

Agenda Item	6.9
Report No	PLN/019/25

HIGHLAND COUNCIL

Committee: North Planning Applications Committee
Date: 12th March 2025
Report Title: 24/01710/FUL : Mr Gary Robinson
Land 75M NW Of Pollbreac
Coldwell
North Kessock
Report By: Area Planning Manager North

Purpose/Executive Summary

Description: Erection of house and garage
Ward: 09 – Black Isle

Development category: Local

Reason referred to Committee: Called in by Ward Members.

All relevant matters have been taken into account when appraising this application. It is considered that the proposal does not accord with the principles and policies contained within the Development Plan and is unacceptable in terms of applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **REFUSE** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

- 1.1 The proposed development includes the erection of a single dwellinghouse and garage, along with associated parking and turning hardstanding area. The dwelling is proposed to be 3-storey (including walk in basement to rear elevation), 5 bedroomed, and comprise a shallow U-shape footprint with a vestibule and porch.

The dwelling is to be sited on the footprint of a former house which was demolished following a prior approval Notification (demolition) response in 2019.

The external finishes of the proposed dwelling are as follows:

Basement entrance:

3-piece glass panel entrance with 40mm stone cladding on blockwork mixed Buff & Brown mixed colours, random coursing to basement.

Ground floor:

2 vertical columns with gable ends with 2 x double paned windows on each side of the central line with outside sitting/entertaining areas with a further 2 double window with white or off-white K-Rend smooth render applied.

Second floor:

Continuation of 2 x vertical columns with 25mm treated Scottish larch cladding shiplap profile RW102 anthracite grey aluclad timber windows & fixed screens and 25mm natural slate sill.

Roof:

Mock slate roof tiles- dark grey ventilated ridge with 8 no photovoltaic roof mounted integrated panels and a 40% roof pitch.

- 1.2 Upgrades are proposed to be made to the existing site access, with view of increasing road safety. Private drainage arrangements are to be made for surface and foul water treatment; rainwater is to be discharged into a nearby watercourse of surface water and a new treatment plant or septic tank drained to a filtration soakaway for foul water drainage. A drainage assessment has been undertaken to determine existing site conditions, drainage proposals and strategies.

- 1.3 Pre-Application Consultation:

Pre-application advice was previously provided by the Planning Authority under application ref. 19/02424/PREAPP, which concluded that based on the information submitted the principle for the erection of two houses and erection of replacement house would not be supported as it is contrary to Policy 35 – Housing in the Countryside (Hinterland Areas) of the Highland-wide Local Development Plan. Any proposal for this location should demonstrate how it appropriately qualifies for one of the listed exemptions to Policy 35. The erection of a single house on the former site of Inchdairnie was considered generally acceptable. Although the former house was demolished, the thrust of the policy exception relating to replacement dwellings could be used as justification, albeit that this refers to 'existing' dwellings. The access, hardstanding and disturbed house footprint exist and redevelopment of the site for a single house, well contained within existing woodland and using the existing access would appear reasonable.

1.4 Supporting Information:

Arboricultural Method Statement

Drainage Statement

Tree Schedule

Design Statement:

- The statement justifies the principle of housing development under the one-for-one replacement of a house.
- Relevant policies (NPF4 Policy 17, HwLDP 28, 29 and 51) are addressed in relation to the proposed development.

1.5 Variations

The design of the dwelling to the rear elevation was amended during the determination of this application. The existing slope of the hill is now proposed to be used to reduce the basement frontage. There was also a change in direction of roof pitch on the north-western vestibule.

2. **SITE DESCRIPTION**

2.1 The site of the proposal is within the small rural township of Coldwell area to the north of North Kessock and the A9 trunk road between the Munloch and Drumsmittal road junctions approximately 1.5 miles west of the Kessock Bridge and looking across the Moray Firth. The site is approximately 8313.00 square metres in size. This area has remnants of an associated former planned garden area, with pond, paving and footpath/steps up to the house site. Access and Parking is proposed for an existing site access to be upgraded as part of this proposal to provide suitable access of the adjacent public road.

2.2 The proposed development site is secluded by existing trees and woodland, with an existing access and hardstanding present. The proposed location of the new dwellinghouse is within the footprint of a previously demolished house under planning ref. 18/05607/DEM, with this proposal aiming to upgrade the existing private access which serves the site. The site is within open countryside of the Hinterland.

2.3 There are trees and ancient woodland within and surrounding the proposed development site. The site also has a small number of neighbouring properties sporadically placed properties close by.

3. **PLANNING HISTORY**

3.1 16.08.2022 - 22/02719/PIP: Erection of house and garage. PERMISSION GRANTED

3.2 14.01.2019 18/05607/DEM: Notification for demolition of buildings. PRIOR NOTIFICATION NOT REQUIRED

3.3 15.07.2019 19/0242/PREAPP: Erection of two houses and erection of replacement house. CLOSED

3.4 15.11.2017 17/05098/PREAPP: Formation of 2 house plots within garden ground of existing house, new access formed to serve both plots. CLOSED

4. PUBLIC PARTICIPATION

4.1 Advertised: Ross-shire Journal 'Unknown Neighbour' – 14 days

Date Advertised: 05.07.2024 & 17.05.2024

Representation deadline: 19.07.2024 & 31.05.2024

Timeous representations: None.

Late representations: None.

5. CONSULTATIONS

5.1 **Forestry Team 15.07.2024**

Planning Permission in Principle (22/02719/PIP) was granted for this site in September 2022. Condition 5 of the Decision Notice requires an Arboricultural Impact Assessment to help determine the appropriate size and position of the house, along with a Tree Protection Plan and Arboricultural Method Statement.

This information has been prepared by Treetek and submitted in support of this detailed application and accordingly the Forestry Team confirm that they have no objections to the proposed development, subject to the following conditions:

1. A suitably qualified arboricultural consultant must be employed at the developer's expense to ensure that the approved Tree Protection Plan and Arboricultural Method Statement are implemented to the agreed standard. Stages requiring supervision are to be agreed with the planning authority and certificates of compliance for each stage are to be submitted for approval.
2. No development, including site clearance or demolition, shall commence until an arboricultural consultant has been appointed and a work instruction issued enabling them to undertake the necessary supervision unhindered for the duration of the project. With effect from the date of this permission, no trees are to be cut down, uprooted, topped, lopped (including roots) or wilfully damaged in any way, without the prior written permission of the planning authority.

