

Agenda Item	6.1
Report No	PLN/070/24

## HIGHLAND COUNCIL

**Committee:** North Planning Applications Committee  
**Date:** 17.09.2024  
**Report Title:** 23/03654/FUL: Sandwick Consulting Ltd  
Croft 1  
Diabaig  
Torridon

**Report By:** Area Planning Manager - North

### Purpose/Executive Summary

**Description:** Change of use of outbuilding, alterations and extension to form a house, installation of private drainage system and formation of hardstanding and section of footpath

**Ward:** 05 - Wester Ross, Strathpeffer And Lochalsh

**Development category:** Local

**Reason referred to Committee:** Number of objections

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

### Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

## 1. PROPOSED DEVELOPMENT

- 1.1 The proposal details are comprehensively described by the accompanying planning design statement with this proposal representing a response to the objections raised in respect of withdrawn application - 22/03188/FUL

The scheme involves the conversion of an existing stone byre to a small dwelling – Use Class 9. The conversion involves the addition of two small single storey extensions on the longer north west and south east elevations and the creation of an upper floor to serve as a sleeping loft for one double and three single beds served by a ladder and hatch. Eight rooflights and a triangular glazing panel in the south west gable end of the building are proposed to light this area.

Externally, the existing stone elevations are to be retained and repaired and the roof replaced in dark grey metal sheet with a flue serving the woodstove in the living space. Shutters are to be added to the ground floor windows.

The proposed foul drainage system will involve a treatment plant discharging to the Allt an Uain which runs a short distance through woodland to the west of the site. A Controlled Activities Regulation (CAR) license has been issued by SEPA for this arrangement. Surface water will pass through a filter trench before joining the treated waste water for discharge to the burn.

The public road ends some 65m from the building and a parking area for two vehicles is proposed in a small woodland clearing close to this point. The remaining 40m uphill to the building will be via an existing footpath. The footpath continues past the property to follow the route of the Allt an Uain to the Loch a' Mhullaich. A small diversion of the existing path around the south east extension will be required.

Although the applicants have confirmed that the property will not be offered for commercial short-term holiday letting, they have indicated an intention to allow its use by armed forces personnel through regimental associations and veteran support organisations. In planning terms this is considered to be a short-term holiday letting use equivalent.

- 1.2 The byre is not connected to services at present but proposes connections to public water and electricity supplies.
- 1.3 Pre Application Consultation: None, but advice was provided for the previous withdrawn application.
- 1.4 Supporting Information: Drainage Statement, Flood Risk Assessment, Design Statement, Planning Design Statement, SEPA CAR notification, Woodland Management Plan, Preliminary Bat Roost Assessment, Footpath Signage scheme, Species Protection Plan, Bat Presence/Likely Absence Survey
- 1.5 Variations:
- 6 November 2023 – woodland management plan submitted
  - 17 November 2023 – response to SEPA/FRMT comments on FRA and amended Site Layout/Location Plan submitted
  - 14 December 2023 – sign post scheme and detail submitted
    - preliminary bat roost assessment submitted
    - Car license notification submitted

- 30 July 2024 – Bat presence/likely absence survey and Species protection plan submitted

## 2. SITE DESCRIPTION

- 2.1 The building subject of this application is a single storey stone byre with a profiled fibre-cement roof. The site is a small, level clearing within a largely wooded croft situated on the steeply rising land on the eastern shore of Loch Diabaig, some 70m from the coastline and to the south of the pier. The Allt an Uain burn runs in a gully down the western boundary of the croft and close to the application building.
- 2.2 There is no vehicular access to the building and the public coastal road terminates just before a bridge crossing the Allt an Uain. A private vehicular track continues over the bridge to serve a dwellinghouse – 1 Diabaig – and from this a footpath branches off uphill to the application site. The path continues on past the site and eventually meets the public road near Loch a Mhullaich about 1km to the north east.

## 3. PLANNING HISTORY

- |     |            |   |                           |
|-----|------------|---|---------------------------|
| 3.1 | 01.12.2022 | 22/03188/FUL: Change of use of outbuilding, alterations and extension to form a house, installation of private drainage system and formation of hardstanding and section of footpath. | Withdrawn                 |
| 3.2 | 31.03.2023 | 22/05835/PNO: Erection of polytunnel  | Prior Approval<br>Granted |

## 4. PUBLIC PARTICIPATION

- 4.1 Advertised: Unknown Neighbour  
 Date Advertised: 24 September 2023  
 Representation deadline: 11 December 2023
- Timeous representations: 24 from 20 households including objection from the community council
- Late representations: 2 from one household (supplementary to previous timeous objection)

- 4.2 Material considerations raised are summarised as follows:

### Objection

- Proposal would harm the special qualities of the NSA
- The Flood Risk Assessment (FRA) underestimates potential flooding – access bridge will flood in a 1:200 event
- Amenity of 1 Diabaig will be impacted by activity associated with the parking area
- Increased traffic on the settlement road
- The Waste Water Treatment Plant (WWTP) will be noisy and requires a large

- hole to be dug and lined
- Re-routing the path requires a legal process
- Construction could destabilise the eastern bank of the burn and lead to flooding
- No bat survey or other protected species assessment
- Scheme does not incorporate renewables
- Use of the building for holiday accommodation will not add anything to the social and economic needs of Diabaig
- Foul drainage outfall too close to neighbouring house 2A Diabaig

### Support

- Proposal to provide holiday accommodation to armed forces personnel will be very beneficial to those individuals
- Represents an investment in this rural area
- The proposal will have very little visual or amenity impact on those using the footpath
- The croft is a woodland croft which requires managing but not on a daily basis – the proposal will facilitate this given that the original croft house has been sold off
- The historic building will be lost if not reused

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet [www.wam.highland.gov.uk/wam](http://www.wam.highland.gov.uk/wam).

## **5. CONSULTATIONS**

5.1 Flood Risk Management Team:

- 1<sup>st</sup> response – 26.9.23 – Objection in respect of a lack of information regarding the potential impact of the parking area on flood water
  - Byre appears to be some 3m above 1 in 200 year flood level
  - Bridge over the Allt an Uain may be impassable during 1 in 200 flood event, but pedestrian escape routes exist
- 2<sup>nd</sup> response – 11.12.23 – Objection removed subject to imposition of condition controlling the construction materials and design of the parking area to ensure permeability and no land raising

5.2 Forestry Team:

- No objection – impact on woodland not likely to be significant
  - Recommend a condition to control the route of the drainage pipe through the woodland and any other minor tree works
  - Proposed accommodation will assist in the management of the woodland, and this will accord with NPF4 woodland and biodiversity policies

5.3 Access Officer:

- No objection
  - Conditions recommended to ensure the public rights of way are not obstructed during construction or thereafter

- Diversion requires clear signposting scheme to be secured by condition so that walkers are not deterred by the proximity to the new dwelling

5.4 Contaminated land:

- No objection but raise the possibility that the current roof covering will contain Asbestos and recommend a condition requiring a pre-development survey

5.5 SEPA:

- 1<sup>st</sup> response – 27.9.23 – Holding Objection in respect of a lack of information regarding the potential impact of flood water from the north leaving the proposal as an island between this flow and the burn to the west
- 2<sup>nd</sup> response – 11.12.23 – Objection removed following the submission of further information.

5.6 Crofting Commission:

- No objection
  - Notes croft owner-occupier does not meet the 32km maximum distance from home to croft
  - Assumes this proposal will allow crofter to enjoy permanent occupation of the croft to comply with the regulations
  - Commission is generally supportive of development where there is an operational need which will benefit the croft

5.7 Scottish Water:

- No objection
  - Can't confirm Diabaig WTW has necessary capacity
  - Applicant should complete a Pre-Development Enquiry in this regard

**6. DEVELOPMENT PLAN POLICY**

The following policies are relevant to the assessment of the application

**6.1 National Planning Framework 4**

1. Tackling the climate and nature crises
2. Climate mitigation and adaptation
3. Biodiversity
4. Natural places
6. Forestry, woodland and trees
17. Rural homes
29. Rural development
30. Tourism

**6.2 Highland Wide Local Development Plan 2012**

- 28 - Sustainable Design
- 29 - Design Quality & Place-making
- 36 - Development in the Wider Countryside
- 44 - Tourist Accommodation
- 47 - Safeguarding Inbye/Appportioned Croftland
- 51 - Trees and Development
- 52 - Principle of Development in Woodland
- 57 - Natural, Built & Cultural Heritage
- 58 - Protected Species
- 61 - Landscape
- 64 - Flood Risk
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage

**6.3 West Highland and Islands Local Development Plan 2019**

No specific policies apply

**6.4 Highland Council Supplementary Planning Policy Guidance**

Access to Single Houses and Small Housing Developments (May 2011)  
Flood Risk and Drainage Impact Assessment (Jan 2013)  
Highland's Statutorily Protected Species (March 2013)  
Housing in the Countryside and Siting and Design (March 2013)  
Trees, Woodlands and Development (Jan 2013)

**7. OTHER MATERIAL CONSIDERATIONS**

7.1 None

**8. PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

**Determining Issues**

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

**Planning Considerations**

8.3 The key considerations in this case are:

- a. compliance with the development plan and other planning policy
- b. Planning history and proposed use
- c. visual and landscape impact
- d. flood risk

- e. access and parking
- f. neighbour amenity, drainage and trees
- g. bats and other protected species
- h. croftland
- i. asbestos

### **Development plan/other planning policy**

- 8.4 All planning applications must now be determined in accordance with the provisions of NPF4 and the existing Local Development Plan unless material considerations provide justification otherwise. If there is an inconsistency between NPF4 policies and an LDP which was adopted before 13 February 2023, the NPF prevails under Section 24(3) of the Town and Country Planning (Scotland) Act 1997 (as amended), and NPF 4 takes precedence over HwLDP Policy 36. In this case the Development Plan is comprised of NPF4 and the West Highlands and Islands Local Development Plan (although this has no site-specific policies of relevance to this application) and the Highland-Wide Local Development Plan, the relevant policies of which focus on siting, design, access, neighbour amenity and flood risk (policies 28, 29, 36, 44 and 64), development in woodland (policies 51 and 52), development on croftland (policy 49), landscape impact (policies 36, 44, 57 and 61) and protected species (policy 58). For the reasons laid out below, the proposal is considered to comply with these policies.
- 8.5 NPF4 Policies 1-3 apply to all development proposals throughout Scotland. When considering development proposals, significant weight will be given to the global climate and nature crises. Development proposals will be sited and designed to minimise lifecycle greenhouse gas emissions as far as possible. Development proposals will contribute to the enhancement of biodiversity, including where relevant, restoring degraded habitats and building and strengthening nature networks and the connections between them. Proposals should also integrate nature-based solutions, where possible. The submission includes a woodland management plan which has the potential to restore degraded habitats and increase biodiversity on this woodland croft.
- 8.6 NPF4 Policy 4c states that development proposals which affect a National Scenic Area will only be supported where the objectives of the designation will not be compromised. Policies 57 and 61 of the HwLDP are also relevant in this respect and the issue of landscape impact is considered below. NPF4 Policy 4f states that if there is reasonable evidence to suggest that a protected species is present on a site or may be affected by a proposed development, steps must be taken to establish its presence.
- 8.7 NPF4 Policy 6 states that development proposals that enhance, expand and improve woodland and tree cover will be supported.
- 8.8 Under NPF4 Policies 17 and 29, development proposals (including homes in remote rural areas) that contribute to the viability, sustainability and diversity of rural communities and local rural economy will be supported, while NPF4 Policy 30 states that proposals for tourism related development will take into account the

contribution made to the local economy.

