

Agenda Item	<b>6.3</b>
Report No	<b>PLS-46-24</b>

## HIGHLAND COUNCIL

**Committee:** South Planning Applications Committee

**Date:** 20 August 2024

**Report Title:** 23/05414/FUL: Tulloch Homes Ltd  
Land 200M East of 23 Willow Avenue, Slackbuie, Inverness

**Report By:** Area Planning Manager – South

### **Purpose/Executive Summary**

**Description:** Erection of 105 dwellings including associated roads, infrastructure, open space and landscaping

**Ward:** 19 – Inverness South

**Development category:** Major

**Reason referred to Committee:** Major

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

### **Recommendation**

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

## **1. PROPOSED DEVELOPMENT**

- 1.1 This application is for the erection of 105 residential units within Area H of the approved Masterplan for the Slackbuie Farm development that was granted outline planning permission in 2004 (03/00104/OUTIN). Area H along with Areas A, C, E, F form one part of the Slackbuie housing development that was granted planning permission for 416 units on 26 May 2008 (08/00244/FULIN). Development work has already been undertaken and completed within Areas A, C and E, while works are currently on site within Area F.
- 1.2 The proposed development comprises of a mix of 87 houses and 18 flats. The mix of units comprises:
- 18 three-bedroom semi-detached units
  - 18 three-bedroom detached units
  - 43 three-bedroom detached units
  - 4 two-bedroom terraced units
  - 4 three-bedroom terraced units
  - 18 two-bedroom flats
- 1.3 This application would take the overall unit numbers for this area of the Slackbuie development to 388 in total. This falls below the overall numbers allowed for under the terms of planning permission 08/00244/FULIN, representing a reduction in density across the wider development area. It should be noted that the delivery of affordable units in Area H is not an obligation of that permission as the affordable allocation relating to the wider Slackbuie development has already been delivered through previous allocated phases. However, the intention is to deliver 7 affordable units which will be located to the west boundary of the development.
- 1.4 Pre-Application Consultation: 22/06022/PREMAJ - Proposed residential development including associated roads, infrastructure and drainage (Area H, Slackbuie)
- 1.5 Supporting Information:
- Access Management Plan (Revised 15 April 2024)
  - Arboricultural Method Statement
  - Construction Environmental Management Document
  - Construction Traffic Management Plan
  - Design and Access Statement
  - Drainage Impact Assessment
  - Landscape and Biodiversity Statement
  - Tree Constraints Survey

- Tree Schedule
- Badger Protection Plan
- Transport Statement

1.7 Variations: None

## 2. SITE DESCRIPTION

2.1 The site is located in the Slackbuie area to the south side of Inverness. The site has open views over Inverness. There is established housing to the southwest, northwest and northeast of the site. To the southeast is the remaining area of Leys Castle Designated Landscape. The site slopes from southeast to northwest.

2.2 The boundary to the northwest of the site is defined by the existing flood relief channel with the boundary to the northeast defined by the self-build house plots at Slackbuie. Leys Castle is located beyond the southeast boundary which is defined by an existing stone wall and wooded area. An existing watercourse and tree belt is located to the southwest.

## 3. PLANNING HISTORY

3.1	09.09.2004	03/00104/OUTIN - Outline masterplan for the development of residential (including low-cost housing for sale or rent), site for new school, community facilities, means of access with roads hierarchy, open space and structural landscaping provision	Planning permission in principle granted
3.2	26.05.2008	08/00244/FULIN - Erect 416 residential units, access, internal roads, services, open space and landscaping	Planning permission granted
3.3	06.06.2014	13/04530/FUL AREA C – Erect 53 dwellings	Planning permission granted
3.4	03.03.2016	15/03577/FUL AREA E - Remix to form 95 Dwellings	Planning permission granted
3.5	02.11.2022	21/04716/FUL AREA F - Erect 49 dwellings	Planning permission granted
3.6	28.10.2016	16/03053/FUL Link Road	Planning permission granted
3.7	22.12.2022	22/06244/PAN Proposed residential development	

2 public consultation events took place in February 2023 and March 2023

3.8 05.04.2023 22/06022/PREMAJ Proposed residential development including associated roads, infrastructure and drainage (Area H, Slackbuie)

#### 4. PUBLIC PARTICIPATION

4.1 Advertised: Unknown Neighbour

Date Advertised: 01.12.2023

Representation deadline: 15.12.2023

Timeous representations: 4

Late representations: 0

4.2 Material considerations raised are summarised as follows:

- erection of 3 storey flats visually inappropriate; not in keeping with surrounding area; overlooking of gardens; height would block sun to properties to north of 3 storey buildings; denser population in an already overpopulated area.
- footpath connections and construction - footpath connection to housing at Upper Slackbuie; rural style pathways requires regular inspection and maintenance, and they lack visual appeal unless they are enhanced with thoughtful rural landscaping
- infrastructure; road junctions upgraded for traffic
- loss of green space; removal of trees
- natural woodland and wildlife protected on SE of site; bats and red squirrels; safeguard badger sett
- impact on schools and medical services
- lack of amenities
- open space for play area
- layout / open space in centre of development
- disruption and disturbance

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet [www.wam.highland.gov.uk/wam](http://www.wam.highland.gov.uk/wam).

#### 5. CONSULTATIONS

5.1 **Development Plans Team:** "This application response relates to 'Area H' within the wider Slackbuie area of Inverness, which was originally granted outline approval (03/00104/OUTIN) and later detailed approval (08/00244/FULIN). This

later approval granted consent was for 416No. residential units, with 92No. originally approved for Area H. The current submission is proposing 105No. units across Area H.”

“IMFLDP2 seeks the realisation of the site in accordance with (08/00244/FULIN) and an overall housing capacity of 405No. units across the entire site.”

“Additionally, IMFLDP2 requires the development to respect and safeguard the setting of the Leys Castle Garden and Designed Landscape, maximise active travel connectivity by demonstrating how connections to the public road network segregated motor vehicle traffic from pedestrian and cycle infrastructure and Developer Contributions to support increased frequency of public transport.”

The Development Plans Team note that 6No units, designed as wheelchair accessible for the ground floor. It considers that these units, plots 331-348, meet the requirements Of Policy 13 – Accessible and Adaptable Homes.

### **“Housing Numbers:**

With regards to housing numbers across the proposed site (Area H), the application shows a development of 105No. units, which is greater than the 92No. units approved as part of the original application (08/00244/FULIN). The total number of houses built, under construction and now proposed across the site area covered by permission (08/00244/FULIN) will be 388No., compared to the 416No. approved under decision notice 08/00244/FULIN.

Therefore, whilst the housing density of Area H is greater than originally approved, the development as proposed, would not result in a greater number of residential units across the entire site. In addition, the proposed layout is considered an improvement on the original approval and taking these issues together, the small increase in housing units on this parcel of ground is considered to be appropriate.

### **Development Layout:**

The current layout is considered an improvement on the previous approved layout as it reduces the dominance of the road network and omits a number of cul-de-sacs [on the] previously approved scheme. Additionally, the layout now provides more functional open space which has better natural surveillance from the proposed houses, including surveillance of the proposed SUDs area.”

The Development Plans Team consider that further improvements could still be considered including; incorporating an existing active travel access to the site, potential for dual frontage to the active travel route and consideration of play provision.

### **“Transport and Active Travel:**

Again, transport contributions were secured (towards the SDR) under the original application/legal agreement and therefore no further contributions are sought for transport improvements. However, improvements to Active Travel should be

sought, as identified above and in consultation with Transport Planning.

**Green Infrastructure:**

The Council Open Space SG requires a provision standard on 40sqm per person in Inverness and 2.23 occupancy per house. Applying this standard to the 105 proposed units results in a requirement of 9366sqm of greenspace. The SuDS area and open space area should be checked to confirm this requirement is met.

**Services Infrastructure:**

Scottish Water will advise the applicant directly on any contributions to facilitate a connection to the public water supply and sewer.

The DCSG states that all developments are required to make provision for waste management, including bins and recycling points as set out in the Managing Waste in New Developments Supplementary Guidance. Advice should be sought from the Council Waste Management Officer.

**Public Realm & Public Art:**

The Council's preference is for Public Art to be an integral part of the overall design of a development and to this end we note the new elevated viewpoint with seating and feature stone walling, in addition to the proposed entrance feature stone wall is proposed to satisfy this aspect."

**Developer Contributions:**

**Education** – Primary and Secondary: No further education contribution is required in this instance. Education contribution was considered and paid under the terms of the original s75 for the Slackbuie development for 416No. units and as this scheme keeps under the total number of units under the 416No. threshold no further contribution is required.

**Community Facilities** – The 2023 IMF Delivery Programme advises that all housing development within Inverness Royal Academy Secondary School Catchment are required to contribute to the expansion of the fitness room, dance studio and changing facilities at Hilton Community Centre.

**Affordable Housing** – As more than 100No. units have now been provided across the application site area, condition 3 (03/00104/OUTIN) has been satisfied and therefore no affordable housing provision is required to be provided across Area H."

5.2 **Transport Planning Team:** No objection.

**Vehicular Access and Trip Impacts** – a condition will be required to secure a Construction Traffic Management Plan prior to the main works commencing for this development. The Plan will need to give careful consideration on how the

various proposed points of access from Earls Gate will be managed to ensure they interact safely with each other whilst in use.

**Vehicular Access** – welcome the latest information which appears to suggest that visibility splays required at the access with Earls Gate should be capable of suiting either 20 or 30mph speed limits on Earls Gate.

**Internal Road Layout** – identify changes to the layout likely to be required through the review of the RCC but these will not materially impact the development layout as submitted. The principles adhere with the requirements of Designing Streets.

**Parking** –confirm that all properties with in-curtilage parking appear to have the required space for 2No. cars. The houses with communal parking (Units 323 – 330) and the flatted block (Units 331 – 348) have parking based on 1.5 spaces per unit, thereby meeting the minimum requirements.

The Transport Planning Team identify that the proposed locations of active and passive EV charging facilities support its belief that some of the paths accommodating such equipment will need to be widened to avoid creating unacceptable obstacles to the safe use of those paths. To this end it recommends a condition requiring the specific locations and product information for proposed shared communal EV Charging Units prior to the occupation of residential units that will be making use of those shared communal parking areas. Such designs need to demonstrate that the charging units will not create unsafe obstacles to the safe use of any paths providing access around communal parking areas.

Transport Planning welcomes the latest proposals that now provides buffer access strips on both sides of the parking bays that could be designated for use by disabled drivers.

It recommends a condition requiring the design details for the proposed cycle stores and paths connecting them to the adoptable public.

The Council's Public Transport Team has not sought changes to bus routes to more closely serve this development. Transport Planning advise that therefore the route along Earls Gate to the serviced stops on Slackbuie Braes is fully lit and has surfaced roadside footways along the entire length.

**Servicing** – recommend a condition requiring design details for communal bin stores be submitted and agreed. This should include details on the proposed path widths, gradients and locations of dropped kerbs around that area to understand how easy it will be to manoeuvre the large commercial bins from the stores to the public road for collection.

**Roads Drainage** – Transport Planning confirms that the design details for road gully and tail arrangements will be reviewed and accepted through the corresponding RCC process.

### 5.3 **Flood Risk Management (FRM) Team:** No objection.

#### “Flood Risk

i). In relation to the sizing of the existing culvert on the access road, along with topographic information, the culvert was appropriately sized with an allowance for freeboard. In the event of blockage, water will be routed through the site back into the watercourse or to the SuDS basin. A wide buffer between the development and the small watercourse to the west has been set aside as greenspace. Existing ground levels will be retained in this area. Content that the flood risk to the development is low.

#### Drainage

ii). Reviewed the Drainage Impact Assessment (DIA) provided (Proposed Housing Development, Slackbuie Area H. DIA. Fairhurst. November 2023). The western part of the site will drain into the existing surface water drainage network, used for earlier phases of the development to the north. Calculations have been provided to demonstrate that the network and SuDS basin has the capacity to accommodate this new phase. Discharge will be limited to the pre-development rate. The applicant will need to seek confirmation that Scottish Water are content with this approach.

iii). A new SuDS basin is required to drain the eastern part of the development. This will discharge into the Slackbuie Spring upstream of the South West Inverness Flood Relief Channel. The drainage infrastructure will be put forward for vesting by Scottish Water.

iv). Storms up to and including a 1 in 30 year plus climate change event will be managed by the drainage network without flooding. Storms up to and including the 1 in 200 year plus climate change event will be managed within the site without flooding to property of critical roads.

v). Content with the proposed drainage arrangements. Condition that the final surface water drainage design is submitted for review. This will need to include confirmation that Scottish Water will be prepared to adopt the system.”

### 5.4 **Forestry Team:** No objections

The applicant has provided a tree survey, schedule tree constraints plan, tree protection plan and arboricultural method statement. The vast majority of trees have been recorded as groups and no trees are proposed to be removed. The tree protection plan shows tree protection barriers to be installed at the extent of tree canopies or 7.5m from the stem, and this could be accepted. The tree protection plan also shows good separation between existing trees and proposed residential dwellings.

The arboricultural method statement describes the tree protection measures and also includes a section on the use of an Arboricultural Clerk of Works (ACoW) During Construction.

The applicant has also provided Overall Landscape Proposals drawing, Landscape Maintenance Plan and a Landscape and Biodiversity Statement which also includes the landscaping maintenance proposals.”



5.5 **Environmental Health:** No objection.

Construction Noise - The applicant has submitted a CEMD which includes a Construction Noise and Vibration Assessment and Mitigation Plan. The plan states that likely operating hours will be Monday – Friday between 0800 hours and 1800 hours and on Saturdays between 0800 hours and 1300 hours with no work being carried out on Sundays or Public Holidays. For the avoidance of doubt these hours will also apply to the use of generators that might be used for site lighting or drying of PPE etc.

It is expected that the developer/contractor will employ the best practical means to reduce the impact of noise at all times.

Dust - The CEMD also includes a section on dust management.

Seek a condition requiring the mitigation measures for noise and dust, as detailed in the CEMD, to be implemented.

5.6 **Contaminated Land:** No objections

5.7 **Environment Team (Archaeology):** No objection.

“An evaluation carried out at an earlier stage of development has been completed. Recent development in the wider area has highlighted the potential for buried remains to survive in this area. While the risk of encountering buried deposits is not such as to warrant a full excavation, it is important that the nature and extent of any features is identified and recorded before destruction. As a precaution, site clearance work should be done under archaeological supervision. Please therefore attach the following condition to any consent issued. This work is relevant for any initial site clearance, or groundworks required and any associated works, services or access. A controlled topsoil strip will ensure that that any features uncovered will be adequately recorded, while causing minimum delay to the development.”

5.8 **Access Officer:** No objection following receipt of revised Access Management Plan.

5.9 **Transport Scotland:** No objection.

5.10 **SEPA:** No objection.

“The information provided outlines that the culvert was designed to convey the 1 in 200 year plus 20% climate change flows, as was appropriate at the time, with a 200mm freeboard to soffit level. Blockage risk has further been considered through exceedance flow routing through the site and the email outlines that the link road has been designed to allow most of the flow overtopping the culvert in an exceedance event to route north back into the channel. A portion of the flows are expected to flow along the link road although levels have been set to allow the free flow to the detention basin which has sufficient freeboard to accommodate these flows. There should be no ponding on the roads which would allow water to reach property levels. Satisfied that consideration of the risk of flooding from the culvert over the small watercourse was considered as part of the previous applications and exceedance flows are unlikely to impact on properties proposed

within the current application.”

5.11 **Nature Scot:** No objection.

## **6. DEVELOPMENT PLAN POLICY**

6.1 National Planning Framework 4 (NPF4) was adopted by the Scottish Ministers and published on 13 February 2023. It is now part of the statutory development plan, while also replacing NPF3 and Scottish Planning Policy.

### **6.2 National Planning Framework (NPF4) (2023)**

Policy 1 – Tackling the Climate and Nature Crises

Policy 2 – Climate Mitigation and Adaptation

Policy 3 – Biodiversity

Policy 4 – Natural Places

Policy 6 – Forestry, Woodland and Trees

Policy 13 – Sustainable Transport

Policy 14 – Design Quality and Place

Policy 15 - Local living and 20-minute neighbourhoods

Policy 16 - Quality homes

Policy 18 - Infrastructure first

Policy 20 – Blue and green infrastructure

Policy 21 – Play, Recreation and Sport

Policy 22 – Flood Risk and Water Management

### **6.3 Highland Wide Local Development Plan (2012)**

28 - Sustainable Design

29 - Design Quality & Place-making

31 - Developer Contributions

32 - Affordable Housing

34 - Settlement Development Areas

51 - Trees and Development

56 - Travel

57 - Natural, Built & Cultural Heritage

58 - Protected Species

59 - Other Important Species

60 - Other Important Habitats

61 - Landscape

63 - Water Environment

64 - Flood Risk

65 - Waste Water Treatment

66 - Surface Water Drainage

74 - Green Networks

75 - Open Space

77 - Public Access

78 - Long Distance Routes

#### 6.4 **Inner Moray Firth Local Development Plan 2 (IMFLDP2) (2024)**

Application site is within policy allocation INS07 Earls Gate, which requires development to accord with planning permission (08/00244/FULIN) while setting out several additional developer requirements.

#### 6.5 **Highland Council Supplementary Planning Policy Guidance**

Developer Contributions (March 2018)  
Flood Risk and Drainage Impact Assessment (Jan 2013)  
Green Networks (Jan 2013)  
Highland Historic Environment Strategy (Jan 2013)  
Highland's Statutorily Protected Species (March 2013)  
Managing Waste in New Developments (March 2013)  
Open Space in New Residential Developments (Jan 2013)  
Public Art Strategy (March 2013)  
Roads and Transport Guidelines for New Developments (May 2013)  
Sustainable Design Guide (Jan 2013)  
Trees, Woodlands and Development (Jan 2013)

### 7. **OTHER MATERIAL POLICY CONSIDERATIONS**

#### 7.1 **Scottish Government Planning Policy and Guidance**

Energy Efficient Scotland Route Map (May 2018)  
Scotland's Energy Strategy Position Statement (Mar 2021)  
Historic Environment Policy for Scotland (Apr 2019)  
PAN 1/2021 – Planning and Noise (Mar 2011)  
PAN 60 – Planning for Natural Heritage (Jan 2008)  
PAN 61 – Sustainable Drainage Systems (Jul 2001)  
PAN 68 – Design Statements (Aug 2003)  
PAN 75 – Planning for Transport (Aug 2005)  
PAN 77 – Designing for Safer Places (Mar 2006)

### 8. **PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

#### **Determining Issues**

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

#### **Planning Considerations**

8.3 The key considerations in this case are:

- a) compliance with the development plan and other planning policy
- b) layout, design, and landscaping;

- c) access, parking and servicing;
- d) flood risk and drainage;
- e) impact on the natural environment;
- f) any other material considerations.

### **Development plan/other planning policy**

- 8.4 Development Plan Policy is set out in National Planning Policy 4 (NPF4), the Highland-wide Local Development Plan (HwLDP), the Inner Moray Firth Local Development Plan2 (IMFLDP2), and statutorily adopted supplementary guidance.
- 8.5 The site is located within the Inverness Settlement Area as defined within the IMFLDP2.
- 8.6 IMFLDP2 allocates the site at INS07 which seeks to ensure development in accordance with Planning Permission 08/00244/FULIN.
- 8.7 NPF4 Policy 6 (Forestry, woodland and trees) seeks to protect and expand forests, woodland and trees.
- 8.8 NPF4 Policy 13 (Sustainable transport) – seeks to encourage, promote and facilitate developments that prioritise walking, wheeling, cycling and public transport for everyday travel and reduce the need to travel unsustainably.
- Part (b) supports development proposals where it can be demonstrated that the transport requirements generated have been considered in line with the sustainable travel and investment hierarchies and several other detailed criteria, including (viii) adequate mitigation of any impact on local public access routes.
- Part (c) requires that where a development proposal will generate a significant increase in the number of person trips, a transport assessment will be required to be undertaken in accordance with the relevant guidance.
- 8.9 NPF4 Policy 14 (Design, quality and place) intends to encourage, promote and facilitate well designed developments that make successful places by taking a design-led approach and applying the Place Principle.
- Part (a) supports development proposals that are designed to improve the quality of an area.
- Part (b) supports development proposals where they are consistent with the six qualities of successful places.
- 8.10 NPF4 Policy 16 (Quality homes) aims to encourage, promote and facilitate the delivery of more high quality, affordable and sustainable homes, in the right locations, providing choice across tenures that meet the diverse housing needs of people and communities across Scotland.
- Development proposals that include 50 or more homes, and smaller developments if required by local policy or guidance, should be accompanied by a Statement of Community Benefit. The statement will explain the contribution of the proposed development to:

- i. meeting local housing requirements, including affordable homes;
- ii. providing or enhancing local infrastructure, facilities and services; and
- iii. improving the residential amenity of the surrounding area.