Reason: To secure the successful implementation of the approved Tree Protection Plan.

5.2 **Scottish Water 25.07.2024:**

Scottish Water has no objection to this planning application. The applicant should be aware that this does not confirm that the proposed development can currently be serviced. Scottish Water would advise the following:

Water Capacity Assessment

- There is currently sufficient capacity in the Assynt Water Treatment Works to service your development. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.

Waste Water Capacity Assessment

- According to our records there is no public wastewater infrastructure within the vicinity of this proposed development therefore we would advise applicant to investigate private treatment options.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 National Planning Framework 4 (2023) (NPF4)

Policy 1 - Tackling the Climate and Nature Crises

Policy 2 - Climate Mitigation and Adaptation

Policy 3 - Biodiversity

Policy 5 - Soils

Policy 6 - Forestry, Woodland and Trees

Policy 9 - Brownfield, Vacant and Derelict Land and Empty Buildings

Policy 13 - Sustainable Transport

Policy 14 - Design Quality and Place

Policy 15 - Local Living and 20 Minute Neighbourhoods

Policy 16 - Quality Homes

Policy 17 - Rural Homes

Policy 22 - Flood Risk and Water Management

Policy 29 - Rural Development

6.2 Highland Wide Local Development Plan 2012 (HwLDP)

28 - Sustainable Design

29 - Design Quality & Place-making

31 - Developer Contributions

35 - Housing in the Countryside (Hinterland Areas)

42 - Previously Used Land

51 - Trees and Development

64 - Flood Risk

65 - Waste Water Treatment

66 - Surface Water Drainage

6.3 Inner Moray Firth Local Development Plan 2 (2024) (IMFLDP2)

No specific policies apply.

7. OTHER MATERIAL POLICY CONSIDERATIONS

- 7.1 **Highland Council Supplementary Planning Policy Guidance**
Access to Single Houses and Small Housing Developments (May 2011)
Developer Contributions (March 2013)
Flood Risk & Drainage Impact Assessment (Jan 2013)
Housing in the Countryside and Siting and Design (March 2013)
Rural Housing (December 2021)
Sustainable Design Guide (Jan 2013)
Trees, Woodlands and Development (Jan 2013)

8. PLANNING APPRAISAL

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.3 The key considerations in this case are:
- a) principle of housing development
 - b) siting, design and landscape impact
 - c) privacy and amenity
 - d) access and parking
 - e) water and drainage
 - f) climate and nature crises
 - g) trees and biodiversity

Development plan/other planning policy

- 8.4 The Scottish Government's Urban Rural Classification 2016 considers the proposal site to be located in a Remote Rural area. Policy 17(a) of NPF4 – Rural Homes - supports housing development in rural areas where it is both "suitably scaled, sited and designed to be in keeping with the character of the area", and compliant with a list of exemptions.

The proposed development does meet an exemption listed within Policy 17(a) of NPF 4 and Policy 35 of HWLDP, being for the reinstatement of a former dwelling house. However, as is further discussed in following sections, the Planning Authority has reservations about the proposed dwelling's design and siting – and as such, the proposed development is therefore considered to conflict with NPF4 Policy 17 which also requires developments that meet the exemption criteria to be suitably scaled, sited and designed in keeping with the character of the area.

- 8.5 Policy 17(b) of NPF4 ensures that development proposals for new homes in rural areas will consider how the development will contribute to local living and take into account local housing needs, economic considerations and the transport needs of the development as appropriate for the rural location. As the principle of the development is justified through the one-for-one replacement of a previously existing dwellinghouse, compliance with local living policy is considered to have been previously addressed and considered acceptable.

Siting, Design and Landscape Impact

- 8.7 Policy 14 of NPF4 – Design, Quality and Place – supports well designed development that makes successful places by taking a design-led approach. Policy 14(a) states that development proposals will be designed to improve the quality of an area whether in urban or rural locations and regardless of scale. Policy 14(c) states that development proposals that are poorly designed, detrimental to the amenity of the surrounding area or inconsistent with the six qualities of successful places, will not be supported. With reservations regarding the design, it cannot be considered that the proposed development complies with this policy.
- 8.8 Policy 29 of NPF4 – Rural Development – intends to encourage rural economic activity, innovation and diversification whilst ensuring that the distinctive character of the rural area and the service function of small towns, natural assets and cultural heritage are safeguarded and enhanced. Policy 29(b) states that development proposals in rural areas should be suitably scaled, sited and designed to be in keeping with the character of the area. They should also consider how the development will contribute towards local living and take into account the transport needs of the development as appropriate for the rural location.
- 8.9 Policy 28 of the Highland-wide Local Development Plan – Sustainable Design – states that proposals will be assessed on the extent to which they demonstrate sensitive siting and high-quality design in keeping with local character and historic and natural environment and in making use of appropriate materials.
- 8.10 The Rural Housing Supplementary Guidance 2021 (RHSG) can also be referenced in this instance. This guidance supports appropriate new rural housing, while minimising adverse impacts on the environment, agriculture, infrastructure and services.
- 8.11 The proposal sites the dwelling on the footprint of the former dwellinghouse on the site. This dwelling was 4-bedroomed, however was of single storey, sitting well below the level of the passing road and therefore having a lesser visual impact that what has now been proposed. The footprint of the proposed dwelling is significantly larger than that of the previous, and as such cannot be considered sensitive to the existing site landscape, which lends itself to a house similar to the size of what previously existed.
- 8.12 The guidance within the response provided for Planning in Principal ref. 22/02719/PIP was quite clear in stating “The proposed location of the dwellinghouse and detached garage within any subsequent application should be similar to the

position proposed within this application and must be within the curtilage of the original demolished property. To ensure the proposed development also accords with the desired exemption of Policy 35, the resultant footprint of any proposed dwellinghouse should not be an excessive increase to that of the original house". In this instance, the proposed footprint (approximately 212m²) is greater in comparison to that of the former dwelling (approximately 147m²). Whilst a house with this footprint could potentially be supported on this site, it is the overall massing of the structure which is of concern.

- 8.13 The proposal features a 'walk-in' basement which cuts into the existing topography of the site. The proposed underbuilding forms a 3-storey south-western elevation which increases the massing of the building and creates an imposing feature within its immediate surroundings. The proposed 2/3-storey split level house development is not considered appropriate in this location. The planning authority could however support a dwelling of a single or 1 ½ storey house, closer to that of the original building on the site.