#### **8.9 Planning history and proposed use**

This application has been submitted to address the issues of objection raised in respect of a previous application 22/03188/FUL which was eventually withdrawn. As with this previous application, the applicant is proposing to convert the agricultural building for use as accommodation. However, it is not proposed to be used as a permanent dwelling but rather as a mixture of regular family visits to facilitate the management of the woodland croft, interspersed with holiday visits by family and friends and current and former members of the armed forces.

8.10 The supporting documentation states that this holiday letting will not be on a commercial basis. Notwithstanding this, it is noted that such a use might still require a short-term letting license under the recently introduced national scheme. An informal discussion with Building Standards has raised the possibility that the upper floor 'sleeping loft' and ladder arrangement might not meet current standards and the requirements for a license. However, it is noted that the property could still be used for the proposed use albeit with sleeping arrangements limited to the ground floor (sofa-bed etc).

#### **8.11 Visual and landscape impact**

A number of third party objections focussed upon the visual impact of the proposal and its impact upon the Wester Ross NSA. In terms of external appearance, although the alterations to the building are quite extensive – two single storey extensions, a new metal roof with rooflights and a glazed gable end insert – their overall visual impact is considered to read clearly as a sympathetic conversion of an agricultural building. The overall historic character of the building will not be lost.

8.12 This, and the position of the building within its woodland setting suggests that its impact upon the qualifying features of the NSA will be very limited – as required by NPF4 Policy 4 and Policy 57 of the HwLDP.

#### **8.13 Flood Risk**

The application has been submitted with a flood risk assessment which has been assessed by both SEPA and the council's Flood Risk Management Team (FRMT). Both are content that the risk of direct flooding of the application property from the Allt an Uain is negligible.

8.14 However, SEPA raised concerns about the potential for flooding of the site from a smaller burn to the NE with the prospect of the building become an 'island' surrounded by fluvial and pluvial flood water during a 1 in 200 year flood event. Further information was submitted and SEPA who then removed their objection. It is noted that the bridge just beyond the end of the public road would be inundated and potentially impassable during a 1 in 200 event.

8.15 FRMT concerns focussed upon the proposed parking area because it falls within the 1 in 200 flood extent of the Allt an Uain when climate change is factored in. Run-off from hard surfacing or land raising as part of the construction could increase flood impacts downstream and there is already an inundation issue with the bridge over the burn in these extreme circumstances. Further submitted



information satisfied the FRMT that the parking area would be given a permeable surfacing and would not involve land raising. The FRMT were able to remove their objection on the basis that these construction details must be secured by condition – see section 11 below.

Although the bridge may become impassable during extreme weather events, FRMT are satisfied that pedestrian escape routes from the property exist and the risk to life is minimal.

#### 8.16 **Access and Parking**

The remote parking and access to the building up a 40m footpath would not be considered acceptable for a permanent dwelling as indicated by the requirements of Policy 28 of the HwLDP and NPF4 Policy 17. However, it is acceptable for holiday letting uses given the choice of more accessible accommodation that exists generally elsewhere. This limited use can be secured by condition.

8.17 Although not a core path, the access path is a public right of way. The erection of the eastern extension requires a small diversion of this route around the side of the extended building. The access officer was concerned that the new proximity of path and residential use would dissuade walkers from going any further north on the path and recommended a scheme of signage to reassure path users that it was acceptable to pass the building. An acceptable scheme has been submitted and its implementation can be secured by condition.

8.18 Concern was expressed in third party responses that the re-use of the building would result in a harmful increase in traffic on the public road. It is not considered that a building of this size, in use for holiday purposes, is likely to generate a harmful level of additional car movements, even given the nature of the local roads around Diabaig.

#### 8.19 **Neighbour Amenity, Drainage and Trees**

Although the conversion of the building involves the insertion of a large glazed first floor panel in the southern gable end of the building, it is not considered that this will result in an unacceptable loss of amenity from overlooking in respect of the property to the south. Separation distance is 35m to the rear curtilage and 45m to the rear elevation of this house and there are some intervening trees.

8.20 Activity associated with the use of the parking area immediately adjacent to the same property (1 Diabaig – the original croft house it is understood), is also a cause of concern for the occupants of this property. However, it is noted that car manoeuvring noise and doors slamming will take place adjacent to the blank gable end of this property. The movement of people up to the application building is unlikely to be materially different from the existing pedestrian traffic using the footpath.

8.21 Another neighbouring property has expressed concerns about the proximity of the foul drainage outfall to their house, particularly in dry weather conditions when the flow in the burn is limited. However, given that this outfall is of water originating from a waste treatment plant mixed with any surface water passing beyond an infiltration trench, it is not considered that, even in dry weather conditions, there will be any issue with odour or contamination. To support this conclusion, the applicant has

confirmed that the drainage arrangement has received a CAR license from SEPA. The operation of the treatment plant is not considered likely to cause a level of unacceptable noise for this neighbour either. Such units are designed to have an acceptable noise profile for the property they serve and so are unlikely to represent a noise issue for neighbours particularly given its location and separation distance.

- 8.22 The forestry officer has raised a concern about the route of the drainage pipe through the woodland in respect of potential root damage if poorly designed. Accordingly, he has asked for a condition to be imposed to allow the route of the pipe (with minimal tree disturbance) to be agreed prior to works. Any other tree works required for the development can be agreed via the same condition.
- 8.23 The applicant has also submitted a woodland management plan drawn up with Scottish Forestry. Although it recommends a 'light touch' approach, the maintenance of deer fencing, and continued removal of rhododendrons will result in some biodiversity enhancement in accordance with the requirements of NPF4 Policy 3.

#### 8.24 **Bats and Other Protected Species**

As is usual for a proposal of this type, a bat survey of the building was required. Its findings were that a small amount of Pipistrelle droppings were present consistent with possible intermittent day or transitional roosting site use in the summer. The building was considered to have low winter roost suitability with many better alternative sites available in the vicinity. The report recommended a further two surveys be conducted during the active summer period to inform a mitigation strategy and a licensing application if required.

- 8.25 Further surveys were carried out on 31 May 2024 and 8 July 2024 and identified non-maternity roosting in the building by Common Pipistrelle bats. The site was considered to have low potential for winter roosting. However, some disturbance of the species appears inevitable meaning that a NatureScot 'Works Affecting Bats' licence or a 'Bat Low Impact Licence will be required. In order to ensure that such licences are forthcoming the proposal must not "be detrimental to the maintenance of the population of the species concerned at a favourable conservation status in their natural range" – the most important of the three tests to be applied in the licencing process.
- 8.26 To ensure this, the submitted species protection plan recommends mitigation in the form of;
1. mitigation measures including the installation of a roosting box, exclusion of bats from the site prior to commencement and supervised hand-stripping working methods.
  2. Compensation measures including the retention of the purpose-built bat box and a lighting plan for the site which keeps light away from access points, flight paths and foraging areas.

A planning condition is recommended to secure these requirements.

- 8.25 Third party comment about the general presence of Otters in the vicinity of the site was also received during the course of the application. The Allt an Uain, as a route between the coast and the Loch a' Mhullaich, certainly has the potential to provide

Otter habitat. Given this and bearing in mind the need for further bat survey work, it is considered reasonable to require a pre-commencement Otter survey also. The limited purpose of this will be to ensure that there are no holts – particularly maternity holts – close to the drainage discharge point. General disturbance from the new residential use is not considered an issue because the use of the footpath already brings significant human (and dog) presence into the application site.

#### 8.26 **Croftland**

Although, as stated below, the distance of the applicant's home from the croft and the implications of this in terms of crofting legislation are not material planning considerations, it is apparent from the crofting commission consultation response that they are under the impression the converted building will allow permanent occupation of the croft by the owner/occupier. Although this is incorrect, it is undoubtedly the case that the new accommodation will allow the owner-occupier of the croft the opportunity to spend more time managing the woodland. Without any livestock, the croft probably does not need a 24/7 presence. In the light of this, it is considered that the proposal meets the requirements of HwLDP Policy 47.

#### 8.27 **Asbestos**

The contaminated land team have identified that asbestos may be present in the existing fibre-cement roof covering that is to be replaced. In accordance with best practice they require an asbestos survey of this roof covering to be carried out before it is disturbed, and the results used to inform a disposal strategy.

#### **Non-material considerations**

- 8.28
- The neighbouring property asserts ownership over some of the application site. This is a civil matter
  - The issue of whether the applicant lives within 32km of the croft is a matter for the Crofting Commission

#### **Matters to be secured by Section 75 Agreement**

- 8.29 In order to mitigate the impact of the development on infrastructure and services the following matters require to be secured prior to planning permission being issued:

a) None

### **9. CONCLUSION**

- 9.1 Although the sensitive nature of this site, as identified in the third party comments, is acknowledged, it is considered that the applicant has successfully addressed all of the material issues in respect of visual impact, flood risk, access and the public right of way, amenity and protected species.
- 9.2 A number of conditions are considered necessary to ensure that the flood risk, amenity and protected species mitigations are delivered.
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and

policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## **10. IMPLICATIONS**

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

## **11. RECOMMENDATION**

### **Action required before decision issued**

None

**Subject to the above actions**, it is recommended to **GRANT** the application subject to the following conditions and reasons

1. In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within **THREE YEARS** of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.  
**Reason:** In accordance with legislation
2. Notwithstanding the provisions of Article 3 and Schedule 1 of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended, revoked or re-enacted; with or without modification), no alterations, additions, buildings or structures are permitted within the curtilage of the application building without planning permission being granted on application to the Planning Authority.  
**Reason:** To allow the LPA to control any further visual impacts on the NSA and any physical impacts in respect of the public right of way
3. The dwelling hereby approved shall be used for holiday use only and shall not be used as a principal private residence or be occupied by any family, group or individual for more than three

months (cumulative) in any one calendar year other than through the permission of the LPA in writing.

**Reason:** To ensure the building is not used as a permanent dwelling in view of its access arrangements, limited private space and potential amenity impacts on users of the public right of way

4. The parking area hereby approved shall not be constructed other than in strict accordance with the details shown on approved Site Plan drawing 2022 029-000 version H. Implementation of this scheme must be carried out without any land raising.

**Reason:** In the interests of flood risk mitigation

5. No works relating to the excavation of the foul drainage outfall pipe to the Allt an Uain shall commence until the exact route has been marked out on the ground for the inspection of the forestry officer and has been approved in writing by the LPA.

**Reason:** In the interest of tree root protection

6. No occupation of the dwelling hereby approved shall take place until the footpath re-routing works and the signage scheme shown on approved drawing 2022 029-000 version H have been fully implemented. The implemented details shall be maintained thereafter in perpetuity.

**Reason:** In the interests of public amenity

7. No development shall commence until an assessment of potential contamination from asbestos contained within the current roofing material has been carried out and the results approved in writing by the Planning Authority. In the event that asbestos is found, details of the measures required to safely remove and dispose of the asbestos containing material contamination to ensure that the site is fit for the uses proposed shall also be submitted to, and approved in writing by, the Planning Authority. The approved remedial strategy shall be implemented prior to development commencing.

**Reason:** In the interests of human health

8. The development hereby approved shall not be carried out other than in strict accordance with the Mitigation Measures and Compensation Measures detailed in the submitted Species Protection Plan produced by Coachman Bat Consultancy and dated 26 July 2024.

**Reason:** In the interests of the protected species and to ensure the applicant can comply with any licensing requirements

9. No development shall commence until a survey and assessment of the Allt an Uain for the presence of Otters and Otter habitat has

been carried out and the findings and recommendations approved in writing by the Planning Authority. The submitted survey shall be limited to the potential impacts of the construction and operation of the approved drainage pipe outfall. Any mitigation required shall be carried out prior to the first occupation of the dwelling hereby approved.