Furthermore, the policy identifies that development proposals for new homes will be supported where they make provision for affordable homes to meet an identified need.

- 8.11 NPF4 Policy 21 (Play, recreation and sport) seeks to encourage, promote and facilitate spaces and opportunities for play, recreation and sport.

Part (e) requires development proposals that include new streets and public realm should be inclusive and enable children and young people to play and move around safely and independently, maximising opportunities for informal and incidental play in the neighbourhood.

- 8.12 Highland-wide Local Development Plan 2012 (HwLDP) sets out a range of planning policies applicable for the whole Highland Council area. The following policies are particularly relevant:

- Policy 28 Sustainable Design – assesses proposals on the extent to which they are compatible with a range of factors, including impacts on individual and community residential amenity and demonstrating high quality siting and design. There is Supplementary Guidance related to this policy.
- Policy 29 Design Quality and Placemaking – requires new development should be designed to make a positive contribution to the architectural and visual quality of the place in which it is located. There is Supplementary Guidance related to this policy.
- Policy 34 Settlement Development Areas – supports development within settlement development areas subject to compatibility with the existing pattern of development and landscape character and conformity with existing and approved land uses.
- Policy 51 Trees and Development – supports development which promotes significant protection to existing hedges, trees and woodlands on and around development sites.
- Policy 56 Travel - requires development proposals that involve travel generation to include sufficient information with the application to enable to Council to consider any likely on- and off- site transport implications of the development.

Other relevant HwLDP policies include:

- Policy 57 – Natural, Built and Cultural Heritage
- Policy 66 – Surface Water Drainage
- Policy 74 – Green Networks
- Policy 77 – Public Access

- 8.13 The principal of housing development is acceptable in this location. The site has been allocated for residential development for a number of years. While the

proposal is for a development of 105 dwellings and therefore an increase on the 92 permitted for Area H under planning permission 08/00244/FULIN, when viewed in the context of the development as whole the total number of units will have reduced from 416 to 388 units.

- 8.14 The development plan contains a number of further policy tests that must be taken into account in determining this application; in particular matters relating to layout, design, place-making and infrastructure provision. If there are no significant impacts arising from these matters, then the application would comply with the Development Plan and could be supported.

### **Layout, design, and landscaping**

- 8.15 The layout of the site follows the principles of Designing Streets, with a looped layout and minimal cul-de-sacs, and has been developed to respond to the existing site context and is reflective of the character of the surrounding area, which is of modern housing developments. The site slopes southeast to northwest and the houses are predominantly 2-storey, with a range of sizes and house types. Their scale and the overall plot density and layout is similar to the neighbouring housing, particularly to the southwest and north.
- 8.16 To the rear of the site on the southeast boundary is a single block of 18 3-storey flats. These are placed on a street with a mix of 2-storey houses, with their principal elevations facing northwest. The land to the southeast of the flats is higher and backgrounded by mature trees up to 20m high.
- 8.17 The flats would be approximately 85m southeast of existing housing at Upper Slackbuie and would have other houses within the development separating them from these existing houses. Accordingly, it is not considered that there would be any significant privacy or amenity impact on these existing houses. There is around 28m separation between the flats and the proposed houses on the other side of the street to the northwest. This degree of separation is considered appropriate.
- 8.18 The houses have been positioned to ensure that windows on principal elevations do not directly overlook neighbouring properties and achieve a minimum 18m amenity separation between windows of habitable rooms located directly opposite each other. Their designs are similar to those in the earlier phases of the development, particularly to the southwest and north. The external finishes to the houses will comprise a mix of weatherboard, white dry dash render, grey concrete rooftiles and a grey pre-cast basecourse. The flats adopt a matching material palette and are very similar to the recently completed flats at Broomhall Court in the Inshes area of Inverness. The final colours of the materials and specifications can be secured by condition.
- 8.19 Dual aspect housing designs will be provided at strategic corners of the development and to houses fronting onto key junctions. Active frontages will also be provided onto areas of public open space which will enhance the street scene whilst also providing an attractive outlook from the houses.

- 8.20 The landscaping of the site is provided by a mix of planting, and hard features. Boundaries will comprise hedging to the front and side of the properties and fencing to the rear. A feature stone wall detail will be provided at the entrance to the site.
- 8.21 Private garden levels have also been designed to reduce the requirement for significant retention and will incorporate timber sleeper walls to create variation within private rear garden areas whilst reducing the visual impact on the landscape allowing a more sympathetic approach to the levels design to the edges of the development.
- 8.22 A suitable offset from the existing tree line to the south is required to ensure that any development sits clear of the existing tree canopy line and root protection area. Additional structured landscaping and woodland planting is proposed to the northern and eastern edges of the site to ensure the proposed development is well integrated into the landscape setting.
- 8.23 The open space for the proposed development is in line with the Supplementary Guidance 'Open Space in New Residential Development' with the total combined greenspace area for the development of 19,073sqm which is well in excess of the minimum requirement of 9,366sqm of greenspace for 105 units. There is a dedicated area of open space to the north-east corner of the site which would include a mown grass area with opportunities for informal play and walking. This area shares a boundary with the open space related to the self-build houses at Upper Slackbuie to the northeast.
- 8.24 A formal footpath linkage is proposed adjacent and to the southwest of the proposed flats to the woodland to the southeast of the site; and also, to the western edge of the site, linking near to the existing housing at Bramble Close. In addition, more informal paths are proposed to the rear of the housing and flats along the southeast and northeastern site boundaries.
- 8.25 Outside and along the northern side of the site is the southwest Inverness Flood Relief Channel which runs from southwest to northeast. A formal footpath parallel to the Channel, and along the rear of the houses on the northern edge of the site is proposed. A more informal path is also proposed from the northern part of the site towards Upper Slackbuie, following an existing pedestrian desire line.
- 8.26 It is understood that due to third party land ownership, a formal link in this area cannot unfortunately be provided.
- 8.27 The formal rural style pathways will be constructed with well compacted whin dust or gravel which is a common surface material typically applied to informal secondary routes. The specification of these footpaths can be agreed by condition.
- 8.28 The development does not include any formal playpark. However, there are small formal playpark spaces within approximately 500m of the development. Notwithstanding this, there are open greenspaces within and in particular on the southern edge of the site.

- 8.29 Within the southwest and western part of the site, it is proposed to provide an area of public art featuring a dry-stone dyke, with seating and feature paving, providing an open space area and viewpoint.

### **Access, Parking and Servicing**

- 8.30 Vehicular access will be taken from the southwestern corner of the site which will connect to Bramble Close / Earls Gate on a currently uncompleted section of road.
- 8.31 Within the site, the proposed loop road arrangement will minimise the impact on existing ground contours with the layout and design developed to minimise the removal of excavated materials off site. Traffic calming within the site is proposed through the detailed design of the road, using raised tables and buildouts. The exact detail of this will be confirmed through a separate Road Construction Consent.
- 8.32 The Transport Planning team have sought clarity on the locations and details of the active and passive EV charging facilities across the development. The developer has confirmed that the position of 'Active' and 'Passive' EV charging provision to communal parking areas has been shown on the Site Layout Plan 4144-01-004 Rev V. Notwithstanding this, it is considered appropriate that details of this are controlled by condition, particularly due to fast-changing standards and the nature of the technology.
- 8.33 Furthermore, the Transport Planning team have also sought clarity on the detailed design of the communal bin storage for the flats, as well as details on the manoeuvring of the large commercial bins from the stores to the public road for collection. This can be addressed by condition.
- 8.34 An electricity substation is proposed in the northwestern corner of the site on the eastern side of the currently uncompleted section of road at Bramble Close / Earls Gate. The details of this can be controlled by condition.

### **Flood Risk and Drainage**

- 8.35 Surface water drainage is to be provided by means of a designed SuDS basin, located in the north corner of the. The basin will be incorporated into the open green space and will be surrounded by formal and informal paths. The FRM team is satisfied that the flood risk to the development is low and are content with the proposed drainage arrangements. The details of the final surface water drainage design can be controlled by condition.

### **Impact on the Natural Environment**

- 8.36 Protected species - badgers and red squirrels – are located within the site and the layout has been designed to accommodate this. In order to protect these interests during the construction phase of the development, a 30m buffer zone will be provided around these interests prior to the commencement of any construction works. The details of this can be controlled by condition.



### **Other material considerations**

- 8.37 As more than 100 units have now been provided across the application site area, condition 3 (03/00104/OUTIN) has been satisfied and therefore no affordable housing provision is required to be provided across Area H. The 7 affordable units identified by the applicant on this site – along the western edge and facing the currently uncompleted section of road at Bramble Close / Earls Gate, are being offered on a voluntary basis.
- 8.38 Representations refer to the potential impact that the development may have on local schools and medical services. In this instance, the level of Developer Contributions required for the wider Slackbuie development has previously been agreed with The Highland Council in the form of a Section 75 Agreement attached to planning permission 08/00244/FULIN and the financial contributions paid directly to the Council. Contributions have been identified as necessary for Community Facilities in this instance.
- 8.39 Primary and Secondary: No further education contribution is required in this instance. An education contribution was considered and paid under the terms of the original S75 for the Slackbuie development for 416No. units and as this scheme keeps under the total number of units under the 416No. threshold no further contribution is required.
- 8.40 The 2023 IMF Delivery Programme advises that all housing development within the Inverness Royal Academy Secondary School Catchment are required to contribute to the expansion of a fitness room, dance studio and changing facilities at Hilton Community Centre. The amount due is laid out in Appendix 2.

### **Non-material considerations**

- 8.41 There are no other non-material considerations considered relevant to the determination of this application.

### **Developer Contributions**

- 8.42 Policy 31 Developer Contributions sets out that developer contributions may be sought when a development would result in a deficiency in public services. Contributions can be sought to address such deficiencies, for example towards increased education capacity, transportation and infrastructure. The Development Plans Team have provided advice on the latest requirements for developer contributions as these are based on the latest forecast modelling for matters such as the school roll.

### **Matters to be secured by Section 75 Agreement**

- 8.43 The Developer Contributions for Community Facilities will be secured through a legal agreement under Section 75 of the Town and Country Planning (Scotland) Act 1997 (As Amended). A contribution towards the expansion of fitness room, dance studio and changing facilities at Hilton Community Centre will result in a figure of £1,568 per unit.

## 9. CONCLUSION

- 9.1 The proposal represents the last phase (Area H) of residential development at Slackbuie and comprises 105 residential units. A site layout was approved (08/00244/FULIN) and the proposed revised layout (23/05414/FUL) is considered to present an improvement to that permission.
- 9.2 The proposed design and layout is of a high standard and reflects previous phases of the development at Slackbuie.
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## 10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

## 11. RECOMMENDATION

### Action required before decision issued

Notification to Scottish Ministers      N

Conclusion of Section 75 Y  
Obligation

Revocation of previous permission      N

**Subject to the above actions**, it is recommended to **GRANT** the application subject to the following conditions and reasons

1. The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.  
**Reason:** In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).
2. No development or work shall commence until a detailed specification for all proposed external materials and finishes (including trade names and

samples where necessary) has been submitted to, and approved in writing by, the Planning Authority. Thereafter, development and work shall progress in accordance with these approved details.

**Reason:** In the interests of visual amenity.

3. No works shall start on site until the developer shall have submitted a Construction Traffic Management Plan for the approval in writing of the Planning Authority, in consultation with the Roads Authority. The Plan shall include:
  - the intended routing of construction traffic to and from the site
  - demonstrate whether the route(s) will be capable of accommodating the proposed size and volume of construction traffic required
  - identify where construction-related traffic will park and where loading and unloading of plant and materials will be undertaken
  - where the site compound and materials store will be located
  - mitigation to safely accommodate the proposed construction access needs set out above
  - management of the access points from Earls Gate to ensure that they interact safely with each other whilst in use

The development shall thereafter be undertaken in accordance with the agreed Plan.

**Reason:** In the interests of pedestrian and road traffic safety.

4. Notwithstanding the provisions of Article 3 and Class 14 of the Town & Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended, revoked or re-enacted; with or without modification), no development shall commence until full details of any temporary site compounds and storage areas (including their location, scale and means of enclosure) shall be submitted to, and approved in writing by, the Planning Authority. Thereafter, the site compounds and storage areas shall be formed in accordance with these approved details. Furthermore, all site compounds shall be maintained in a tidy, safe and secure fashion and be removed from the application site within one month of the development being completed.

**Reason:** In order to safeguard the amenity of neighbouring properties and occupants.

5. No works shall start on site until full details of all proposed cycle stores and paths connecting them to the adoptable public road shall have been submitted for the approval in writing of the Planning Authority, in consultation with the Roads Authority. The development shall be undertaken in accordance with the agreed details and shall be installed and ready for use prior to the occupation of any the proposed flats.

**Reason:** In the interests of pedestrian and road traffic safety.

6. No works shall start on site until details of the communal bin stores shall have been submitted for the approval in writing of the Planning Authority, in consultation with the Roads Authority. For the avoidance of doubt, the design details for the bin stores shall include information on the proposed path widths, and gradients and locations of dropped kerbs around that area to demonstrate the manoeuvring of large commercial bins from the stores to the public road for collection. The development shall be undertaken in accordance with the agreed details prior to the occupation of any of the proposed flats.

**Reason:** In the interests of pedestrian and road traffic safety.

7. No development shall commence until full details of all surface water drainage provision within the application site, which shall accord with the principles of Sustainable Urban Drainage Systems (SUDS) and be designed to the standards outlined in Sewers for Scotland Fourth Edition, or any superseding guidance prevailing at the time, shall have been submitted to, and approved in writing by, the Planning Authority in consultation with the Flood Risk Management Team. Thereafter, only the approved details shall be implemented, and all surface water drainage provision shall be completed prior to the first occupation of any of the development. For the avoidance of doubt, the SuDS system shall be designed so that it is capable of being adopted by Scottish Water, and that any part of the system not vested by Scottish Water shall remain the responsibility of the developer.

**Reason:** To ensure that surface water drainage is provided timeously and complies with the principles of SUDS; and to ensure that the surface water drainage system is maintained by an appropriate party and that the party responsible for maintenance can be easily identified should any issue arise.

8. With effect from the date of this permission, no trees are to be cut down, uprooted, topped, lopped (including roots) or wilfully damaged in any way, without the prior written permission of the Planning Authority.

**Reason:** To ensure the protection of retained trees during construction and thereafter.

9. No development, site excavation or groundwork shall commence until all retained trees have been protected against construction damage using protective barriers located beyond the Root Protection Area (in accordance with BS5837:2012 Trees in Relation to Design, Demolition & Construction, or any superseding guidance prevailing at that time). These barriers shall remain in place throughout the construction period and must not be moved or removed during the construction period without the prior written approval of the Planning Authority.

**Reason:** To ensure the protection of retained trees throughout the construction period.

10. All landscaping works shall be carried out in accordance with the scheme and plans approved as part of this permission. All planting, seeding or turfing

as may be comprised in the approved scheme and plans shall be carried out in the first planting and seeding seasons following the commencement of the development, unless otherwise stated in the approved scheme. Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

**Reason:** In the interests of visual amenity.

11. No development, site excavation or groundwork shall commence until a suitably qualified Landscape Consultant has been appointed by the developer. Their appointment and remit shall first be approved in writing by the Planning Authority. For the avoidance of doubt, the Landscape Consultant shall be appointed as a minimum for the period from the commencement of the development until the completion of the approved landscaping work and their remit shall, in addition to any functions approved in writing by the Planning Authority, include:
  - i. Ensuring that the approved Landscape Plan is implemented to the agreed standard; and
  - ii. The preparation of Certificates of Compliance for each stage of work involved in the development, which shall be submitted to the Planning Authority upon completion of the stage to which they relate. Prior to the commencement of development, site excavation or groundwork commencing, details of each stage of work (including a general description of the type and extent of work to be carried out within that stage) shall be submitted to, and approved in writing by, the Planning Authority.

**Reason:** In the interests of visual amenity

12. No later than three months prior to the Commencement of the Development, an updated (to that of 14.11.2023) Construction Environment Management Document (CEMD) shall be submitted for the approval in writing of the Planning Authority, in consultation with SEPA, Flood Risk Management Team, Transport Planning, Environmental Health and other consultees as appropriate. The development shall then proceed in accordance with the approved CEMD unless otherwise agreed in writing by the Planning Authority. The CEMD shall include details of:
  - a) Construction Environmental Management Plans (CEMPs) for the construction phase, covering:
    - i. Habitat and Species Protection;
    - ii. Pollution Prevention and Control;
    - iii. Dust Management, covering demolition and construction activity, including vehicle movements;

- iv. Construction Noise and Vibration (refer to Condition 7). Hours of construction limited to between 0800 hours and 1800 hours Monday to Friday and 0800 hours and 1300 hours on Saturdays with no works on Sunday or Bank Holidays;
  - v. Temporary Site Lighting;
  - vi. Site Waste Management;
  - vii. Surface and Ground Water Management, including: drainage and sediment management measures from all construction areas including access tracks; drainage by SUDS to accommodate the 1 in 200 plus an allowance for climate change; mechanisms to ensure that construction will not take place during periods of high flow or high rainfall; and a programme of water quality monitoring;
  - viii. Soil Management, with details of soil placement and measures to utilise the soils' existing seed base in the finalised landscaping plan;
  - ix. Spoil Management Plan;
  - x. Public Water Supply Protection Measures;
  - xi. Emergency Response Plans;
  - xii. Timetable for post construction restoration/reinstatement of the temporary working areas and construction compound;
  - xiii. Phasing plans for the construction; and
  - xiv. Other relevant environmental management as may be relevant to the development.
- b) A statement of responsibility to 'stop the job/activity' if a breach or potential breach of mitigation or legislation occurs; and
- c) Methods for monitoring, auditing, reporting, and the communication of environmental management on site and with client, Planning Authority and other relevant parties.

**Reason:** To ensure protection of surrounding environmental interests and general amenity.

13. No development or work (including site clearance) shall commence until proposals for an archaeological watching brief to be carried out during site clearance and excavation works, has been submitted to, and approved in writing by, the Planning Authority. Thereafter, the watching brief shall be implemented as approved.

**Reason.** In order to protect the archaeological and historic interest of the site.

14. No development shall commence until full details of any external lighting to be used within the site and/or along its boundaries and/or access shall have been submitted to, and approved in writing by, the Planning Authority. Such details shall include full details of the location, type, angle of direction and wattage of each light which shall be so positioned and angled to prevent any direct illumination, glare or light spillage outwith the site boundary. Thereafter only the approved details shall be implemented.

**Reason:** In order to ensure that any lighting installed within the application site does not spill beyond the intended target area, does not impact adversely upon the amenity of adjacent properties and does not result in 'sky glow'.

15. None of the houses shall be occupied until a scheme for the maintenance, in perpetuity, of all on-site green spaces and any other spaces, facilities, features or parts of the development that are not the exclusive property of any identifiable individual home owner (such as communal parking areas and estate lighting, and those elements of surface water drainage regimes not maintained either by the Council or Scottish Water), have been submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented in full and in accordance with the timescales contained therein.