Privacy and Amenity

- 8.15 A neighbouring dwelling is located shortly to the south of the application site, and although mostly obscured during summer months, views between these properties will become clearer during winter months. The proposed balconies will increase the field of view from the proposed site and encourage time to be spent looking in a southward direction. Therefore, there is the potential for privacy or amenity impact on neighbours. However, whilst this is a concern, given the separation, orientation, outlook and presence of vegetation, it is considered that this will be not sufficient to warrant a recommendation to refuse in this instance.
- 8.16 With regard to views of the proposed development from the public road to the northeast, at present views down towards the site are largely obscured by planting around the application site boundary. However, if permission was to be granted on this site, sufficient visibility splays would be required to be demonstrated and the removal of a section of this boundary planting could well be required to achieve views of a safe distance. The removal of trees along this boundary would increase the visual impact of the development from the public road. This could however have been addressed by condition had it been supported.

Access and Parking

- 8.17 It is proposed for an existing site access to be upgraded as part of this proposal to provide suitable access of the adjacent public road. The access will be required to adhere to the Access to Single Houses and Small Housing Developments guidelines with the junction formed in accordance with drawing ref SDB1.
- 8.18 Visibility splays of 2.5m x 90m looking left and 2.5m x 50m looking right were recommended in 22/02719/PIP, however on further assessment the visibility splays proposed within document 1373/MSC/02 REV A SITE LAYOUT PLAN is considered commensurate with the assessed road speeds on the public road. The proposed works to maintain the required visibility of the access also corresponds to the previous pre-application advice provided under planning ref. 19/02424/PREAPP.

- 8.19 As detailed within the submitted Tree Protection Plan, it is proposed for some trees to be felled to the southeast of the access junction to establish and thereafter maintain the required visibility splays which has been agreed with the Forestry Officer. There is also suitable space within the development site for the 3 proposed parking spaces (excluding garages) and an adequate turning area.
- 8.20 Should an application for this proposal be permitted both the access and parking requirements should be secured by condition to be fully completed prior to the first occupation of the house.

Water and Drainage

- 8.21 The application site is outwith any area of flooding, in accordance with SEPA Future Flood Mapping. Scottish Water have confirmed that the proposed development will be able to connect onto the public fresh water supply, however, with no public foul drainage infrastructure within the vicinity of the development private treatment options will be required.
- 8.22 Therefore, it is proposed for a wastewater treatment plant to be installed to serve the property with an outflow of treated foul water and treated surface water into an unnamed watercourse to the southwest of the site. These proposed arrangements are considered acceptable given that site investigations deemed the site not suitable for disposal of treated foul and surface water via traditional subsoil soakaways, as stated within the Caintech Drainage Statement.
- 8.23 It should be noted that the proposals for private wastewater drainage and discharge require authorisation from SEPA under the Controlled Activities Regulation, in addition to gaining planning consent.

Climate Mitigation and Adaptation

- 8.24 Policy 1 and 2 of NPF4, Tackling the Nature and Climate Crises and Climate Mitigation and Adaption, encourage development which minimises emissions and adapts to the current and future impacts of climate change. The proposed development does contribute towards the intentions of these policies, with the inclusion of photovoltaic panels on the southern-western roof pitch. If this application was to be approved, a condition would be added that requires provisions for an EV car charging point to be installed at the proposed car parking bays.

Trees and Biodiversity

- 8.25 The previously assessed application 22/02719/PIP ensured consideration of the existing trees on the site, through the inclusion of a condition which ensured an Arboricultural Impact Assessment was submitted as part of this further proposal. Alongside this, a Tree Protection Plan and Arboricultural Method Statement was also required to be included. These documents were subsequently provided.
- 8.26 The Forestry Team were consulted on this application, and after review of the submitted documents confirmed that they had no objection to the proposed development. However, it was requested that, if this application is to be granted, a

condition is included which ensures that the approved Tree Protection Plan and Arboricultural Method Statement is implemented to the agreed standard. This condition also ensures that, with effect from the date of the permission, no trees are to be cut down, uprooted, topped, lopped (including roots) or wilfully damaged in any way, without the prior written permission of the planning authority.

- 8.27 As the dwelling is proposed to be sited on the footprint of a pre-existing single dwelling, the site clearance of trees lends itself to development of a similar size and scale. As such, the impact to trees on the site is minimised.
- 8.28 Policy 3 of NPF4 – Biodiversity - intends to protect biodiversity, reverse biodiversity loss, deliver positive effects from development and strengthen nature networks. Policy 3(a) requires all development proposals to contribute towards the enhancement of biodiversity. The proposed development includes the removal of several trees to allow for the siting of the dwelling, and to achieve required visibility splays. The submitted tree schedule shows that 6 trees will be planted across the site. No other landscaping/biodiversity measures have been proposed, and as such it is not considered that the proposal would meet the requirements of this policy. This could be secured by condition should permission be granted.
- 8.29 Policy 5 of NPF4 – Soils – aims to protect carbon rich soils, restore peatlands and minimise disturbance to soils from development. Policy 5(a)ii states that development proposals will only be supported if they are designed and constructed in a manner that protects soil from damage. The proposed development includes significant underbuilding which will have detrimental impact on the existing ground levels within the site.

Developer Contributions

- 8.30 In accordance with Policy 31, the Council's Developer Contributions Supplementary Guidance is used to determine which proposals have to make proportionate financial developer contributions towards meeting service and infrastructure needs in areas of Highland where clear deficiencies are identified.
- Contributions were sought under 22/02719/PIP.

9. CONCLUSION

- 9.1 This application is recommended for refusal. The proposed development does meet an exemption which would allow for the principle of the dwelling to be supported, being the one-for-one replacement of a single dwellinghouse. However, in order for the proposed development to meet Policy 17(a) of NPF4, the development must also demonstrate sensitive siting and design.
- 9.2 The proposal is considered to be inappropriate, in relation to both the site itself and within its local context of built development. The Planning Authority offered several opportunities for meaningful changes to be made to the design, including the reduction in the maximum roof ridge height of the dwelling to bring the proposal towards compliance with the Council's Rural Housing Supplementary Guidance

document, however no significant or meaningful alterations were made during the determination of the application.