**Reason:** In the interests of minimising impacts of the development on the protected species

### **REASON FOR DECISION**

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

### **INFORMATIVES**

#### **Initiation and Completion Notices**

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

#### **Flood Risk**

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

#### **Scottish Water**

You are advised that a supply and connection to Scottish Water

infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

### **Septic Tanks & Soakaways**

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

### **Local Roads Authority Consent**

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

[http://www.highland.gov.uk/info/20005/roads\\_and\\_pavements/101/permits\\_for\\_working\\_on\\_public\\_roads/2](http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2)

### **Mud & Debris on Road**

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

**Construction Hours and Noise-Generating Activities:** You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial

Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact [env.health@highland.gov.uk](mailto:env.health@highland.gov.uk) for more information.

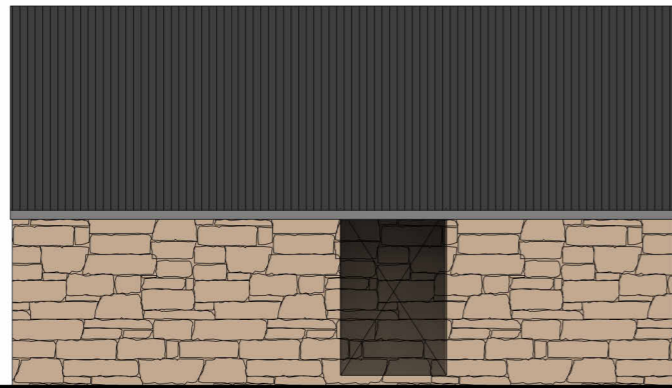
### **Protected Species – Halting of Work**

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

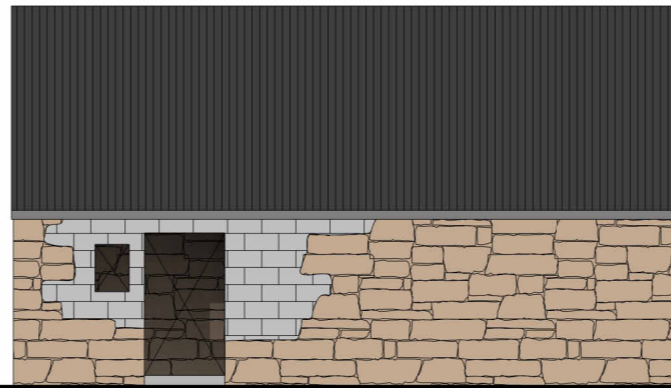
Signature: Dafydd Jones  
Designation: Area Planning Manager - North  
Author: Mark Harvey  
Background Papers: Documents referred to in report and in case file.  
Relevant Plans:

<b>Document Type</b>	<b>Document No.</b>	<b>Version No.</b>	<b>Date Received</b>
LOCATION SIGN POSTS	2022 029 - 000	H	14.12.23
VISUAL INFORMATION - SIGN DETAIL			14.12.23
PROPOSED FLOOR/ELEVATION PLAN	2022 029 - 005	A	31.07.23
DRAINAGE LAYOUT PLAN	CTCH-J5110-002		31.07.23

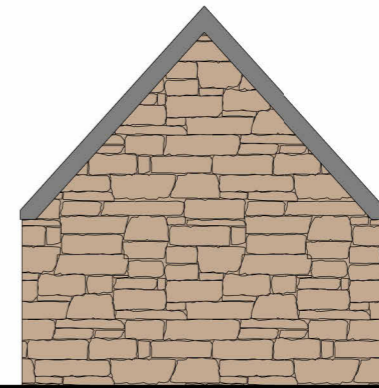




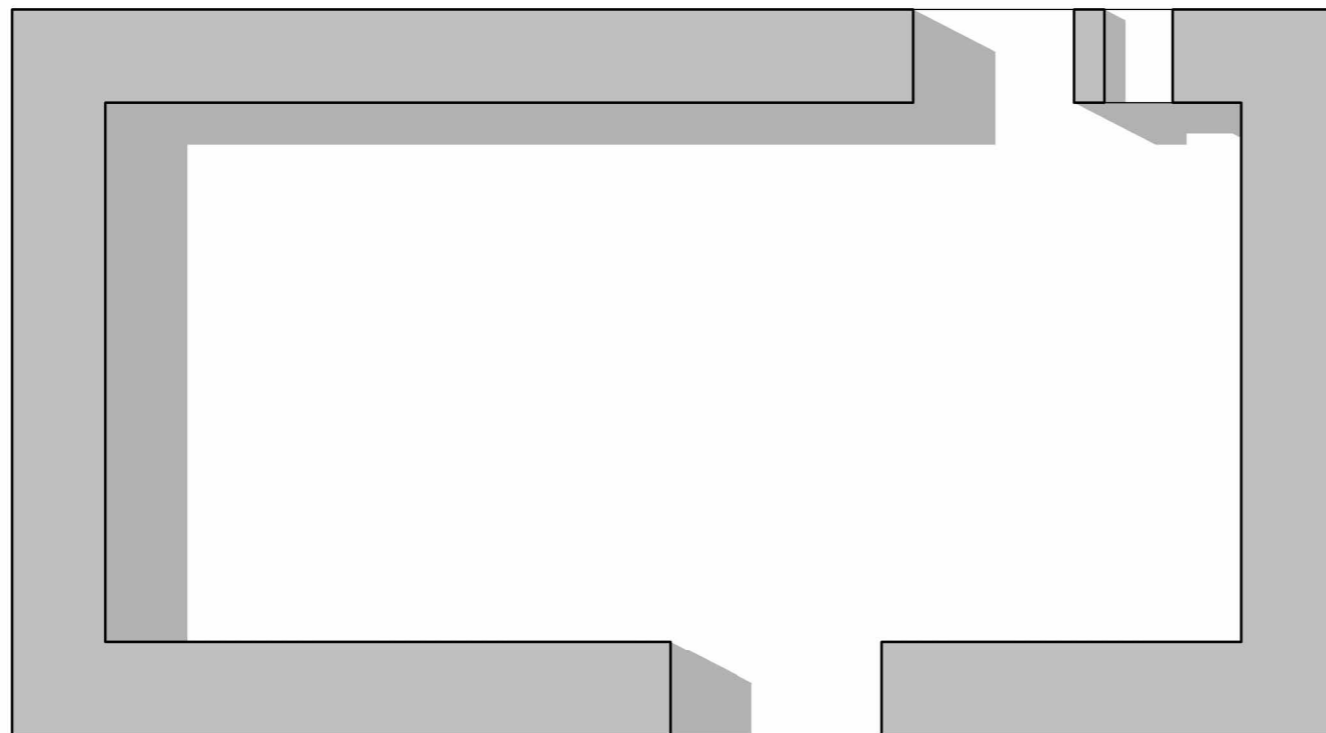
**Front**  
1 : 100



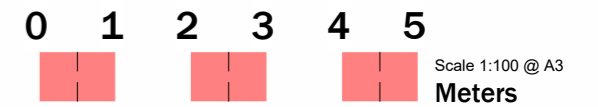
**Rear**  
1 : 100



**Side(s)**  
1 : 100



**Ground floor**  
1 : 50



FOR PLANNING

Rev	Description	Date
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Renovation of Byre, Croft 1, Diabaig, by  
Torridon

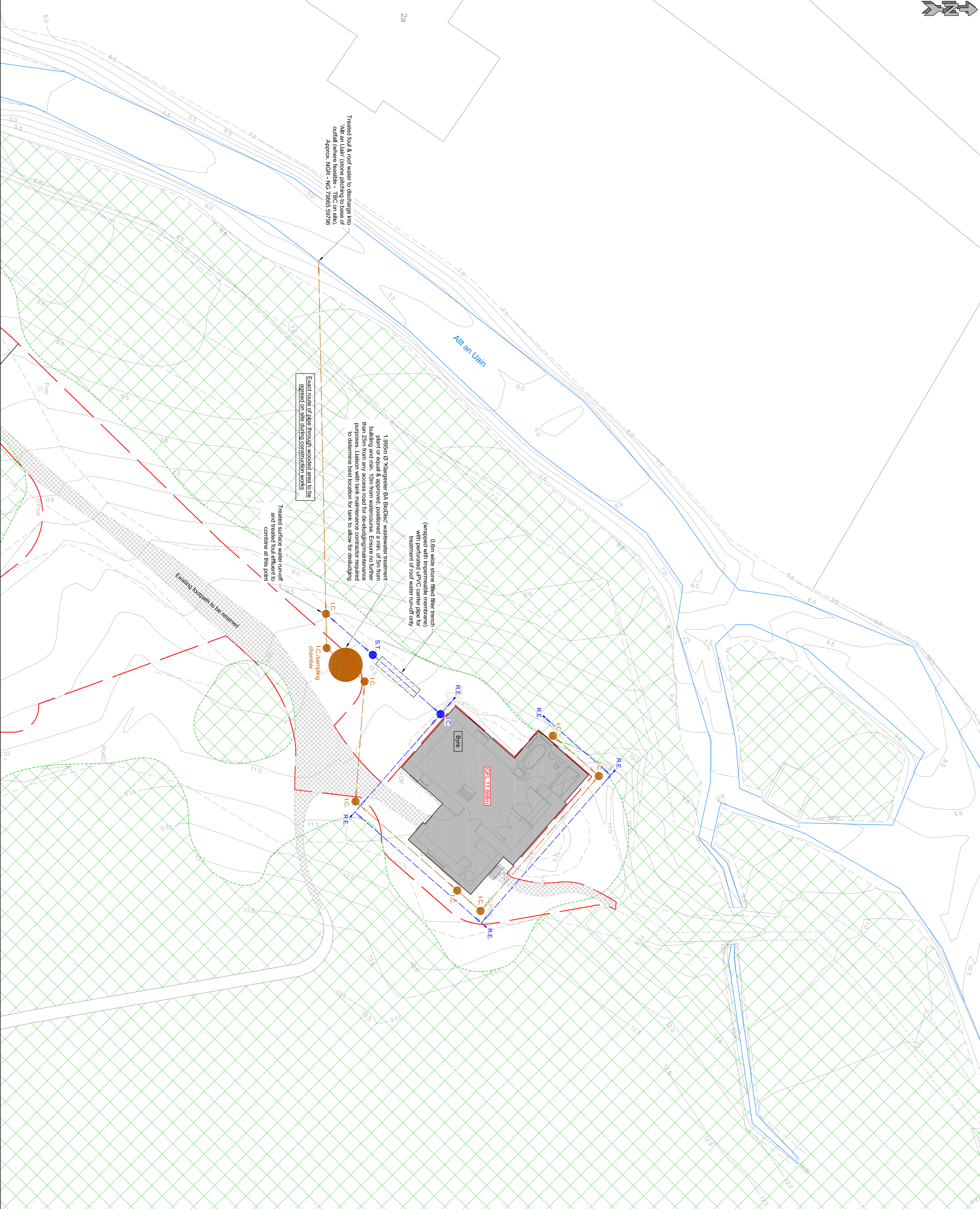
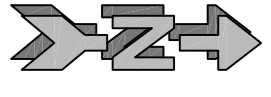
(existing) GA's

Date	26/05/2022
Drawn by	MB
Scale	As indicated

2022 029 - 001

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3. Discrepancies to be referred to architect for decision.  
4. Must be read in conjunction with written spec and engineers/sub-contractors construction information.





**NOTES:-**

1. Drainage to be constructed, installed & tested in accordance with the recommendations in BS EN 752:2017, BS EN 1610:2015, SEPA Regulatory Method WAT-FM-03 and SEPA GBR10.
2. A minimum of 600mm cover to be provided to all pipework within landscaped areas; a minimum of 900mm below any parking area and a minimum of 1200mm below any road. Concrete slab protection to be provided where minimum cover below road is not achievable.
3. Refer to the Architect's drawings for the position of the roof water downpipes and internal foul drainage outlets.
4. Foul drainage discharge shown is subject to final approval from SEPA.
5. Position of any existing services must be accurately located on site prior to construction work commencing.

