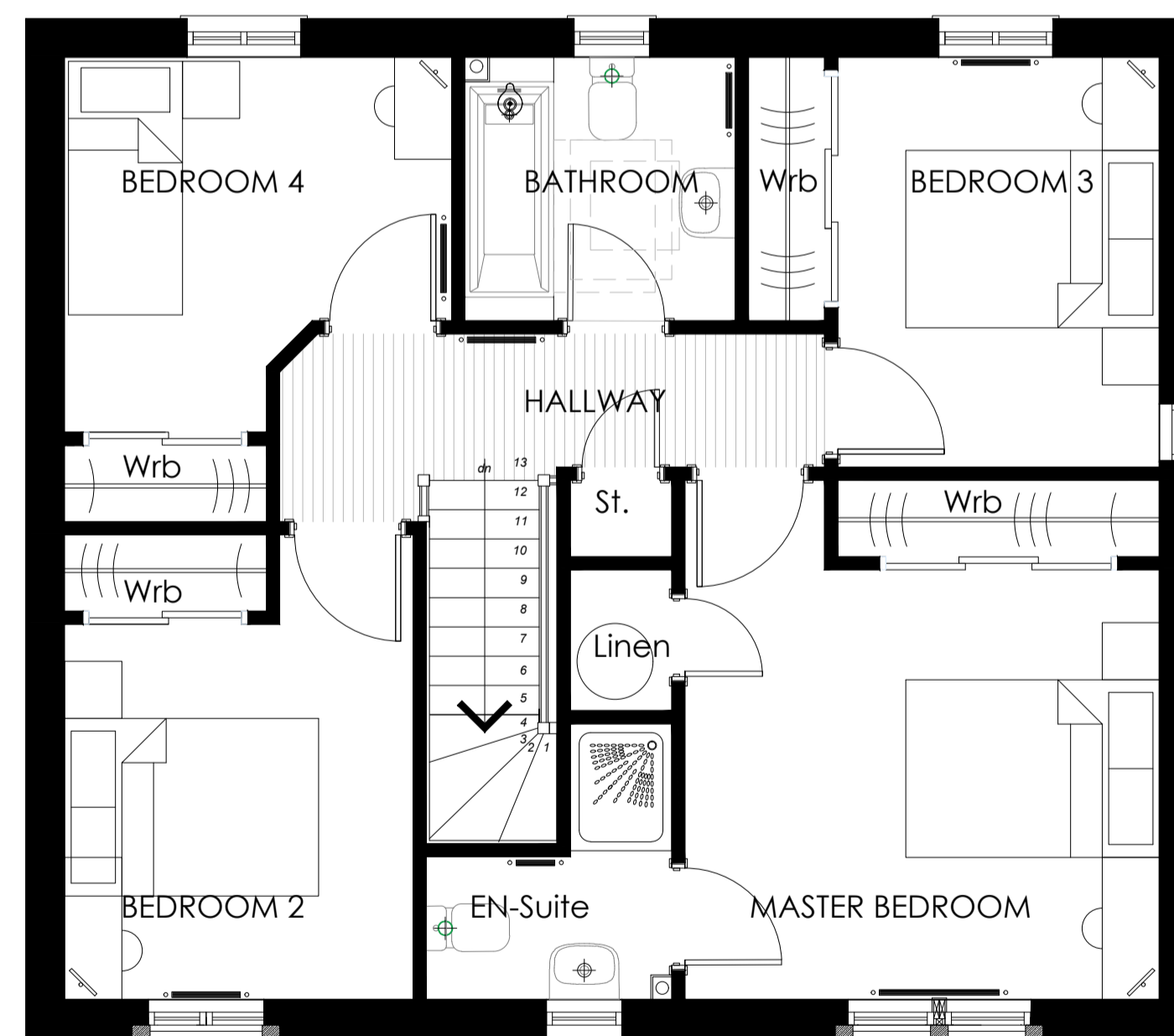
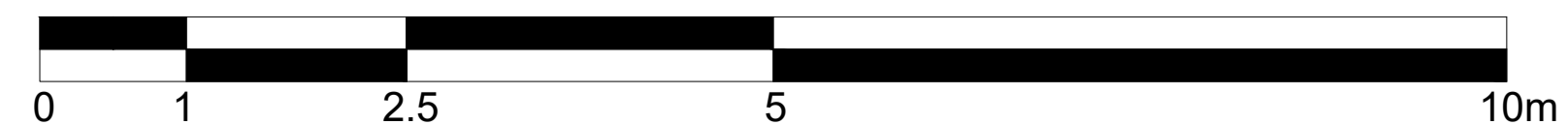


ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render -grey
Basecourse	Grey Fyestone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC, Doors: various colours principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc



Proposed Ground Floor Plan
1:50

SCALE IN METRES 1:50



Proposed First Floor Plan
1:50

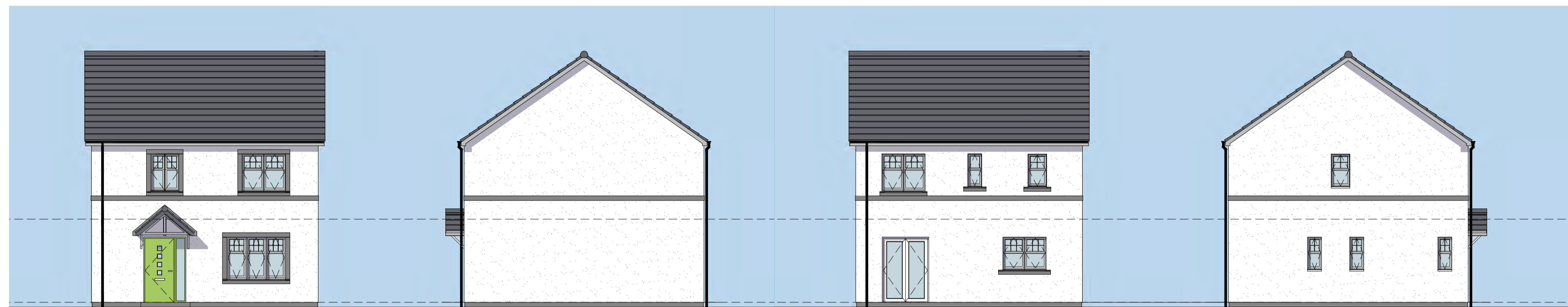


C	28.06.23	Amended as per client's comments	OF	DH
B	26.06.23	Amended as per client's comments	OF	DH
A	19.12.22	Amended as per client's comments	OF	DH
Rev.	Date	Details	Drawn	Checked

PLANNING	
Project/Client:	Project No:
WhiteHills South, Alness	THE22-0010
Pat Munro Homes	Drawing No:
	A2-CR-01
	Revision:
	C
Drawing:	Scale:
GA Plans & Elevations	as shown @ A1
HouseType Cramartly	Drawn by: Date:
	OF 11/22
	Checked by: Date:
	DH 11/22



24 North Silver Street, Aberdeen, AB10 1RL Telephone: 01224 586 277
 email: info@the-ap.co.uk
 web site: www.the-ap.co.uk



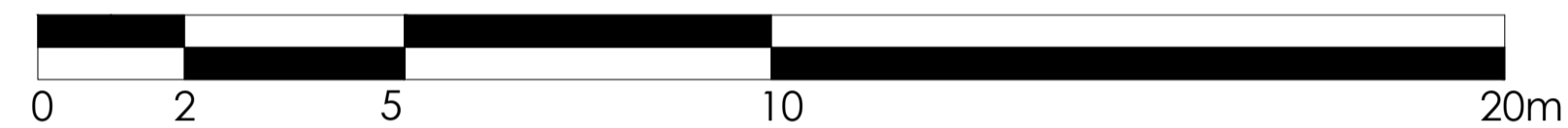
Proposed Front Elevation
1:100

Proposed Side Elevation
1:100

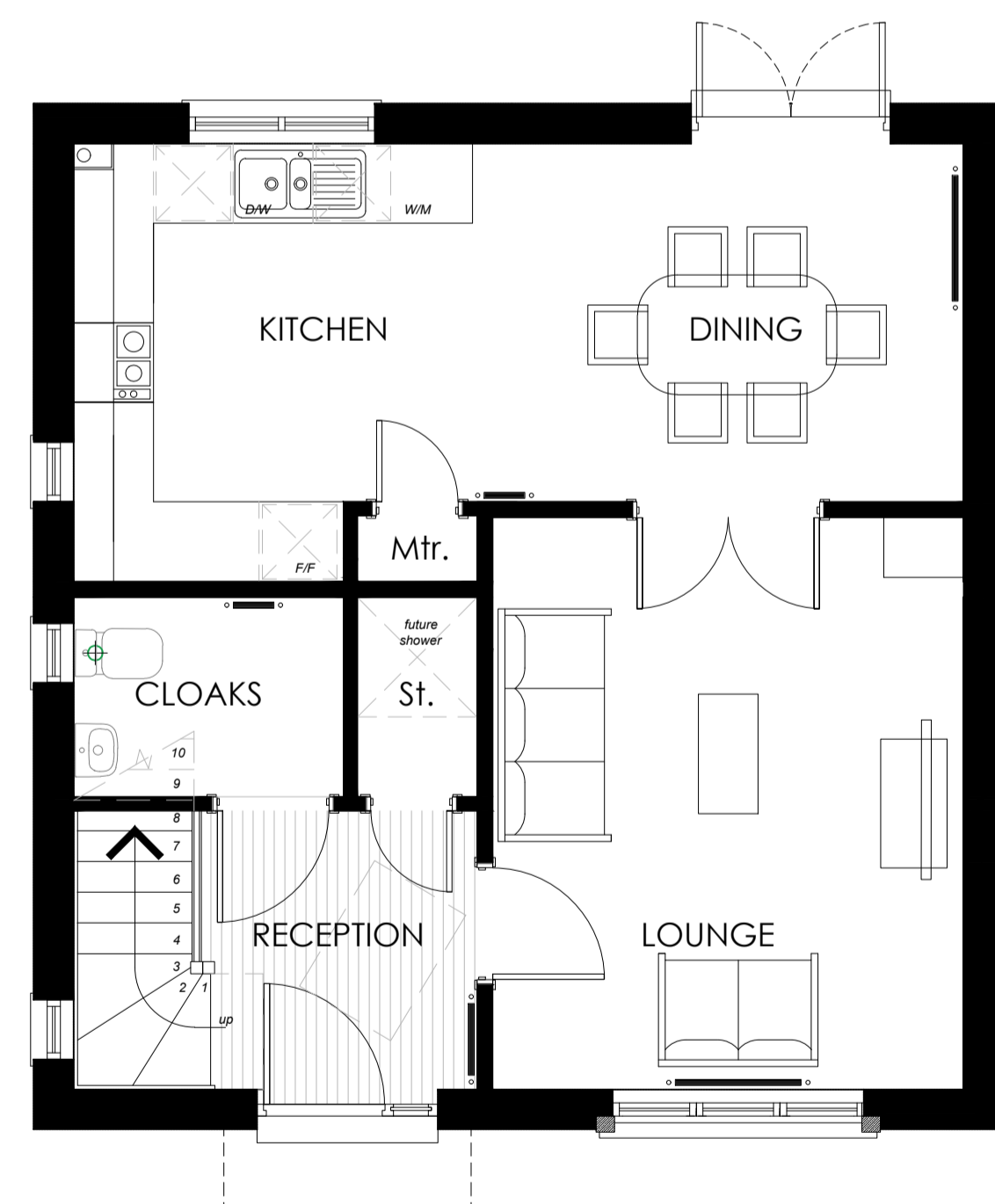
Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

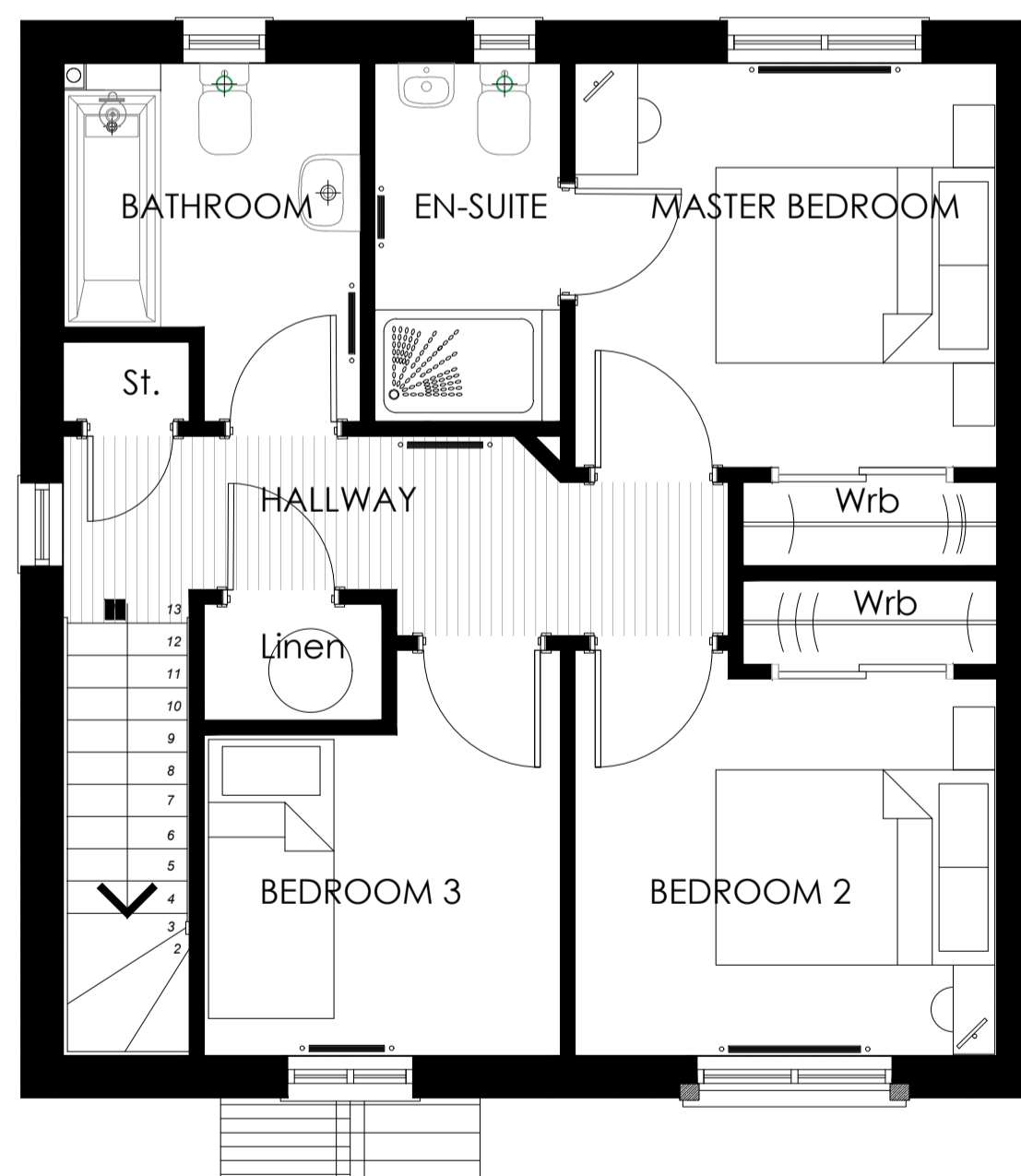
SCALE IN METRES 1:100



ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render - grey
Basecourse	Grey Fyestone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC. Doors: various colours principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc



Proposed Ground Floor Plan
1:50



Proposed First Floor Plan
1:50

SCALE IN METRES 1:50



Rev. Date. Details. Drawn. Checked.