- 9.3 The proposal is not in compliance with the key biodiversity policy brought by NPF4, as there has been no information provided to demonstrate that the proposed development will have an overall biodiversity net gain. While there is some tree planting proposed, this is not considered to mitigate the adverse impact which the construction of a new dwelling on the site will have.
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal does not accord with the principles and policies contained within the Development Plan and is unacceptable in terms of applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

It is recommended to **REFUSE** the application for the reasons set out below.

REASON FOR DECISION

Reasons for Refusal of 23/04117/FUL

- | | |
|----|---|
| 1. | The proposed development does meet an exemption which would allow for the principle of the dwelling to be supported, being the one-for-one replacement of a single dwellinghouse. However, the proposed development fails to demonstrate sensitive siting and design, contrary to Policy 17 of NPF4, in that the scale and massing of the development is substantially larger than the house it is replacing, increasing the visual impact of development in this rural location and its design is not considered to be compatible with the site's rural context. |
| 2. | The fails to demonstrate sensitive siting and design that is in keeping with the site's rural context, contrary to Policy 28 of the adopted HWLDP and the Council's Rural Housing Supplementary Guidance which states that replacement houses should not be excessive when compared to the original building. The proposal results in an increase in scale that is detrimental to the wider landscape setting |

All relevant matters have been taken into account when appraising this application. It is considered that the proposal does not accord with the principles and policies contained within the Development Plan and is unacceptable in terms of applicable material considerations.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Flood Risk

Flood Risk It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. The granting of planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks and Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not

previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature:

Designation: Area Planning Manager - North

Author: Ruairidh Strachan

Background Papers: Documents referred to in report and in case file.

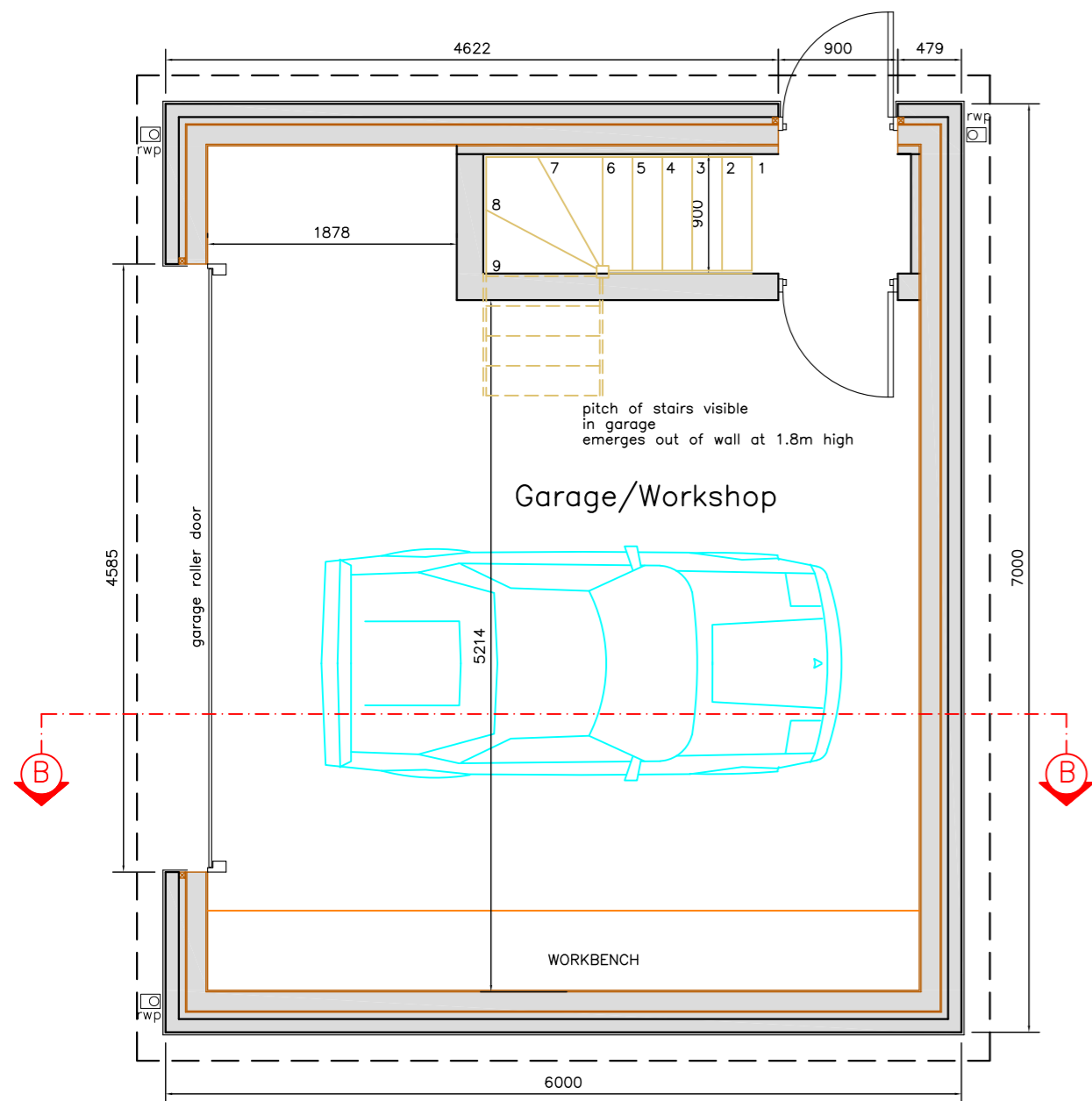
Relevant Plans:

- Plan 1 - 1376/MSC/10 – GENERAL PLAN – FLOOR PLAN, ELEVATIONS AND SECTIONS
- Plan 2 - CTCH-J5666/P001 REV A – DRAINAGE LAYOUT PLAN
- Plan 3 - TPP_GR_160424 – TREE PROTECTION PLAN
- Plan 4 - 1373-MSC-03 REV A – FLOOR PLAN – BASEMENT
- Plan 5 - 1373-MSC-04 REV A – GROUND FLOOR PLAN
- Plan 6 - 1373-MSC-05 REV A – FIRST FLOOR PLAN
- Plan 7 - 1373-MSC-06 REV A – ELEVATION PLAN
- Plan 8 - 1373-MSC-07 REV A – SECTION PLAN
- Plan 9 - 1373-MSC-08 REV A – CROSS SECTION
- Plan 10 - 1373/MSC/02 REV A – SITE LAYOUT PLAN