**LEGEND:-**

- New 110mm Ø uPVC foul water pipework (arrowhead denotes direction of flow)
  - New 110mm Ø uPVC surface water pipework (arrowhead denotes direction of flow)
  - New rodding point terminal
  - R.E.
  - I.C.
  - S.T.
- New 450mm Ø uPVC inspection chamber (maximum depth 1.2m)
- New 500mm Ø polypropylene silt trap rambale with 450mm sump (by Wain or equal & approved)

Site Layout:  
**Conversion of Bothy at Croft 1, Diabalg**  
 Drainage Layout Plan

**CarTech**

LAND & BUILDING SURVEYING  
 HYDROGRAPHIC SURVEYING  
 SETTING OUT ENGINEERS  
 CIVIL ENGINEERING DESIGN  
 DIMENSIONAL CONTROL SURVEYING  
 LASER SCANNING SERVICES  
 AUTOCAD DRAUGHTING SERVICES

INVESTIGATIVE  
 FOUNDATION  
 SLOTTED  
 MUDS  
 MUDS  
 MUDS

AGRICULTURAL CONSULTANTS  
 EMAIL: [drain@cartech.co.uk](mailto:drain@cartech.co.uk)  
 PHONE: 01463 811400  
 FAX: 01463 811401  
 WEBSITE: <http://www.cartech.co.uk>

1722 BURN  
 BURNWOOD BUSINESS PARK  
 BURNWOOD  
 STAMFORD  
 LEICESTERSHIRE  
 LE16 9JG

Tel: 01463 811400 Tel: 01463 545000

Drawn By:	Checked By:	Survised By:	Survised Date:
KGJ	GCN	ZC/JS	14/05/2023
Drawing Status:		Drawing Date:	
<input checked="" type="checkbox"/> PLANNING		17/07/2023	
<input type="checkbox"/> FOR APPROVAL		Drawing Scale:	
<input type="checkbox"/> WARRANT		1:200 @ A1	
<input type="checkbox"/> CONSTRUCTION		Drawing No:	
Levelled and marked and sent to Ordnance Survey. Coordinates are to National Grid. (OS Network)		Our Job Ref:	
		J5110	
		Rev:	

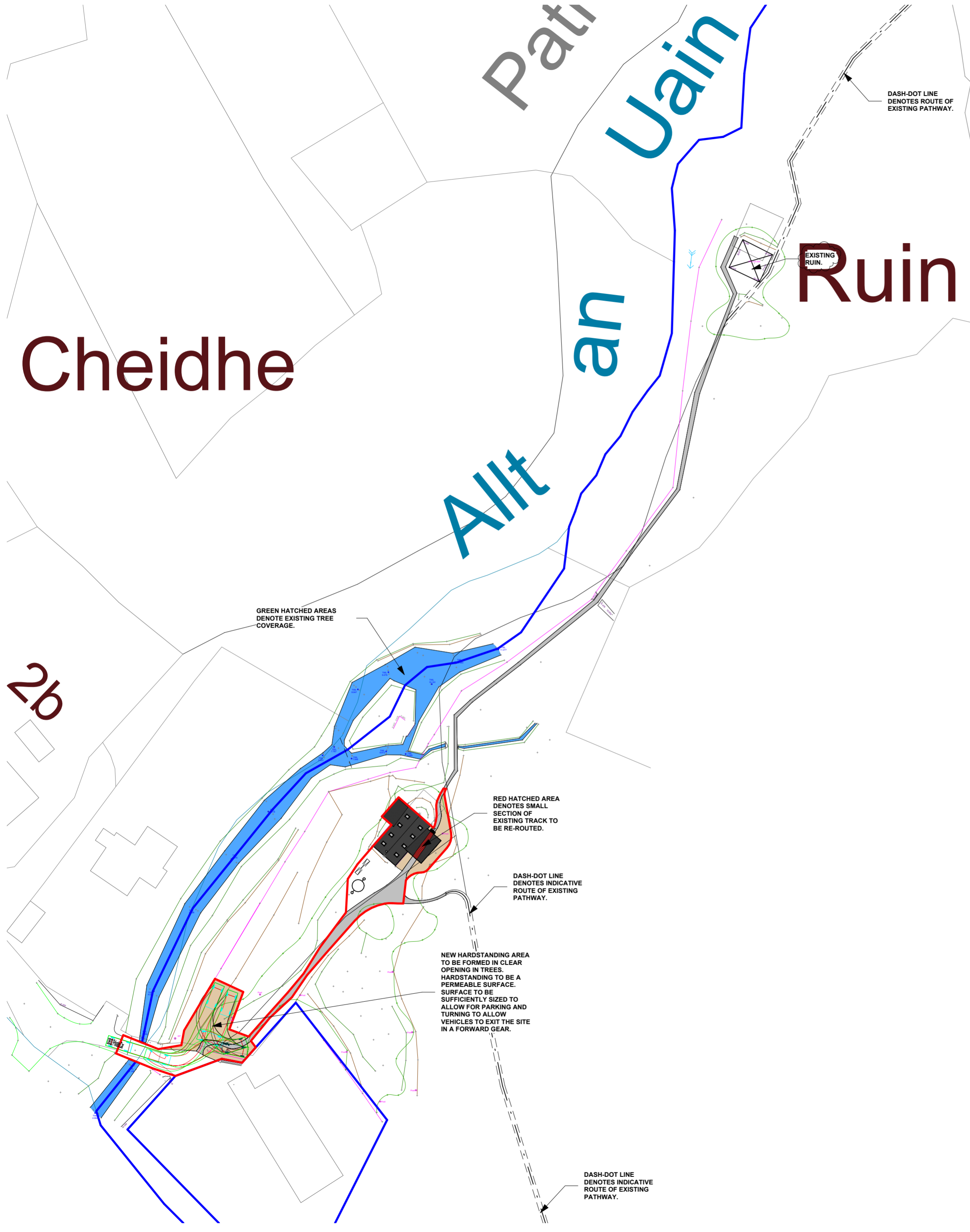
# Cheidhe

# Patr Uain

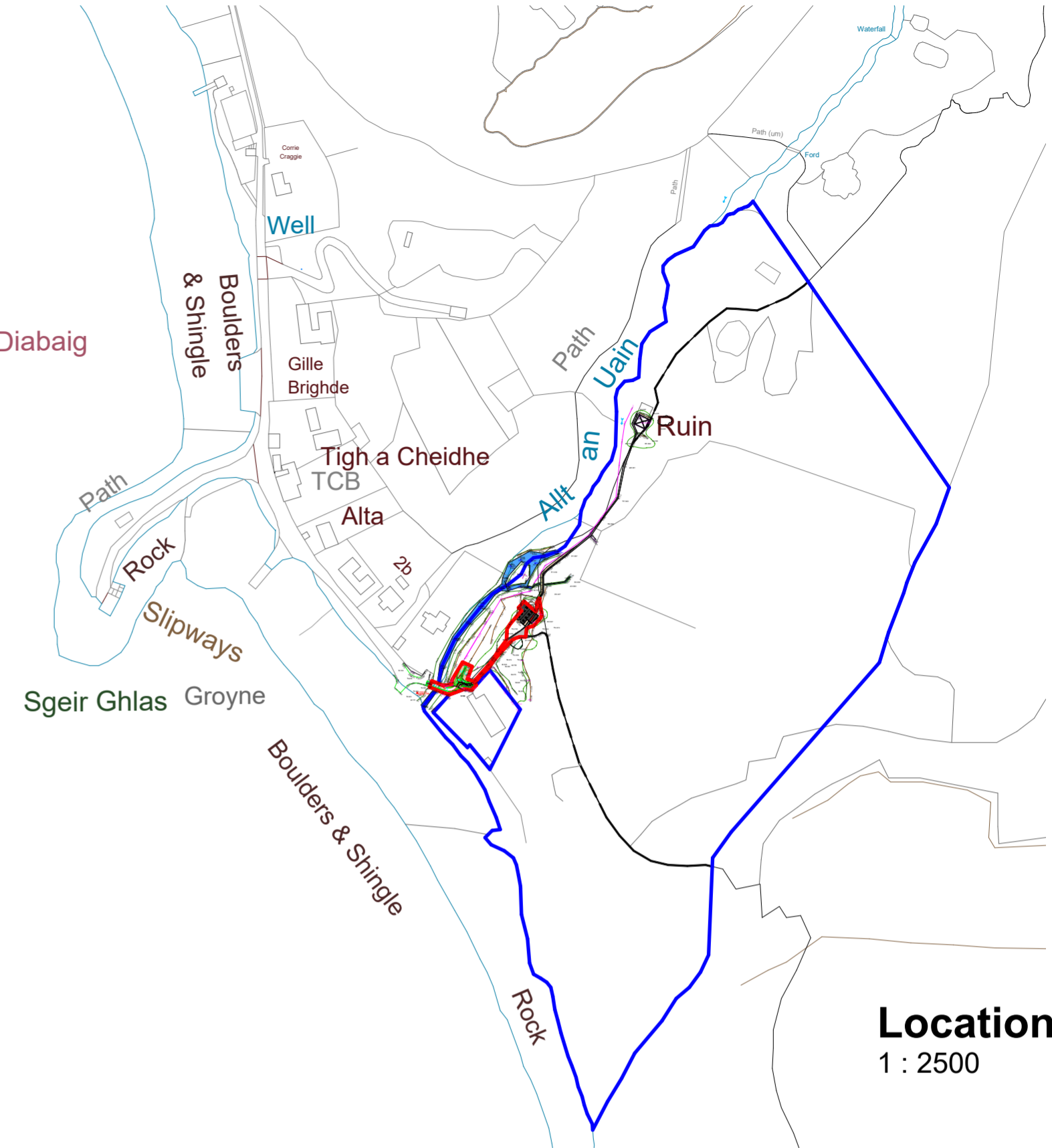
# Ruin

# Alt an Uain

# 2b



Lower Diabaig



**Location**  
1 : 2500

FOR PLANNING

No.	Description	Date
A	Red line updated	01.08.22
B	REVISED INFORMATION	06.10.22
C	Revised Proposals	31.07.23

Sandwick Consulting Ltd

Renovation of Byre, Croft 1, Diabaig, by Torrion

Site & Location

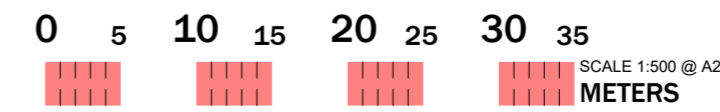
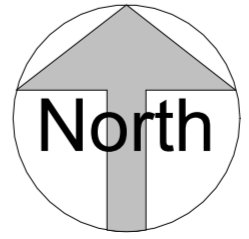
Date 06/07/2022