Issued for: **PLANNING**

Project/Client: WhiteHills South, Alness
Pat Munro Homes

Project No: THE22-0010
Drawing No: A2-ET2-02
Revision:

Drawing: GA Plans & Elevations HouseType Etive 2 (Detached)

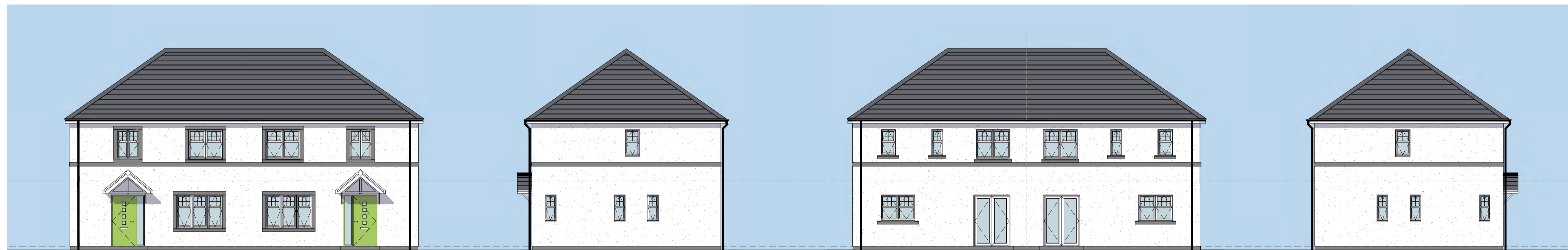
Scale: as shown @ A1

Drawn by: OF
Date: 06/23

Checked by: DH
Date: 06/23



24 North Silver Street, Aberdeen, AB10 1RL Telephone: 01224 586 277
email: info@the-ap.co.uk
web site: www.the-ap.co.uk



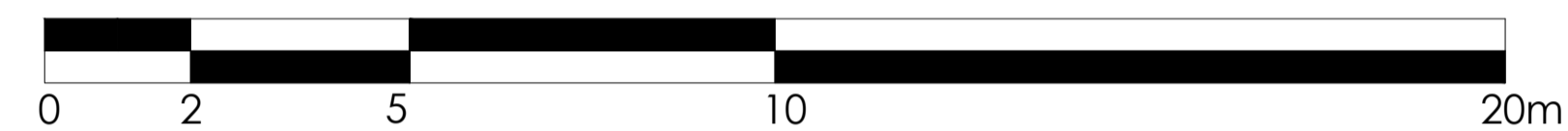
Proposed Front Elevation
1:100

Proposed Side Elevation
1:100

Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

SCALE IN METRES 1:100



ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render - grey
Basecourse	Grey Fyestone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC, Doors: various colours principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc

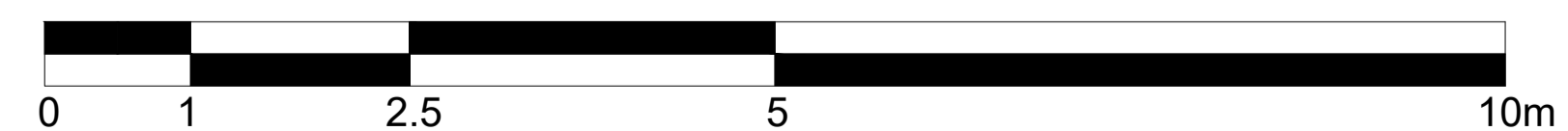


Proposed Ground Floor Plan
1:50



Proposed First Floor Plan
1:50

SCALE IN METRES 1:50



Rev.	Date	Details	Drawn	Checked
Issued for:				
PLANNING				
Project/Client:		Project No:		
WhiteHills South, Alness		THE22-0010		
Pat Munro Homes		Drawing No:		
		A2-ET2-01		
		Revision:		
Drawing:		Scale:		
GA Plans & Elevations		as shown @ A1		
HouseType Elive 2		Drawn by:		
(Semi-detached)		OF		
		Date:		
		06/23		
		Checked by:		
		DH		
		Date:		
		06/23		



24 North Silver Street, Aberdeen, AB10 1RL Telephone: 01224 586 277
 email: info@the-ep.co.uk
 web site: www.the-ep.co.uk



Proposed Front Elevation
1:100

Proposed Side Elevation
1:100

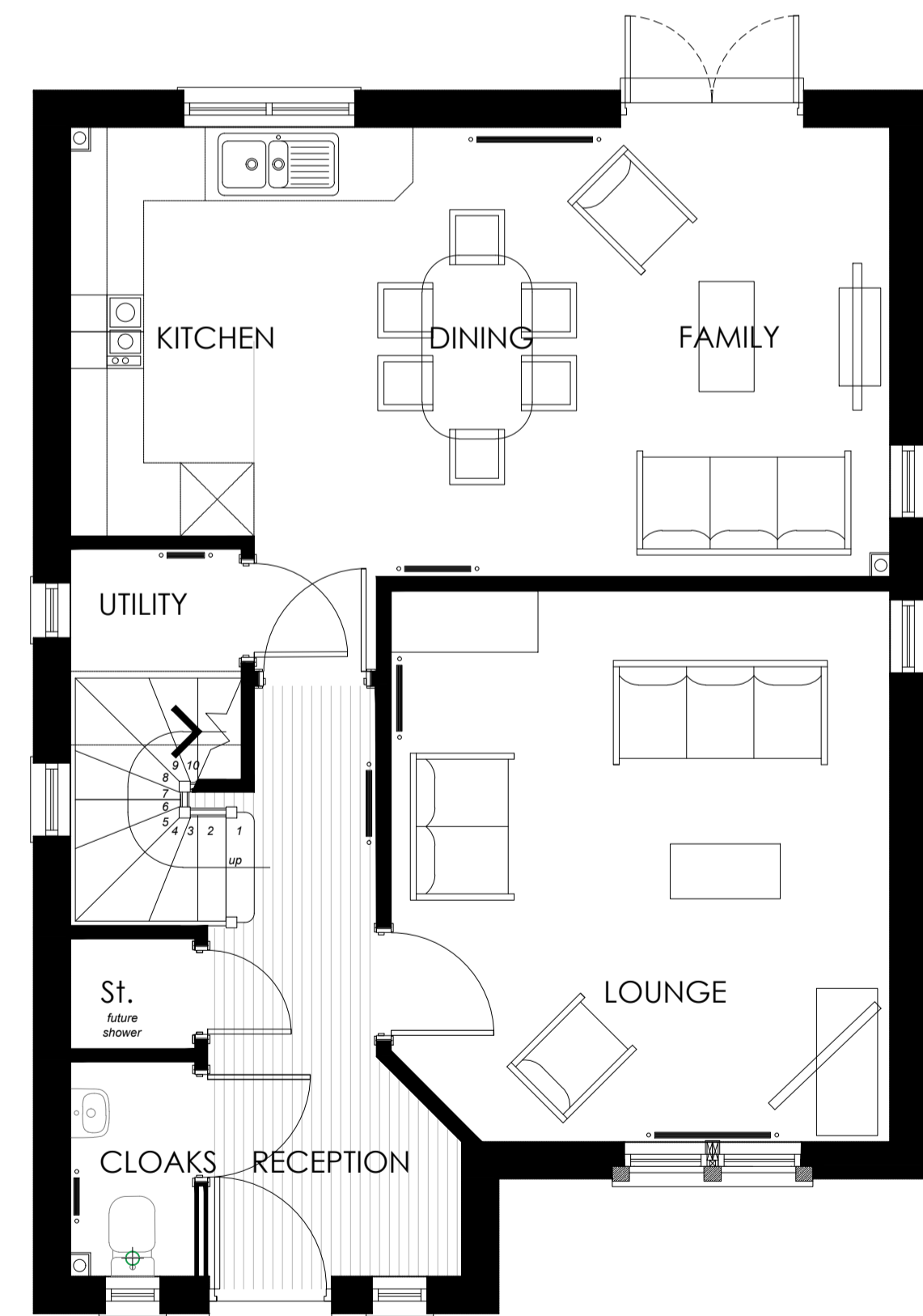
Proposed Rear Elevation
1:100

Proposed Side Elevation
1:100

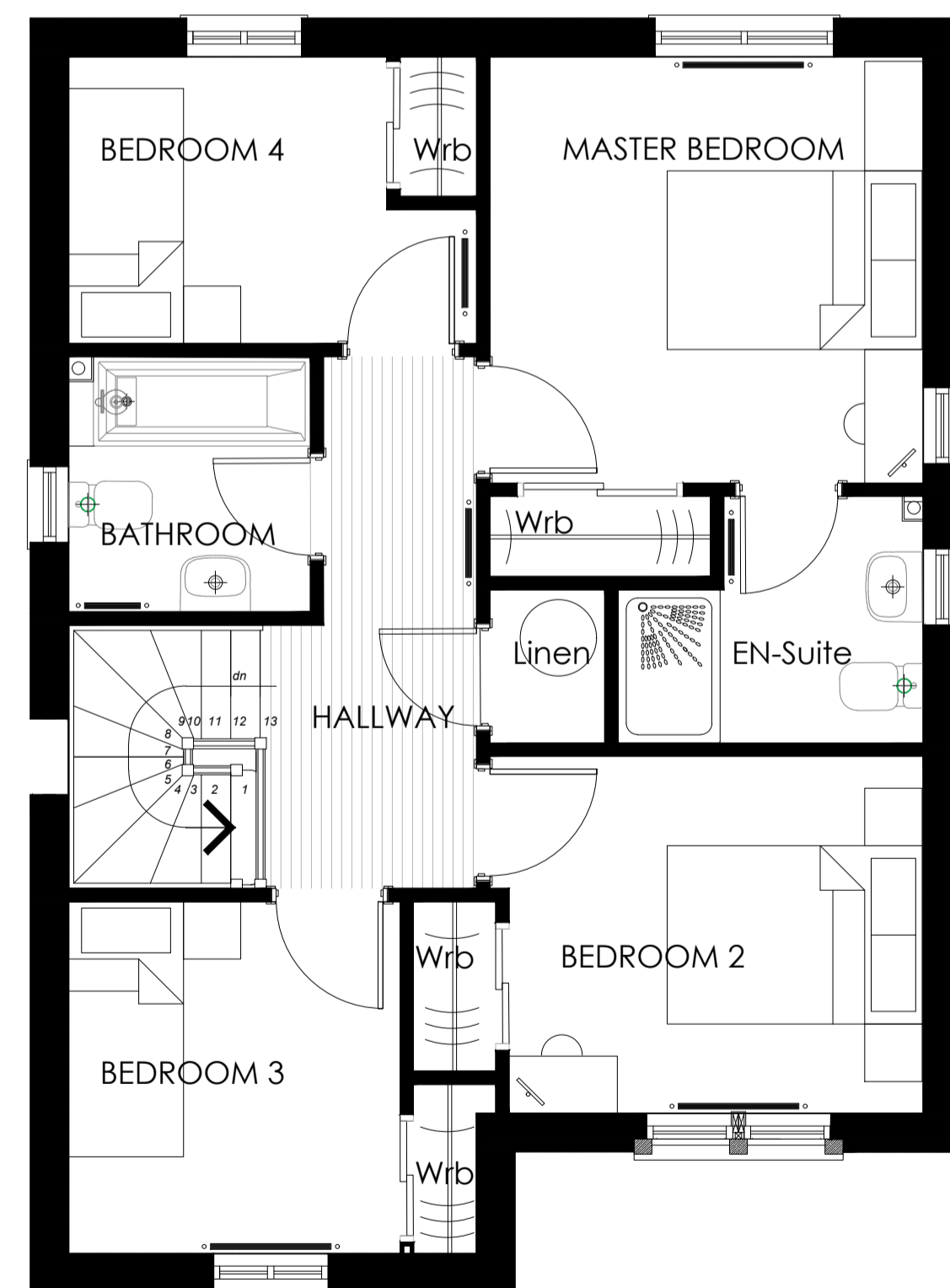
SCALE IN METRES 1:100



ELEMENT	PROPOSED CONSTRUCTION MATERIAL
External Walls	White smooth render
Render Bands	Smooth cement render - grey
Basecourse	Grey Fyestone
Roof	Concrete roof tiles
Windows & Doors	Windows: White uPVC. Doors: various colours / principal composite / white other composite / white double uPVC
Rainwater Goods	Black Upvc

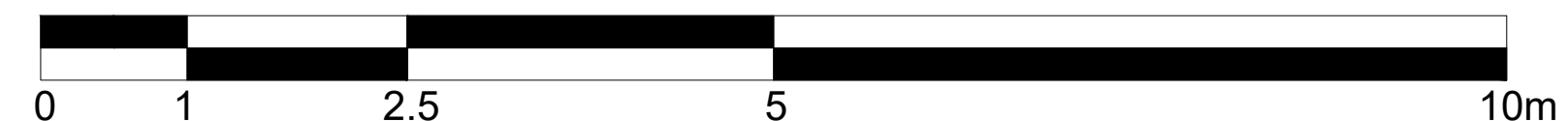


Proposed Ground Floor Plan
1:50



Proposed First Floor Plan
1:50

SCALE IN METRES 1:50

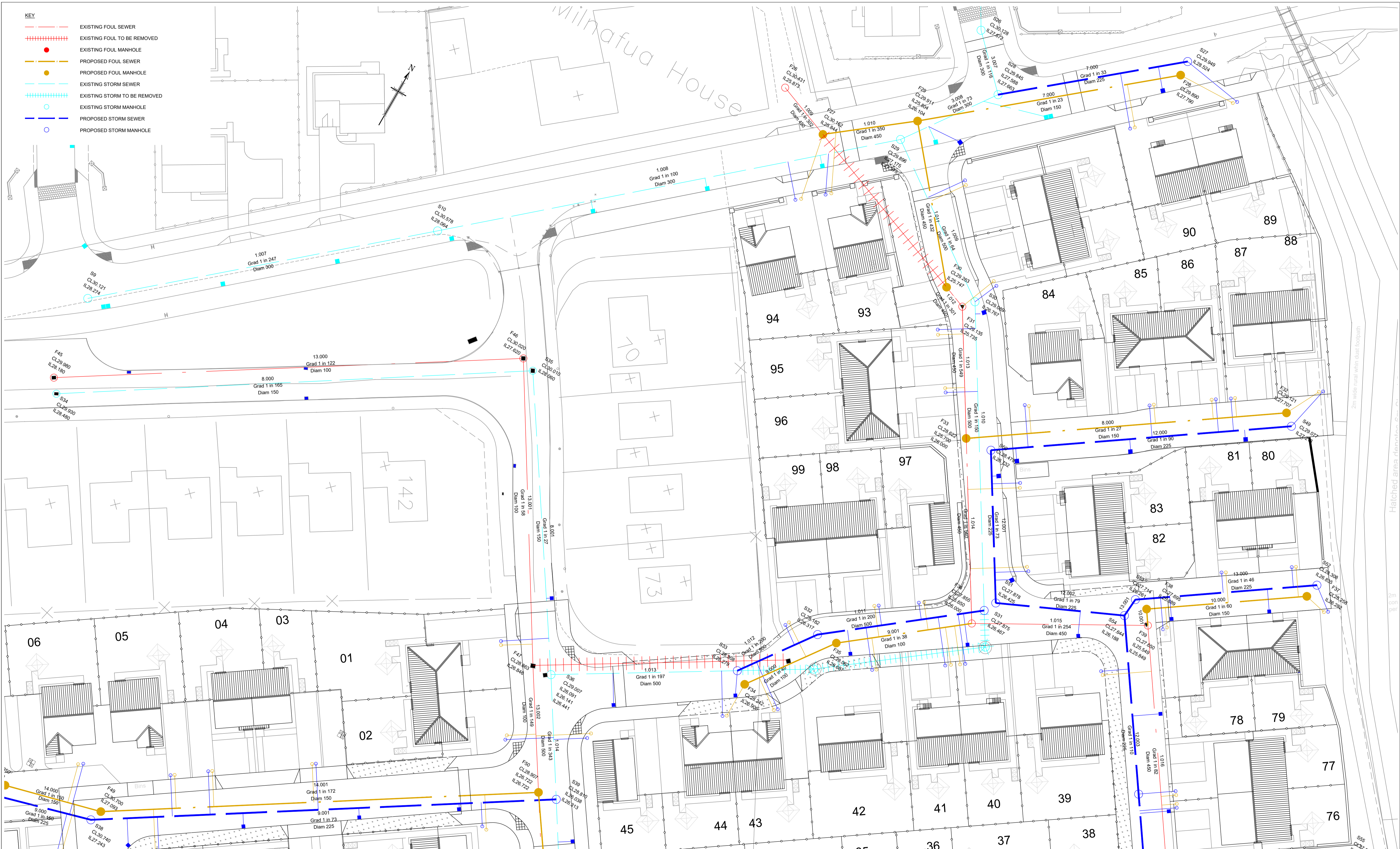


C	28.06.23	Amended as per client's comments	OF	DH
B	26.06.23	Amended as per client's comments	OF	DH
A	19.12.22	Amended as per client's comments	OF	DH
Rev.	Date	Details	Drawn	Checked