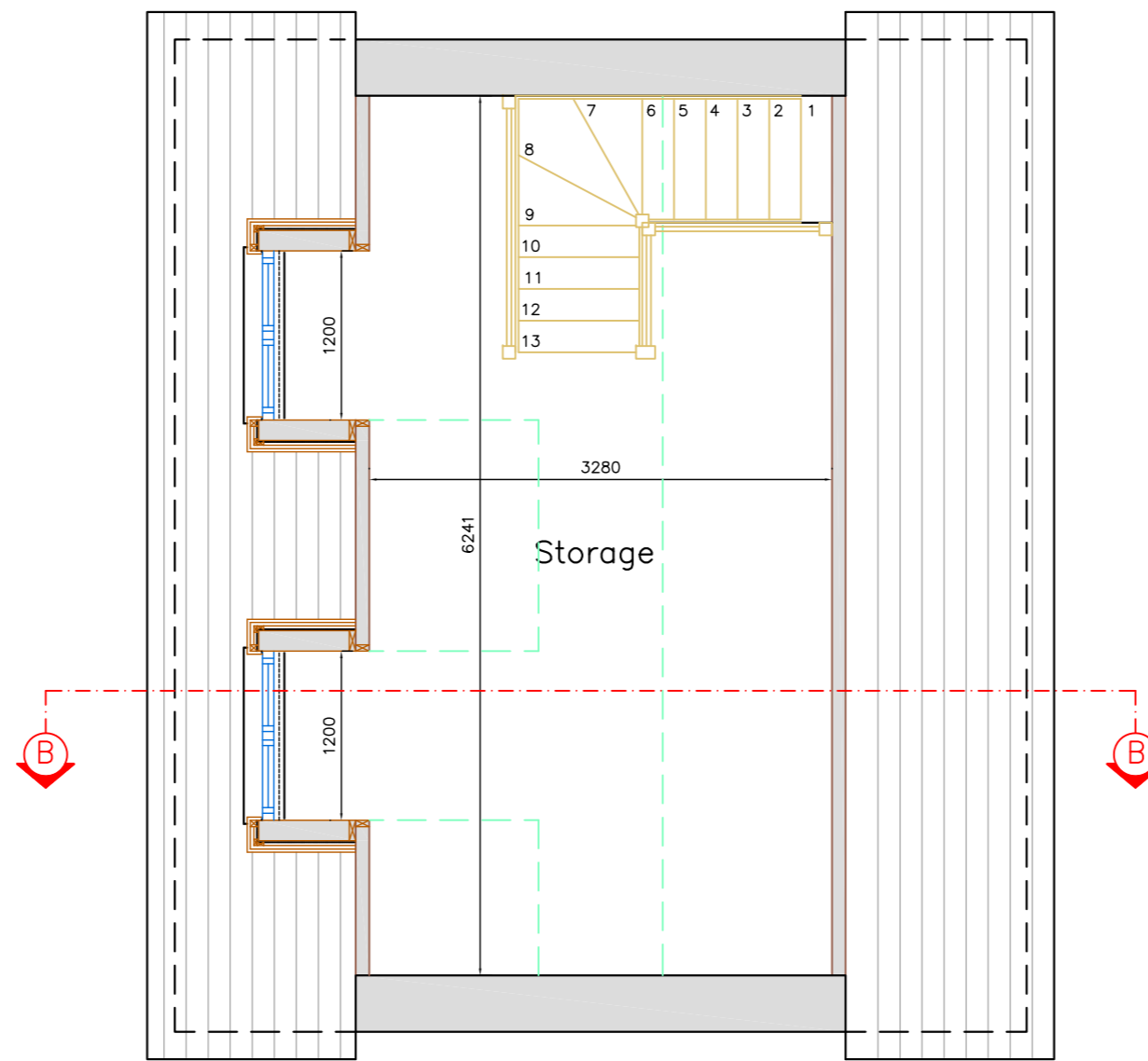
Appendix 1 – Letters of Representation

None.

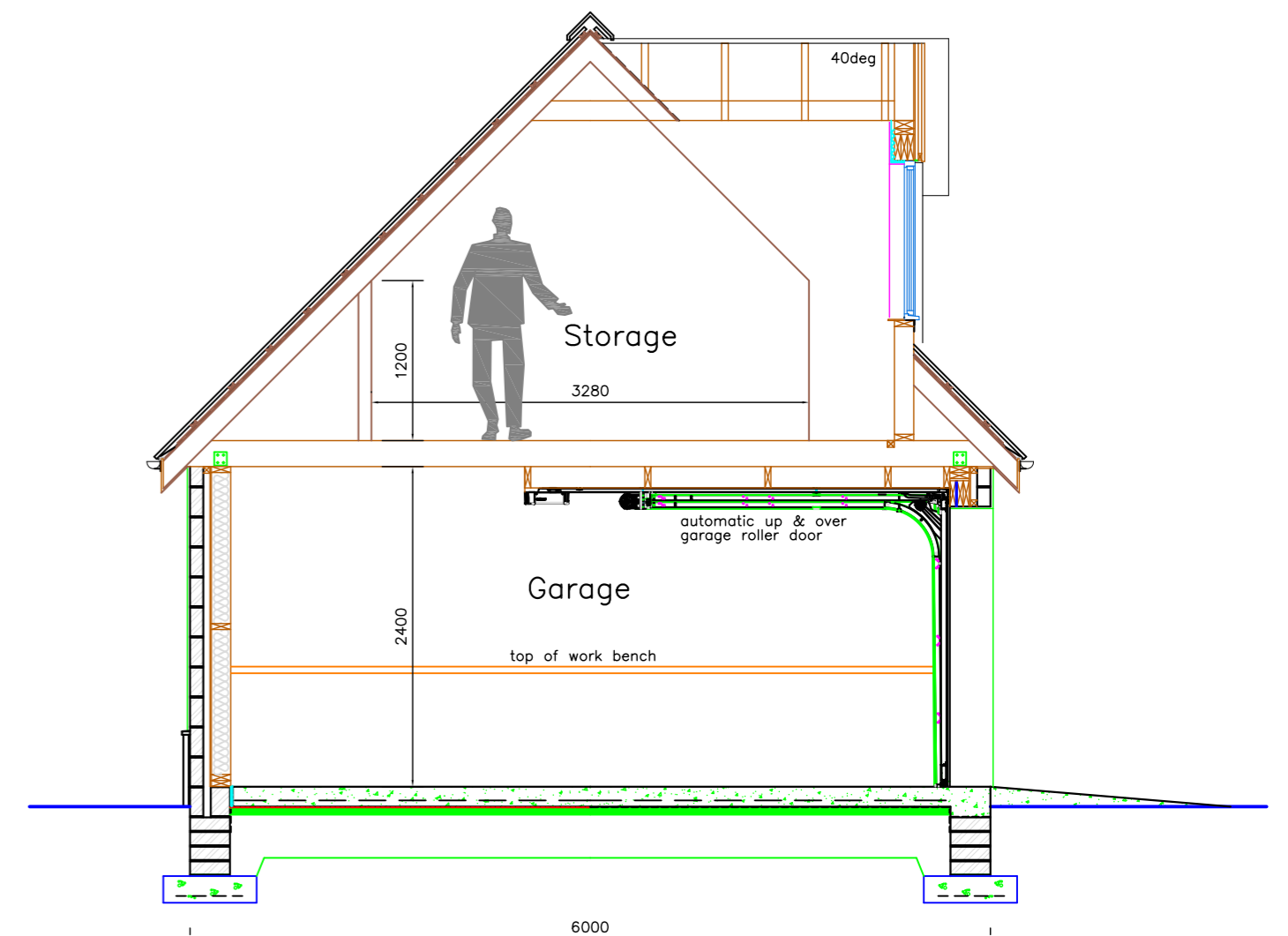
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1:50 SCALE BAR