**Reason:** To ensure that all communal spaces, facilities and landscaping areas are properly managed and maintained.

16. Prior to the first occupation of each house and flat within the development car parking spaces and cycle parking spaces (inclusive of communal cycle parking facilities as appropriate) shall be provided in line with the standards contained within The Highland Council's Road and Transportation Guidelines. Thereafter, all car parking and cycle parking spaces shall be maintained for this use in perpetuity.

**Reason:** To ensure that appropriate levels of car and cycle parking are available for each plot.

17. No development shall commence until the principles for the siting and design of all on-street above ground infrastructure (including electrical substations, junction boxes and broadband cabinets) within the development has been submitted to and approved in writing by the Planning Authority. Thereafter the delivery of above ground infrastructure shall be delivered in accordance with the approved principles.

**Reason:** In the interests of visual amenity and to ensure that these matters can be considered in detail to ensure the character and identity of the development is maintained.

18. No development shall commence until a scheme has been submitted detailing the provision of electric vehicle charging points, for both private driveways, and shared communal parking areas. The scheme shall include:

- i. the provision of infrastructure, defined as the provision of cabling from the consumer unit within the property to an external point, to allow

charging of electric vehicle within the curtilage of each house where the house has in-curtilage car parking provision;

- ii. a timescale for implementation for infrastructure within a timescale for implementation for infrastructure within each phase or sub phase; and
- iii. outline detail of a communication pack to be provided to each household on first occupation explaining how they can access electric vehicle infrastructure.

The approved scheme(s) shall be implemented in line with the approved timescales.

**Reason:** To facilitate the move toward the reduction in reliance of petrol and diesel cars.

19. No development shall commence until an Environmental Clerk of Works (ECoW) shall have been appointed by the developer. Their appointment and remit shall first be approved in writing by the Planning Authority (in consultation with SEPA and SNH). For the avoidance of doubt, the ECoW shall be appointed as a minimum for the period from the commencement of development to the final commissioning of the development and their remit shall, in addition to any functions approved in writing by the Planning Authority, include:

- i. Providing training to the developer and contractors on their responsibilities to ensure that work is carried out in strict accordance with environmental protection requirements;
- ii. Monitoring compliance with all environmental and nature conservation mitigation works and working practices approved under this permission;
- iii. Advising the developer on adequate protection for environmental and nature conservation interests within, and adjacent to, the application site;
- iv. Directing the placement of the development (including any micro-siting, if permitted by the terms of this consent) and the avoidance of sensitive features; and
- v. The power to call a halt to development on site where environmental considerations warrant such action.

**Reason:** To ensure that an Environmental Clerk of Works, with sufficient remit, is appointed for the duration of development in order to monitor, advise and direct the developer; in the interests of nature conservation.

20. Prior to the commencement of any development, the developer shall have provided a 30m buffer zone around protected species interests on the site – badger sett, and red squirrels. The details of the marking and maintenance of the buffer zone for the duration of all construction works associated with the development shall be provided for the approval in writing of the Planning Authority in consultation with NatureScot. The development shall thereafter be undertaken in accordance with the agreed details.



**Reason:** In order to protect the natural heritage interests of the site.

21. No development shall commence until the developer shall have provided a written specification for the rural style pathways for the approval in writing of the Planning Authority in consultation with the Access officer. For the avoidance of doubt, the pathways shall be maintained by a factoring agreement which shall include periodic inspection and maintenance.

**Reason:** In order to clarify the terms of the permission hereby approved.

22. All footpaths to be adopted by the Council shall be surfaced in bituminous macadam or a similar hard, cohesive material. Thereafter, all footpaths shall be maintained for this use in perpetuity unless/until it is adopted for maintenance under the Roads (Scotland) Act 1984 (as amended).

**Reason:** In the interests of pedestrian safety, and that the works involved comply with applicable standards.

## **REASON FOR DECISION**

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## **INFORMATIVES**

### **Initiation and Completion Notices**

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

### **Flood Risk**

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the

application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

### **Scottish Water**

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

### **Local Roads Authority Consent**

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

[http://www.highland.gov.uk/info/20005/roads\\_and\\_pavements/101/permits\\_f\\_or\\_working\\_on\\_public\\_roads/2](http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_f_or_working_on_public_roads/2)

### **Mud & Debris on Road**

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

**Construction Hours and Noise-Generating Activities:** You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a

Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact [env.health@highland.gov.uk](mailto:env.health@highland.gov.uk) for more information.

### **Protected Species – Halting of Work**

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature: David Mudie

Designation: Area Planning Manager – South

Author: Keith Gibson

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

4144-01-001 REV B Location Plan  
4144-01-004 REV W Site Layout Plan  
000001 Site Layout Plan - Phasing Plan  
4144-01-300 Site Section Plan  
4144-01-121 Elevations - 2no Corran and 2no Orrin terrace  
4144-01-126 Elevations - Corran  
4144-01-131 Elevations – Torrin  
4144-01-136 Elevations - Calder  
4144-01-141 Elevations – Elm  
4144-01-146 Elevations - Affric  
4144-01-151 Elevations – Tweed  
4144-01-156 Elevations – Etive  
4144-01-161 Elevations – Tarvie  
4144-01-166 Elevations – Willow  
4144-01-171 Elevations – Lochalsh  
4144-01-176 Elevations – Culzean  
4144-01-181 Elevations - 2b4p Villa - 450 Step  
4144-01-186 Elevations - 3b5p Villa - 450 Step  
4144-01-191 Elevations - 4b6p Detached Villa  
4144-01-201 Elevations - 3 Storey Flats

## Appendix 2

	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
Type	Contribution	Rate (per house)	Rate (per flat)	Total Amount* <sup>1</sup>	Index Linked <sup>1</sup>	Base Date* <sup>2</sup>	Payment Trigger* <sup>3</sup>	Accounting Dates* <sup>4</sup>	Clawback Period* <sup>5</sup>
<b>Community Facilities</b>	Expansion of fitness room, dance studio and changing facilities at Hilton Community Centre	£1568.00	£1568.00	£164,640.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20

\*1 Adjust total to take account of flat exemptions

\*2 Base Date – Set out in Supplementary Guidance on Developer Contributions

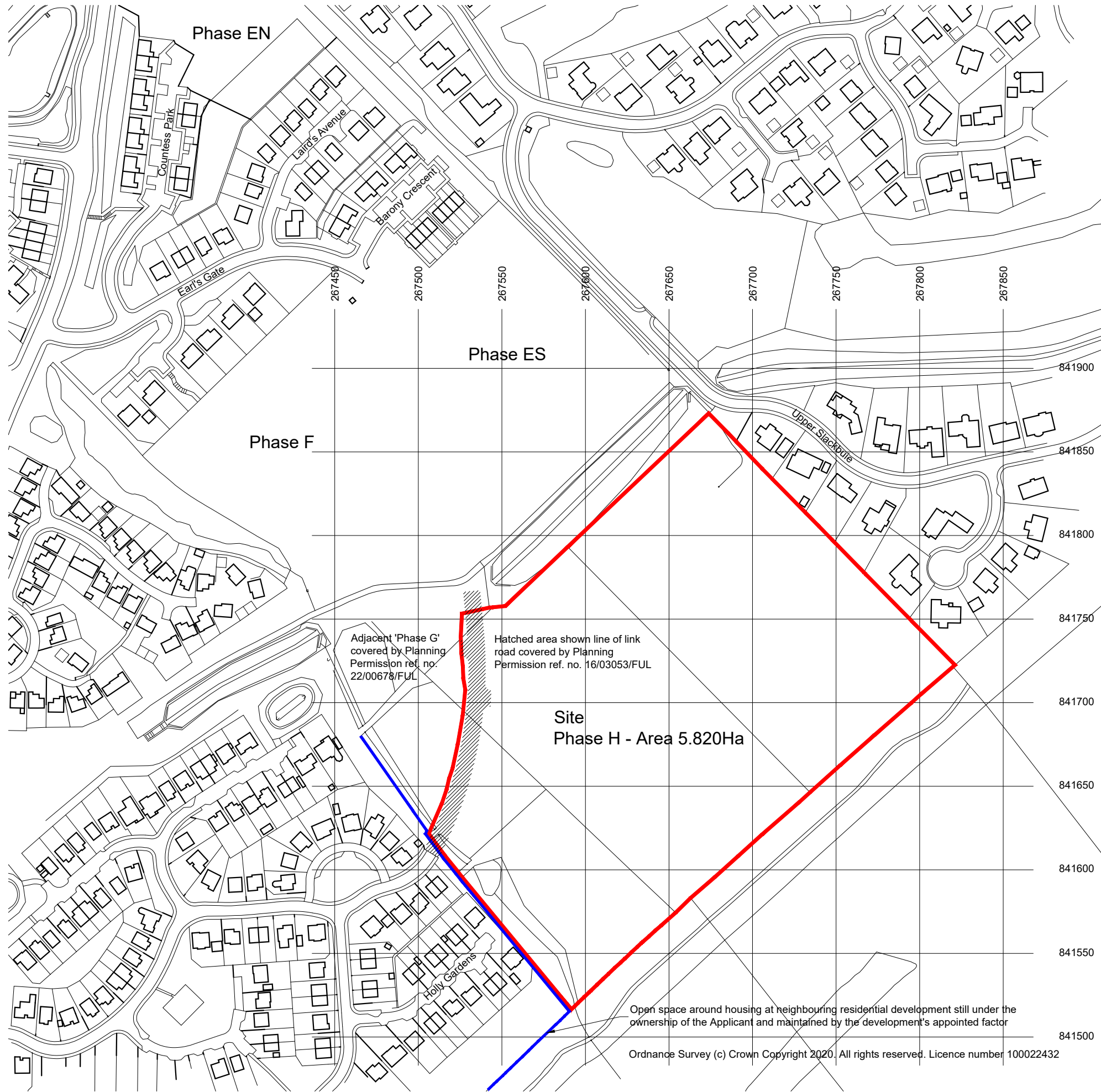
\*3 TOC/CC – The earlier of the issue of either a temporary occupation certificate or a completion certificate – or specify alternative time if appropriate

\*4 Accounting dates - 1 April and 1 October each year of development (if the contribution is to be paid on a basis other than related to units completed in the preceding 6 months (e.g. lump sum on a specific date) then indicate this instead of the Apr/Oct payment dates)

\*5 Clawback – 15 years for Major development; 20 years for Local development

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<sup>1</sup> If the contribution is to be used towards infrastructure projects involving building e.g. new school, new cycle route etc BCIS ALL IN TENDER will be the index, if it doesn't involve building then another appropriate index may need to be chosen with the agreement of Team Leader



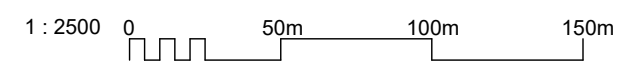
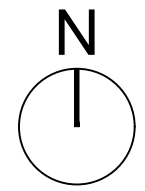
REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

LOCATION PLAN



SCALE:	1 : 2500	DRAWN:	--
PAPER SIZE:	A3	DATE:	Nov 2023
DWG No.	4144-01-001	REV.	B



- Key:**
- 221 Plot numbers
  - B1/B2 House type code / Handled house type code
  - A Indicative location on an access head pump to rear of house
  - G Gate to rear garden
  - Indicative rotary clothes drier location

- Boundary Treatments / Landscaping:**
- 1.8m screen wall / fence with posts
  - 1.8m timber screen fence
  - 0.9m timber screen fence
  - 0.9m post & wire fence
  - Plot division line
  - Hedge
  - Stone wall subject to repair
  - Existing Stone wall subject to repair
  - Communal open space
  - Indicative shrub planting
  - Woodland
  - Indicative tree planting

- Car Parking / EV Charging:**
- In-courtyard 2.5 x 5.0m car parking space
  - Future in-courtyard single garage space
  - Indicative in-courtyard EV charging point location
  - Indicative communal dual connector EV charging point location (Active provision)
  - Indicative future communal EV charging point location (Passive provision)

- In-Courtyard EV Charging Provision**
- Provision for up to 7kW Electric Car Charging in accordance with Approved Document P: Electrical safety - wiring, specifying all Work Regulations (BS7671:18th edition (2018)) and the BS Code of Practice for Charging Electric Vehicle (BS7175:2019) and the BS Code of Practice for Charging Electric Vehicle (BS7175:2019) and the BS Code of Practice for Charging Electric Vehicle (BS7175:2019). External socket devices to be installed with suitable weather and suitable for upgrading in the future to a fast-charging device. External socket devices to be installed with suitable weather and suitable for upgrading in the future to a fast-charging device. External socket devices to be installed with suitable weather and suitable for upgrading in the future to a fast-charging device.

- Active Communal EV Charging Provision**
- External public 7kW dual connector EV charging unit off landlocked supply in IET Code of Practice for EV Charging. Future to then appoint a Specialist EV Supply Contractor to manage the system on their behalf.
- Passive Communal EV Charging Provision**
- Provision for future public 7kW connector EV charging unit off landlocked supply (Provision of necessary underlying infrastructure including capacity to connect to the local electricity distribution network. Allow for cabling for the above parking spaces to enable simple installation and activation of the charge point at a future date.)

- Refuse / Bin Collection:**
- Indicative in-courtyard location of refuse bin store
  - RCP Refuse Collection Point for shared private driveways for in-courtyard bin storage
  - All detached, semi-detached and terraced properties have space for in-courtyard bin storage
  - Plot 301-322, 349-372, 375-377 & 380-400 (Detached & semi-detached houses): Bin uplift will be at the kerbside of the adjacent road and will require occupiers to transport the relevant bin from the bin store to the kerbside.
  - 373-374 & 376-379 (Detached & semi-detached houses off shared driveways): Bin uplift will be at the kerbside of the adjacent road and will require occupiers to transport the relevant bin from the bin store to the kerbside.
  - 323-330 (Terraced Houses): Bin uplift will be at the kerbside of the adjacent road from one of the identified Refuse Collection Points. Occupiers will be required to transport the relevant bin from the bin store to a Refuse Collection Point.
  - 331-348 (Communal Access Flats): Communal bin storage will be provided in the 2nd communal bin stores identified on the plan. The Highland Council refuse department will be required to access the communal bins within stores.

- Private Garden Gradients:**
- Private rear gardens are generally flat for the first 5m from the building rising or falling a maximum of 100mm over the 5m length.
- Some gardens continue to be relatively flat beyond 5m. Where gardens require to be steeper a 1:7 slope is proposed beyond the 5m. In some instances parts of gardens require to be steeper or have retaining structures proposed. To reduce different solutions are indicated as shown in the key below.
- Break line between relatively flat garden and an increased fall or rise to garden
  - 0.6m RR Low masonry retaining wall typically only between house gates
  - 1.0m RR Low timber sleeper retaining wall typically contained within rear garden
  - 1.1-2.0m RR Interlocking masonry retaining wall to specialist designer design typical along yards
  - 1.1-2.0m RR Garden gradient, typically 1:7
  - Garden gradient, typically steeper than 1:7, up to 1:3

- Accessibility:**
- All houses/flats will be provided with accessible access routes in line with the relevant Building Regulations.
- 6m<sup>2</sup> of the flat (plots 331-332, 337-338 & 343-344) will be designed to be usable by wheelchair users, all will be located on the ground floor with an accessible access route and internal floor layout that will accommodate.

**Area H, Slackbuie, Inverness: Accommodation Schedule**

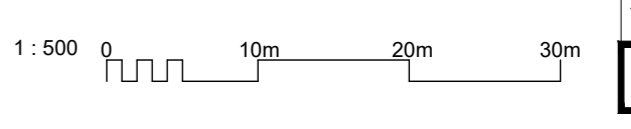
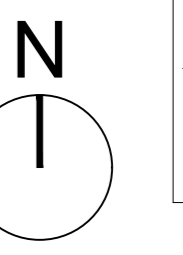
Ver. Code	Name	Bedrooms	Description	Floor Area m <sup>2</sup>	No. of Units
<b>Affordable Units</b>					
N/A	2B4PV	2 Bed 4 Person Villa	Semi-Detached Villa	81	2
N/A	3B5PV	3 Bed 5 Person Villa	Semi-Detached Villa	101	4
N/A	4B6PV	4 Bed 6 Person Villa	Detached Villa	121	1
<b>PD Units</b>					
N/A	Eden	2 Bed Flat + Ensuite	Common Access Flat	71	6
N/A	Eam	2 Bed Flat + Ensuite	Common Access Flat	69	12
23/1	27W9	Orin (Or)	Mid/End Terraced Villa	69	4
23/1	30V82	Coran (Co)	End Terraced Villa	82	4
23/1	30V82	Coran (Co)	Semi-Det Villa (front drive)	82	4
23/1	30V88	Tornin (To)	Semi-Detached Villa (front drive)	88	2
23/1	30V88	Tornin (To)	Semi-Detached Villa (side drive)	88	6
23/1	30V91	Calder (Ca)	Detached Villa	91	6
23/1	30V96	Elm (El)	Detached Villa	96	3
23/1	30V105	Affric (Af)	Detached Villa	105	9
23/1	40V105	Tweed (Tw)	Detached Villa	105	6
23/1	40V118	Elvie (El)	Detached Villa	118	15
23/1	40V124	Tarvie (Ta)	Detached Villa (side drive)	124	6
23/1	40V131	Willow (Wi)	Detached Villa	131	2
23/1	40V139	Luchalish (Lu)	Detached Villa	139	8
23/1	40V177	Culcan (Cu)	Detached Villa	177	5
				<b>TOTAL</b>	<b>155</b>

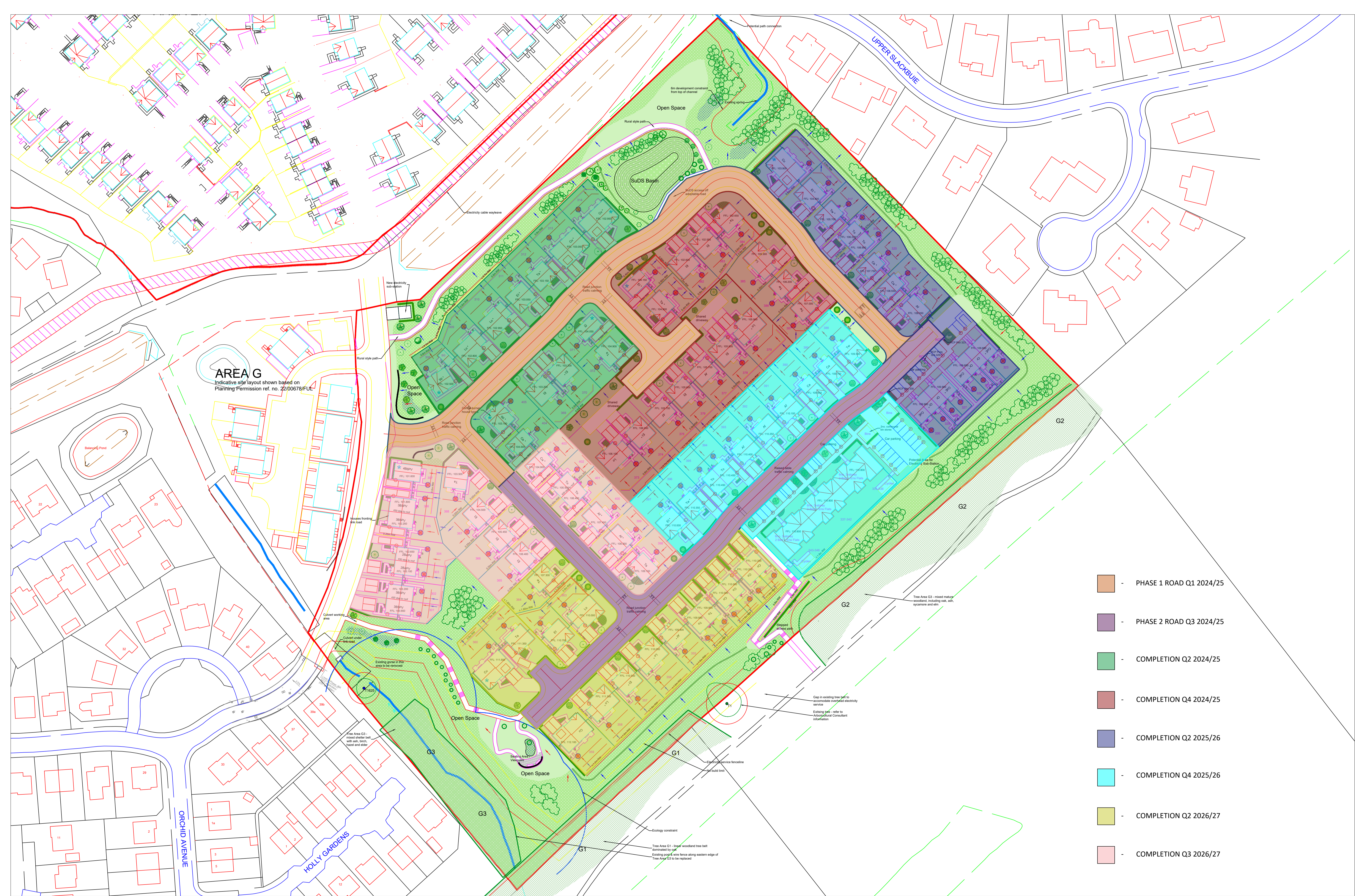
**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILLCOUNTRY, FK13 6EP 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4EF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01831 850654