Issued for:	
PLANNING	
Project/Client:	Project No:
WhiteHills South, AIness	THE22-0010
Pat Munro Homes	Drawing No:
	A2-GI-02
	Revision:
	C
Drawing:	Scale:
GA Plans & Elevations	as shown @ A1
HouseType Gillean	Drawn by:
(Detached)	OF
	Date:
	11/22
	Checked by:
	DH
	Date:
	11/22



24 North Silver Street, Aberdeen, AB10 1RL Telephone: 01224 586 277
email: info@the-ap.co.uk
web site: www.the-ap.co.uk



- KEY**
- EXISTING FOUL SEWER
 - EXISTING FOUL TO BE REMOVED
 - EXISTING FOUL MANHOLE
 - PROPOSED FOUL MANHOLE
 - EXISTING STORM SEWER
 - EXISTING STORM TO BE REMOVED
 - EXISTING STORM MANHOLE
 - PROPOSED STORM MANHOLE

- Notes**
1. ALL FINISHED FLOOR LEVELS ARE MINIMUM LEVEL TO ENSURE CONNECTION TO PROPOSED SEWERS.
 2. LEVELS ARE RELATIVE TO OS DATUM.
 3. FOR DRAINAGE LONG SECTIONS REFER TO DRAWING 3798:106 & 3798:107.
 4. ALL DRAINAGE TO BE CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND.
 5. ALL EXISTING DRAINAGE LINES AND LEVELS TO BE CONFIRMED ON SITE AND ANY DISCREPANCY REPORTED TO HGA.
 6. ALL PIPEWORK 150mm Ø TO 450mm Ø TO BE STRUCTURED WALL uPVC TO WIS 4-35-01 UNLESS NOTED OTHERWISE.
 7. ALL PIPEWORK 525mm Ø AND ABOVE TO BE CONCRETE TO BS EN 1916 & BS 5911 UNLESS NOTED OTHERWISE.
 8. BEDDING TO PIPEWORK TO BE IN ACCORDANCE WITH WIS 4-08-02.
 9. TYPE 'A' AND TYPE 'B' MANHOLES TO BE PRE CAST CONCRETE WITH 675x675 DI COVERS TO BS EN 124 CLASS D400. ALL IN ACCORDANCE WITH SCOTTISH WATER STANDARDS DETAILS. FOR MANHOLES TYPES SEE LONG SECTION DRAWINGS.
 10. FOR ALL OTHER MANHOLE TYPES REFER TO SPECIFIC NOTES ON LONG SECTIONS.
 11. DISCONNECTING CHAMBERS TO BE 450mm DIA PP WITH PROPRIETARY COVER AND FRAME. WHERE DEPTH EXCEEDS 1.2m, DIAMETER OF OPENING TO BE REDUCED TO 350mm DIA WITH SCREW DOWN COVER.
 12. ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE AS BUILT SURVEY TO INCLUDE ALL MANHOLE LOCATIONS, COVER AND INVERT LEVELS AND PIPE SIZES.
 13. ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE CCTV SURVEY AND REPORT IN A FORMAT SUITABLE FOR SUBMISSION TO SCOTTISH WATER.
 14. ALL WORKS TO BE INSPECTED AND APPROVED BY SCOTTISH WATER.

Revisions	Date	Drn.

Revisions	Date	Drn.
A DRAINAGE LEVELS ADDED	23.02.23	IM
B LAYOUT UPDATED	18.05.23	IM
C LAYOUT UPDATED	15.06.23	IM
D LAYOUT UPDATED	17.07.23	IM
E SW COMMENTS INCORPORATED	04.09.23	IM
F ISSUED FOR APPROVAL	22.09.23	IM
G LAYOUT & LEVELS REVISED	10.11.23	IM

PAT MUNRO (ALNESS) Ltd

**APPROVAL
DRAWING**

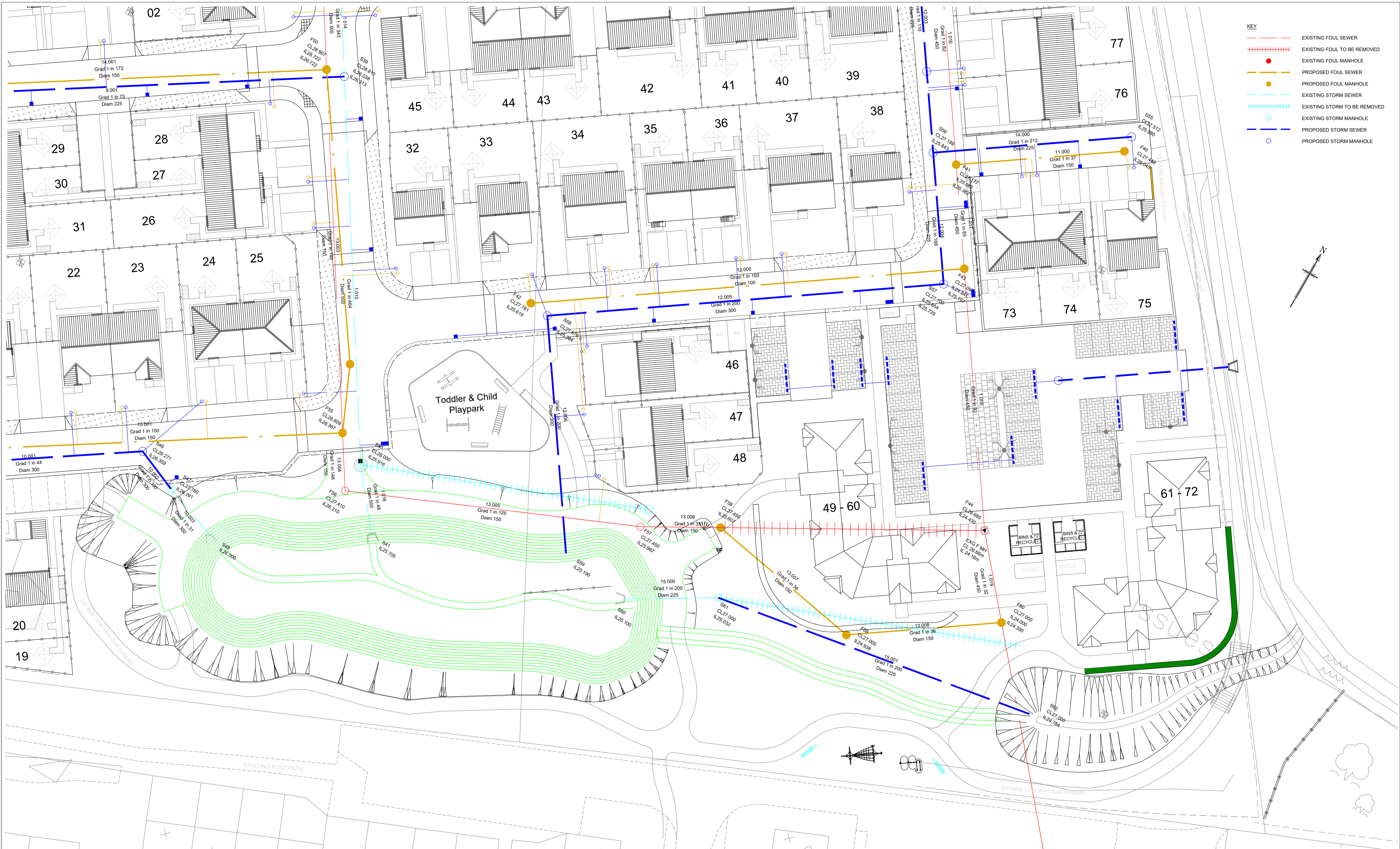
consulting engineers

hga

HGA(UK) Ltd
Darach House
Stoneyfield Business Park
Inverness IV2 7PA
T: 01463 221717
F: 01463 224275
email: hga@hgapgroup.co.uk

WHITEHILLS, ALNESS
SOUTH

DRAINAGE LAYOUT SHEET 1 OF 3			
Drawn: IM	Ck'd:	Scale: 1:250	Revision: G
Date: May 2022	Date:	DO NOT SCALE	
Drawing No. 3798:105/01	Revision		



KEY

	EXISTING FOUL SEWER
	EXISTING FOUL TO BE REMOVED
	EXISTING FOUL MANHOLE
	PROPOSED FOUL SEWER
	PROPOSED FOUL MANHOLE
	EXISTING STORM SEWER
	EXISTING STORM TO BE REMOVED
	EXISTING STORM MANHOLE
	PROPOSED STORM SEWER
	PROPOSED STORM MANHOLE

Notes

- ALL FINISHED FLOOR LEVELS ARE MINIMUM LEVEL TO ENSURE CONNECTION TO PROPOSED SEWERS.
- LEVELS ARE RELATIVE TO OS DATUM.
- FOR DRAINAGE LONG SECTIONS REFER TO DRAWING 3798-106 & 3798-107.
- ALL DRAINAGE TO BE CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND.
- ALL EXISTING DRAINAGE LINES AND LEVELS TO BE CONFIRMED ON SITE AND ANY DISCREPANCY REPORTED TO HGA.
- ALL PIPEWORK 150mm Ø TO 450mm Ø TO BE STRUCTURED WALL uPVC TO WIS 4-35-01 UNLESS NOTED OTHERWISE.
- ALL PIPEWORK 525mm Ø AND ABOVE TO BE CONCRETE TO BS EN 1916 & BS 5911 UNLESS NOTED OTHERWISE.
- BEDDING TO PIPEWORK TO BE IN ACCORDANCE WITH WIS 4-08-02.
- TYPE 'A' AND TYPE 'B' MANHOLES TO BE PRE CAST CONCRETE WITH 675x675 DI COVERS TO BS EN 124 CLASS D400. ALL IN ACCORDANCE WITH SCOTTISH WATER STANDARDS DETAILS. FOR MANHOLES TYPES SEE LONG SECTION DRAWINGS.
- FOR ALL OTHER MANHOLE TYPES REFER TO SPECIFIC NOTES ON LONG SECTIONS.
- DISCONNECTING CHAMBERS TO BE 450mm DIA PP WITH PROPRIETARY COVER AND FRAME. WHERE DEPTH EXCEEDS 1.2m, DIAMETER OF OPENING TO BE REDUCED TO 350mm DIA WITH SCREW DOWN COVER.
- ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE AS BUILT SURVEY TO INCLUDE ALL MANHOLE LOCATIONS, COVER AND INVERT LEVELS AND PIPE SIZES.
- ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE CCTV SURVEY AND REPORT IN A FORMAT SUITABLE FOR SUBMISSION TO SCOTTISH WATER.
- ALL WORKS TO BE INSPECTED AND APPROVED BY SCOTTISH WATER.

Revisions	Date	Drn.	Revisions	Date	Drn.
			A DRAINAGE LEVELS ADDED	23.02.23	IM
			B LAYOUT UPDATED	18.05.23	IM
			C LAYOUT UPDATED	15.06.23	IM
			D LAYOUT UPDATED	17.07.23	IM
			E SW COMMENTS INCORPORATED	04.09.23	IM
			F ISSUED FOR APPROVAL	22.09.23	IM
			G LAYOUT & LEVELS REVISED	10.11.23	IM

PAT MUNRO (ALNESS) Ltd

APPROVAL DRAWING

hga consulting engineers

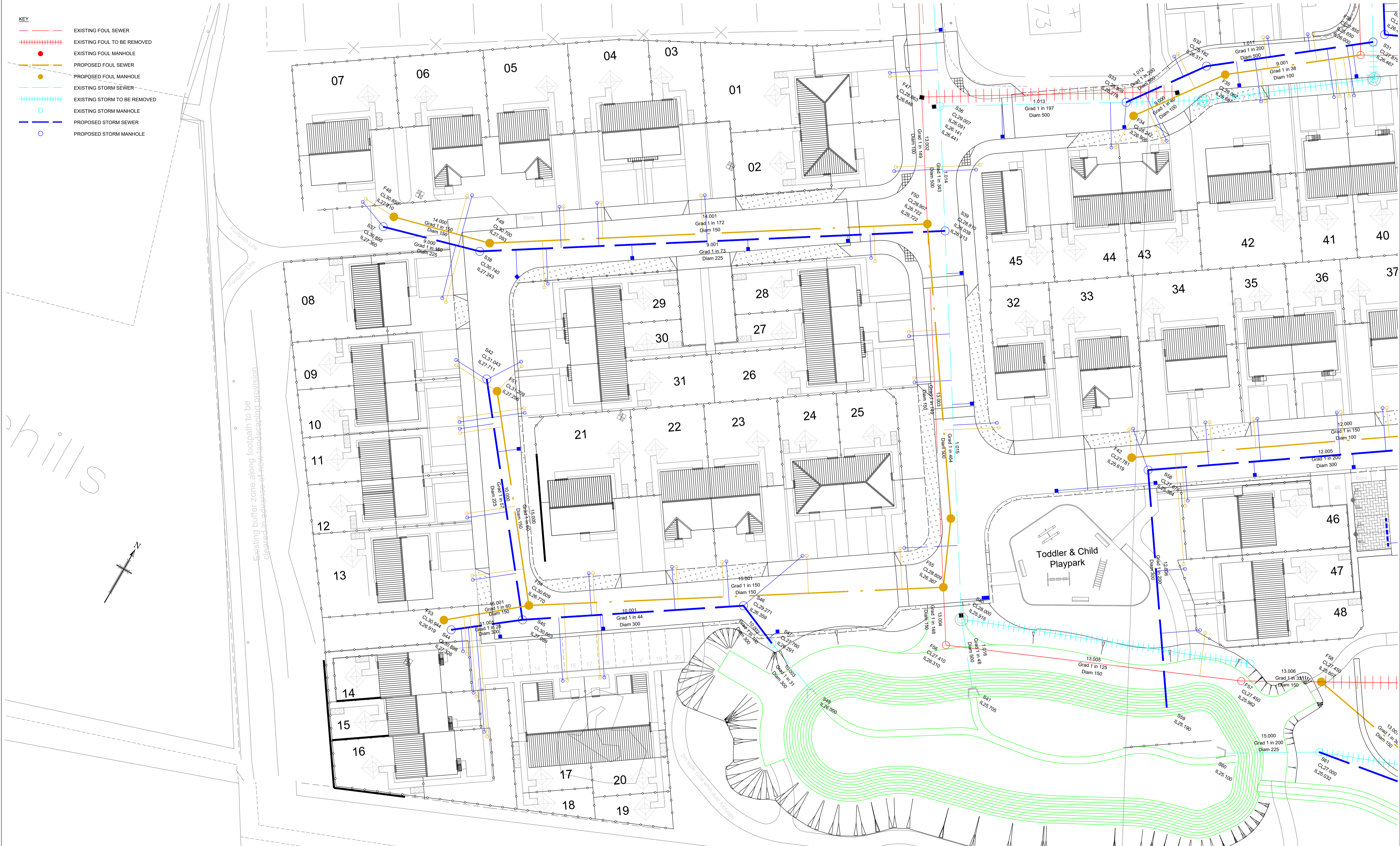
HGA(UK) Ltd
 Darach House
 Stoneyfield Business Park
 Inverness IV2 7PA
 T: 01463 221717
 F: 01463 224275
 email: hga@hga.co.uk