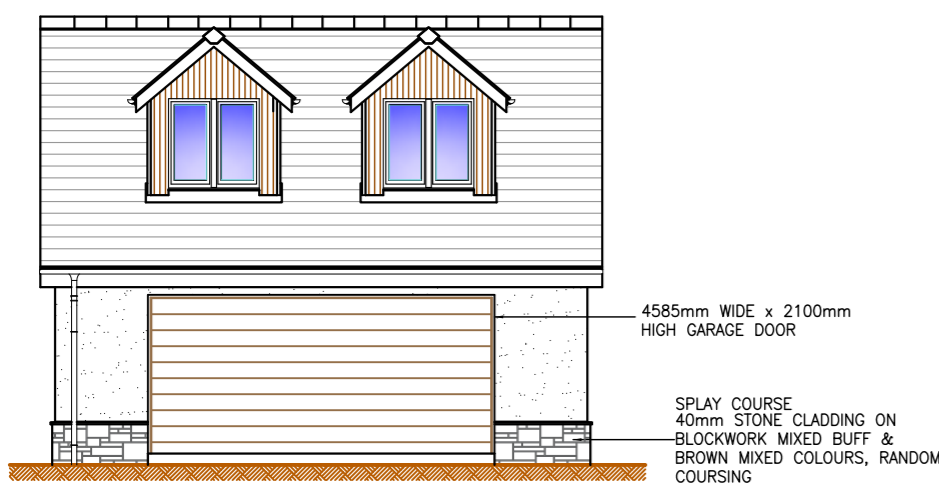
Ground Floor Plan 1:50



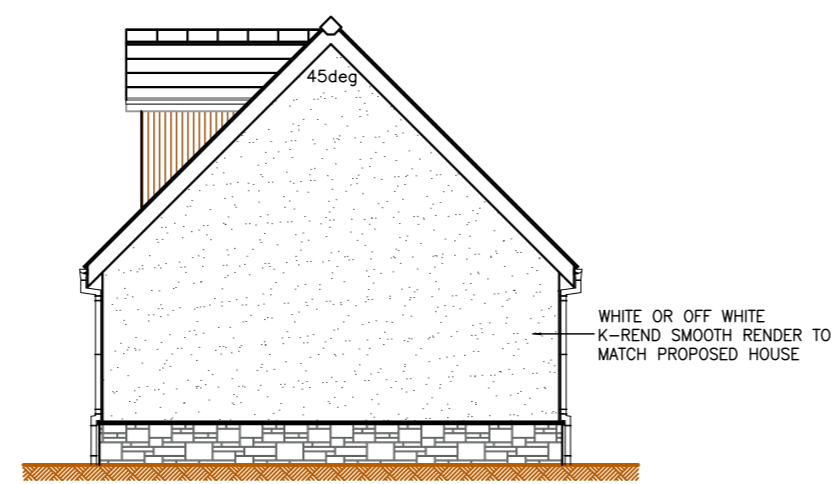
First Floor Plan 1:50



Garage Section B-B 1:50

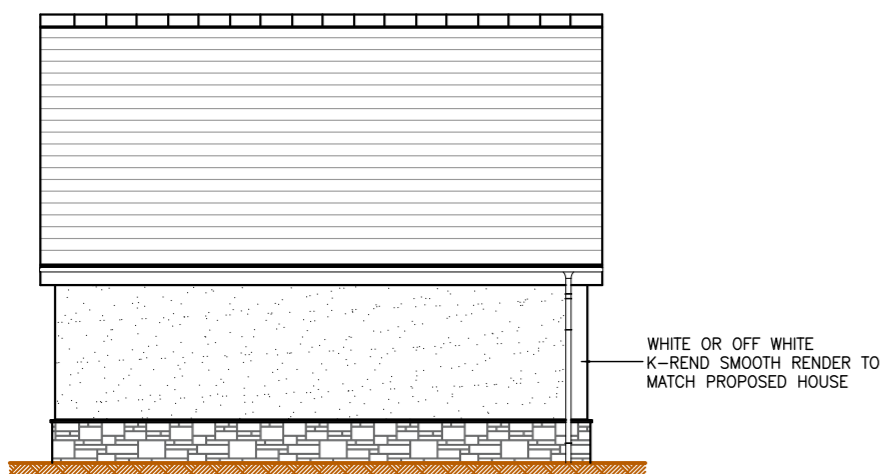


South East Elevation 1:100

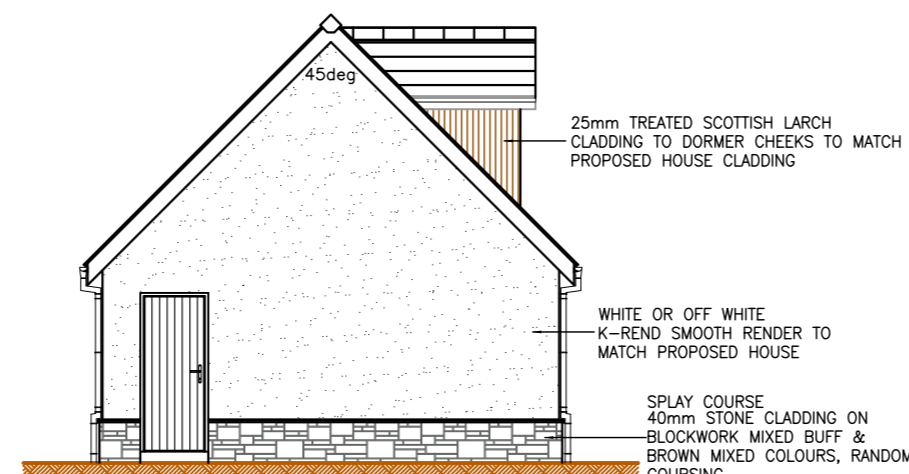


North East Elevation 1:100

0m 2m 4m 6m 8m 10m
1:100 SCALE BAR



North West Elevation 1:100



South West Elevation 1:100

PLANNING APPLICATION DRAWING

PROJECT	Erection Of House And Garage AT Inchdairnie, Coldwell, North Kessock, IV1 3XQ	
DRAWING	Proposed Garage Floor Plans, Section B-B & Elevations	
CLIENT	Mr. G. Robinson, 22 Westfield Way Westhill, Inverness, IV2 5AL	
Org. no.	1373/MSC/10	Revision
Scale	as shown	Date April 2024

MIKE MACBETH MCIOS Ltd
MCMAC ARCHITECTURAL SERVICES
THE OLD POTTERY, MILLBANK ROAD,
MUNLOCHY, ROSS-SHIRE IV8 8NL
Tel / Fax 01463 811799
Email - mike.macbeth@tiscali.co.uk

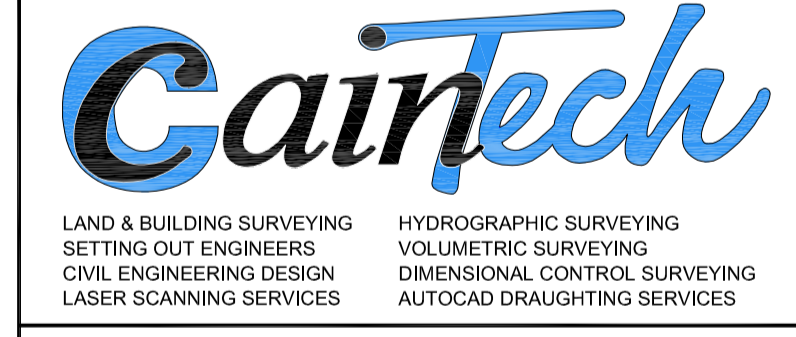


- NOTES:-**
- This drawing should be read in conjunction with PALS Tree Services drawing no.1303 - TPP for Tree Constraints Survey and it's recommendations.
 - Refer to the Architect's drawings for the position and layout of the proposed dwelling. Also for position of the roof water down pipes, internal foul drainage outlets and extent of earthworks proposed.
 - Drainage to be constructed, installed & tested in accordance with the recommendations in BS EN 752:2017, BS EN 1610:2015, CIRIA C753, SEPA Regulatory Method WAT-RM-03 and SEPA GBR10.