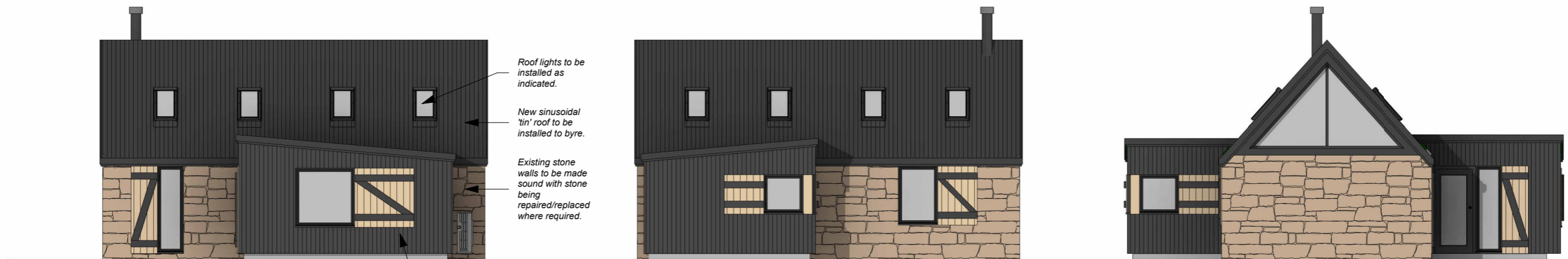
Drawn by MB

2022 029 - 000

Scale As indicated

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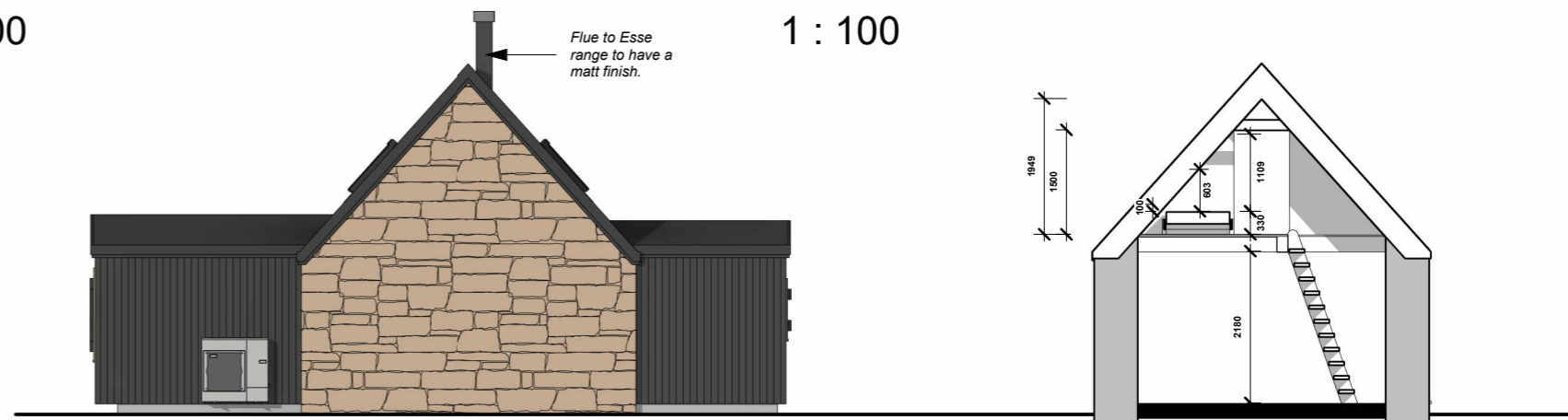




**Front**  
1 : 100

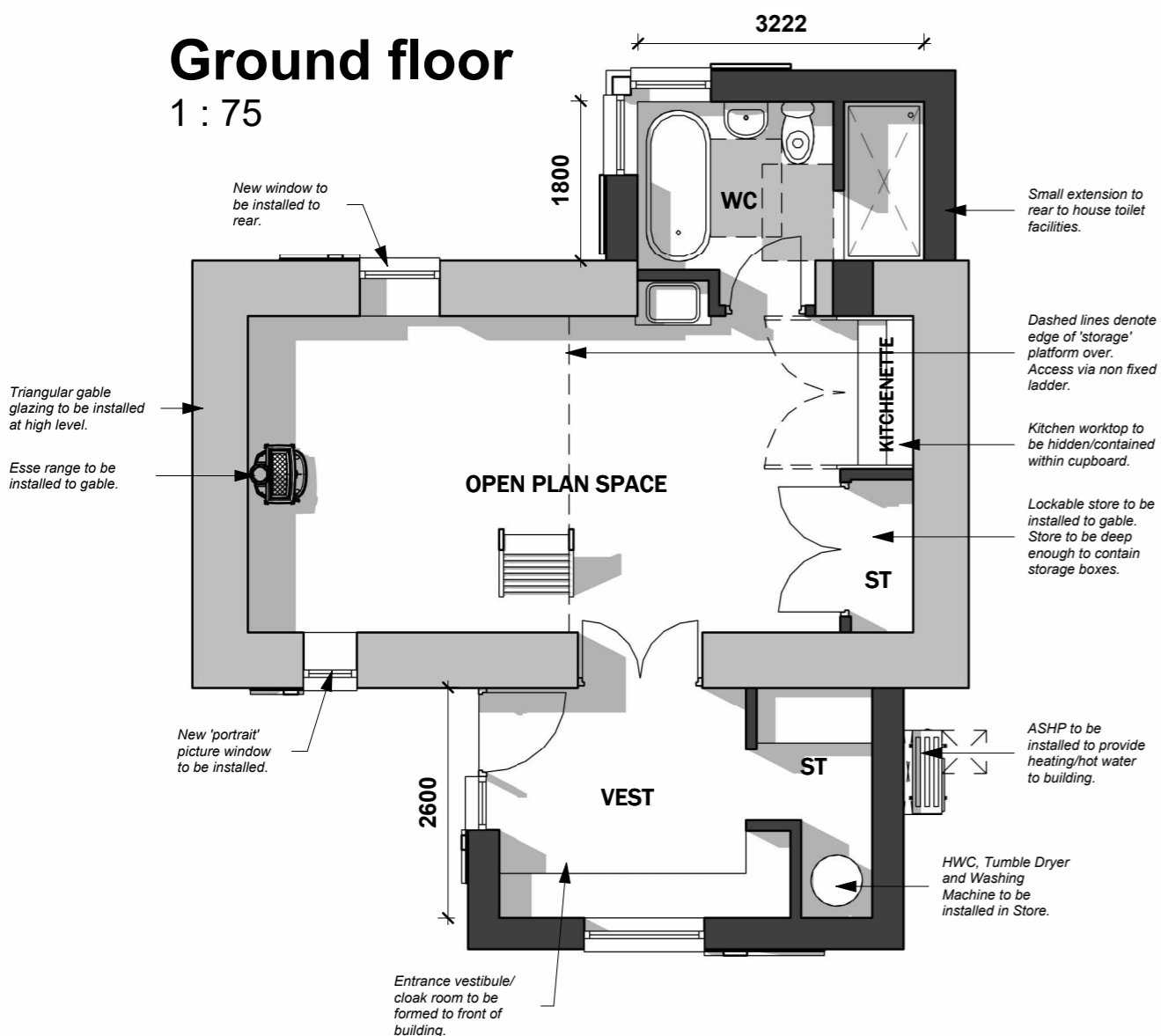
**Rear**  
1 : 100

**Side 2**  
1 : 100



**Side**  
1 : 100

**Ground floor**  
1 : 75



**Material Specification:**

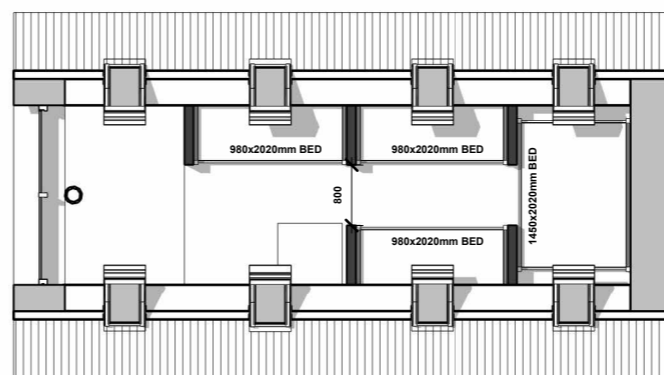
**Wall - Vertical Sinusoidal aluminium coloured Black.**  
- Existing Stone walls picked and pointed.  
- Timber shutters to be formed.

**Windows - Coloured Black.**

**Door - Coloured Black.**

**Roof - Sinusoidal aluminium coloured Black.**  
- Velux rooflights to be installed.  
- Flue to stove to be coloured Matt Black.

**Eaves - UPVC rainwater goods**  
- Painted timber fascia and soffits to RAL 7016



**First floor**  
1 : 100

FOR PLANNING

Rev	Description	Date
A	Addition of ASHP	06.10.22

Sandwick Consulting Ltd

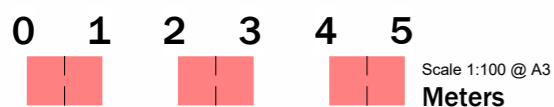
Renovation of Byre, Croft 1, Diabeg, by  
Torricon