WHITEHILLS, ALNESS SOUTH

DRAINAGE LAYOUT SHEET 2 OF 3			
Drawn: IM	Ck'd	Scale: 1:250	
Date: May 2022	Date:	DO NOT SCALE	
Drawing No. 3798:105/02	Revision	G	

- KEY**
- EXISTING FOUL SEWER
 - ++++ EXISTING FOUL TO BE REMOVED
 - EXISTING FOUL MANHOLE
 - PROPOSED FOUL SEWER
 - PROPOSED FOUL MANHOLE
 - EXISTING STORM SEWER
 - ++++ EXISTING STORM TO BE REMOVED
 - EXISTING STORM MANHOLE
 - PROPOSED STORM SEWER
 - PROPOSED STORM MANHOLE

hills



- Notes**
1. ALL FINISHED FLOOR LEVELS ARE MINIMUM LEVEL TO ENSURE CONNECTION TO PROPOSED SEWERS.
 2. LEVELS ARE RELATIVE TO OS DATUM.
 3. FOR DRAINAGE LONG SECTIONS REFER TO DRAWING 3798-106 & 3798-107.
 4. ALL DRAINAGE TO BE CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND.
 5. ALL EXISTING DRAINAGE LINES AND LEVELS TO BE CONFIRMED ON SITE AND ANY DISCREPANCY REPORTED TO HGA.
 6. ALL PIPEWORK 150mm Ø TO 450mm Ø TO BE STRUCTURED WALL uPVC TO WIS 4-35-01 UNLESS NOTED OTHERWISE.
 7. ALL PIPEWORK 525mm Ø AND ABOVE TO BE CONCRETE TO BS EN 1916 & BS 5911 UNLESS NOTED OTHERWISE.
 8. BEDDING TO PIPEWORK TO BE IN ACCORDANCE WITH WIS 4-08-02.
 9. TYPE 'A' AND TYPE 'B' MANHOLES TO BE PRE CAST CONCRETE WITH 675x675 DI COVERS TO BS EN 124 CLASS D400. ALL IN ACCORDANCE WITH SCOTTISH WATER STANDARDS DETAILS. FOR MANHOLES TYPES SEE LONG SECTION DRAWINGS.
 10. FOR ALL OTHER MANHOLE TYPES REFER TO SPECIFIC NOTES ON LONG SECTIONS.
 11. DISCONNECTING CHAMBERS TO BE 450mm DIA RP WITH PROPRIETARY COVER AND FRAME. WHERE DEPTH EXCEEDS 1.2m, DIAMETER OF OPENING TO BE REDUCED TO 350mm DIA WITH SCREW DOWN COVER.
 12. ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE AS BUILT SURVEY TO INCLUDE ALL MANHOLE LOCATIONS, COVER AND INVERT LEVELS AND PIPE SIZES.
 13. ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE CCTV SURVEY AND REPORT IN A FORMAT SUITABLE FOR SUBMISSION TO SCOTTISH WATER.
 14. ALL WORKS TO BE INSPECTED AND APPROVED BY SCOTTISH WATER.

Revisions	Date	Drn.
A DRAINAGE LEVELS ADDED	23.02.23	IM
B LAYOUT UPDATED	18.05.23	IM
C LAYOUT UPDATED	15.06.23	IM
D LAYOUT UPDATED	17.07.23	IM
E SW COMMENTS INCORPORATED	04.09.23	IM
F ISSUED FOR APPROVAL	22.09.23	IM
G LAYOUT & LEVELS REVISED	10.11.12	IM

PAT MUNRO (ALNESS) Ltd

**APPROVAL
DRAWING**

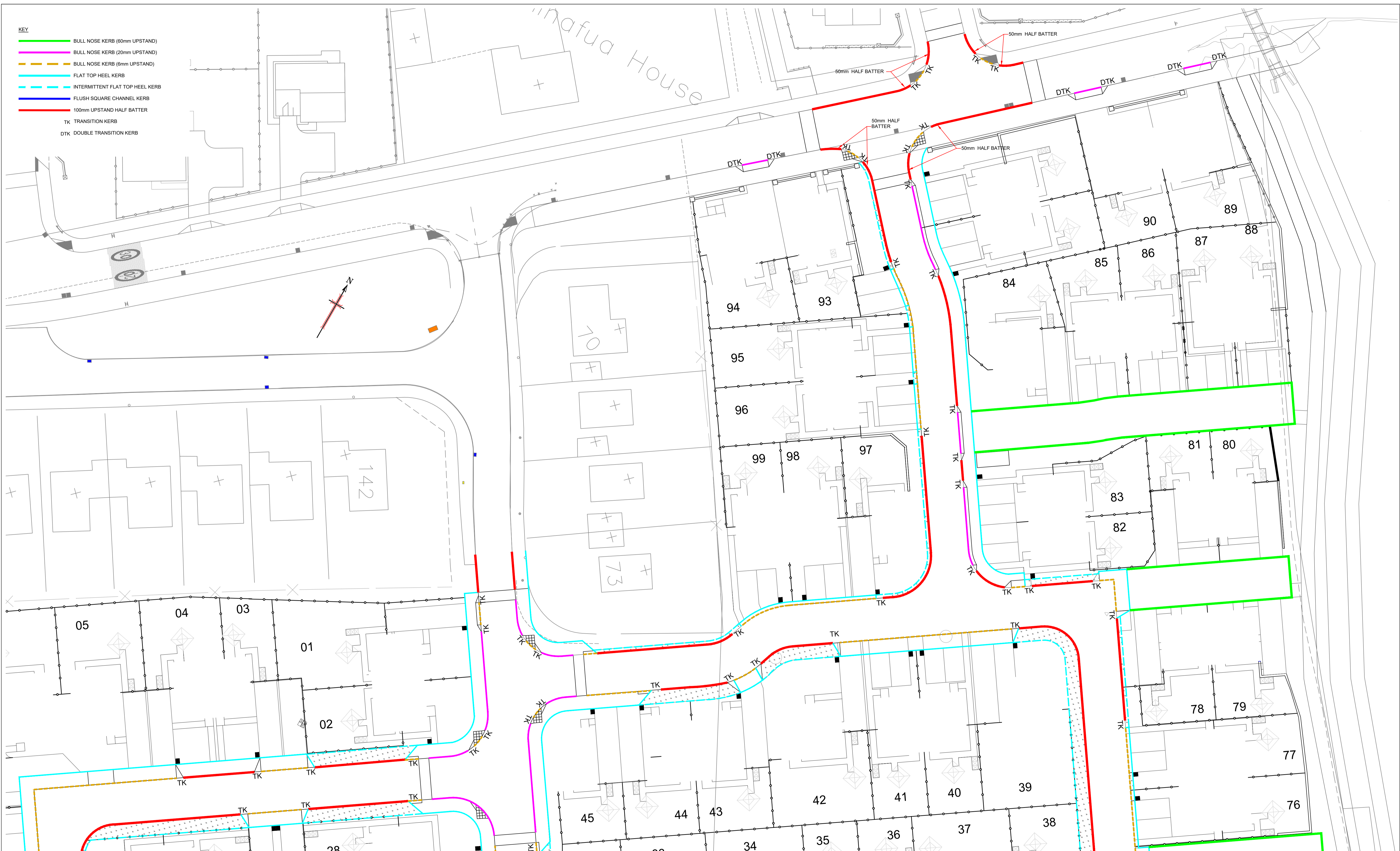
consulting engineers
hga

HGA(UK) Ltd
Dorset House
Stoneyfield Business Park
Inverness IV2 7PA
T: 01463 221717
F: 01463 224275
email: hga@hga.co.uk

**WHITEHILLS, ALNESS
SOUTH**

DRAINAGE LAYOUT SHEET 3 OF 3	
Drawn: IM	Scale: 1:250
Date: May 2022	Date: DO NOT SCALE
Drawing No. 3798:105/03	Revision G

- KEY**
- BULL NOSE KERB (60mm UPSTAND)
 - BULL NOSE KERB (20mm UPSTAND)
 - BULL NOSE KERB (6mm UPSTAND)
 - FLAT TOP HEEL KERB
 - - - INTERMITTENT FLAT TOP HEEL KERB
 - FLUSH SQUARE CHANNEL KERB
 - 100mm UPSTAND HALF BATTER
 - TK TRANSITION KERB
 - DTK DOUBLE TRANSITION KERB



Notes

Revisions	Date	Drn.
B LAYOUT UPDATED	23.02.23	IM
C LAYOUT UPDATED	15.06.23	IM
D LAYOUT REVISED, JUNCTIONS ON ROAD 3 REVISED.	09.08.23	IM
E ISSUED FOR APPROVAL	22.09.23	IM
F LAYOUT & LEVELS REVISED	10.11.23	IM

PAT MUNRO (ALNESS) Ltd

**APPROVAL
DRAWING**

consulting engineers
hga

HGA(UK) Ltd
Darach House
Stoneyfield Business Park
Inverness IV2 7PA
T: 01463 221717
F: 01463 224275
email: hga@hga-group.co.uk

WHITEHILLS, ALNESS
SOUTH

KERB LAYOUT SHEET 1 OF 2		
Drawn: IM	Ck'd	Scale: 1:250
Date: May 2022	Date:	DO NOT SCALE
Drawing No. 3798:108/01	Revision F	

- KEY**
- BULL NOSE KERB (60mm UPSTAND)
 - BULL NOSE KERB (20mm UPSTAND)
 - BULL NOSE KERB (6mm UPSTAND)
 - FLAT TOP HEEL KERB
 - - - INTERMITTENT FLAT TOP HEEL KERB
 - FLUSH SQUARE CHANNEL KERB
 - 100mm UPSTAND HALF BATTER
 - TK TRANSITION KERB
 - DTK DOUBLE TRANSITION KERB



Notes	Revisions	Date	Drn.

Revisions	Date	Drn.
B LAYOUT UPDATED	23.02.23	IM
C LAYOUT UPDATED	15.06.23	IM
D LAYOUT REVISED. JUNCTIONS ON ROAD 3 REVISED.	09.08.23	IM
E ISSUED FOR APPROVAL	22.09.23	IM
F LAYOUT & LEVELS REVISED	10.11.23	IM

PAT MUNRO (ALNESS) Ltd

**APPROVAL
DRAWING**

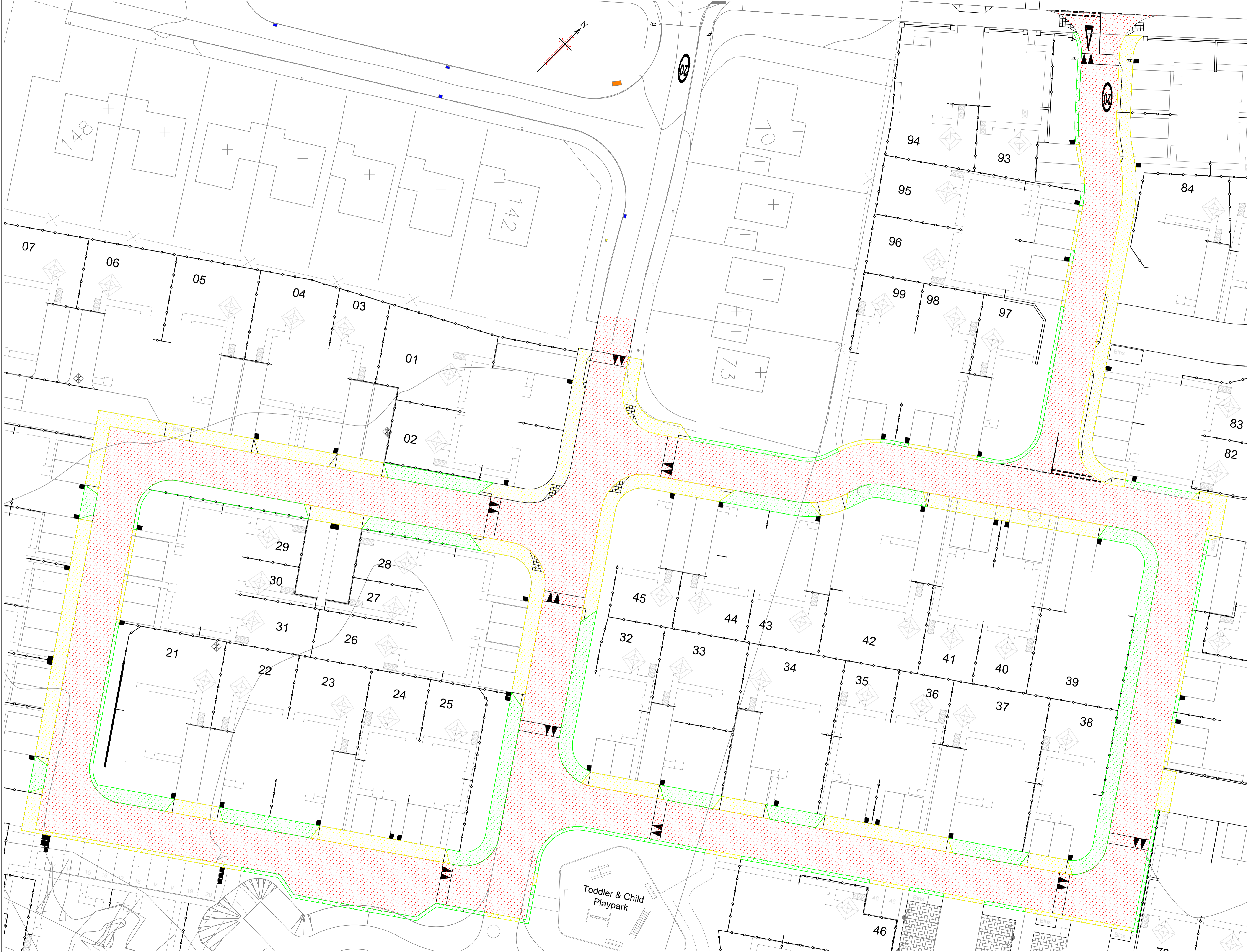
consulting engineers

hga

HGA(UK) Ltd
Darach House
Stoneyfield Business Park
Inverness IV2 7PA
T: 01463 221717
F: 01463 224275
email: hga@hga-group.co.uk

**WHITEHILLS, ALNESS
SOUTH**

KERB LAYOUT SHEET 2 OF 2		
Drawn: IM	Ck'd	Scale: 1:250
Date: May 2022	Date:	DO NOT SCALE
Drawing No. 3798:108/02	Revision	F



KEY

	ROAD CONSTRUCTION
	FOOTWAY CONSTRUCTION
	VERGE AREA

Drawing No. 3798:104		Revision E
Revisions	Date	Drn.
A LAYOUT UPDATED	15.06.23	IM
B LAYOUT UPDATED	17.07.23	IM
C LAYOUT UPDATED	10.08.23	IM
D ISSUED FOR APPROVAL	22.09.23	IM
E LAYOUT & LEVELS REVISED	10.11.23	IM