**AREA H, SLACKBUIE INVERNESS**  
**TULLOCH HOMES LTD**  
**SITE LAYOUT PLAN**

SCALE: 1:500 DRAWN: [ ]  
 PAPER SIZE: A0 DATE: Apr 2024  
 DWG No: 4144-01-004 REV: W



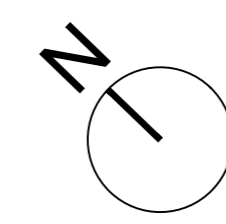


**AREA G**  
 Indicative site layout shown based on  
 Planning Permission ref. no. 22/00678/FUL

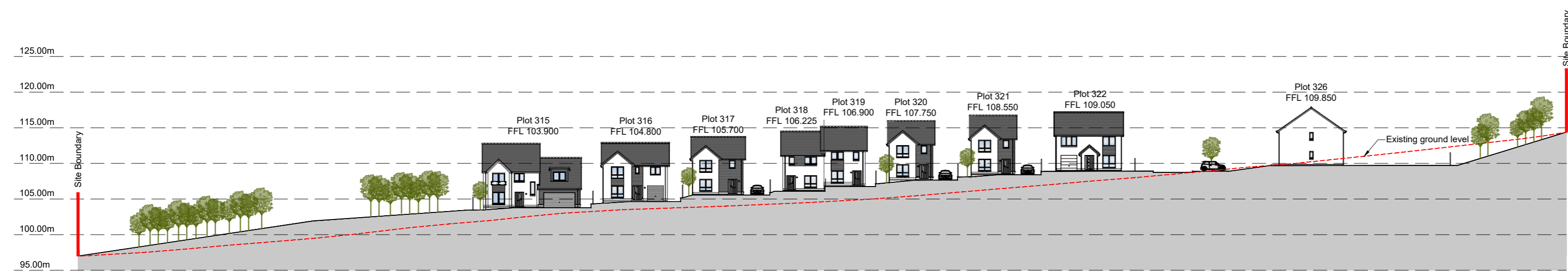
- PHASE 1 ROAD Q1 2024/25
- PHASE 2 ROAD Q3 2024/25
- COMPLETION Q2 2024/25
- COMPLETION Q4 2024/25
- COMPLETION Q2 2025/26
- COMPLETION Q4 2025/26
- COMPLETION Q2 2026/27
- COMPLETION Q3 2026/27

D5178 Slackbuie H Phasing Plan  
 (October 2023 Rev1)





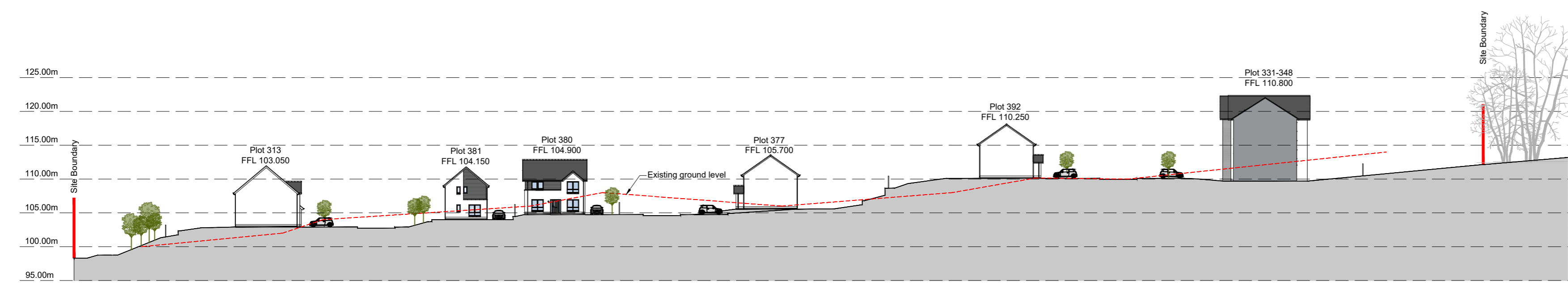
**Indicative Site Layout Plan**  
1:2500



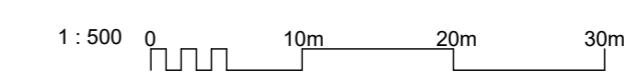
**Section B-B - View looking North-East (Plots 315-326)**  
1:500



**Section A-A - View looking South-East (Plots 331-359)**  
1:500



**Section C-C - View looking North-East (Plots 313-348)**  
1:500



REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling** CONSULTING

38 WALKER TERRACE, TILlicouTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

SITE SECTIONS

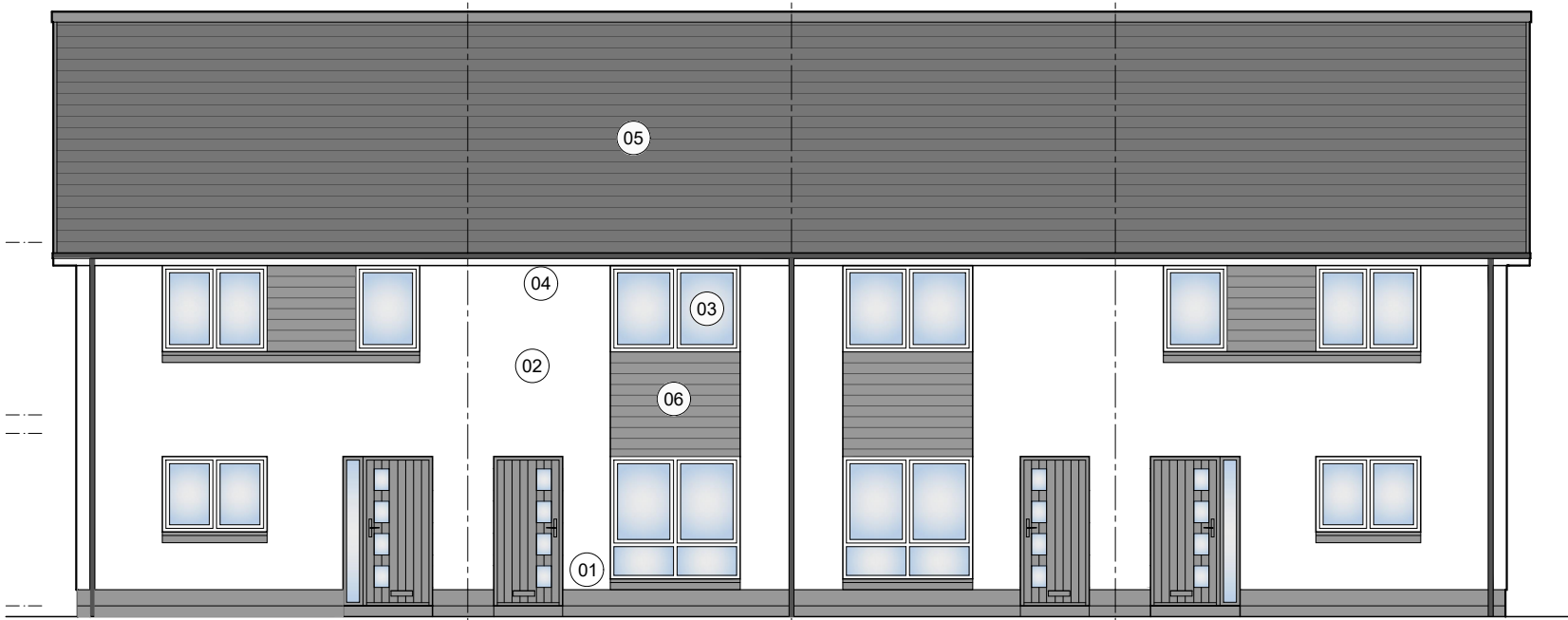
STATUS: **PLANNING**

SCALE: 1 : 500 DRAWN: LK  
 PAPER SIZE: A2 DATE: Nov 2023

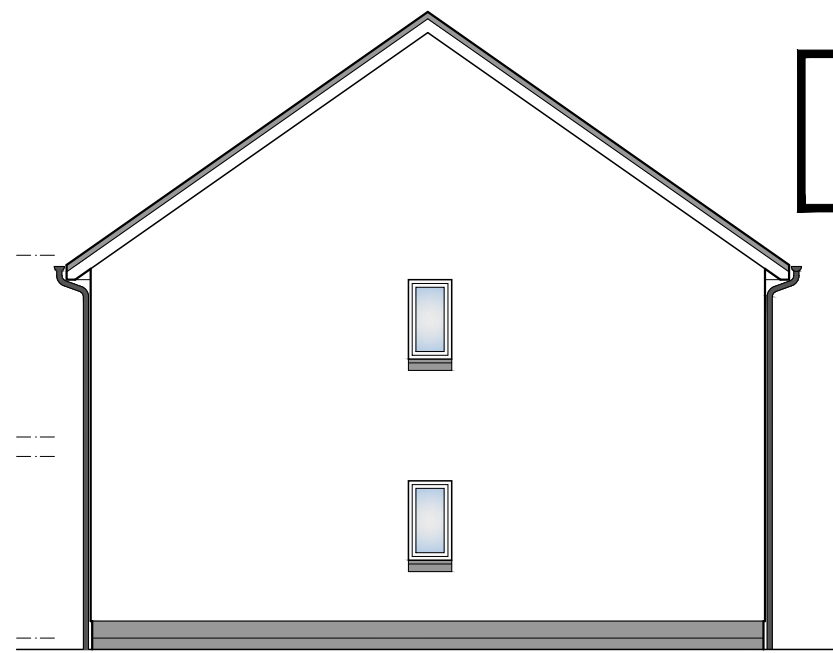
DWG No. **4144-01-300** REV.



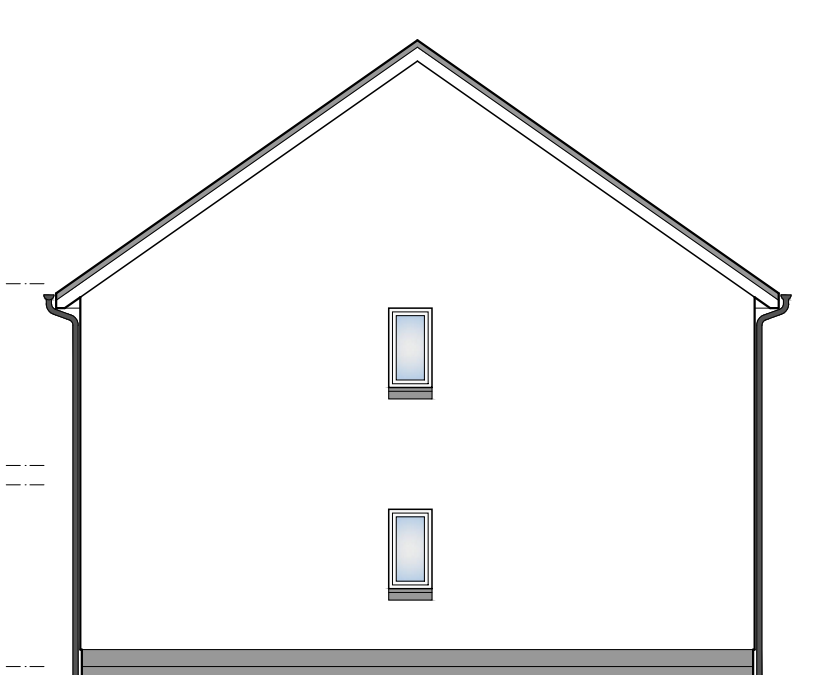
**PLOT Nos.**  
323-326 & 327-330



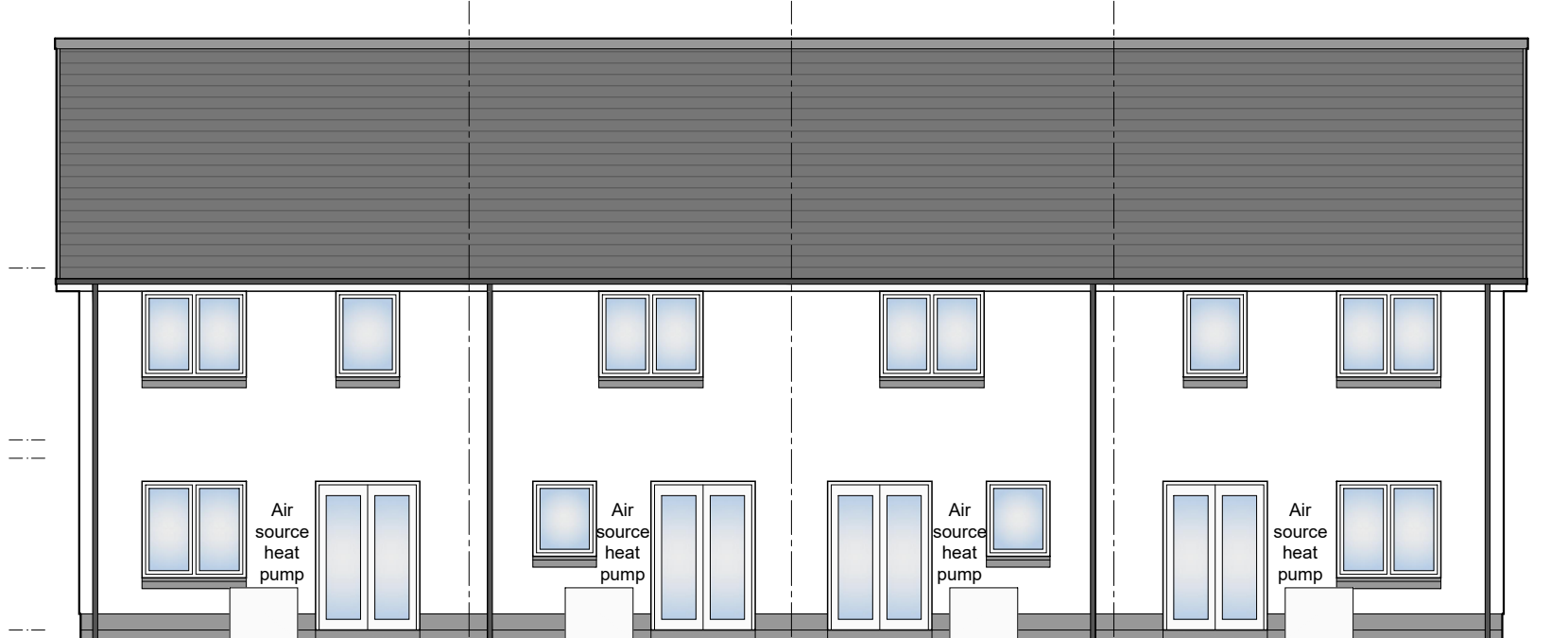
**FRONT ELEVATION**



**GABLE ELEVATION**



**GABLE ELEVATION**

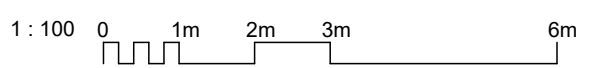


**REAR ELEVATION**

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



**IMAGE 1 - FRONT PERSPECTIVE**



REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

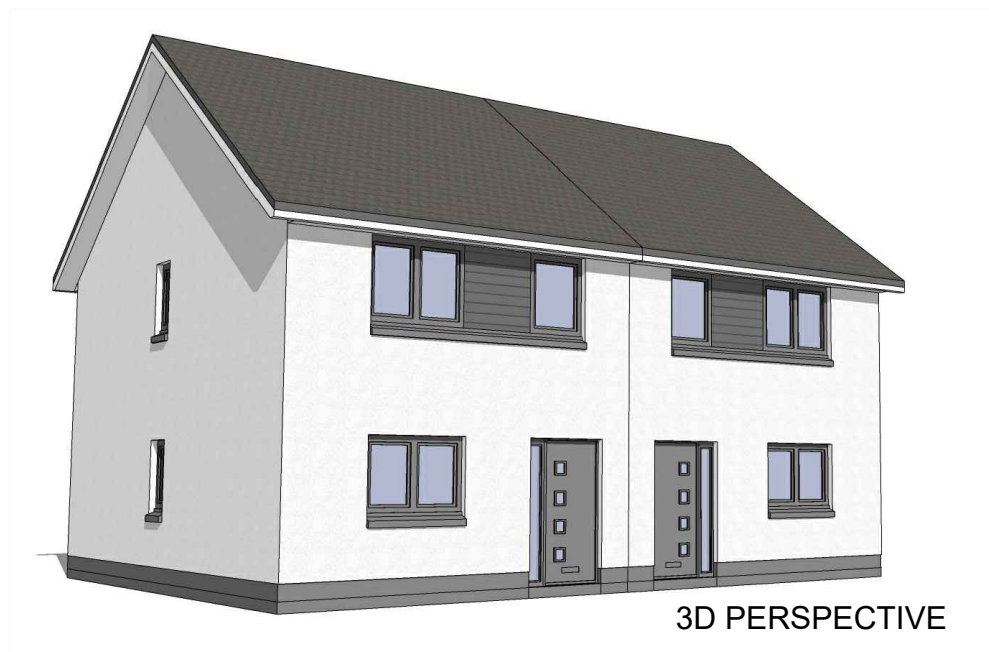
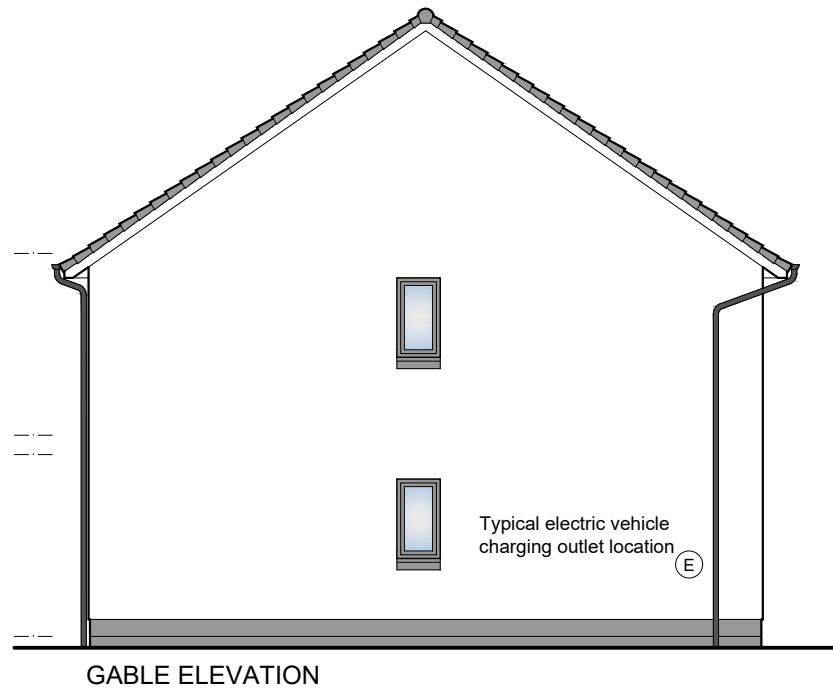
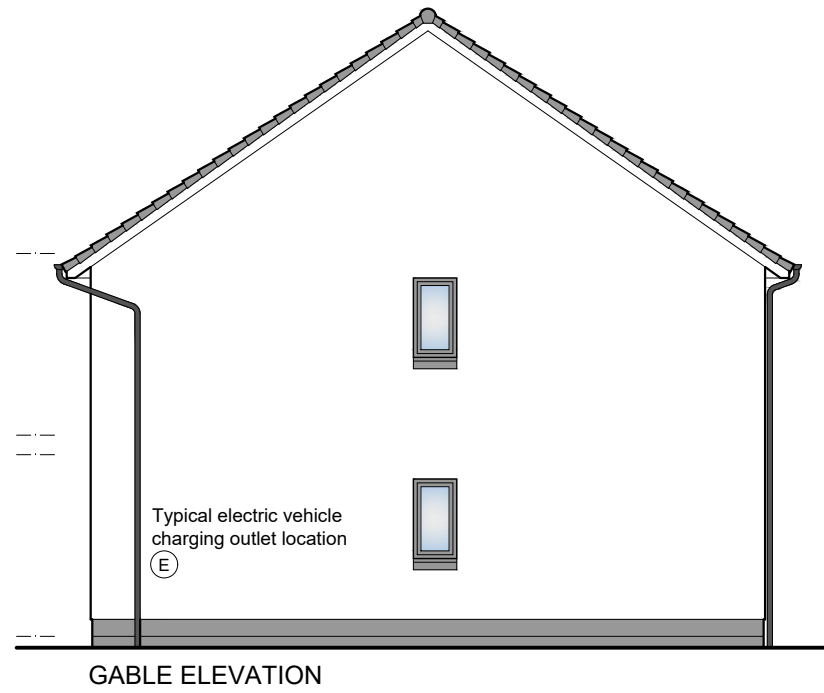
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

**AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD**

**ELEVATIONS - 2NO. CORRAN AND 2NO.  
 ORRIN TERRACE**

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Nov 2023
DWG No.	4144-01-121		REV.