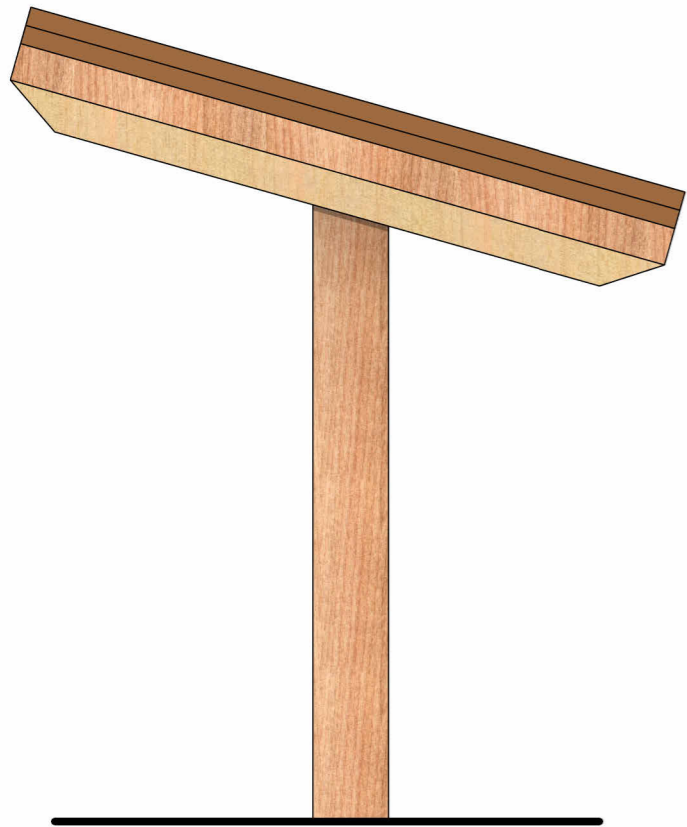
(proposed) GA's

Date	26/05/2022
Drawn by	MB
Scale	As indicated

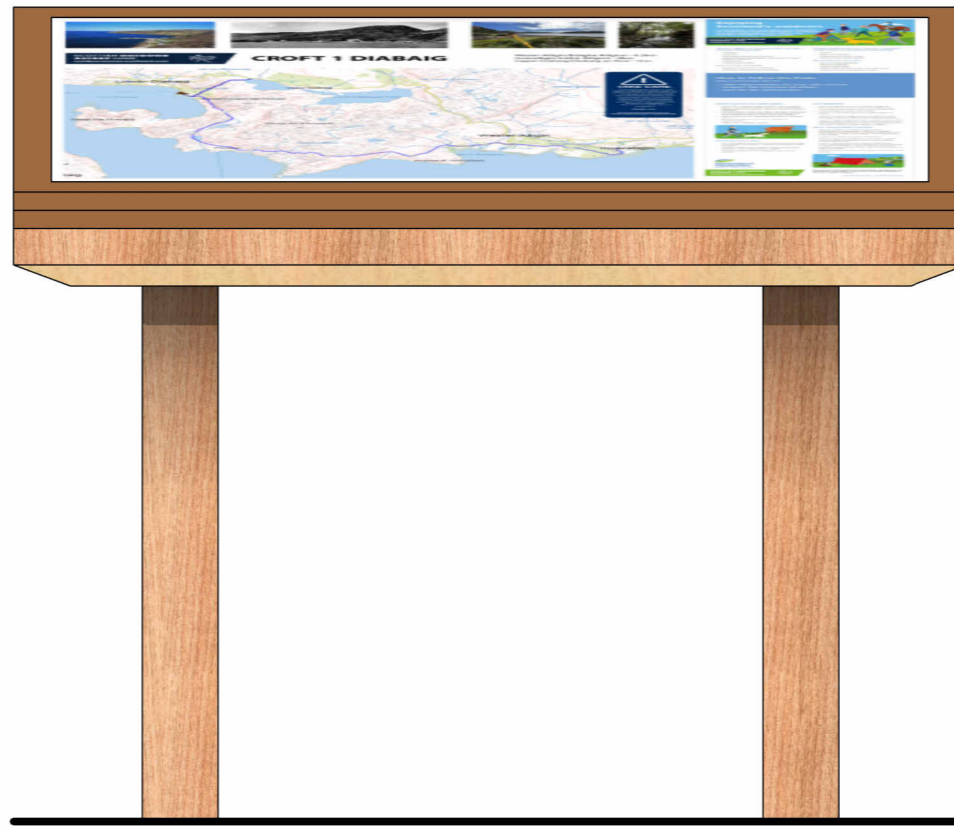
2022 029 - 005

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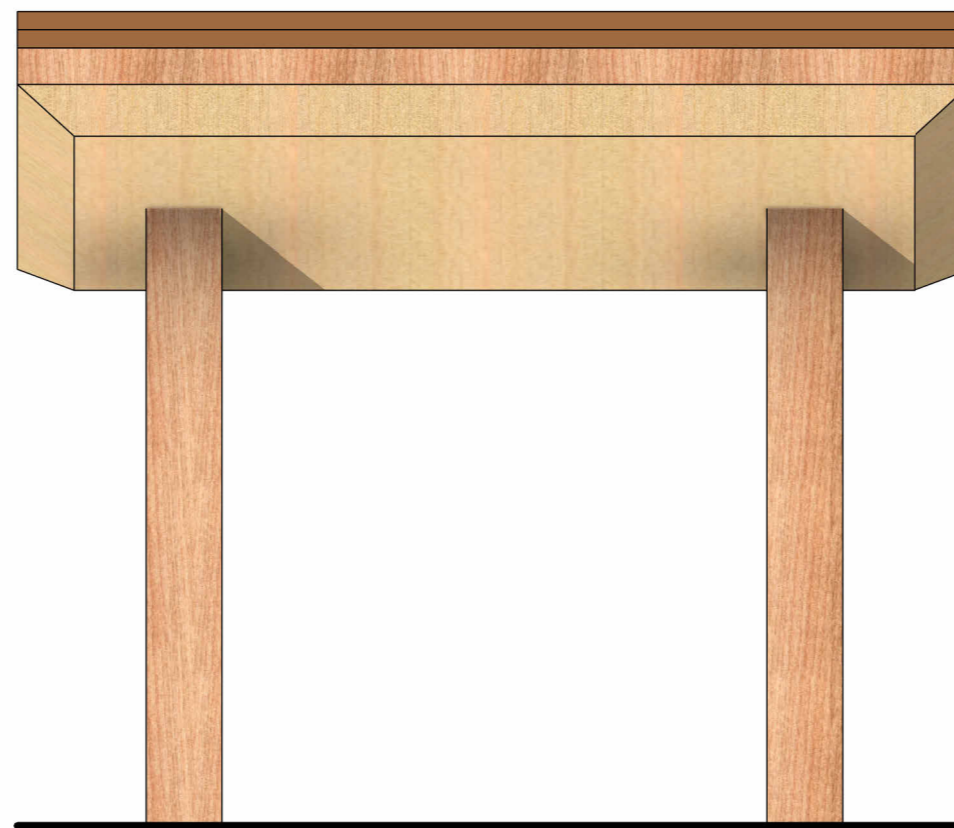
**Side 1**  
1 : 10



**Front**  
1 : 10



**Side 2**  
1 : 10



**Rear**  
1 : 10

D. Bartholomew

Sign



reynolds  
architecture

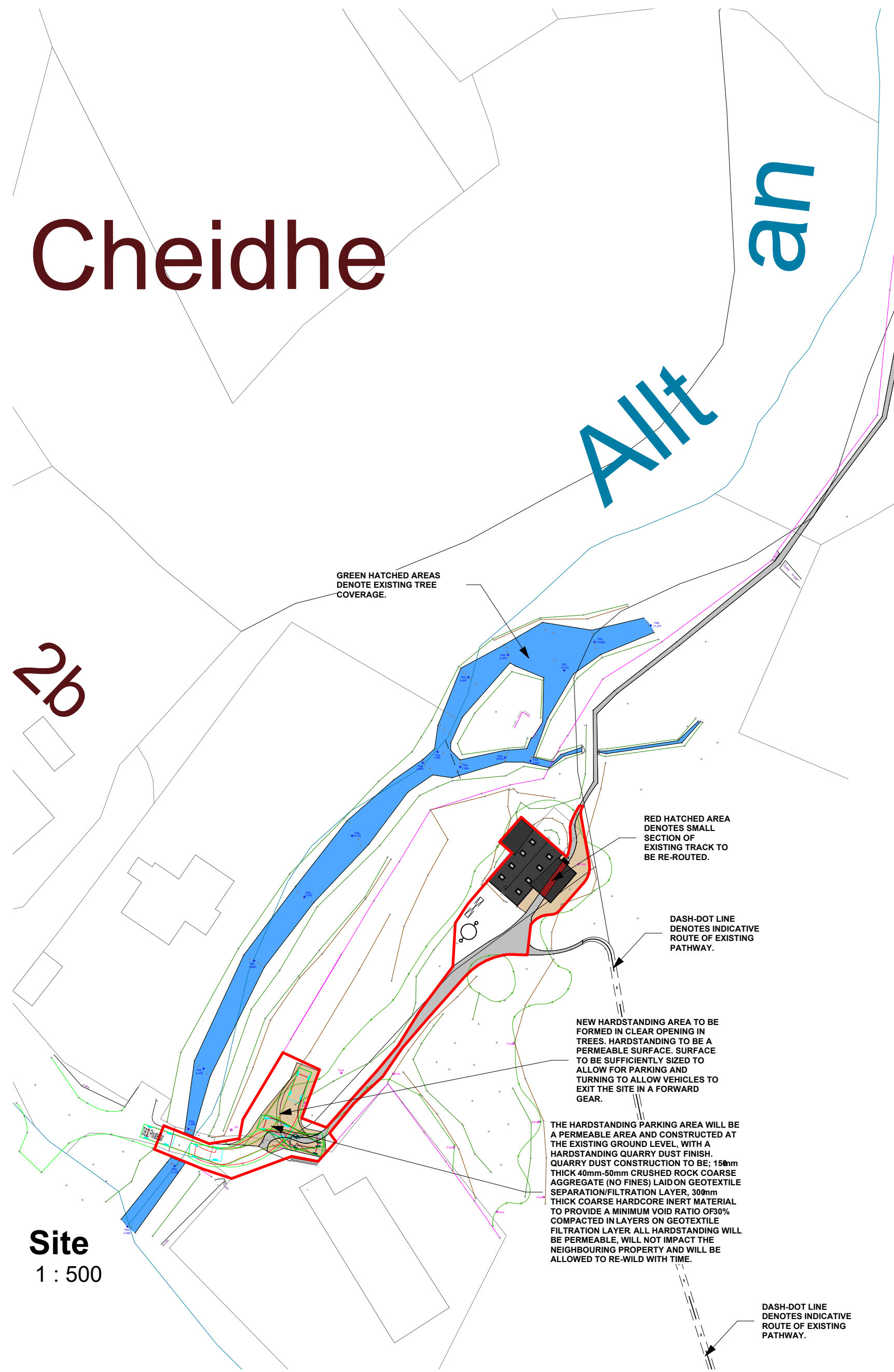
1 tulloch street  
dingwall  
IV15 9JY  
te. 01349 867766