**APPROVAL
DRAWING**

PAT MUNRO (ALNESS) LTD

**WHITEHILLS SOUTH
ALNESS**

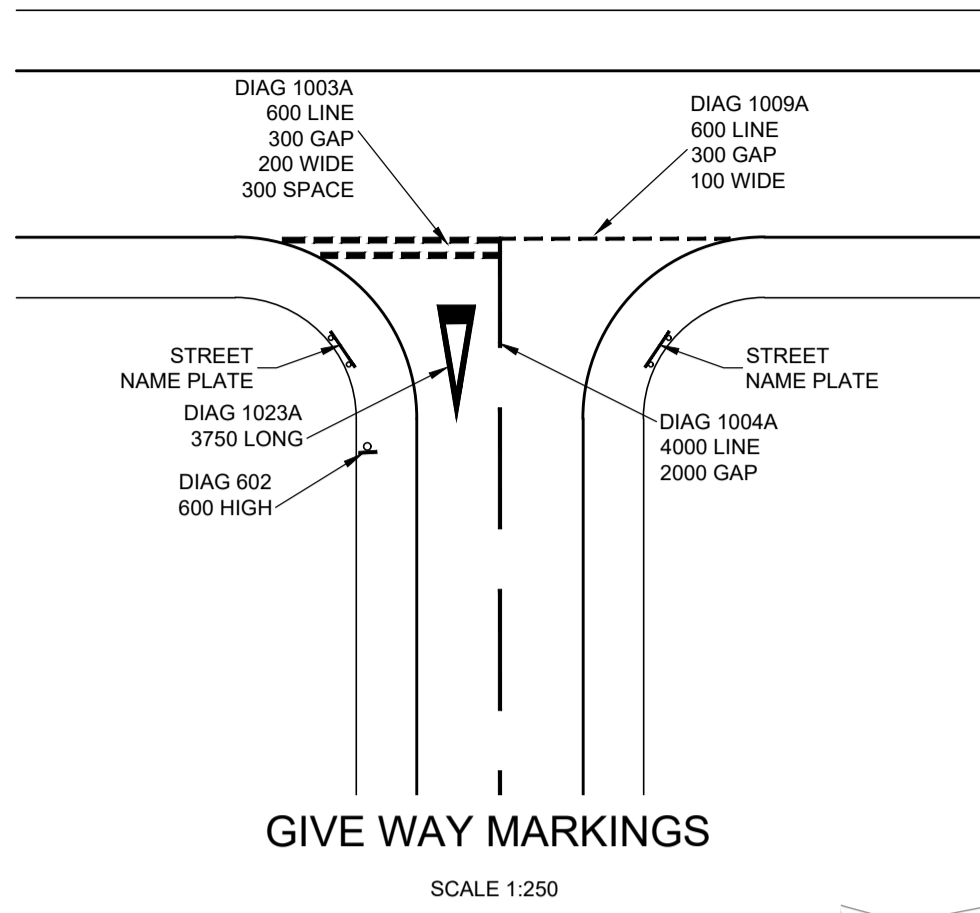
ADOPTION AREAS

Drawn: IM	Ck'd: Date:	Scale: 1:500 @ A1
Date: Feb 2023	Date:	DO NOT SCALE

consulting engineers

HGA(UK) Ltd
Darach House
Stoneyfield Business Park
Inverness IV2 7PA
T: 01463 221717
F: 01463 224275
email: hga@hga.co.uk

Drawing No. 3798:104		Revision E
--------------------------------	--	----------------------

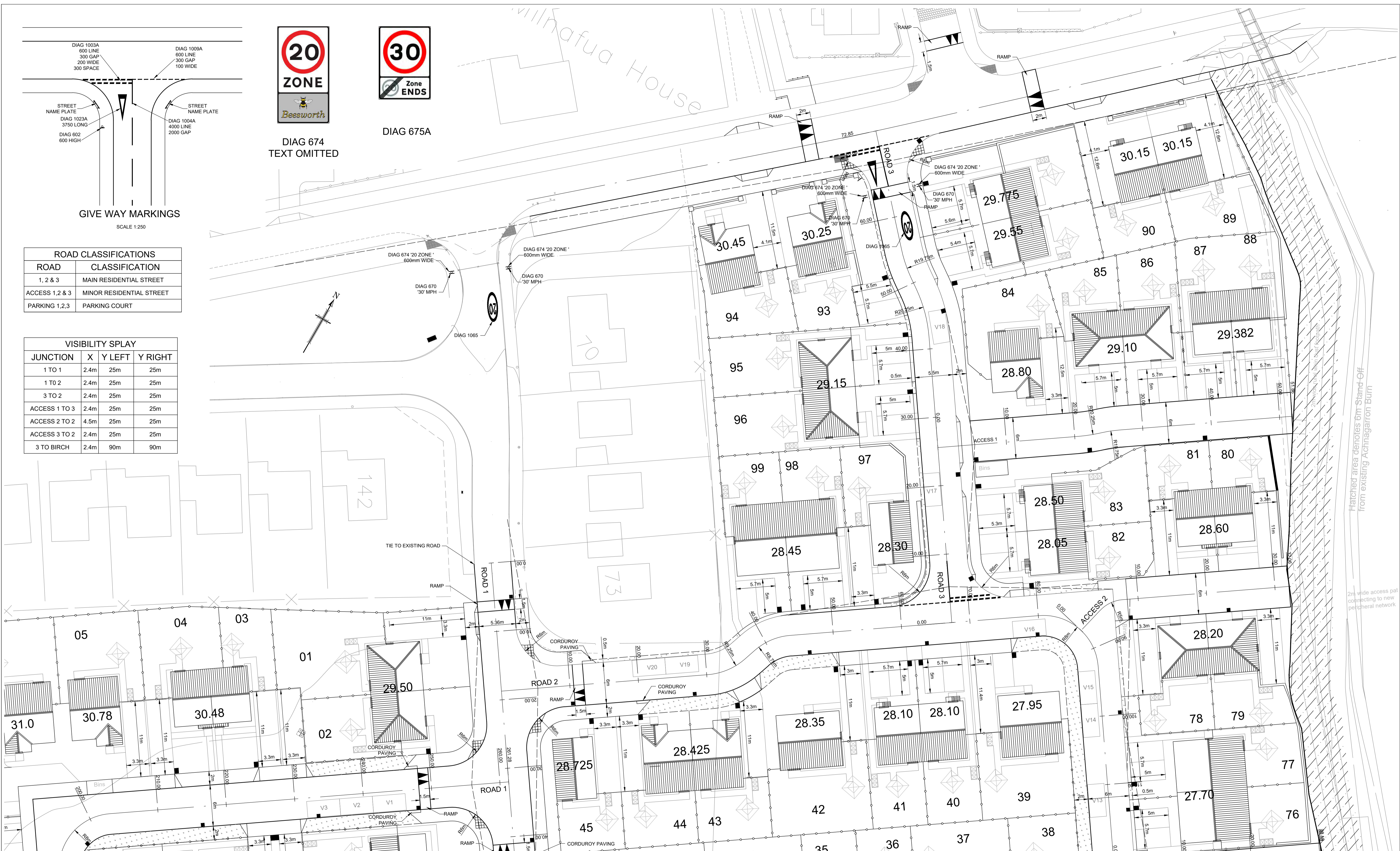


DIAG 674
TEXT OMITTED

DIAG 675A

ROAD CLASSIFICATIONS	
ROAD	CLASSIFICATION
1, 2 & 3	MAIN RESIDENTIAL STREET
ACCESS 1, 2 & 3	MINOR RESIDENTIAL STREET
PARKING 1, 2, 3	PARKING COURT

VISIBILITY SPLAY			
JUNCTION	X	Y LEFT	Y RIGHT
1 TO 1	2.4m	25m	25m
1 TO 2	2.4m	25m	25m
3 TO 2	2.4m	25m	25m
ACCESS 1 TO 3	2.4m	25m	25m
ACCESS 2 TO 2	4.5m	25m	25m
ACCESS 3 TO 2	2.4m	25m	25m
3 TO BIRCH	2.4m	90m	90m



Notes

- ALL FINISHED FLOOR LEVELS ARE MINIMUM LEVEL TO ENSURE CONNECTION TO PROPOSED SEWERS.
- LEVELS ARE RELATIVE TO OS DATUM.
- FOR DRAINAGE LONG SECTIONS REFER TO DRAWING 3798-106 & 3798-107.
- ALL DRAINAGE TO BE CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND.
- ALL EXISTING DRAINAGE LINES AND LEVELS TO BE CONFIRMED ON SITE AND ANY DISCREPANCY REPORTED TO HGA.
- ALL PIPEWORK 150mm Ø TO 450mm Ø TO BE STRUCTURED WALL UPVC TO WIS 4-35-01 UNLESS NOTED OTHERWISE.
- ALL PIPEWORK 525mm Ø AND ABOVE TO BE CONCRETE TO BS EN 1916 & BS 5911 UNLESS NOTED OTHERWISE.
- BEDDING TO PIPEWORK TO BE IN ACCORDANCE WITH WIS 4-08-02.
- TYPE 'A' AND TYPE 'B' MANHOLES TO BE PRE CAST CONCRETE WITH 675x675 DI COVERS TO BS EN 124 CLASS D400. ALL IN ACCORDANCE WITH SCOTTISH WATER STANDARDS DETAILS. FOR MANHOLES TYPES SEE LONG SECTION DRAWINGS.
- FOR ALL OTHER MANHOLE TYPES REFER TO SPECIFIC NOTES ON LONG SECTIONS.
- DISCONNECTING CHAMBERS TO BE 450mm DIA PP WITH PROPRIETARY COVER AND FRAME. WHERE DEPTH EXCEEDS 1.2m, DIAMETER OF OPENING TO BE REDUCED TO 350mm DIA WITH SCREW DOWN COVER.
- ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE AS BUILT SURVEY TO INCLUDE ALL MANHOLE LOCATIONS, COVER AND INVERT LEVELS AND PIPE SIZES.
- ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE CCTV SURVEY AND REPORT IN A FORMAT SUITABLE FOR SUBMISSION TO SCOTTISH WATER.
- ALL WORKS TO BE INSPECTED AND APPROVED BY SCOTTISH WATER.

Revisions	Date	Drn	Revisions	Date	Drn
B	LAYOUT UPDATED	09.02.23	IM		
C	LAYOUT UPDATED	23.02.23	IM		
D	LAYOUT UPDATED	02.05.23	IM		
E	LAYOUT UPDATED	15.06.23	IM		
F	LAYOUT UPDATED	09.08.23	IM		
G	ISSUED FOR APPROVAL	22.09.23	IM		
H	LAYOUT & LEVELS REVISED	10.11.23	IM		

PAT MUNRO (ALNESS) Ltd

**APPROVAL
DRAWING**

consulting engineers
hga

HGA(UK) Ltd
Darach House
Stoneyfield Business Park
Inverness IV2 7PA
T: 01463 221717
F: 01463 224275
email: hga@hga-group.co.uk

WHITEHILLS, ALNESS
SOUTH

ROAD LAYOUT
SHEET 1 OF 3

Drawn: IM Ck'd: Scale: 1:250
Date: May 2022 Date: DO NOT SCALE

Drawing No. 3798:101/01 Revision H

Hatched area denotes 6m Stand-Off from existing Achmagarron Burn

2m wide access path connecting to new peripheral network



ROAD CLASSIFICATIONS	
ROAD	CLASSIFICATION
1, 2 & 3	MAIN RESIDENTIAL STREET
ACCESS 1, 2 & 3	MINOR RESIDENTIAL STREET
PARKING 1, 2, 3	PARKING COURT

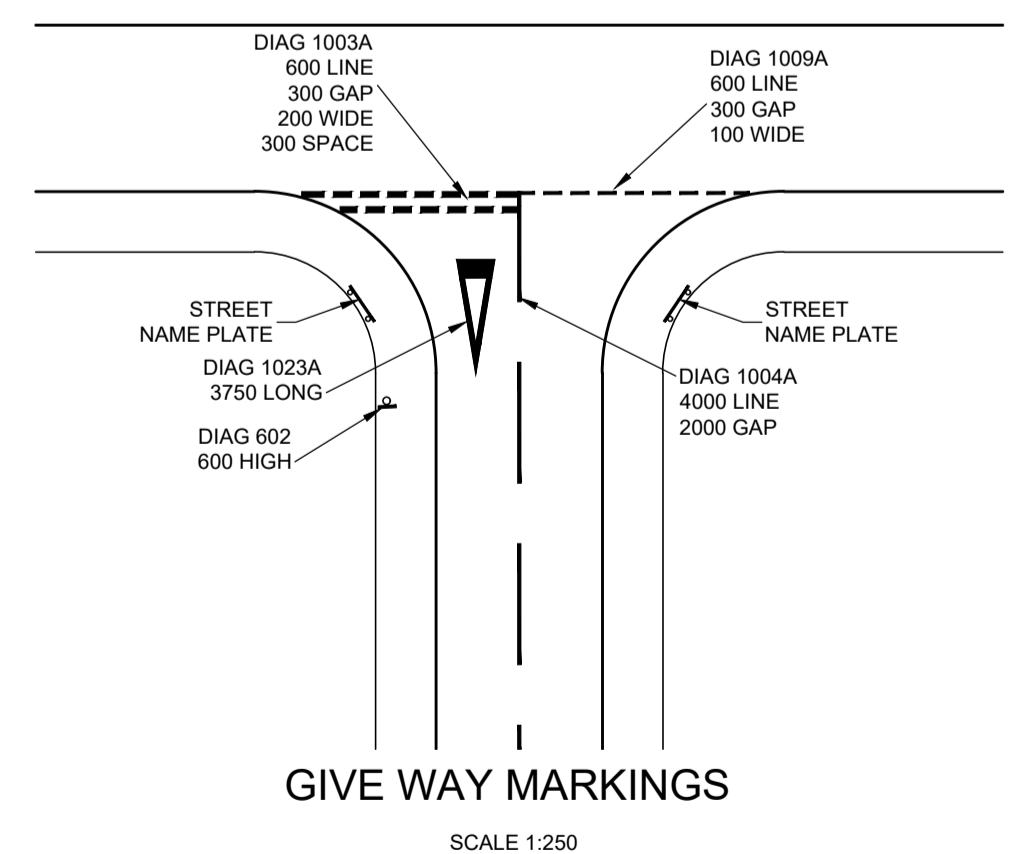
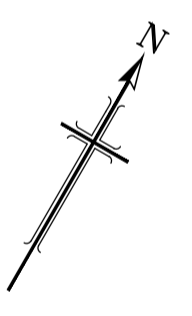
VISIBILITY SPLAY			
JUNCTION	X	Y LEFT	Y RIGHT
1 TO 1	2.4m	25m	25m
1 TO 2	2.4m	25m	25m
3 TO 2	2.4m	25m	25m
ACCESS 1 TO 3	2.4m	25m	25m
ACCESS 2 TO 2	4.5m	25m	25m
ACCESS 3 TO 2	2.4m	25m	25m
3 TO BIRCH	2.4m	90m	90m



DIAG 675A



DIAG 674
TEXT OMITTED



- Notes**
- ALL FINISHED FLOOR LEVELS ARE MINIMUM LEVEL TO ENSURE CONNECTION TO PROPOSED SEWERS.
 - LEVELS ARE RELATIVE TO OS DATUM.
 - FOR DRAINAGE LONG SECTIONS REFER TO DRAWING 3798-106 & 3798-107.
 - ALL DRAINAGE TO BE CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND.
 - ALL EXISTING DRAINAGE LINES AND LEVELS TO BE CONFIRMED ON SITE AND ANY DISCREPANCY REPORTED TO HGA.
 - ALL PIPEWORK 150mm Ø TO 450mm Ø TO BE STRUCTURED WALL uPVC TO WIS 4-35-01 UNLESS NOTED OTHERWISE.
 - ALL PIPEWORK 525mm Ø AND ABOVE TO BE CONCRETE TO BS EN 1916 & BS 5911 UNLESS NOTED OTHERWISE.
 - BEDDING TO PIPEWORK TO BE IN ACCORDANCE WITH WIS 4-08-02.
 - TYPE 'A' AND TYPE 'B' MANHOLES TO BE PRE CAST CONCRETE WITH 675x675 DI COVERS TO BS EN 124 CLASS D400. ALL IN ACCORDANCE WITH SCOTTISH WATER STANDARDS DETAILS. FOR MANHOLES TYPES SEE LONG SECTION DRAWINGS.
 - FOR ALL OTHER MANHOLE TYPES REFER TO SPECIFIC NOTES ON LONG SECTIONS.
 - DISCONNECTING CHAMBERS TO BE 450mm DIA FP WITH PROPRIETARY COVER AND FRAME. WHERE DEPTH EXCEEDS 1.2m, DIAMETER OF OPENING TO BE REDUCED TO 350mm DIA WITH SCREW DOWN COVER.
 - ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE AS BUILT SURVEY TO INCLUDE ALL MANHOLE LOCATIONS, COVER AND INVERT LEVELS AND PIPE SIZES.
 - ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE CCTV SURVEY AND REPORT IN A FORMAT SUITABLE FOR SUBMISSION TO SCOTTISH WATER.
 - ALL WORKS TO BE INSPECTED AND APPROVED BY SCOTTISH WATER.