 - A minimum of 600mm cover to be provided to all pipework within garden/landscaped areas, a minimum of 900mm below any parking area and a minimum of 1200mm below any road. Concrete slab protection to be provided where minimum cover below road is not achievable.
 - The functionality of any gravity drainage shown is dependant on achieving the minimum allowable gradients.
 - Foul drainage discharge shown is subject to final approval from SEPA.
 - Position of existing services must be accurately located on site prior to construction work commencing.

- LEGEND:-**
- New uPVC foul sewer (arrowhead denotes direction of flow)
 - New uPVC surface water sewer (arrowhead denotes direction of flow)
 - Existing surface water pipe work (arrowhead denotes direction of flow)
 - Surveyed location of overhead power lines
 - B.M.H. (Brown Manhole)
 - B.M.H. (New 1200mm diameter precast concrete backdrop manhole chamber)
 - R.E. (New rodding point terminal)
 - I.C. (New 450mm Ø uPVC inspection chamber (maximum depth 1.2m))
 - S.T. (New 500mm Ø polypropylene silt trap manhole with 450mm sump (by Wavin or equal & approved))
 - TP1 (Approximate position of trial pit/percolation test (carried out 25/04/22))
 - Surveyed tree location (By others)
 - Proposed tree protection area (By others)

A	27/03/24	Drawing revised to address client and Architect Comments. Treatment plant re-positioned. Foul and surface water drainage re-routed.	CM	KGT
---	----------	---	----	-----