# Cheidhe

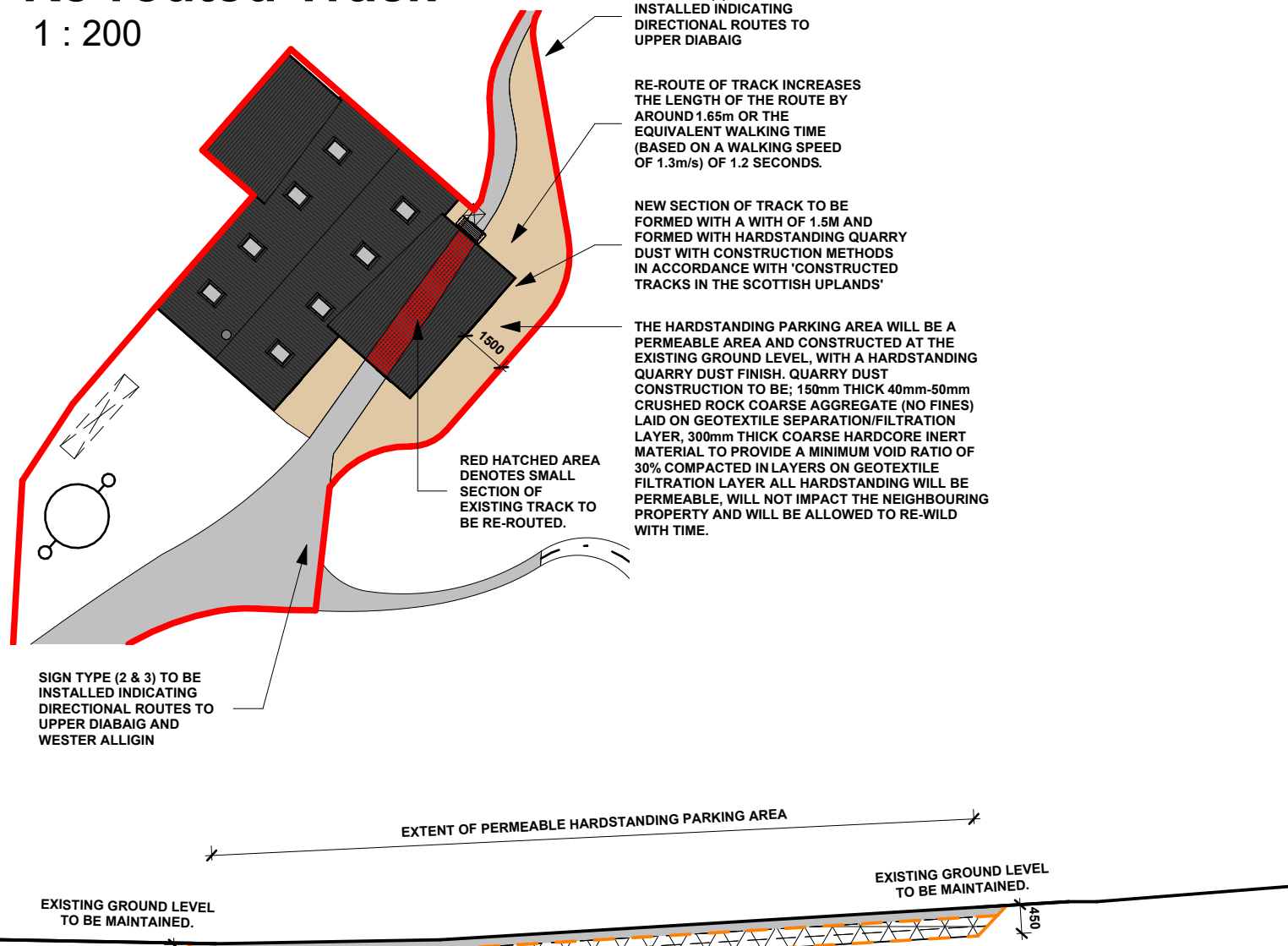
# Alt an

26

Site  
1 : 500



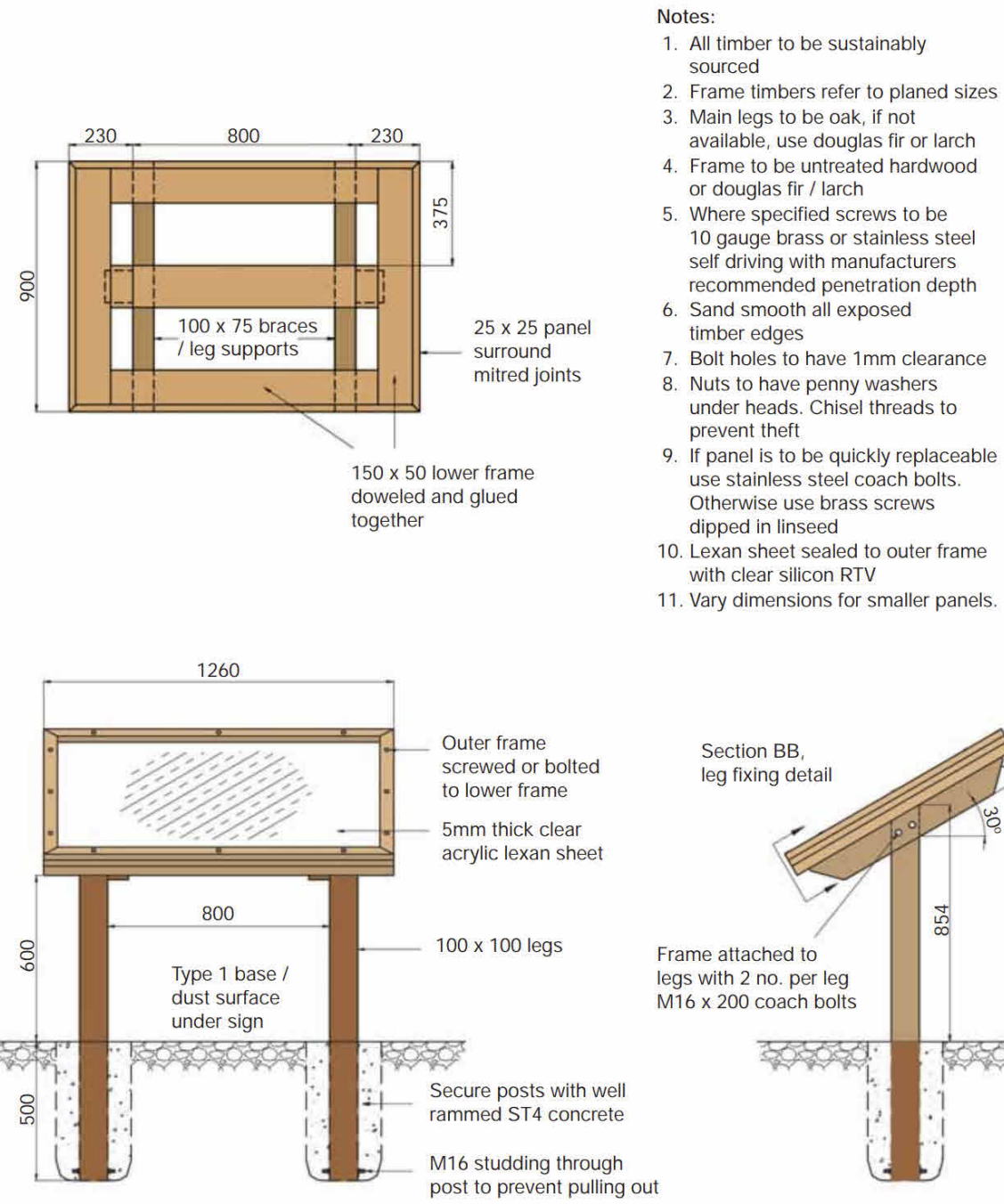
## Re-routed Track 1 : 200



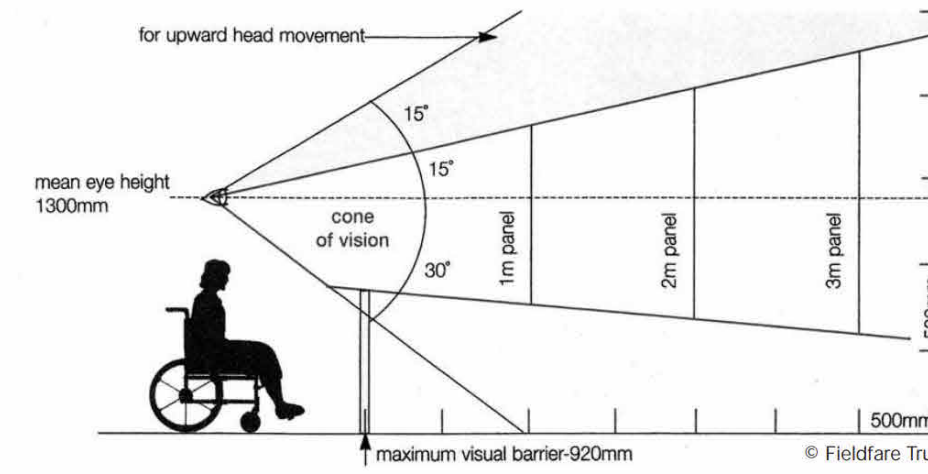
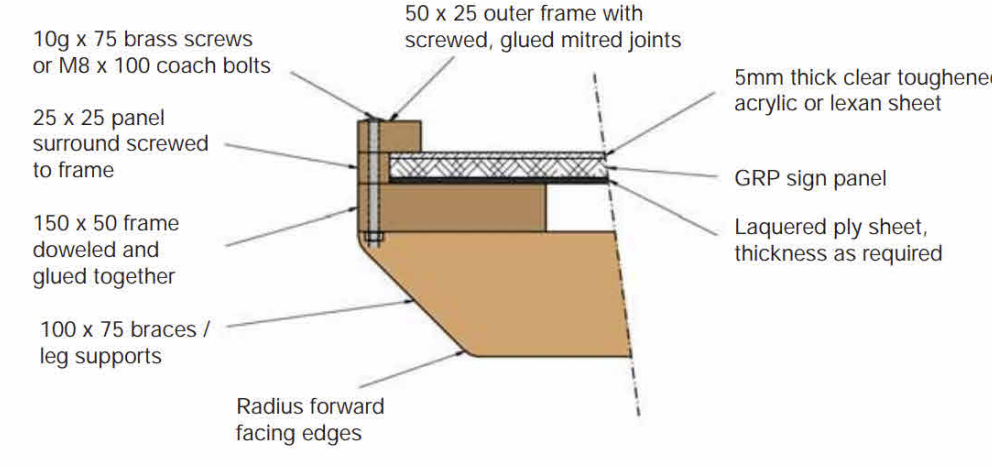
## Section 1 1 : 100

**THE HARDSTANDING PARKING AREA** WILL BE A PERMEABLE AREA AND CONSTRUCTED AT THE EXISTING GROUND LEVEL. WITH A HARDSTANDING QUARRY DUST FINISH. QUARRY DUST CONSTRUCTION TO BE: 150mm THICK 40mm-50mm CRUSHED ROCK COARSE AGGREGATE (NO FINES) LAID ON GEOTEXTILE SEPARATION/FILTRATION LAYER. 100mm THICK COARSE hardcore inert material TO PROVIDE A MINIMUM VOID RATIO OF 30%. COMPACTED IN LAYERS ON GEOTEXTILE FILTRATION LAYER. ALL HARDSTANDING WILL BE PERMEABLE. WILL NOT IMPACT THE NEIGHBOURING PROPERTY AND WILL BE ALLOWED TO RE-WILD WITH TIME.

## Angled timber map panel frame



## Section AA, panel fixing detail

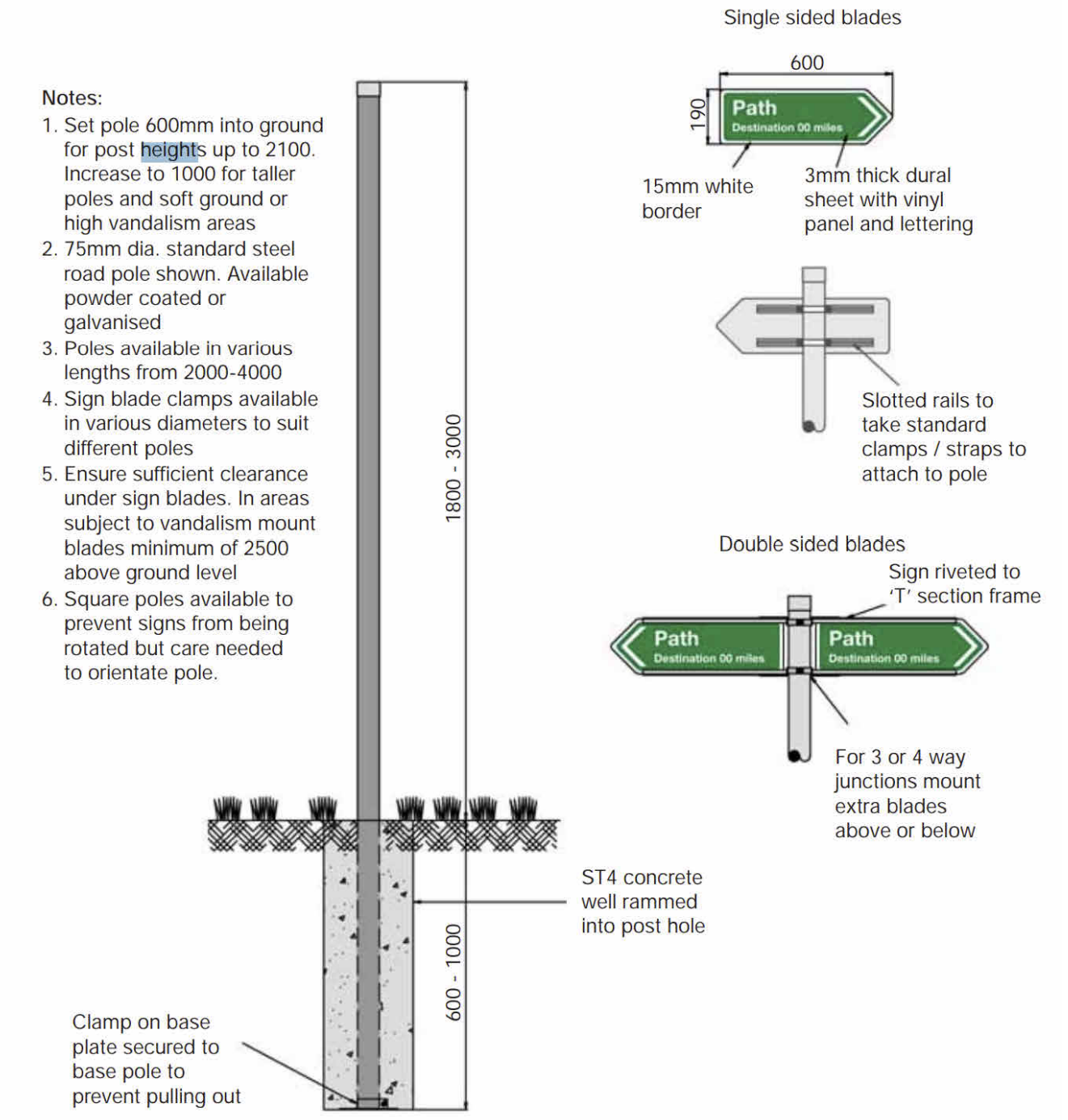


### Position of panels / signs within cone of vision:

Viewing Distance	Lowest point not below	Highest point not above
1m	800mm	1850mm
2m	700mm	2150mm
3m	650mm	2400mm

## Standard steel finger post

- Notes:**
- Set pole 600mm into ground for post heights up to 2100. Increase to 1000 for taller poles and soft ground or high vandalism areas
  - 75mm dia. standard steel road pole shown. Available powder coated or galvanised
  - Poles available in various lengths from 2000-4000
  - Sign blade clamps available in various diameters to suit different poles
  - Ensure sufficient clearance under sign blades. In areas subject to vandalism mount blades minimum of 2500 above ground level
  - Square poles available to prevent signs from being rotated but care needed to orientate pole.