**Corran**  
 2 storey semi-detached house / 3 Beds  
 Floor Area = 82m<sup>2</sup>



- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule

1 : 100 0 1m 2m 3m 6m

REV DATE DESCRIPTION DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
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 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

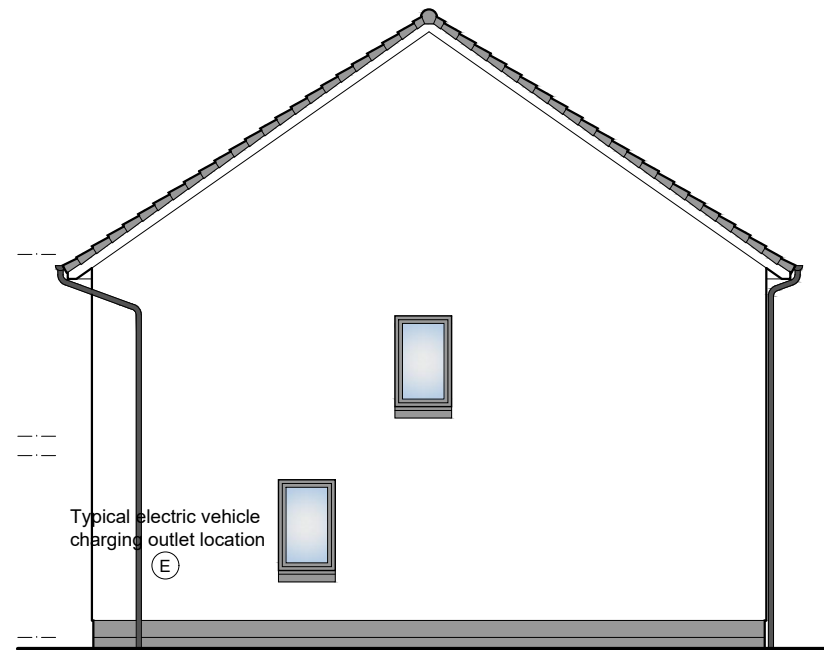
CORRAN ELEVATIONS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Sep 2023
DWG No.	4144-01-126		REV.

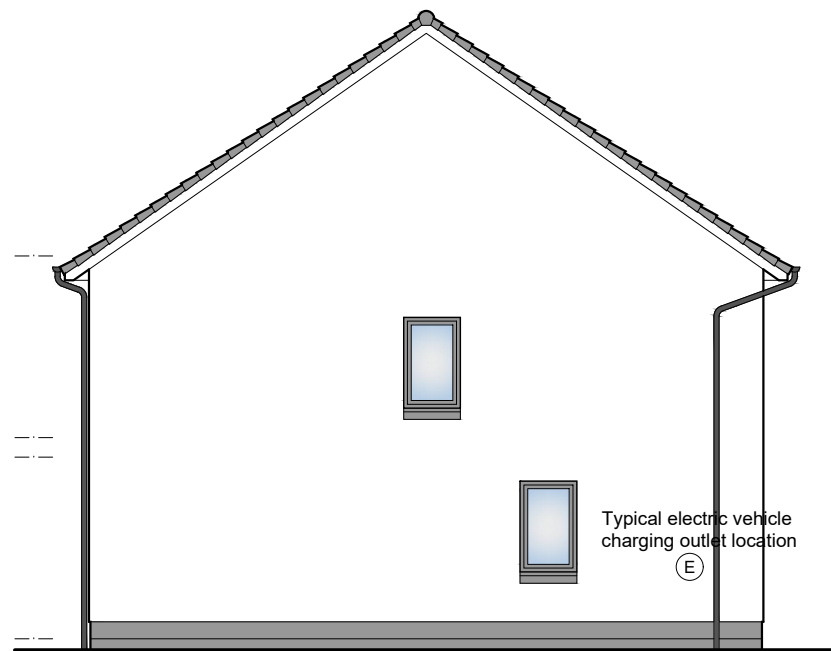
**Torrin**  
 2 storey semi-detached house / 3 Beds  
 Floor Area = 88m<sup>2</sup>



FRONT ELEVATION



GABLE ELEVATION

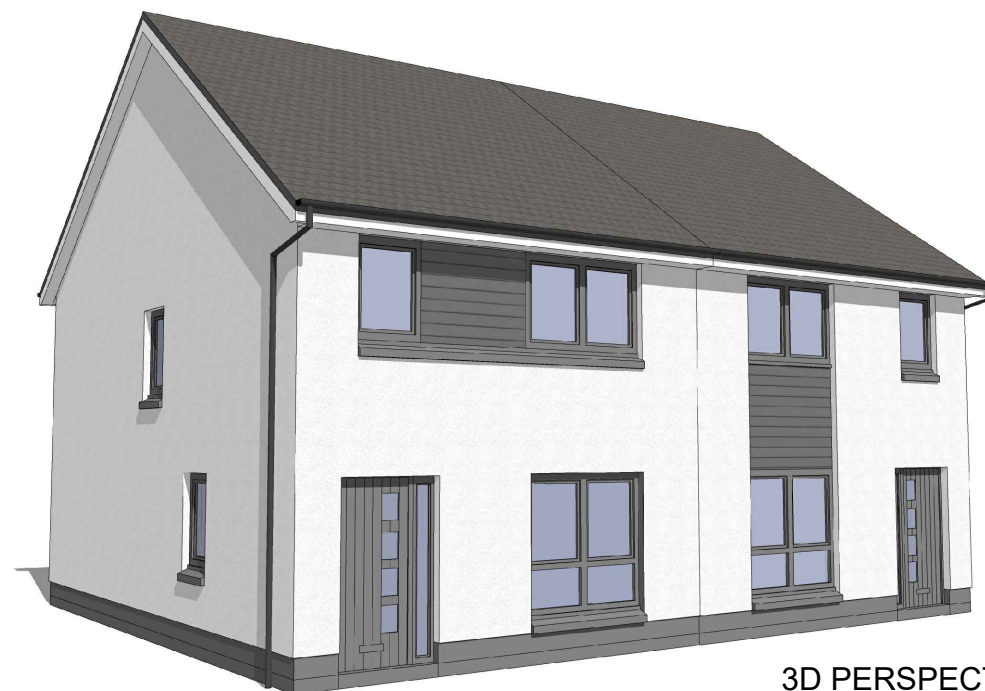


GABLE ELEVATION

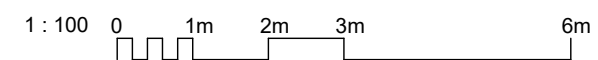


REAR ELEVATION

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



3D PERSPECTIVE



REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

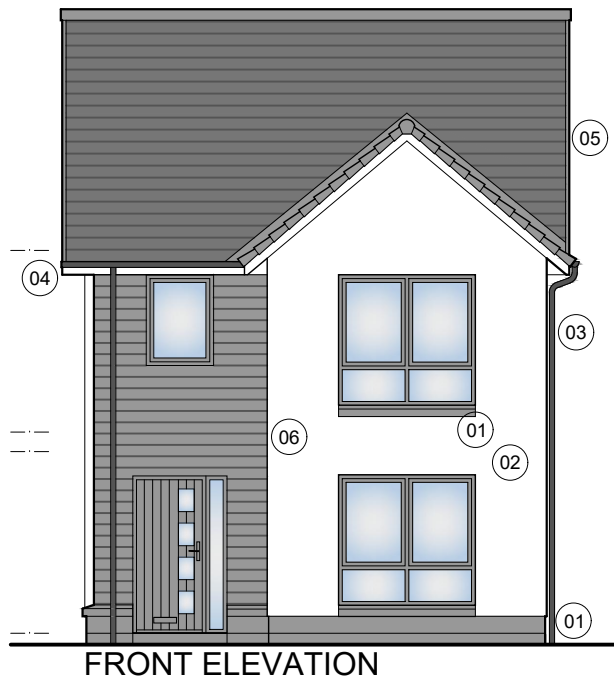
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

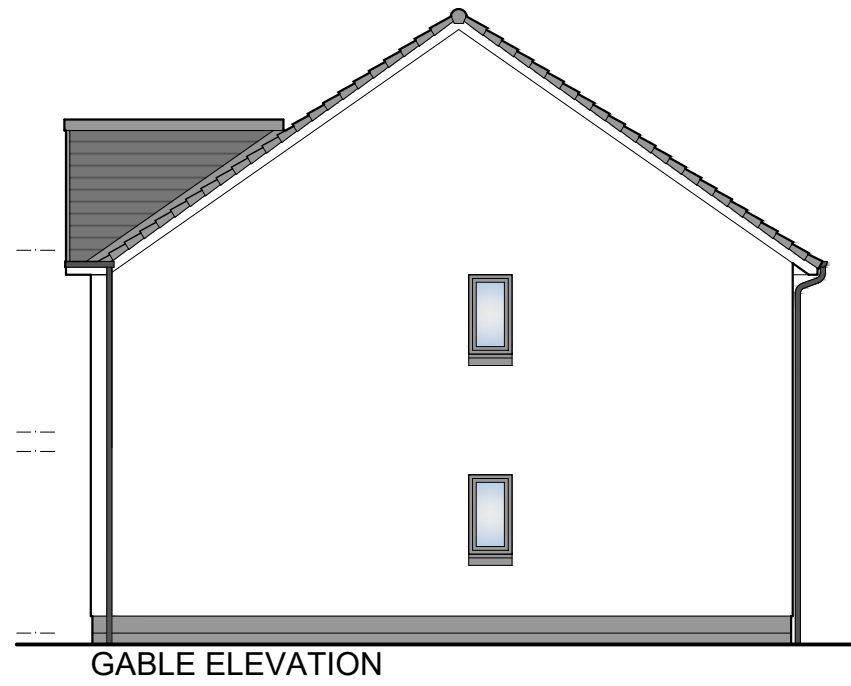
TORRIN ELEVATIONS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Sep 2023
DWG No.	4144-01-131		REV.

**Calder**  
 2 storey detached house / 3 Bedrooms  
 Floor Area = 91m<sup>2</sup>



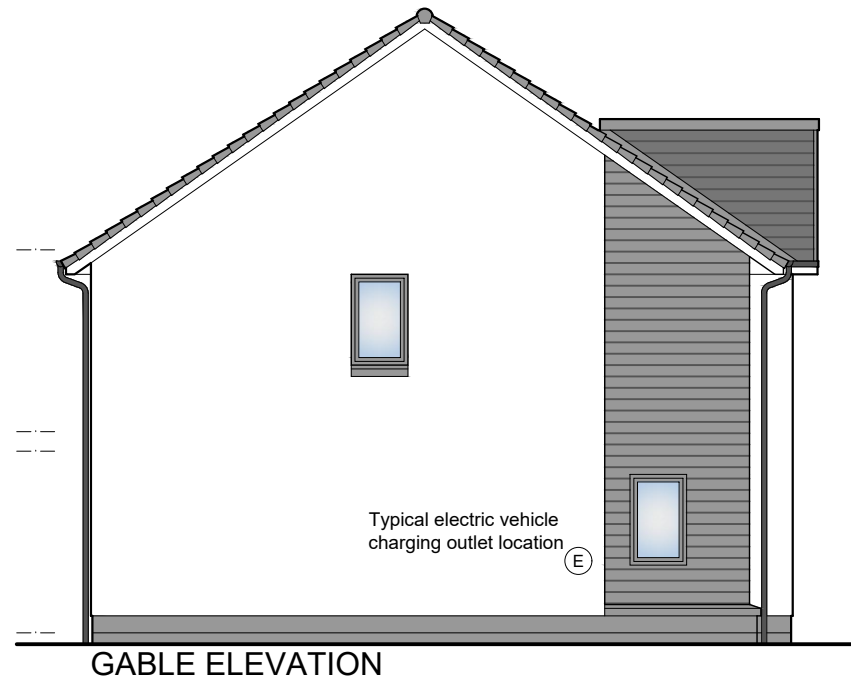
FRONT ELEVATION



GABLE ELEVATION



REAR ELEVATION

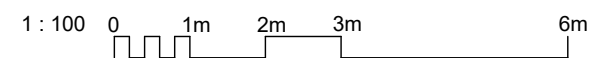


GABLE ELEVATION

- 01 Precast basecourse and cills
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- All colours as External Finishes Schedule



3D PERSPECTIVE



REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

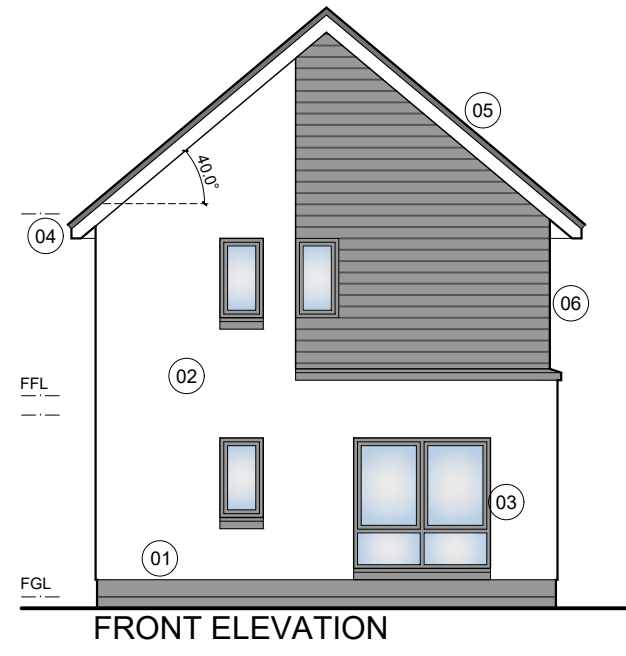
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

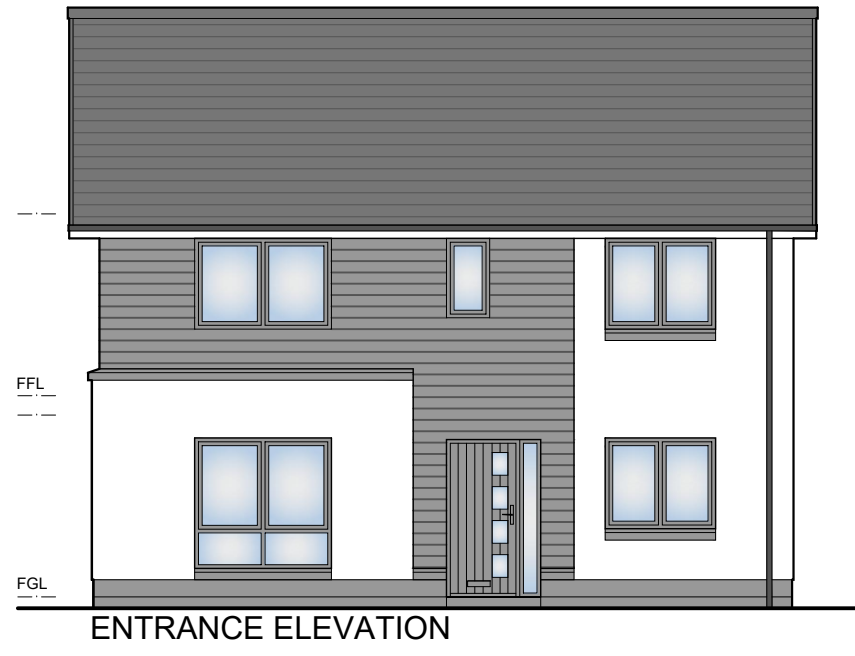
CALDER ELEVATIONS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Sep 2023
DWG No.	4144-01-136		REV.