Revisions	Date	Drn	Revisions	Date	Drn
B	LAYOUT UPDATED	09.02.23	IM		
C	LAYOUT UPDATED	23.02.23	IM		
D	LAYOUT UPDATED	02.05.23	IM		
E	LAYOUT UPDATED	15.06.23	IM		
F	LAYOUT UPDATED	09.08.23	IM		
G	ISSUED FOR APPROVAL	22.09.23	IM		
H	LAYOUT & LEVELS REVISED	10.11.23	IM		

PAT MUNRO (ALNESS) Ltd

**APPROVAL
DRAWING**

consulting engineers
hga

HGA(UK) Ltd
Darach House
Stoneyfield Business Park
Inverness IV2 7PA
T: 01463 221717
F: 01463 224275
email: hga@hgapro.co.uk

**WHITEHILLS, ALNESS
SOUTH**

**ROAD LAYOUT
SHEET 2 OF 3**

Drawn: IM Ck'd: Scale: 1:250
Date: May 2022 Date: DO NOT SCALE

Drawing No. 3798:101/02 Revision H



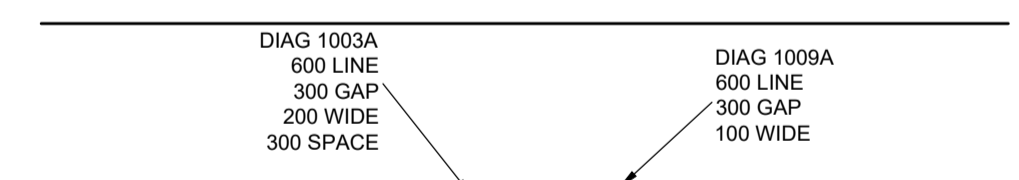
DIAG 675A



DIAG 674
TEXT OMITTED

VISIBILITY SPLAY			
JUNCTION	X	Y LEFT	Y RIGHT
1 TO 1	2.4m	25m	25m
1 TO 2	2.4m	25m	25m
3 TO 2	2.4m	25m	25m
ACCESS 1 TO 3	2.4m	25m	25m
ACCESS 2 TO 2	4.5m	25m	25m
ACCESS 3 TO 2	2.4m	25m	25m
3 TO BIRCH	2.4m	90m	90m

ROAD CLASSIFICATIONS	
ROAD	CLASSIFICATION
1, 2 & 3	MAIN RESIDENTIAL STREET
ACCESS 1, 2 & 3	MINOR RESIDENTIAL STREET
PARKING 1, 2, 3	PARKING COURT



GIVE WAY MARKINGS
SCALE 1:250

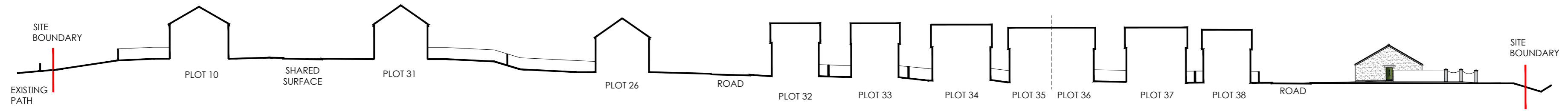
Notes
 1. ALL FINISHED FLOOR LEVELS ARE MINIMUM LEVEL TO ENSURE CONNECTION TO PROPOSED SEWERS.
 2. LEVELS ARE RELATIVE TO OS DATUM.
 3. FOR DRAINAGE LONG SECTIONS REFER TO DRAWING 3798-106 & 3798-107.
 4. ALL DRAINAGE TO BE CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND.
 5. ALL EXISTING DRAINAGE LINES AND LEVELS TO BE CONFIRMED ON SITE AND ANY DISCREPANCY REPORTED TO HGA.
 6. ALL PIPEWORK 150mm Ø TO 450mm Ø TO BE STRUCTURED WALL uPVC TO WIS 4-35-01 UNLESS NOTED OTHERWISE.
 7. ALL PIPEWORK 525mm Ø AND ABOVE TO BE CONCRETE TO BS EN 1916 & BS 5911 UNLESS NOTED OTHERWISE.
 8. BEDDING TO PIPEWORK TO BE IN ACCORDANCE WITH WIS 4-08-02.
 9. TYPE 'A' AND TYPE 'B' MANHOLES TO BE PRE CAST CONCRETE WITH 675x675 DI COVERS TO BS EN 124 CLASS D400. ALL IN ACCORDANCE WITH SCOTTISH WATER STANDARDS DETAILS. FOR MANHOLES TYPES SEE LONG SECTION DRAWINGS.
 10. FOR ALL OTHER MANHOLE TYPES REFER TO SPECIFIC NOTES ON LONG SECTIONS.
 11. DISCONNECTING CHAMBERS TO BE 450mm DIA RP WITH PROPRIETARY COVER AND FRAME. WHERE DEPTH EXCEEDS 1.2m, DIAMETER OF OPENING TO BE REDUCED TO 350mm DIA WITH SCREW DOWN COVER.
 12. ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE AS BUILT SURVEY TO INCLUDE ALL MANHOLE LOCATIONS, COVER AND INVERT LEVELS AND PIPE SIZES.
 13. ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE CCTV SURVEY AND REPORT IN A FORMAT SUITABLE FOR SUBMISSION TO SCOTTISH WATER.
 14. ALL WORKS TO BE INSPECTED AND APPROVED BY SCOTTISH WATER.

Revisions	Date	Drn.	Revisions	Date	Drn.
B	09.02.23	IM	LAYOUT UPDATED	09.02.23	IM
C	23.02.23	IM	LAYOUT UPDATED	23.02.23	IM
D	02.05.23	IM	LAYOUT UPDATED	02.05.23	IM
E	15.06.23	IM	LAYOUT UPDATED	15.06.23	IM
F	09.08.23	IM	LAYOUT UPDATED	09.08.23	IM
G	22.09.23	IM	ISSUED FOR APPROVAL	22.09.23	IM
H	10.11.12	IM	LAYOUT & LEVELS REVISED	10.11.12	IM

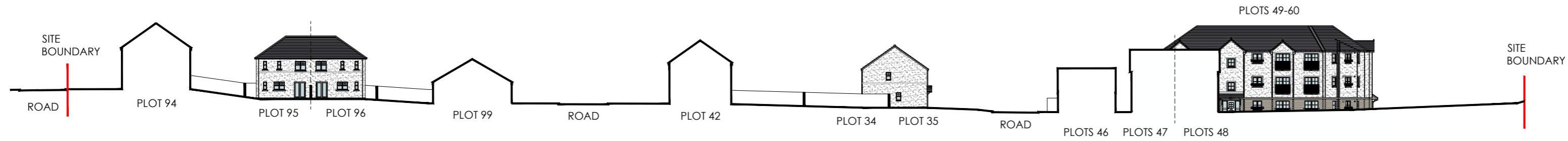
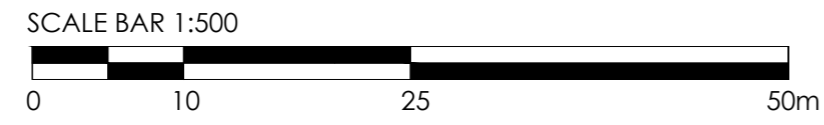
PAT MUNRO (ALNESS) Ltd
APPROVAL DRAWING

consulting engineers
hga
HGA(UK) Ltd
Darach House
Stoneyfield Business Park
Inverness IV2 7PA
T: 01463 221717
F: 01463 224275
email: hga@hgapr.co.uk

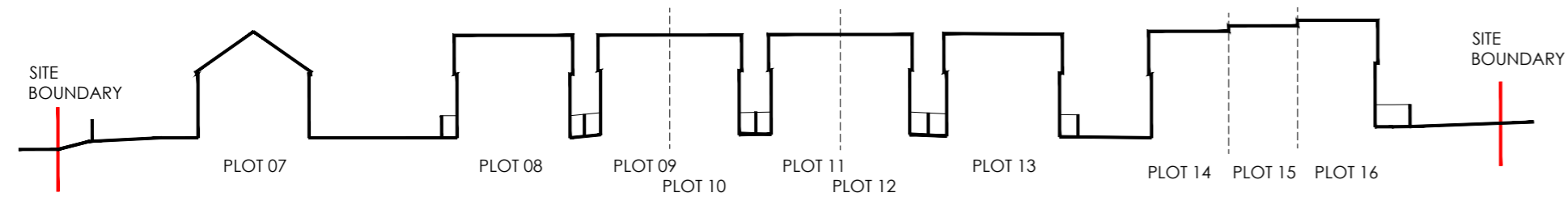
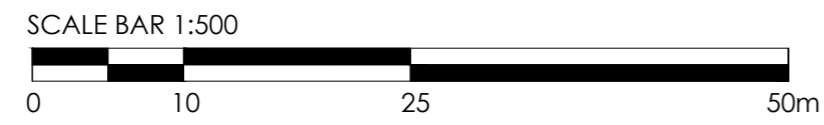
ROAD LAYOUT SHEET 3 OF 3
 Drawn: IM Ck'd: Scale: 1:250
 Date: May 2022 Date: DO NOT SCALE
 Drawing No. 3798:101/03 Revision H



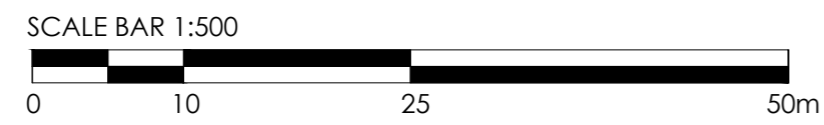
PROPOSED STREET SECTION A-A
SCALE 1:500



PROPOSED STREET SECTION B-B
SCALE 1:500



PROPOSED STREET SECTION C-C
SCALE 1:500



Rev.	Date	Details	Drawn	Checked
E	14/11/2023	Levels updated	OF	DH
D	31/10/2023	Updated in accordance with clients comments	LG	DH
C	29/05/2023	Updated in accordance with clients comments	OF	DH
B	22/05/2023	Updated in accordance with clients comments	LG	DH
A	04/01/2023	Updated in accordance with clients comments	OF	DH

Issued for: **PLANNING**

Project/Client: WhiteHills South, Alness
Pat Munro Homes

Project No: THE22-0010
Drawing No: A1-00-02
Revision: E

Drawing: Indicative Site Sections

Scale: 1:500 @ A2

Drawn by: OF
Date: 11/22

Checked by: DH
Date: 11/22



PLOTS 61-72

PLOT 75

PLOT 76

PLOT 77



PROPOSED STREET ELEVATION 1-1 PART 1
SCALE 1:200

PLOT 77

PLOT 79

PLOT 80

PLOT 88

PLOT 89



PROPOSED STREET ELEVATION 1-1 PART 2
SCALE 1:200

PLOTS 46



PROPOSED STREET ELEVATION 2-2
SCALE 1:200

PLOT 19 & 20

PLOT 17 & 18

PLOT 14, 15 & 16



PROPOSED STREET ELEVATION 3-3
SCALE 1:200



KEY PLAN
NTS

Rev.	Date	Details	Drawn	Checked
D	14/11/2023	Levels updated	OF	DH
C	01/11/2023	Updated in accordance with clients comments	LG	DH
B	23/05/2023	Key Plan and Landscaping amended	OF	DH
A	04/01/2023	Updated in accordance with clients comments	OF	DH

PLANNING

Project/Client:	Project No:
WhiteHills South, Alness	THE22-0010
Pat Munro Homes	Drawing No:
	A1-00-03
	Revision:
	D
Drawn:	Scale:
Indicative Street Elevations	1:500 @ A1
	Drawn by:
	OF
	Date:
	11/22
	Checked by:
	DH
	Date:
	11/22

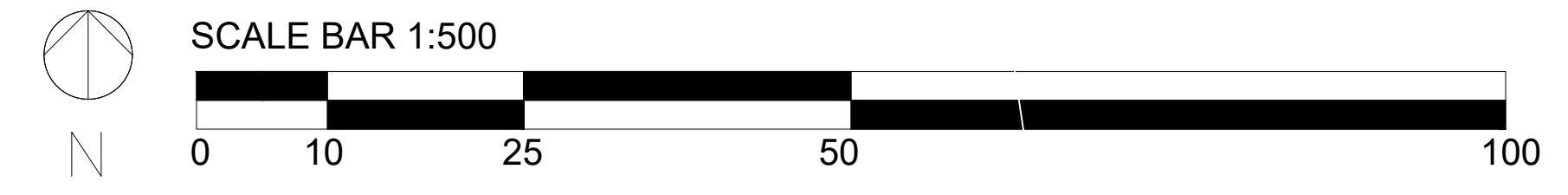


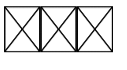

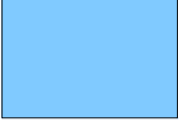


KEY PLAN
NTS

D	14/11/2023	Levels updated	OF	DH
Rev.	Date	Details	Drawn	Checked
Issued for:				
PLANNING				
Project/Client:		Project No:		
WhiteHills South, AIness		THE22-0010		
Pat Munro Homes		Drawing No:		
		A1-00-07		
		Revision:		
		D		
Drawing:		Scale:		
Indicative Street Elevations 2/2		1:500 @ A1		
		Drawn by:		
		OF		
		Date:		
		05/23		
		Checked by:		
		DH		
		Date:		
		05/23		





 Denotes bin store location within curtilage
 Denotes bin store collection point at roadside
 Denotes hard standing for communal pick up points