**SCOTTISH OUTDOOR ACCESS CODE**

**CROFT 1 DIABAIG**

Water Alligin/Blaighe Alligin - 6.2km  
Inveralligin/Wester Alligin - 8km  
Upper Diabaig/Cheidhe an Aird - 1km

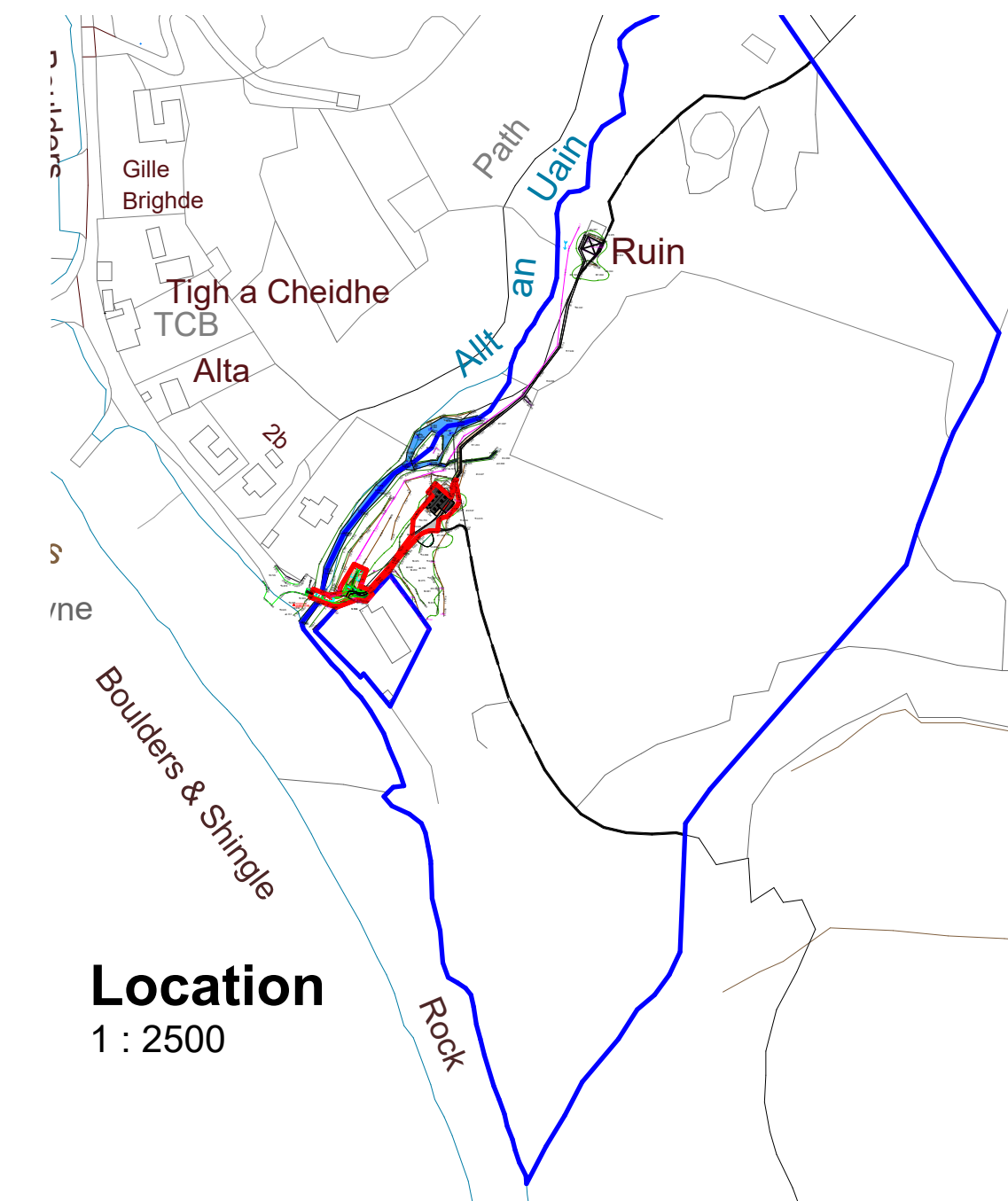
**TAKE CARE**

How to follow the Code

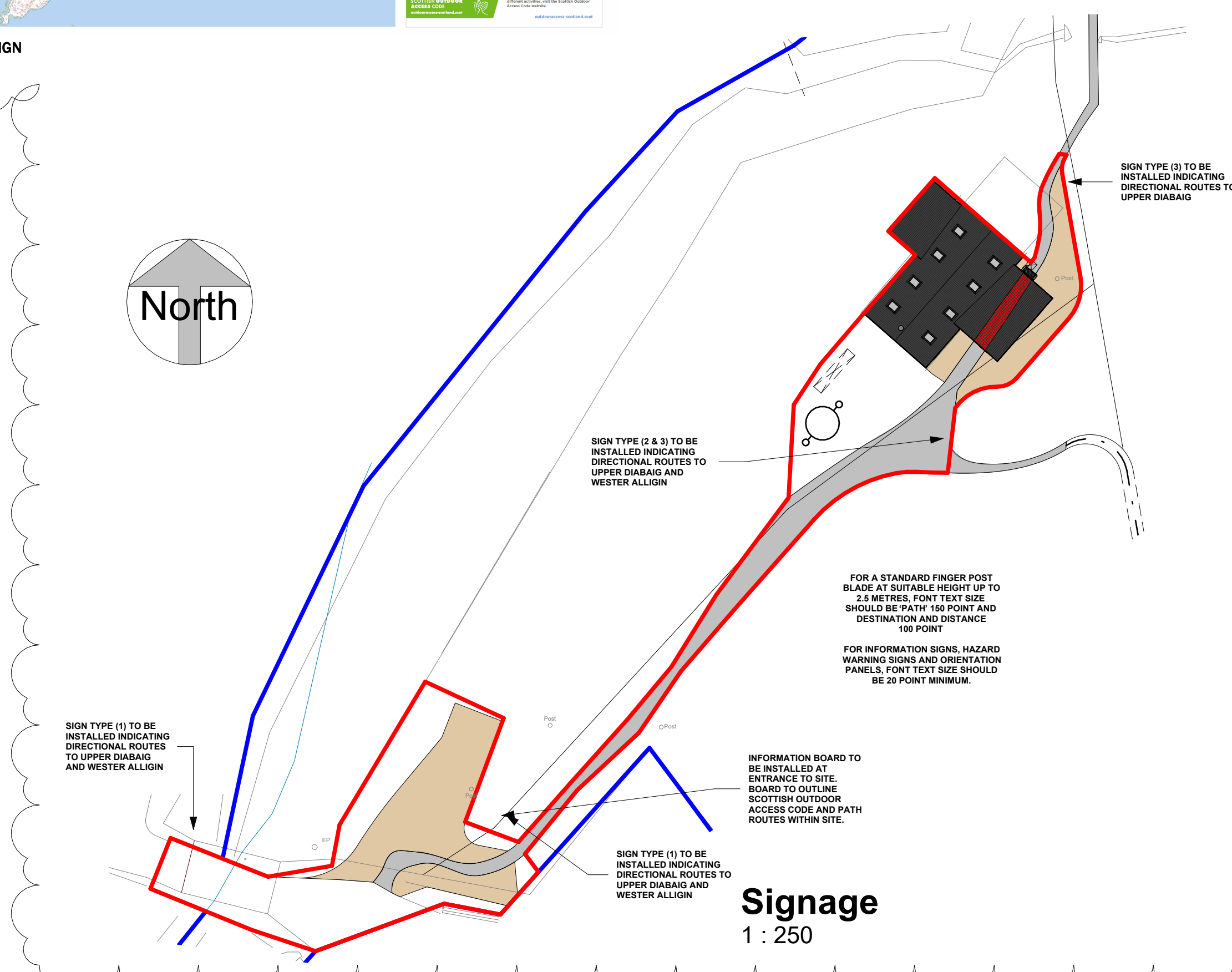
When you are out about

Information board to be installed at entrance to site board to outline SCOTTISH OUTDOOR ACCESS CODE AND PATH ROUTES WITHIN SITE.

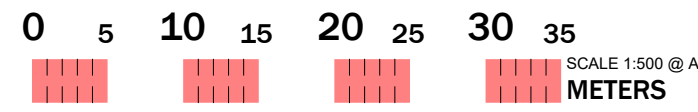
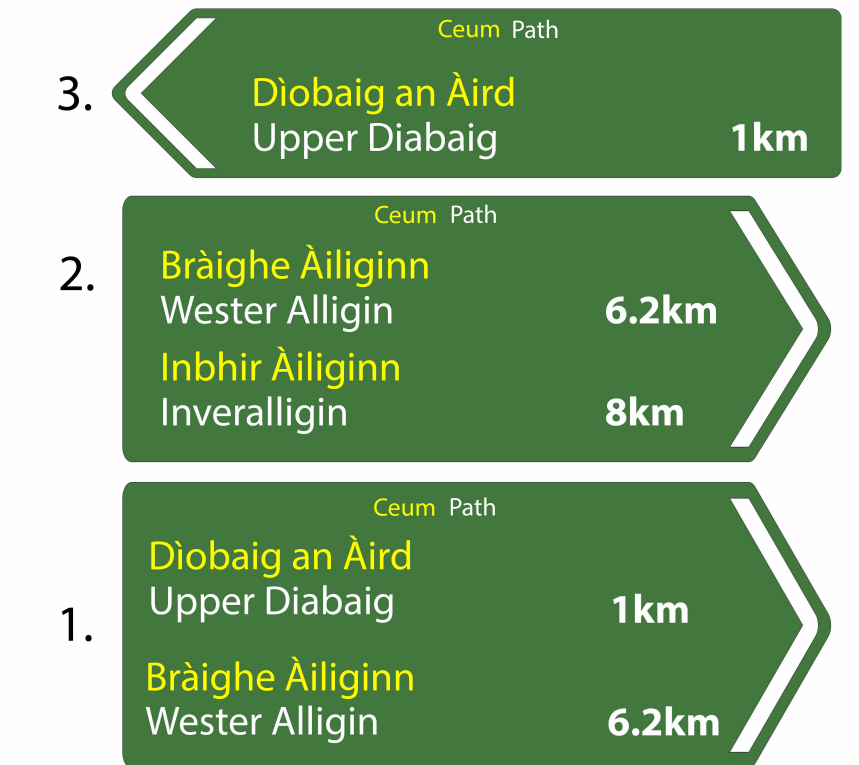
### INDICATIVE SIGN BOARD DESIGN



## Location 1 : 2500



## Signage 1 : 250



### FOR PLANNING

No.	Description	Date
A	Red line updated	01.08.22
B	REVISED INFORMATION	06.10.22
C	Revised Proposals	31.07.23
D	Invalid letter comments	09.08.23
E	Invalid letter comments.	31.08.23
F	Parking area altered	04.10.23
G	Signage added to plan	23.11.23
H	Singage revised	12.12.23

Sandwich Consulting Ltd

Renovation of Byre, Croft 1, Diabaig, by Torridon

Site & Location

Date 06/07/2022

Drawn by MB

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