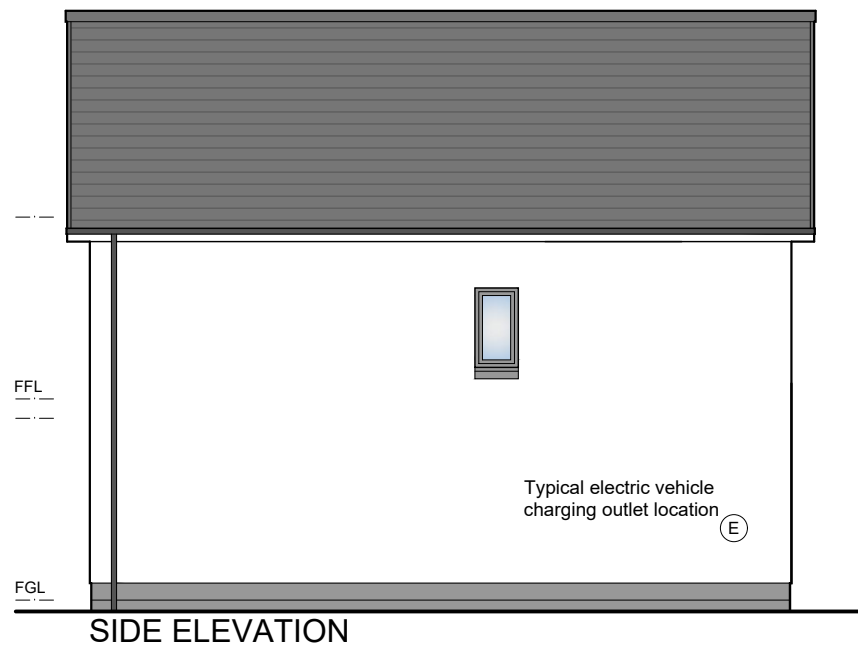
**Elm**  
 2 storey detached house / 3 Bedrooms  
 Floor Area = 96m<sup>2</sup>



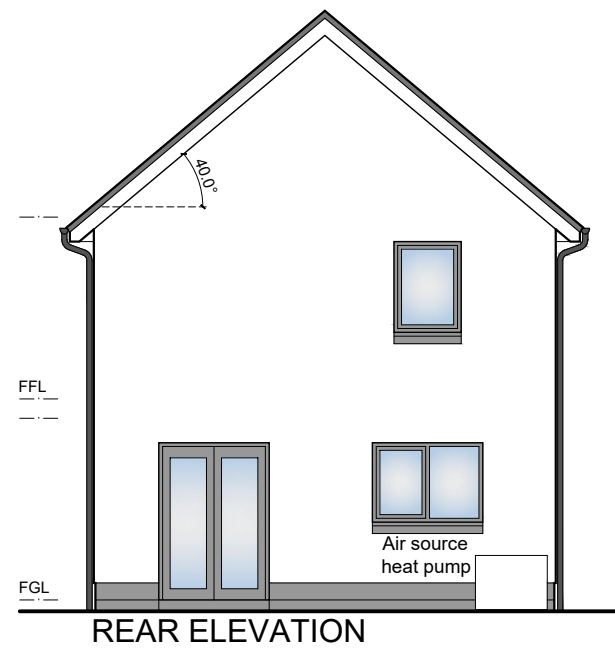
FRONT ELEVATION



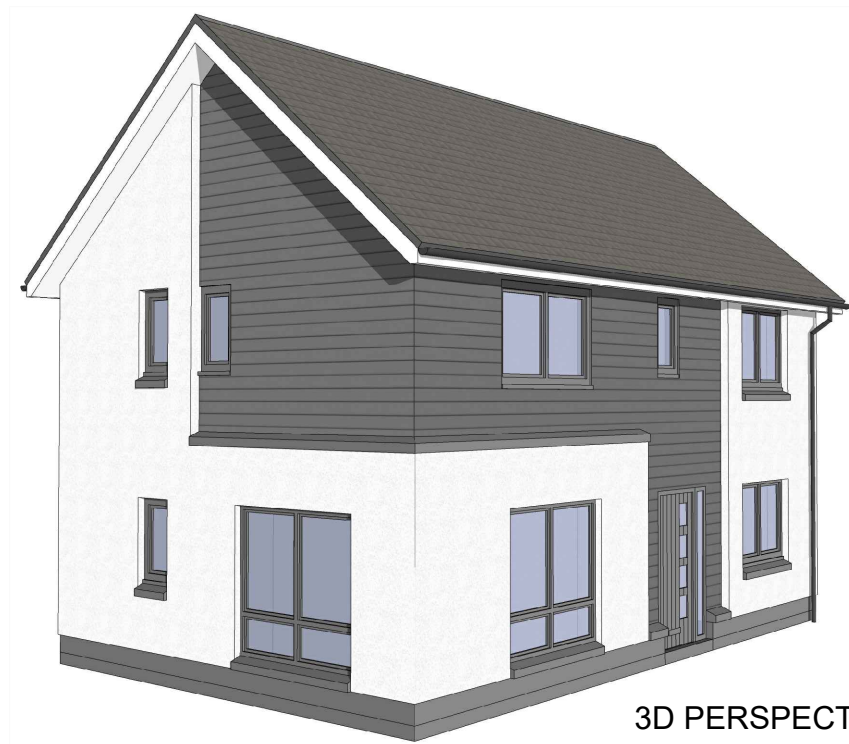
ENTRANCE ELEVATION



SIDE ELEVATION

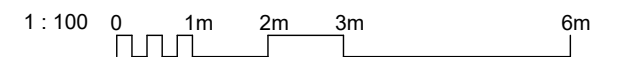


REAR ELEVATION



3D PERSPECTIVE

- 01 Precast basecourse and cills
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  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

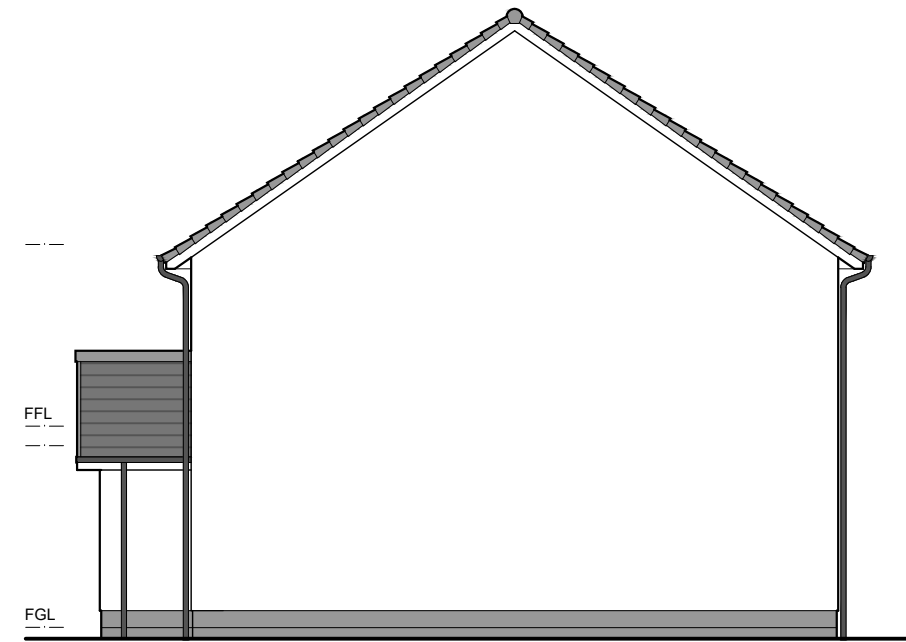
ELM ELEVATIONS

SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Sep 2023
DWG No.	4144-01-141		REV.

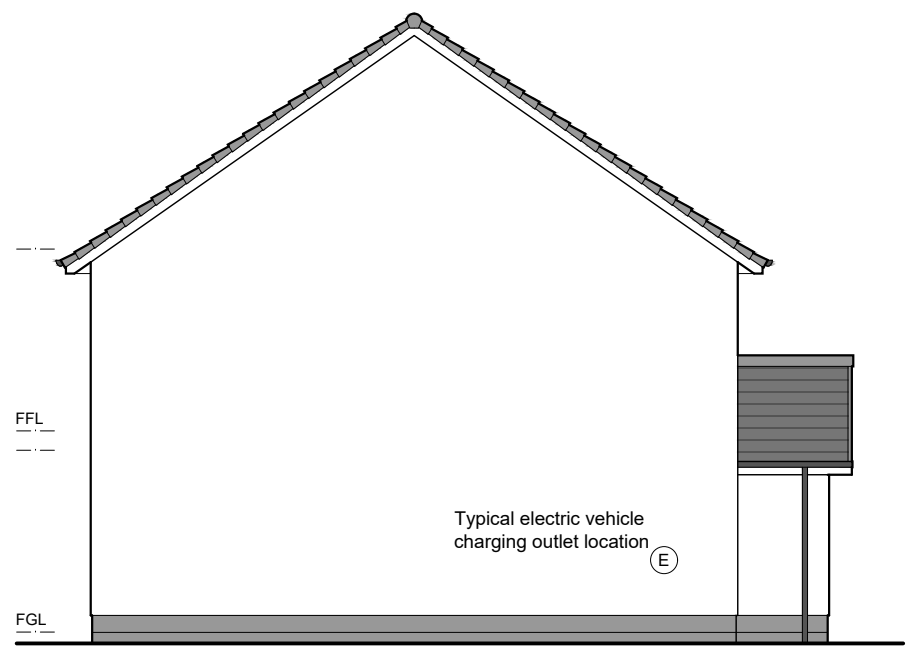
**Affric**  
 2 storey detached house / 3 Bedrooms  
 Floor Area = 105m<sup>2</sup>



FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION

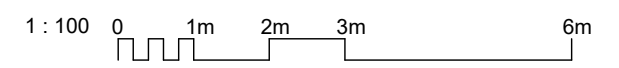


REAR ELEVATION



3D PERSPECTIVE

- 01 Precast basecourse and cills
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REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

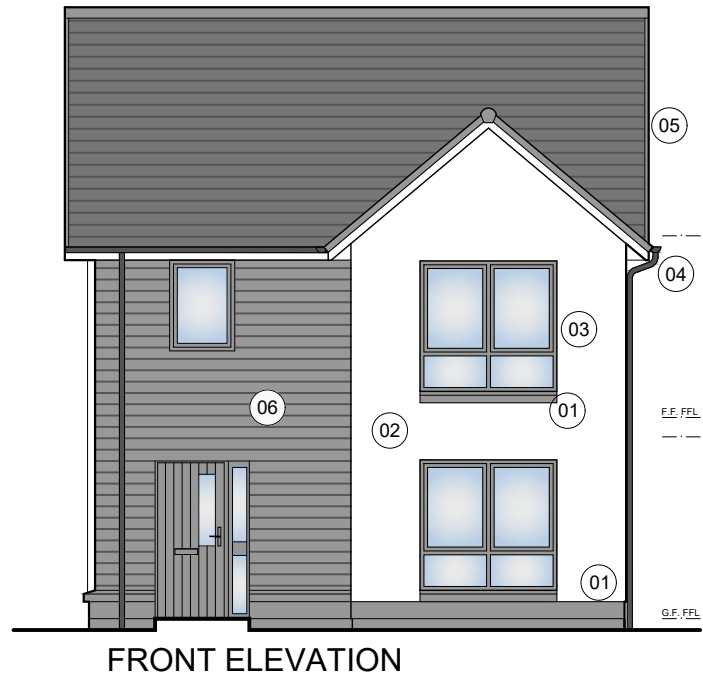
AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

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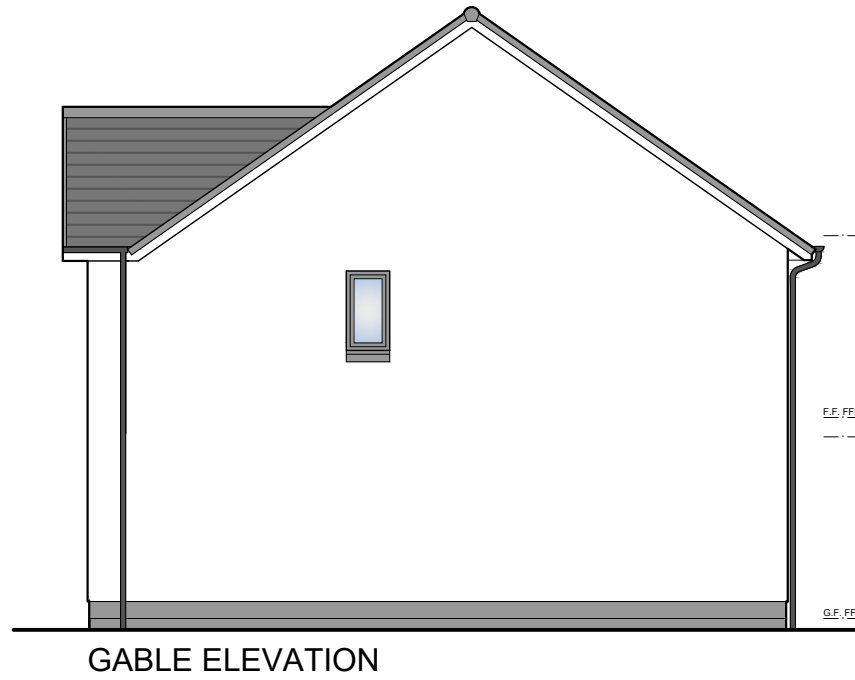
AFFRIC ELEVATIONS

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Sep 2023
DWG No.	4144-01-146		REV.

**Tweed**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 105m<sup>2</sup>



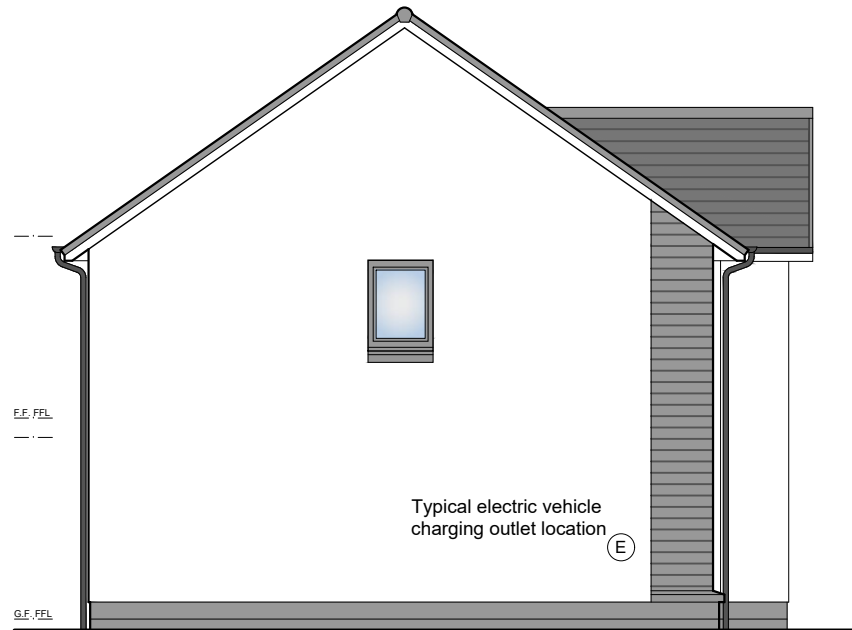
FRONT ELEVATION



GABLE ELEVATION



REAR ELEVATION

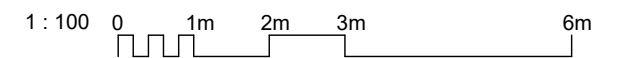


GABLE ELEVATION



3D PERSPECTIVE

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REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

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AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

TWEED ELEVATIONS

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Sep 2023
DWG No.	4144-01-151	REV.	

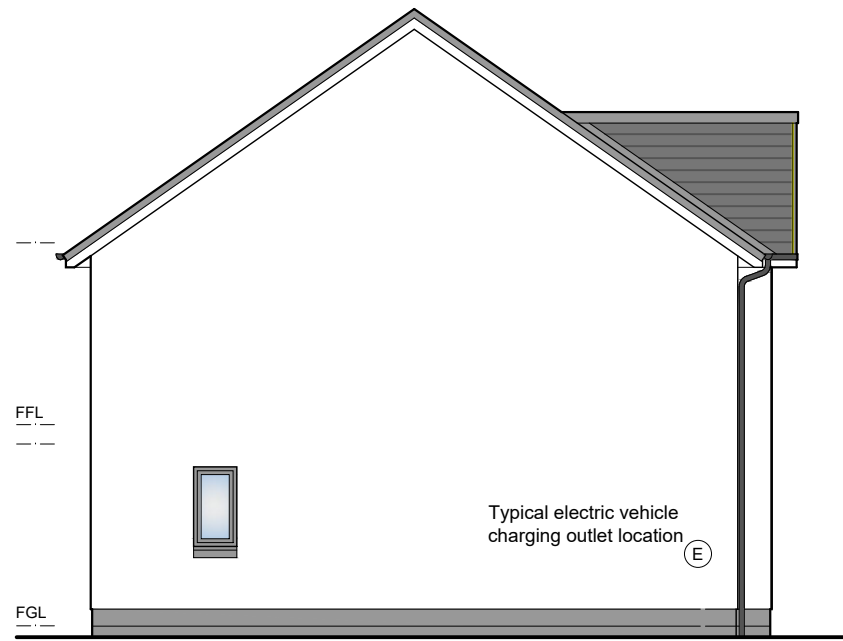
**Etive**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 118m<sup>2</sup>



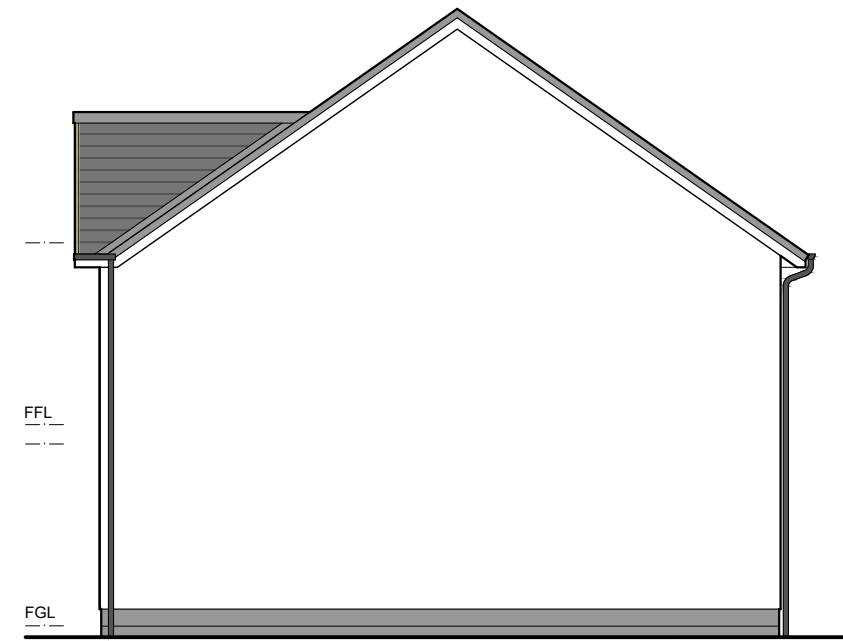
FRONT ELEVATION



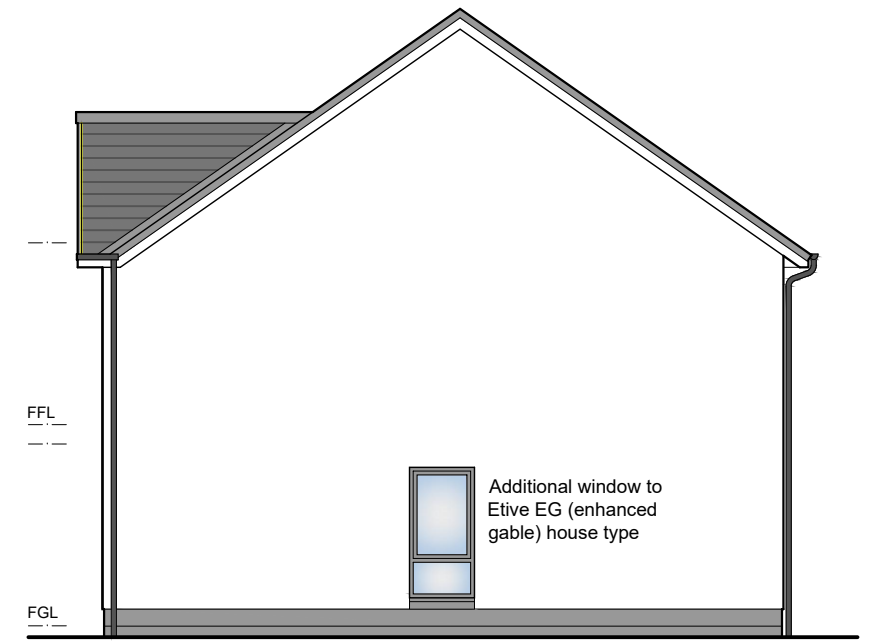
REAR ELEVATION



GABLE ELEVATION



GABLE ELEVATION

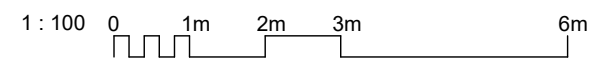


GABLE ELEVATION



3D PERSPECTIVE

- 01 Precast basecourse and cills
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- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
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AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

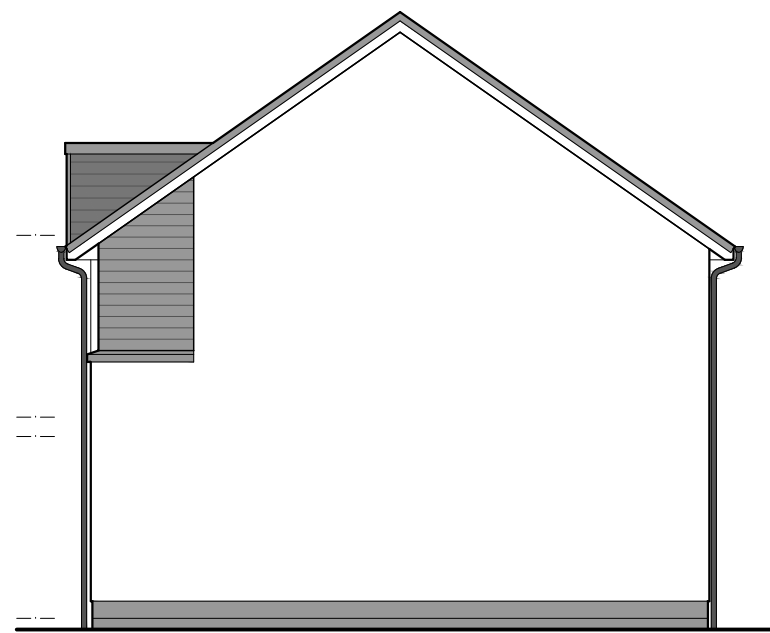
ETIVE ELEVATIONS

SCALE: #####	DRAWN: --
PAPER SIZE: A3	DATE: Sep 2023
DWG No. 4144-01-156	REV.