PLOTS 5, 6 & 7

PLOTS 19 & 20

PLOTS 14, 15, 16, 17 & 18

PLOTS 84 - 88

PLOTS 78-79 & 80-81

PLOTS 46, 47 & 48

COMMUNAL PLOTS 49-60

PLOTS 73, 74 & 75

COMMUNAL PLOTS 61-72

COMMUNAL PLOTS 61-72

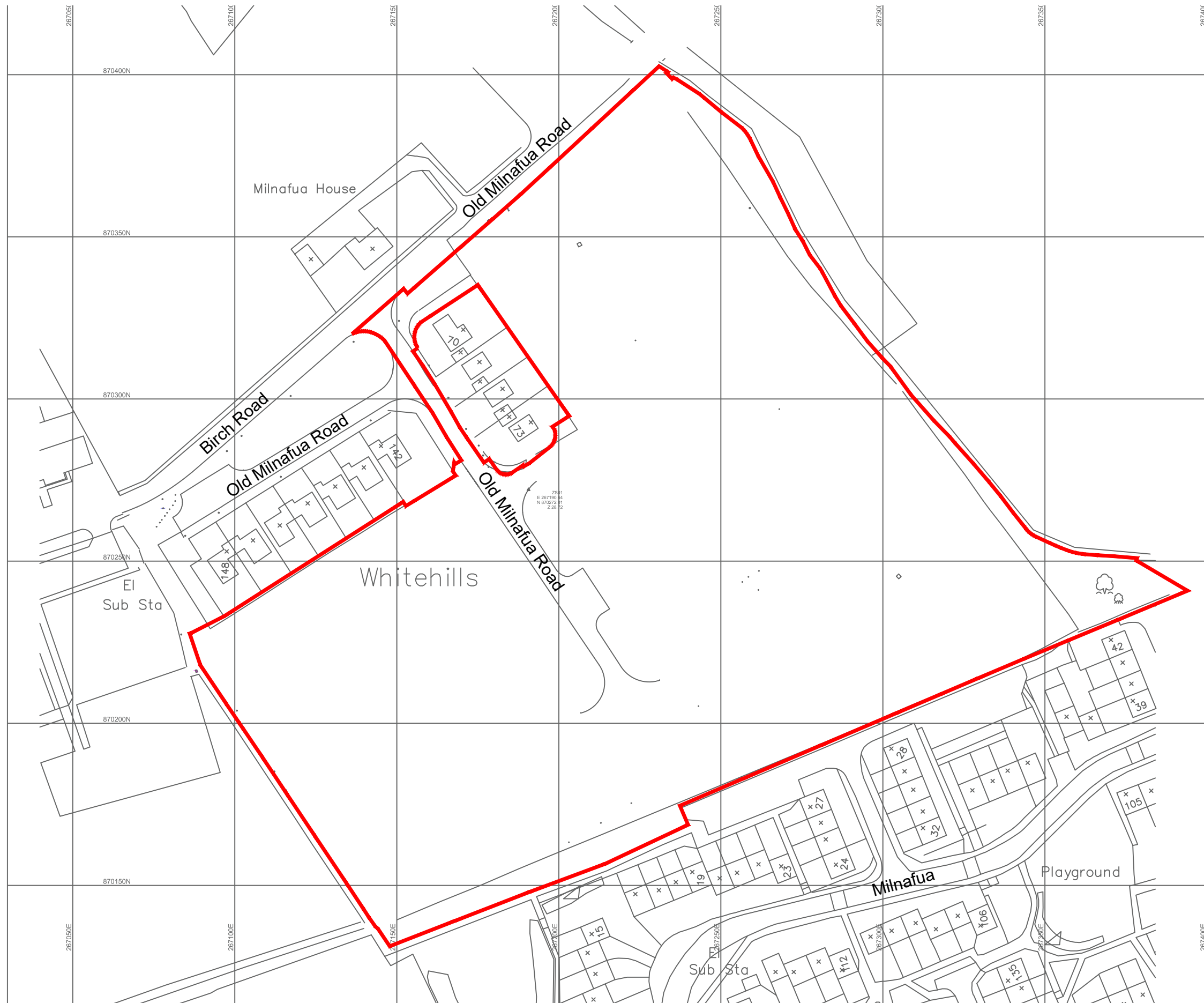
COMMUNAL PLOTS 49-60

Rev.	Date:	Details:	Drawn:	Checked:
D	13.11.23	Amended as per Client's comments.	OF	DH
C	09.08.23	Amended as per Client's comments.	LG	DH
B	03.08.23	Amended as per Client's comments.	LG	DH
A	26.05.23	Amended as per Client's comments.	OF	DH

Issued for:		PLANNING	
Project/Client:	WhiteHills South, Alness	Project No:	THE22-0010
	Pat Munro Homes	Drawing No:	A1-00-06
		Revision:	D
Drawing:	Waste Management Plan	Scale:	1:500 @ A1
		Drawn by:	OF
		Date:	05/23
		Checked by:	DH
		Date:	05/23



Red Line Area: 36892 sq.m

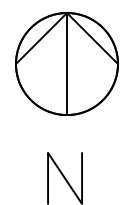


Rev.	Date.	Details.	Drawn.	Checked.
------	-------	----------	--------	----------

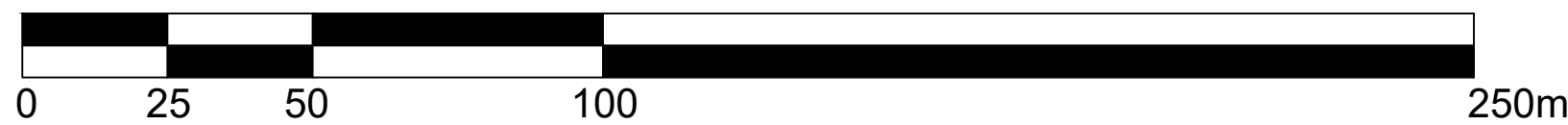
Issued for: **PLANNING**

Project/Client:	Project No:
WhiteHills South, Alness	THE22-0010
Pat Munro Home	Drawing No:
	A0-00-01
	Revision:

Drawing:	Scale:
Site Location Map	11250 @A3
	Drawn by: Date:
	OF 01/23
	Checked by: Date:
	DH 01/23

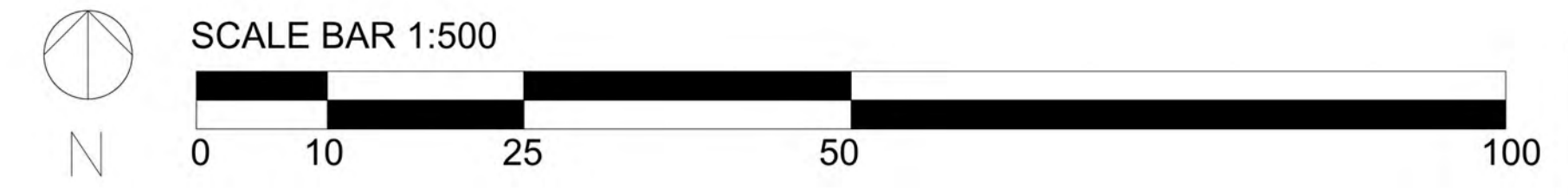


SCALE BAR 1:1250



24 North Silver Street, Aberdeen, AB10 1RL

Telephone: 01224 586 277
 email: info@THE-ap.co.uk
 web site: www.THE-ap.co.uk



ACCOMMODATION SCHEDULE		
AFFORDABLE		
PLOTS 17-20	WILLOW - GROUND FLOOR	02 No.
	WILLOW - FIRST FLOOR	02 No.
PLOT 15	HT86	01 No.
PLOT 14 & 16	HT99	02 No.
APARTMENTS / 12 No. PER BLOCK		
	GF - TYPE A	06 No.
	GF - TYPE B	02 No.
	FF - TYPE C	06 No.
	FF - TYPE D	02 No.
	SF - TYPE C	06 No.
	SF - TYPE D	02 No.
VILLAS		
	2B / EATHIE / 67	05 No.
	2B / DORAIN / 76	10 No.
	3B / ROSEHAUGH / 87	10 No.
	3B / CARNACH / 91	10 No.
	3B / ETIVE / 95	14 No.
	4B / GILLEAN / 118	11 No.
	4B / CROMARTY / 127	05 No.
	5B / HAWTHORN / 140	03 No.
TOTAL		99 No.

PARKING PROVISION

FLATS: 36 SPACES
 HOUSES: (65x2) + (3x3) = 139 SPACES
 65 NO. 2,3 & 4 BEDS (2 SPACES)
 3 NO. 5 BED (3 SPACES)
AFFORDABLES:
 COTTAGE FLATS: 4 SPACES + 2 VISITORS
 TERRACES: 3 SPACES + 1 VISITORS
 VISITORS: 23 SPACES (OVERMARKED ON PLAN)

BB	27/10/2023	Plots numbering updated	CF	DH
AA	25/10/2023	Plots 6-16 amended	CF	DH
Z	24/10/2023	Plots 8-20 amended	CF	DH
Y	24/10/2023	Layout and schedule amended in accordance with client's comments	CF	DH
X	28/09/2023	Affordable plots marked in blue	CF	DH
W	15/08/2023	Updated in accordance with planning comments	LG	DH
V	09/08/2023	Updated in accordance with clients comments	LG	DH
U	03/08/2023	Updated in accordance with clients comments	LG	DH
T	29/04/2023	Updated in accordance with clients comments	CF	DH
S	29/05/2023	Updated in accordance with planning comments	CF	DH
R	08/05/2023	Updated in accordance with planning comments	CF	DH
P	03/05/2023	Updated in accordance with clients comments	CF	DH
O	02/05/2023	Updated in accordance with clients comments	CF	DH
N	18/04/2023	Updated in accordance with clients comments	CF	DH
M	30/03/2023	Updated in accordance with clients comments	CF	DH
L	04/01/2023	Updated in accordance with clients comments	CF	DH
K	05/12/2022	Landscapeing updated	CF	DH
J	31/10/2022	Updated in accordance with clients comments	CF	DH
I	28/10/2022	Updated in accordance with clients comments	CF	DH
H	21/09/2022	Updated in accordance with clients comments	CF	DH
G	19/10/2022	Updated in accordance with planning comments	CF	DH
F	09/09/2022	Updated in accordance with planning comments	CF	DH
E	09/09/2022	Updated in accordance with clients comments	MS	DH
D	06/09/2022	Updated in accordance with clients comments	CF	DH
C	12/08/2022	Updated in accordance with clients comments	LG	DH
B	21/07/2022	Updated in accordance with clients comments	LG	DH
A	04/07/2022	Updated in accordance with clients comments	LG	DH
Rev.	Date	Details	Drawn	Checked

APPROVAL

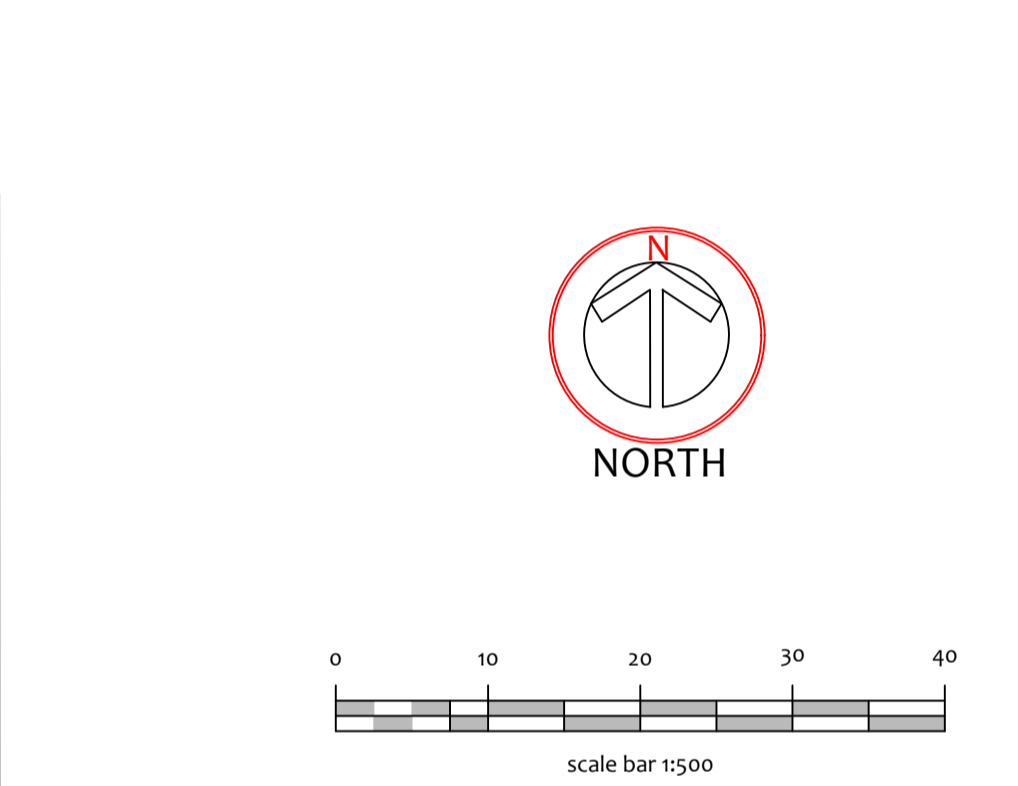
Project/Client:	Project No:
WhiteHills South, AIness	THE22-0010
Pat Murro Homes	Drawing No:
	A1-00-01
	Revision:
	BB
Drawing:	Scale:
Indicative Site Layout	1:500 @ A1
	Drawn by: Date:
	LG 06/22
	Checked by: Date:
	NE 06/22



PROPOSED HOUSING AT WHITEHILLS SOUTH, ALNESS- OVERALL LANDSCAPE PROPOSALS 1:500 SCALE



- KEY**
- Existing trees along boundaries retained and protected in accordance with BS5837:2012. Refer to Treetek Tree Survey and Tree Constraints Plan (June 2023) for full details of the existing trees.
 - Existing trees to be felled to accommodate the proposed development.
 - Proposed 3.0-3.5m tall, 10-12cm girth selected standard tree planting: trees to be pit planted into 1.2m diameter x 450mm deep prepared tree pits. Base of tree pits to be broken up for a further depth of 150mm. (Reform neat circles, 1.2m diameter at tree bases in grassed areas.) Birch, Hornbeam, Cherry and Rowan species.
 - Proposed 1.5-1.75m tall, feathered tree planting: trees to be pit planted into 0.6m diameter x 450mm deep prepared tree pits. Base of tree pits to be broken up for a further depth of 100mm. (Reform neat circles, 1.0m diameter at tree bases in grassed areas.) Oak, Alder, Willow, Birch, Cherry and Rowan species.
 - Proposed 1.5m high feathered conifers: trees to be pit planted into 1.0m diameter x 450mm deep prepared tree pits. Base of tree pits to be broken up to a further depth of 100mm. (Re-form neat circles, 1.2m diameter at tree bases in grassed areas.) Pine species.
 - Proposed native species woodland buffer planting: Cell grown trees and shrub transplants protected with NexGen Biodegradable shelters (7-11cm, 0.75m high, secured to 2 x 3mm treated softwood stakes with 200 metal ratchet ties. Base of transplants to be trimmed back and a GT Ecomat mulch mat spread over soil; 50 x 50cm secured down with 4no. steel J pins at the mat corners.) Woodland planting mix to include: Beech, Rowan, Silver Birch, Gean and Holly trees with Hazel, Willow, Sloe and Dog rose shrubs. (* Plants to be of local Provenance Area 201.)
 - Proposed ground cover shrub planting - topsoiled areas to be treated with a selective herbicide and then cultivated to depth of 200mm to form a fine tilth. Re-form neat edges to grass areas surrounding new shrub beds. Supply and spread a 35mm layer of PAS 100 soil improver over topsoil and work into shrub bed during planting works. Shrub beds to be mulched with a 50mm depth of composted bark mulch once weed growth has been removed or treated with a non-residual herbicide application.
 - Proposed Hornbeam hedging to front gardens: 1.2-1.8m tall transplants, root-dipped in Rootgrow Mycorrhiza, prior to planting.
 - Proposed communal open spaces: subsoil to be de-compacted, site debris removed and top-soiled. Areas to be weedkilled, cultivated and grass seeded.
 - Proposed front gardens: subsoil to be de-compacted, site debris removed and top-soiled. Areas to be weedkilled, cultivated and turfled.
 - Proposed rear gardens: top-soiled, weedkilled, cultivated, 2 pass technique, stone picked and grass seeded: Pre-seed fertiliser 6:6:6 @ 70g/m² followed by R M Welsh T2 seed mix @ 40g/m².
 - Proposed species rich long grass areas sown with a grass / wildflower seed mix and maintained with a cut back in May and October; (Scotia seeds Mavisbank Meadow mix @ 3g/m².)
 - Proposed Suds basin slopes to be de-compacted, topsoiled and sown with a Grass / wildflower seed mix (Scotia seeds 'Wet Meadow mix' @ 3g/m².) Areas to be maintained with a cut back in May and October.
 - Proposed open space areas to be de-compacted, topsoiled and sown with a Grass / wildflower seed mix (Scotia seeds 'Flowering Lawns mix' @ 3g/m².) Areas to be cut back as mown grass areas to 100mm throughout the growing season, but left to flower between July and August.
 - Proposed shaded / narrow strips to be cleared out and a 50mm depth of washed gravel laid over a weed control fabric layer.
 - Proposed tree root containment: Green-tech 'GT Rollin', 900mm deep laid vertically into ground to control spread of future tree roots near footpaths/ road surfacing / services.