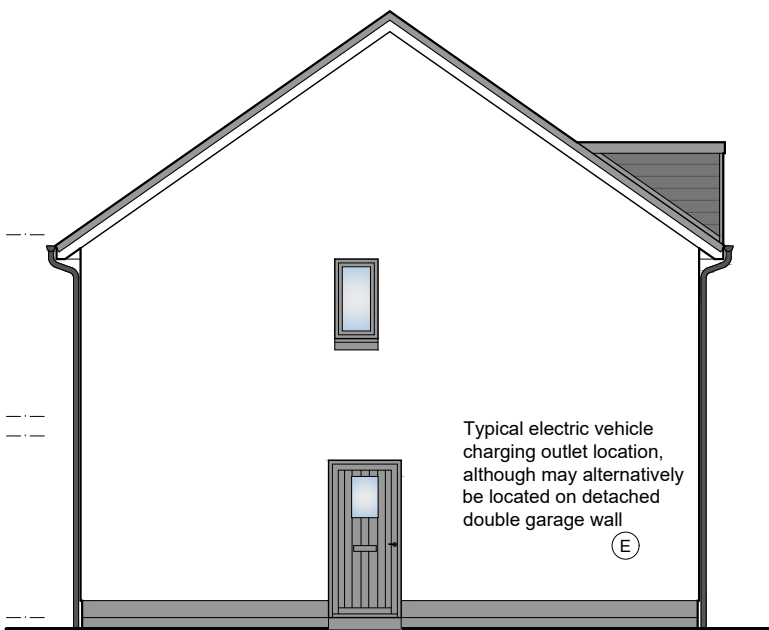




FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION



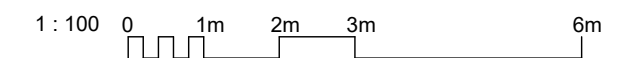
REAR ELEVATION



3D PERSPECTIVE

**Tarvie**  
2 storey detached house / 4 Bedrooms  
Floor Area = 124m<sup>2</sup>

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
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REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
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AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

TARVIE ELEVATIONS

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Sep 2023
DWG No.	4144-01-161		REV.

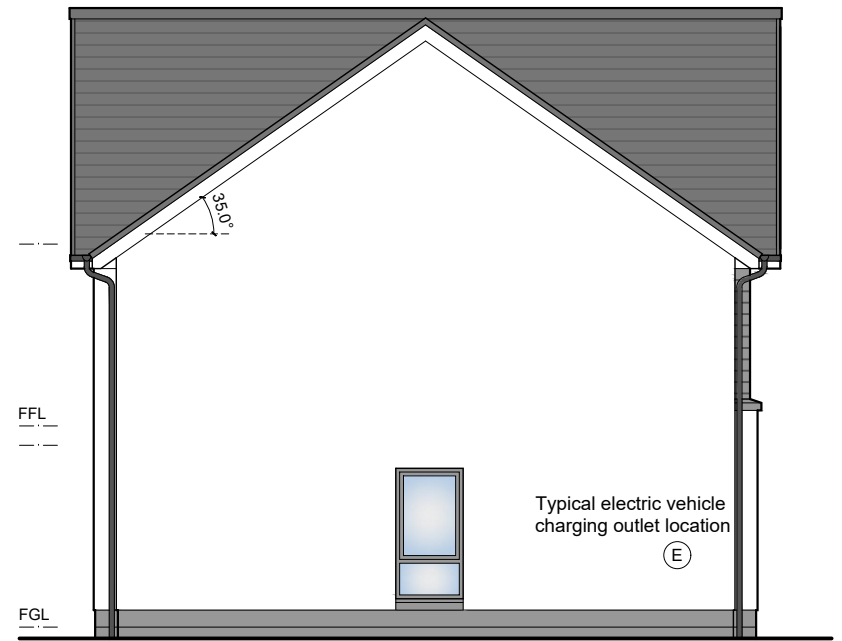
**Willow**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 131m<sup>2</sup>



FRONT ELEVATION



ENTRANCE ELEVATION

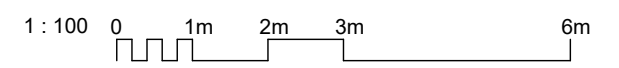


SIDE ELEVATION



REAR ELEVATION

- 01 Precast basecourse and cills
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REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

WILLOW ELEVATIONS



3D PERSPECTIVES

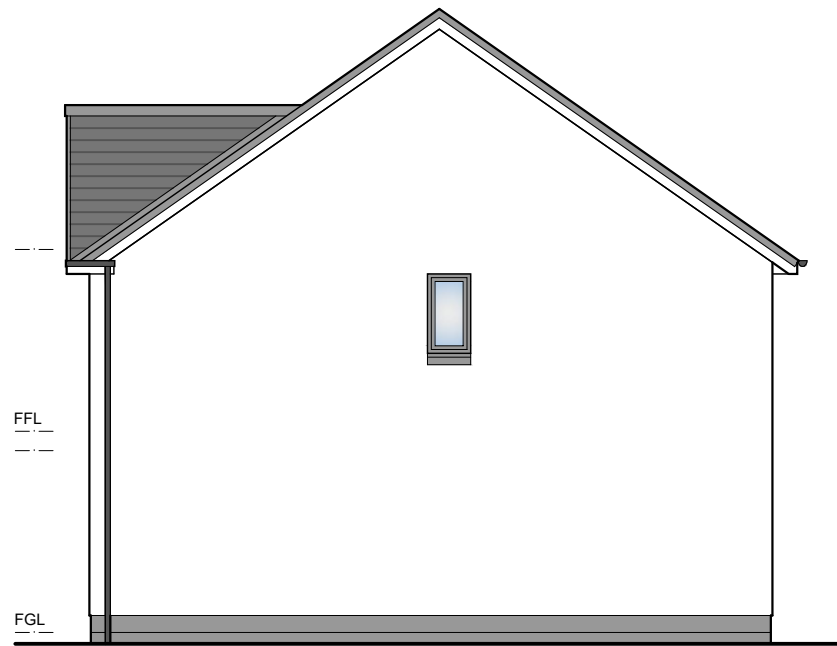


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PAPER SIZE:	A3	DATE:	Sep 2023
DWG No.	4144-01-166		REV.

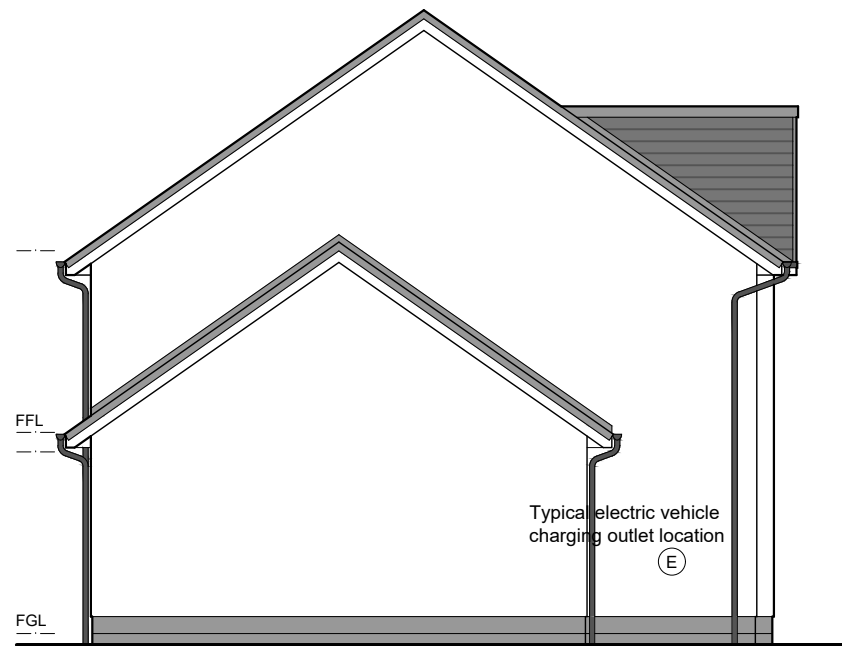
**Lochalsh**  
 2 storey detached house / 4 Bedrooms  
 Floor Area = 139m<sup>2</sup>



FRONT ELEVATION



GABLE ELEVATION

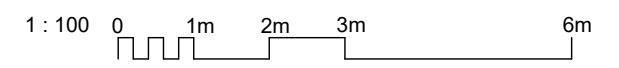


GABLE ELEVATION



REAR ELEVATION

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



3D PERSPECTIVE

REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

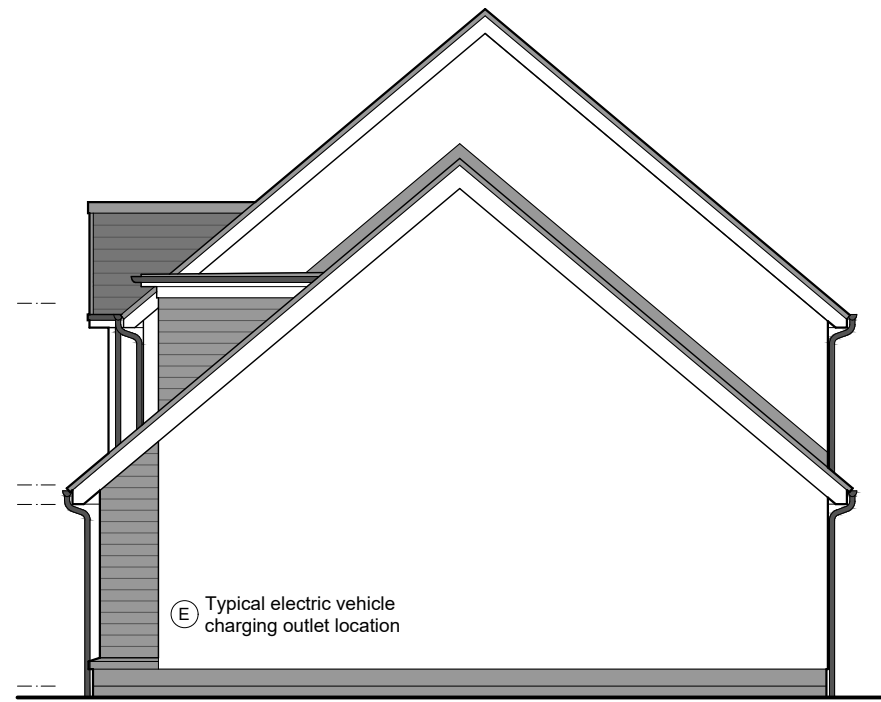
LOCHALSH ELEVATIONS

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Sep 2023
DWG No.	4144-01-171		REV.

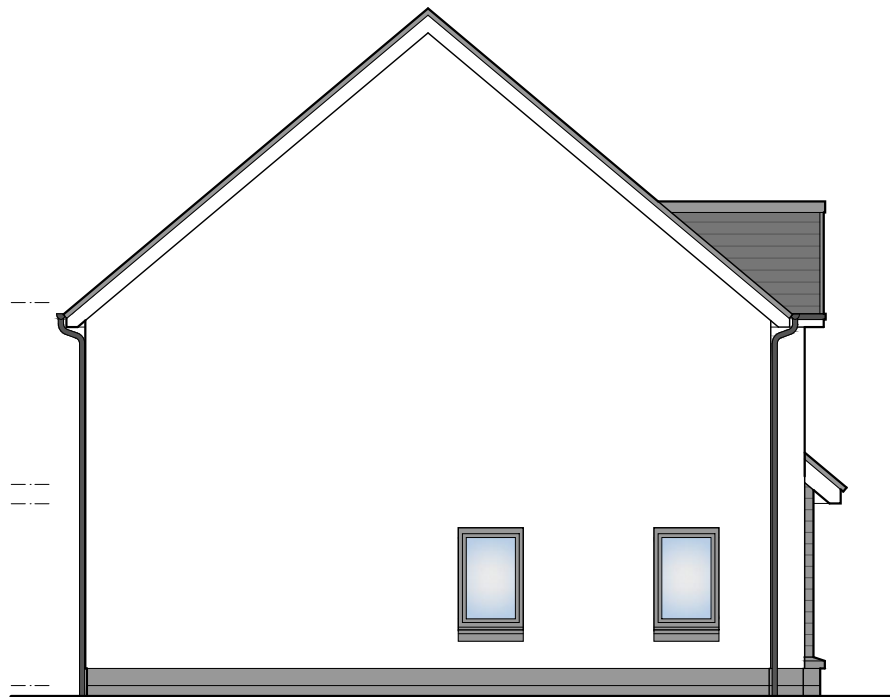
**Culzean**  
 2 storey detached house / 5 Bedrooms  
 Floor Area = 177m<sup>2</sup>



FRONT ELEVATION



GABLE ELEVATION



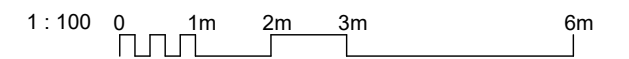
GABLE ELEVATION



REAR ELEVATION

- 01 Precast basecourse and cills
- 02 Dry dash roughcast
- 03 uPVC windows
- 04 uPVC gutters and downpipes
- 05 Concrete roof tiles
- 06 Boarding detail

All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

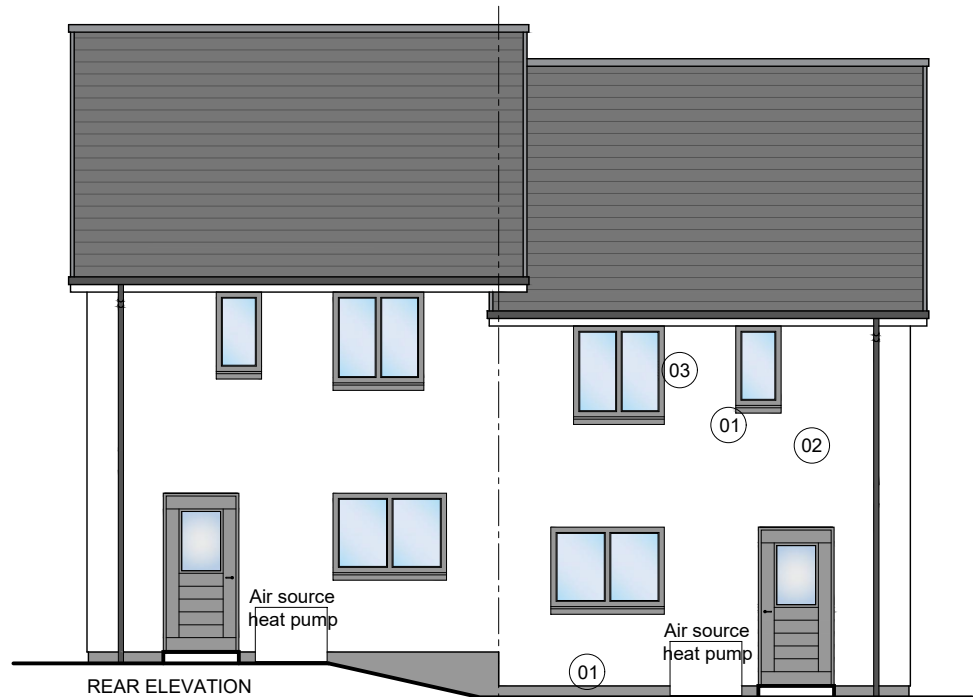
CULZEAN ELEVATIONS



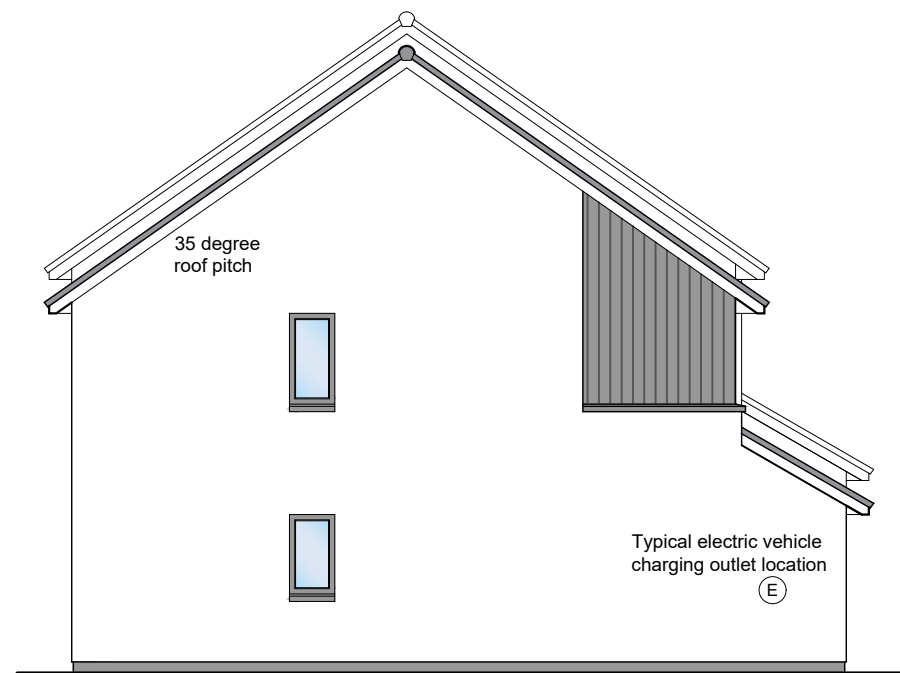
3D PERSPECTIVE

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Sep 2023
DWG No.	4144-01-176		REV.