NOTES

A: 22.11.22 Landscape proposals revised to suit Thain Harrington Edward's site layout plan (THE2-0010 WSA A1-00-01 Rev T1) and to suit Treetek's Tree Survey and Tree Constraints Plans (June 2023). Existing tree locations amended to show surveyed tree locations. Landscape proposals updated to incorporate ATMOS Consulting's Biodiversity enhancement measures (June 2023). ATMOS Table 2 summary measures to be included in landscape proposals.

B: 03.12.22 Drawing status updated to Planning status. Planting plans and landscape maintenance schedule prepared for planning approval. KW 01.08.23 Landscape proposals updated to revised site plan and drainage proposals. Additional woodland screening planting added to southern and western boundaries. Tree root barriers added to the proposed street trees within 5m of new roads and footpaths. Proposed Benches and bins added. KW

C: 02.05.23 Landscape proposals amended and planting details, planting schedule and summary specification added to planting plan drawings. KW 03.07.23 Landscape proposals updated to revised site plan and to suit the Treetek's existing tree survey information. Revised Suds basin outlet route proposed. Locations of existing trees as per Treetek tree survey. Tree planting and seeding works adjusted to suit. Additional woodland tree planting added to southern boundary. KW

D: 07.07.23 Landscape proposals updated to incorporate ATMOS Consulting Biodiversity enhancement measure (June 2023). Table 2 recommendations to be implemented in the open space areas. KW

PAT MUNRO HOMES- WHITEHILLS SOUTH HOUSING DEVELOPMENT				
Summary of Biodiversity Measures, adopting the recommendations of ATMOS Consulting's guidance (June 2023.)				
Category	Measure	Biodiversity outcome	Site location /Action	
Homes for Nature	5.1 Bat boxes	Increase opportunities for roosting bats.	Atmos to advise PMH on the locations for Bat boxes. PMH to install bat boxes in existing mature trees in and around the site.	
Homes for Nature	5.2 General purpose bird boxes	Increase in nesting opportunities for range of bird species.	Atmos to advise PMH on the locations for a variety of bird boxes. PMH to install bird boxes as directed by Atmos.	
Wildflower meadows	5.3 Wildflower meadow / short flowering lawns meadows.	Improved habitat for invertebrates, small mammals, reptiles and birds.	Atmos recommended wildflower seed mixes to be sown in the open space areas to include Scotia seeds 'Mavisbank SCM mix' and 'Flowering lawns mix' SCM's. Areas to be managed to encourage the growth of the wildflowers by a factor on behalf of PMH. Wildflower sown areas as shown on landscape proposals: PMH 102.22 SL-01F and PMH 102.22 SL-02B, PMH 102.22 SL-03B.	
Trees, shrub and woodland.	5.4 Trees and shrubs.	Native species tree and shrubs to be planted along the southern boundary of the site and to the banks of the Achnagarron Burn. Areas of existing trees and scrub will be retained on site.	Areas of existing trees and scrub layers to be retained along the southern boundary of the site and to the banks of the Achnagarron Burn. Areas will be fenced off and protected during the construction works. New native species trees, woodland planting, shrubs and hedging to be undertaken as shown on the landscape proposals: PMH 102.22 SL-01F and PMH 102.22 SL-02B, PMH 102.22 SL-03B.	
Homes for Nature	5.5 Log piles	Provides food and shelter for a range of invertebrates, small mammals, birds and amphibians.	Atmos to advise PMH on the locations for Log piles. PMH to create log piles using stones, branches / logs from the existing trees that will require to be felled.	
Managing water for nature	5.6 Rain gardens	Benefits invertebrate and amphibian species, availability of water help pollinators and trees, enhances pollution control.	Atmos to advise PMH for the creation of rain gardens within the Suds attenuation basin and outfall to the Achnagarron Burn and in locations in the open space areas. Rain garden areas will be sown with Scotia seeds 'Wet Meadow mix' and managed to encourage the wildflower species.	

KEITH L WOOD LANDSCAPE DESIGN

1, Old Branziet Cottage, Balmorie, By Torrance, Glasgow, G64 4AH.
 Tel: 015616 62038 Mob: 07584 05586
 email: keith.l.wood@btopenworld.com
 www.keithwoodlandscapedesign.scot

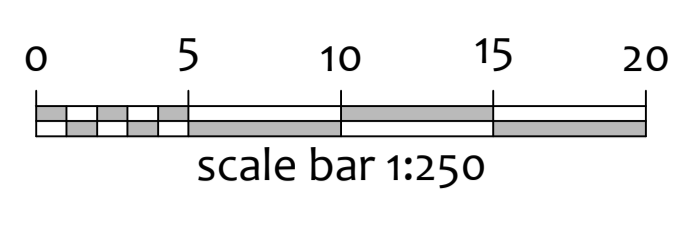
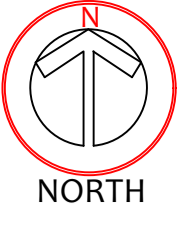
Project title: HOUSING DEVELOPMENT WHITEHILLS SOUTH, ALNESS, IV17 0TS

CLIENT: PAT MUNRO HOMES

DRAWING TITLE: OVERALL LANDSCAPE PROPOSALS AND BIODIVERSITY ENHANCEMENTS

PLANNING

Scale	1:500@A1	Date	21.11.22
Drawn	k wood	Approved	
Drawing No.	PMH 102.22 SL-01	Rev.	F



ALLOWANCE SHOULD BE MADE FOR PROVISIONAL UPGRADE WORKS TO SITE ENTRANCEWAY

FOOTWAY TIE-IN TO EXISTING

Public artwork location

Service Wayleave for SW Drainage Facilitation

Extent of full height Retaining Wall. Please refer to engineer's details for construction specification.

PROPOSED HOUSING AT WHITEHILLS SOUTH, ALNESS- PLOTS 1-29 PLANTING PLAN 1:250 SCALE

- KEY**
- Existing trees along boundaries retained and protected in accordance with BS5837:2012, refer to 'Trees: Tree Survey and Tree Constraints Plan (June 2023)' for full details of the existing trees.
 - Existing trees to be retained to accommodate the proposed development.
 - Proposed 3.0m tall, 100mm girth selected standard tree planting: trees to be pit planted into 1.2m diameter x 400mm deep prepared tree pits. Base of tree pits to be broken up for a further depth of 100mm. (Below most circles, 1.0m diameter at tree base in grassed areas)
 - Proposed 1.5-2.0m tall, feathered tree planting: trees to be pit planted into 0.6m diameter x 400mm deep prepared tree pits. Base of tree pits to be broken up for a further depth of 100mm. (Below most circles, 1.0m diameter at tree base in grassed areas)
 - Proposed 1.0m high feathered trees: trees to be pit planted into 1.0m diameter x 400mm deep prepared tree pits. Base of tree pits to be broken up for a further depth of 100mm. (Below most circles, 1.0m diameter at tree base in grassed areas)
 - Proposed native species woodland buffer planting: Cell grown trees and shrubs transplants provided with 30cm biodegradable shrouds (20mm, 100mm, 120mm, 150mm, 200mm) treated softwood stakes with 20mm metal catches (see 300mm of woodland planting to be screened back and 100mm mulch must be spread over soil in a 10cm sward with 40mm pine @ 100mm @ the mat corners).
 - Proposed ground cover shrub planting: topsoiled areas to be treated with a selective herbicide and then cultivated to depth of 100mm to form a fine tilth. 100mm mulch edges in grass areas surrounding new shrub beds. Saplings and ground 200mm layer of PWS soil improver over topsoil and work into shrub bed during planting.
 - Proposed front gardens: topsoiled, cultivated, and sown with a 30mm deep seed mix (see notes) followed by 100mm mulch.
 - Proposed rear gardens: topsoiled, cultivated, 3 pass techniques, sown with a 30mm deep seed mix (see notes) followed by 100mm mulch.
 - Proposed tree root containment: Green-tech 'T2' Rootbar, 100mm deep 180mm wide transplants to be installed in front of trees, 100mm deep 180mm wide transplants to be installed in front of trees, 100mm deep 180mm wide transplants to be installed in front of trees.

NOTES

- 01/23/23 Landscape proposals revised to suit 'Main Harrington Road's' site layout plan (1:100 scale) and 'Tree Constraints Plan' (June 2023).
- 01/23/23 Landscape proposals updated to incorporate 'ATMOS Consulting's' Biodiversity enhancement measures (June 2023).
- 01/23/23 Landscape proposals updated to incorporate 'ATMOS Consulting's' Biodiversity enhancement measures (June 2023).
- 01/23/23 Landscape proposals updated to incorporate 'ATMOS Consulting's' Biodiversity enhancement measures (June 2023).

REVISIONS

- 01/23/23 Landscape proposals updated to incorporate 'ATMOS Consulting's' Biodiversity enhancement measures (June 2023).
- 01/23/23 Landscape proposals updated to incorporate 'ATMOS Consulting's' Biodiversity enhancement measures (June 2023).
- 01/23/23 Landscape proposals updated to incorporate 'ATMOS Consulting's' Biodiversity enhancement measures (June 2023).

KEITH L WOOD LANDSCAPE DESIGN

1 Old Brunton, Colton, Bath, BA22 8JH
 Tel: 01225 310000
 Email: keith.wood@kewlandscapedesign.co.uk
 www.keithwoodlandscapedesign.co.uk

Project Title: HOUSING DEVELOPMENT WHITEHILLS SOUTH, ALNESS, 17/23

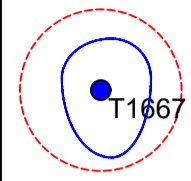
Client: PAT MURNO HOMES

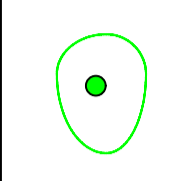
Drawing Title: LANDSCAPE PROPOSALS
 Title: PLANTING PLAN (PLOTS 1-29)

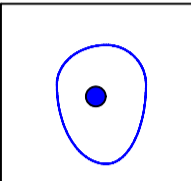
Scale: 1:250 @ A0 Date: 03.10.23
 Drawn: kwood Approved: [Signature]
 Drawing No: PMH 102.22 51.02 Rev. C

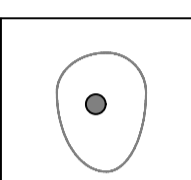
Tree Constraints Plan

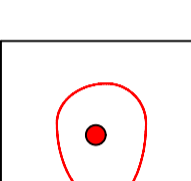
Details tree categories and Root Protection Areas.

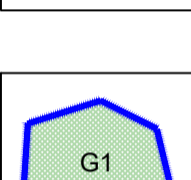
- 

Tree
Showing Canopy extents, category colour, RPA circle (BS5837), tag number
- 

Category A
Trees of high quality with an estimated remaining life expectancy of at least 40 years
- 

Category B
Trees of moderate quality with an estimated remaining life expectancy of at least 20 years
- 

Category C
Trees of low quality with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150 mm
- 

Category U
Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years
- 

Group
Showing canopy extents and category colour which will also represent RPA unless detailed separately

Treetek

Treetek, Woodland Park, Contin,
Ross-shire. IV14 9EU

Tel: 07857 145226 Email: Lawrance@treetek.co.uk

Client

Pat Munro Ltd

Project

Whitehills South, Alness

Drawing Title

Tree Constraints Plan

Scale:
1:500 @ A1

Date:
28th June 2023

DB
LM

Drawing Number
TCP_PM_280623

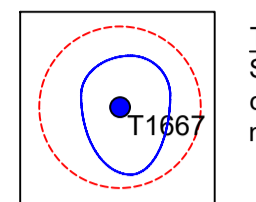
Rev

Sheet
1 of 2

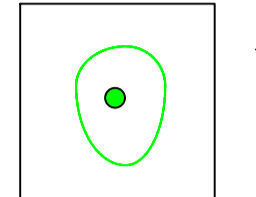


Tree Protection Plan

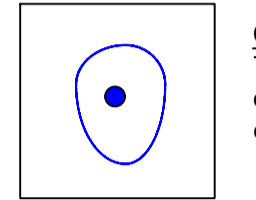
Detail of trees for removal and protection measures for retained trees



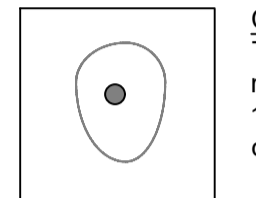
Tree Showing Canopy extents, category colour, RPA circle (BS5837), tag number



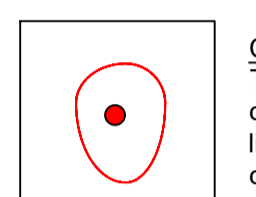
Category A
Trees of high quality with an estimated remaining life expectancy of at least 40 years



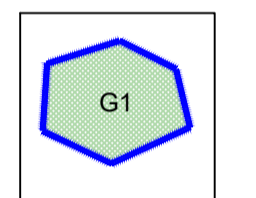
Category B
Trees of moderate quality with an estimated remaining life expectancy of at least 20 years



Category C
Trees of low quality with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150 mm



Category U
Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years



Group
Showing canopy extents and category colour which will also represent RPA unless detailed separately



Tree for Removal



Tree Protection Fencing

Note

Tree Protection Fencing must be erected prior to any construction activity, including the storage of machinery or materials

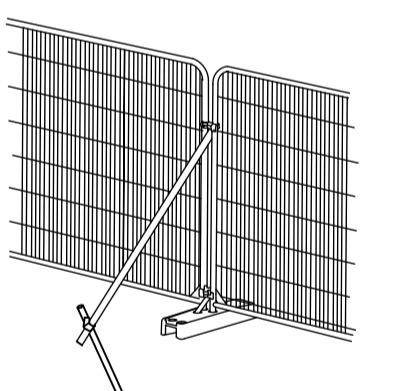


ILLUSTRATION SHOWING HERAS FENCING AS TEMPORARY ROOT PROTECTION BARRIER WITH SCAFFOLD BACKSTAY CLAMPED ONTO DRIVEN UPRIGHT ON ROOT SIDE AS RECOMMENDED BY BS 5837:2012. SEE PLAN FOR POSITIONING

Treetek

Treetek, Woodland Park, Contin, Ross-shire. IV14 9EU

Tel: 07857 145226 Email: Lawrance@treetek.co.uk

Client

Pat Munro Ltd

Project

Whitehills South, Alness

Drawing Title

Tree Protection Plan

Scale: 1:500 @ A1

Date: 3rd July 2023

DB LM

Drawing Number TPP_PM_280623

Rev

Sheet 1 of 1