PLOT Nos.  
303-304



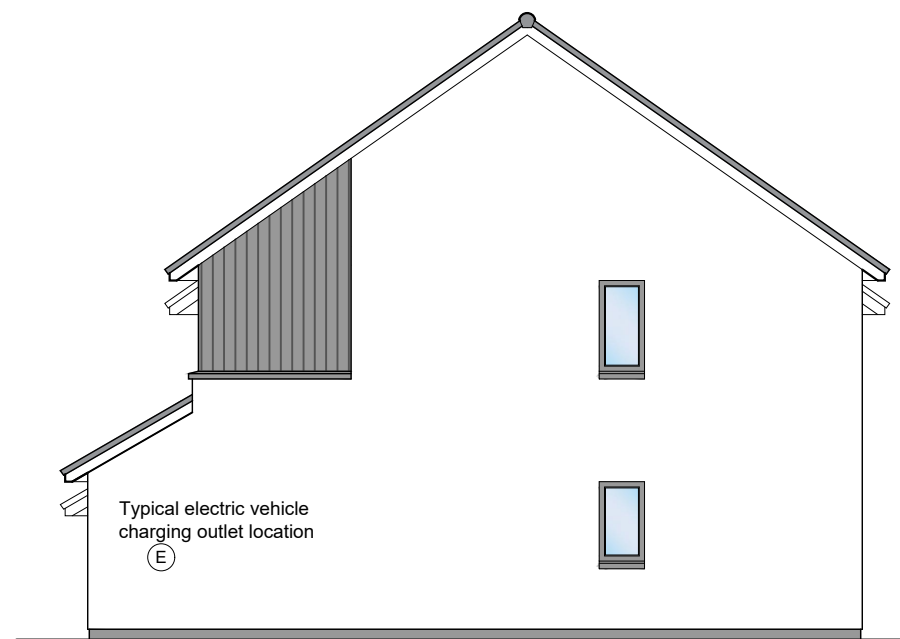
REAR ELEVATION



GABLE ELEVATION



FRONT ELEVATION



GABLE ELEVATION

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule

REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

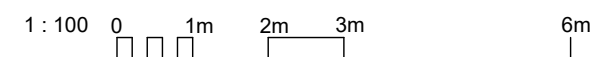
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

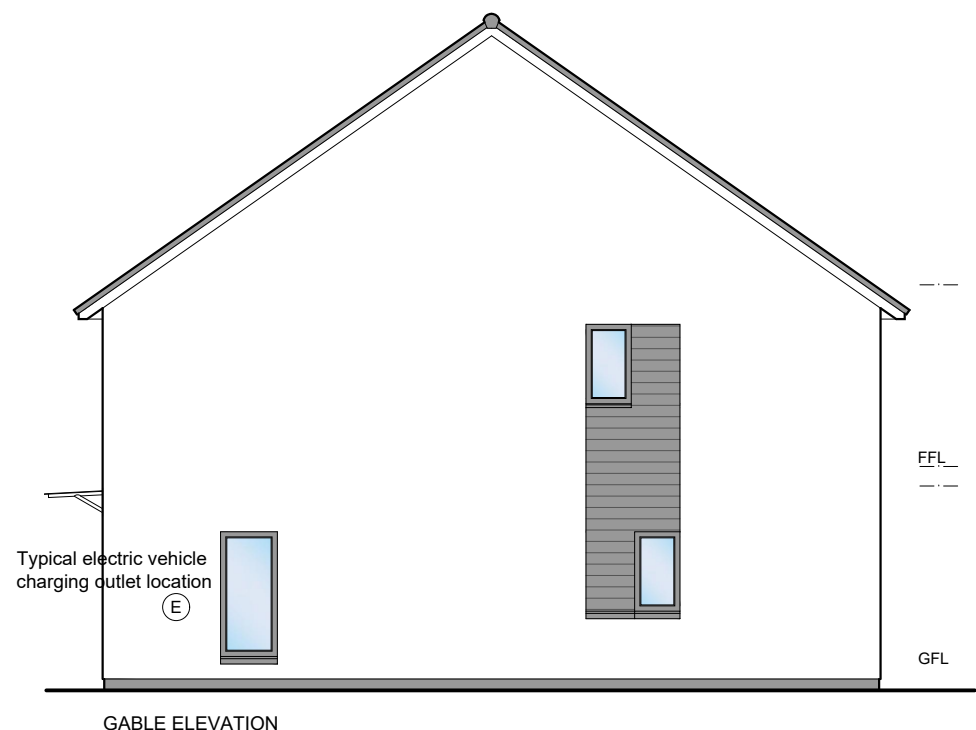
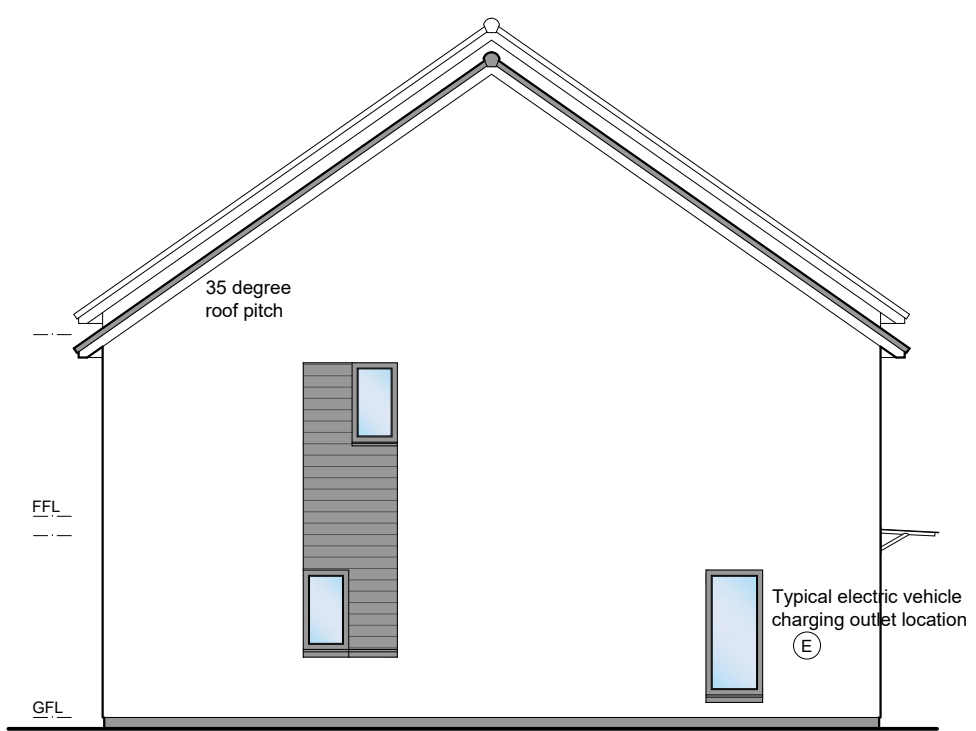
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2B4P VILLA - ELEVATIONS - 450 STEP

STATUS:	<b>PLANNING</b>		
SCALE:	1 : 100	DRAWN:	LK
PAPER SIZE:	A3	DATE:	Oct 2023
DWG No.	<b>4144-01-181</b>		REV.



**PLOT Nos.**  
301-302 & 305-306



- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule

REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

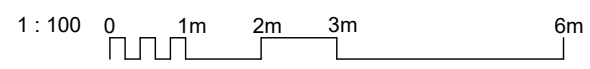
AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

3B5P VILLA - ELEVATIONS - 450 STEP

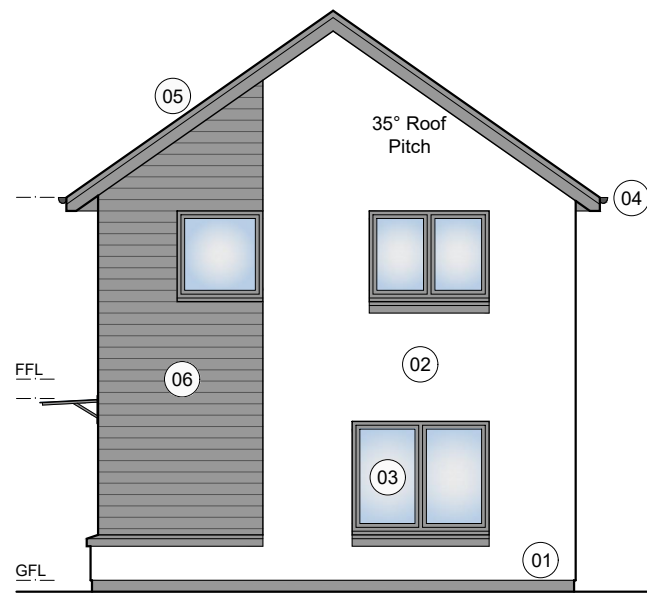
STATUS: **PLANNING**

SCALE: 1 : 100 DRAWN: LK  
 PAPER SIZE: A3 DATE: Oct 2023

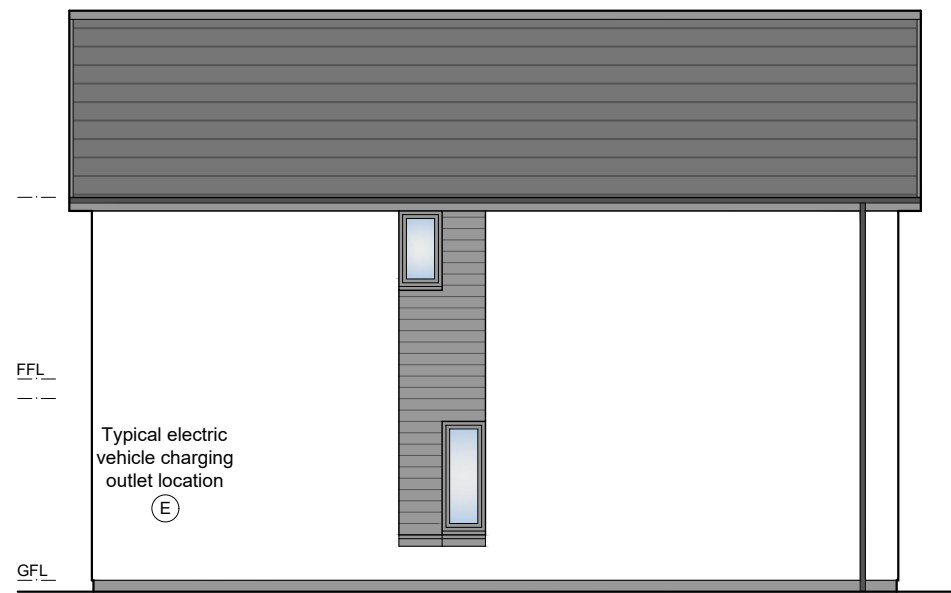
DWG No. **4144-01-186** REV.



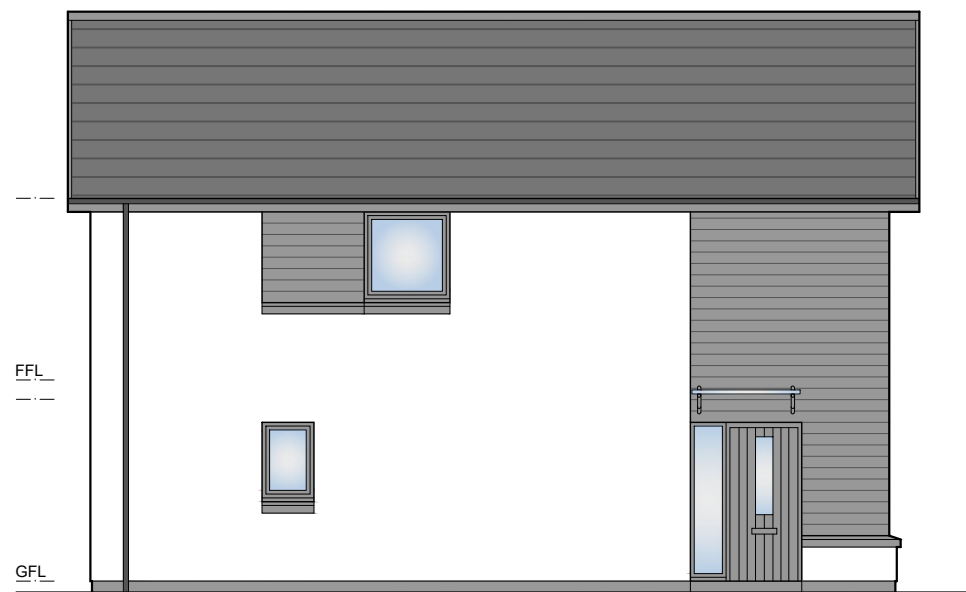
PLOT Nos.  
307



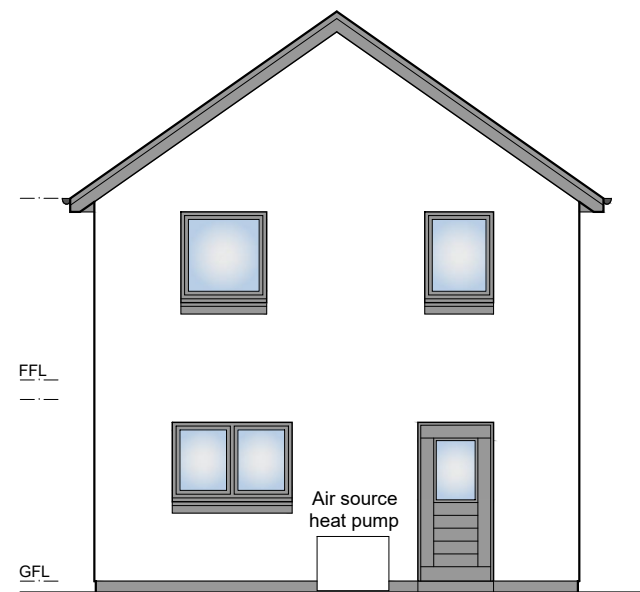
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

- (01) Precast basecourse and cills
  - (02) Dry dash roughcast
  - (03) uPVC windows
  - (04) uPVC gutters and downpipes
  - (05) Concrete roof tiles
  - (06) Boarding detail
- All colours as External Finishes Schedule

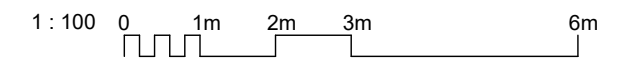


IMAGE 1 - CORNER PERSPECTIVE

REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF      01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF      01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP      01631 359054

AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

4B6P DETACHED VILLA - ELEVATIONS

STATUS: **PLANNING**

SCALE: 1 : 100	DRAWN: PL
PAPER SIZE: A3	DATE: Oct 2023

DWG No. 4144-01-191	REV.
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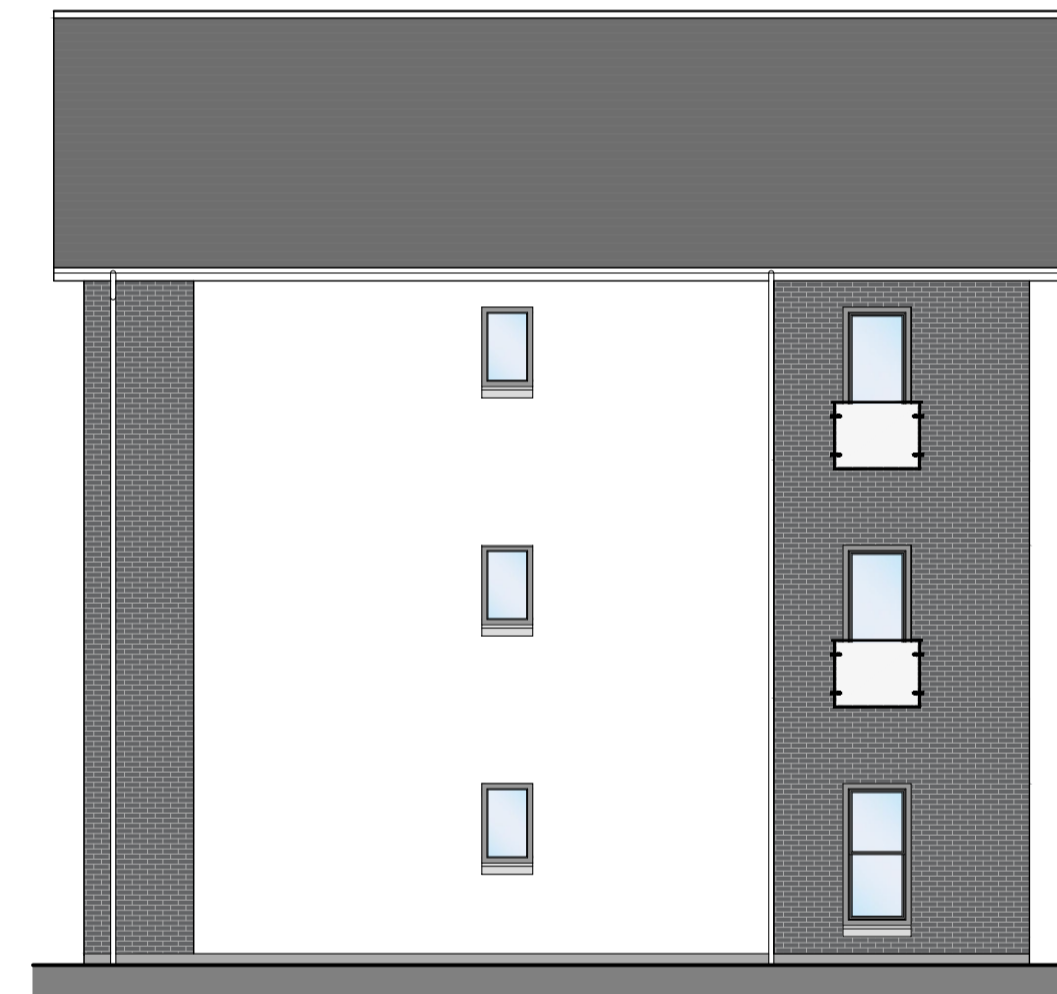
NORTH FACING VIEW



SOUTH FACING VIEW



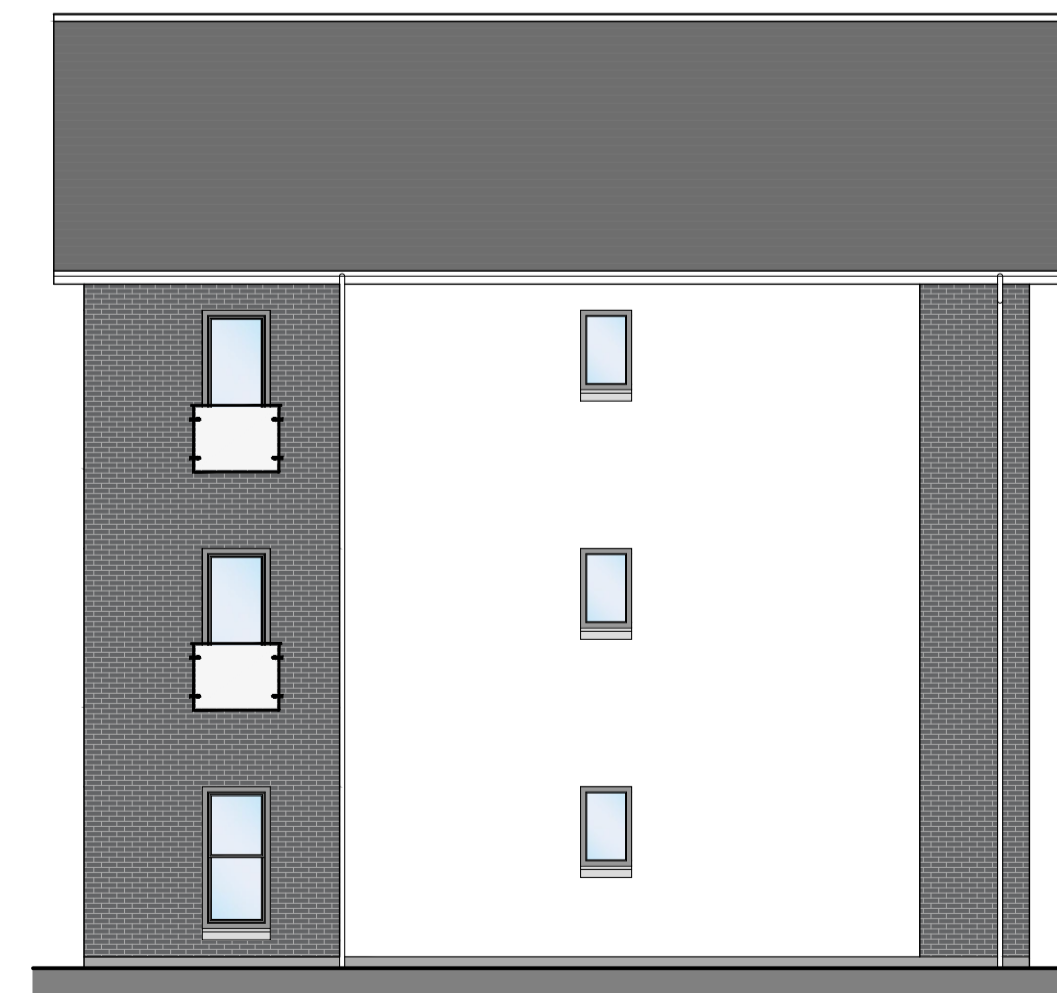
FRONT ELEVATION



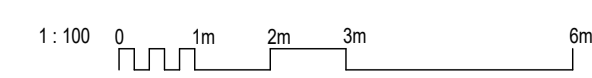
GABLE ELEVATION  
1:100



REAR ELEVATION



GABLE ELEVATION  
1:100



REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILLCOUNTRY, FK13 6EF 01259 750001  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

AREA H, SLACKBUIE  
 INVERNESS  
 TULLOCH HOMES LTD

3 STOREY FLATS - ELEVATIONS

STATUS:	<b>PLANNING</b>		
SCALE:	1: 100	DRAWN:	LK
PAPER SIZE:	A1	DATE:	Nov 2023
DWG No.	4144-01-201	REV.	