Site Layout:
New House at Inchdairnie, North Kessock
 Drainage Layout Plan



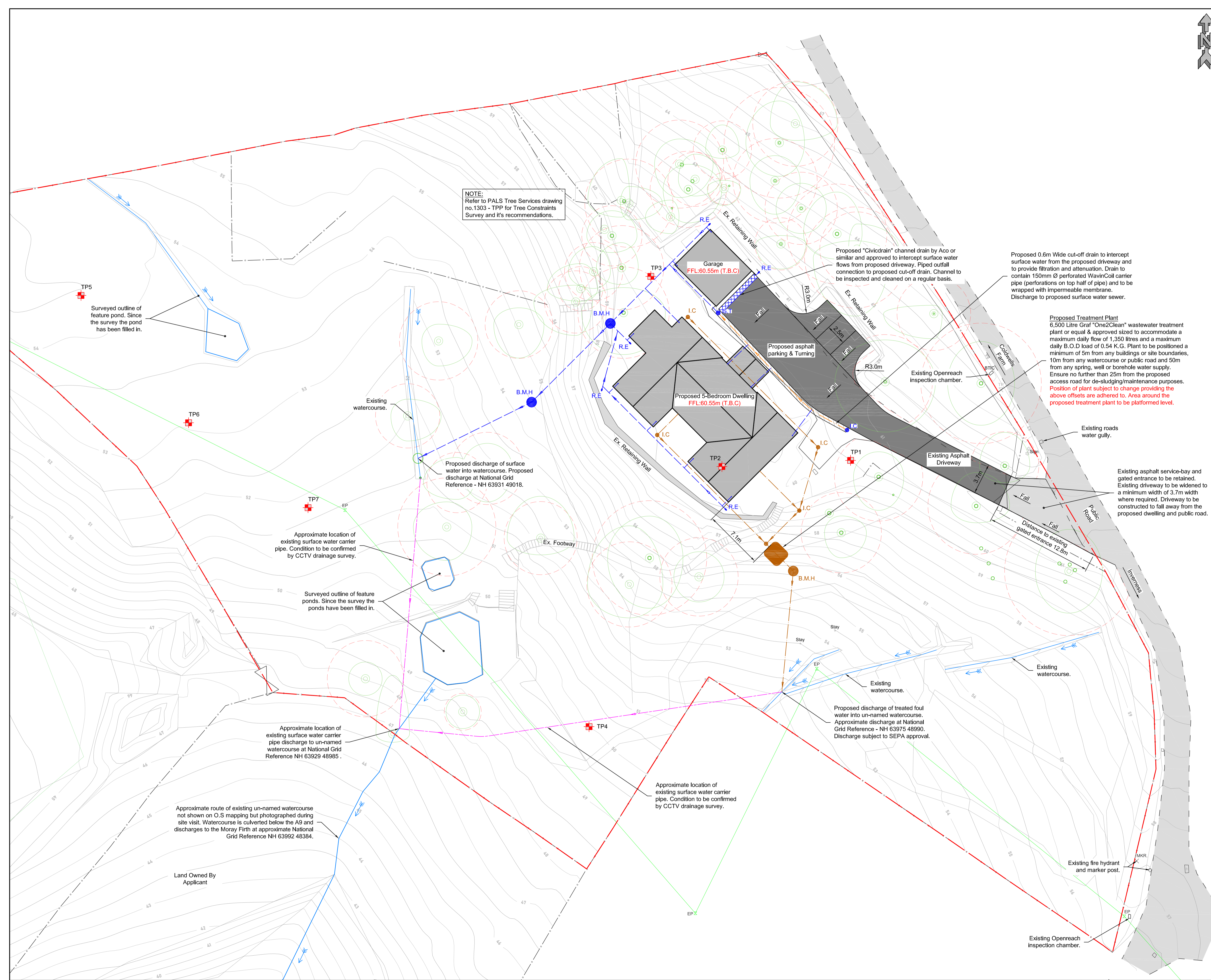
TORRE OFFICE: FOINAVEN TORR MUIR OF ORD ROSS SHIRE IV8 7SD Tel: 01463 811400

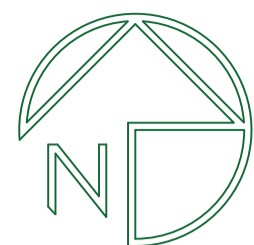
INVERNESS OFFICE: SUITE A2, ETVIE HOUSE BEECHWOOD BUSINESS PARK INVERNESS IV2 3BW Tel: 01463 545000

ADDITIONAL CONTACT INFO: E-mail: client@caintechtd.com Mob: 07749 685009 WEBSITE: http://www.caintechtd.com

Client: **Mr G. Robinson**

Drawn By:	Checked By:	Surveyed By:	Surveyed Date:
CM	KGT	N/A	N/A
Drawing Status:		Drawing Date:	
<input checked="" type="checkbox"/> PLANNING <input type="checkbox"/> FOR APPROVAL <input type="checkbox"/> WARRANT <input type="checkbox"/> CONSTRUCTION		08/03/2024	
		Drawing Scale:	
		1:200 @ A1	
		Drawing No:	
		CTCH-J5666-001	
Levels are in metres and are to Ordnance Datum.		Our Job Ref:	Rev:
Co-ordinates are to National Grid. (GPS Network)		J5666	A






Tree protection zone

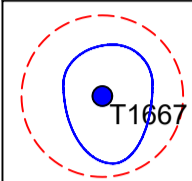
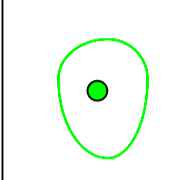
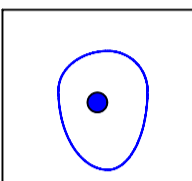
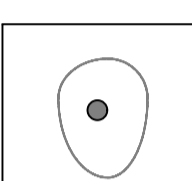
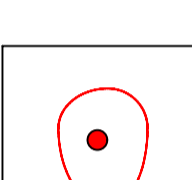
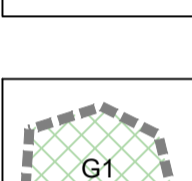


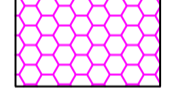


Do not remove this fencing

Note
Tree Protection Barriers must be installed immediately after approved trees removed and prior to any demolition or construction activity, including the storage of materials. Barriers must be installed in accordance with the specification in key below with all weather signage attached as illustrated. The protected area must remain as a CEZ until the development is complete. Barrier positions should be set out using the relevant co-ordinates.

Tree Protection Plan

Detail of trees for removal and protection measures for retained trees

-  **Tree**
Showing Canopy extents, category colour, RPA circle (BS5837), tag number
-  **Category A**
Trees of high quality with an estimated remaining life expectancy of at least 40 years
-  **Category B**
Trees of moderate quality with an estimated remaining life expectancy of at least 20 years
-  **Category C**
Trees of low quality with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150 mm
-  **Category U**
Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years
-  **Group**
Showing canopy extents and category colour which will also represent RPA unless detailed separately
-  **Tree for Removal**
-  **Tree Protection Fencing**
-  **Specialist construction methods (Cellular Containment System) for root protection**

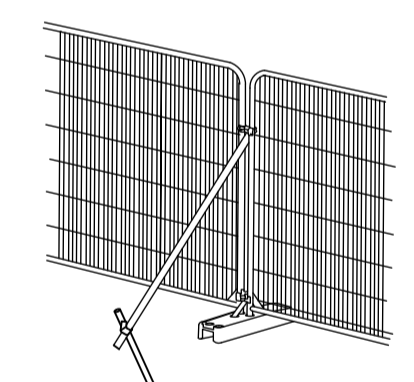


ILLUSTRATION SHOWING HERAS FENCING AS TEMPORARY ROOT PROTECTION BARRIER WITH SCAFFOLD BACKSTAY CLAMPED ONTO DRIVEN UPRIGHT ON ROOT SIDE AS RECOMMENDED BY BS 5837:2012. SEE PLAN FOR POSITIONING

Treetek

Treetek, Woodland Park, Contin, Ross-shire. IV14 9EU

Tel: 07857 145226 Email: Lawrence@treetek.co.uk

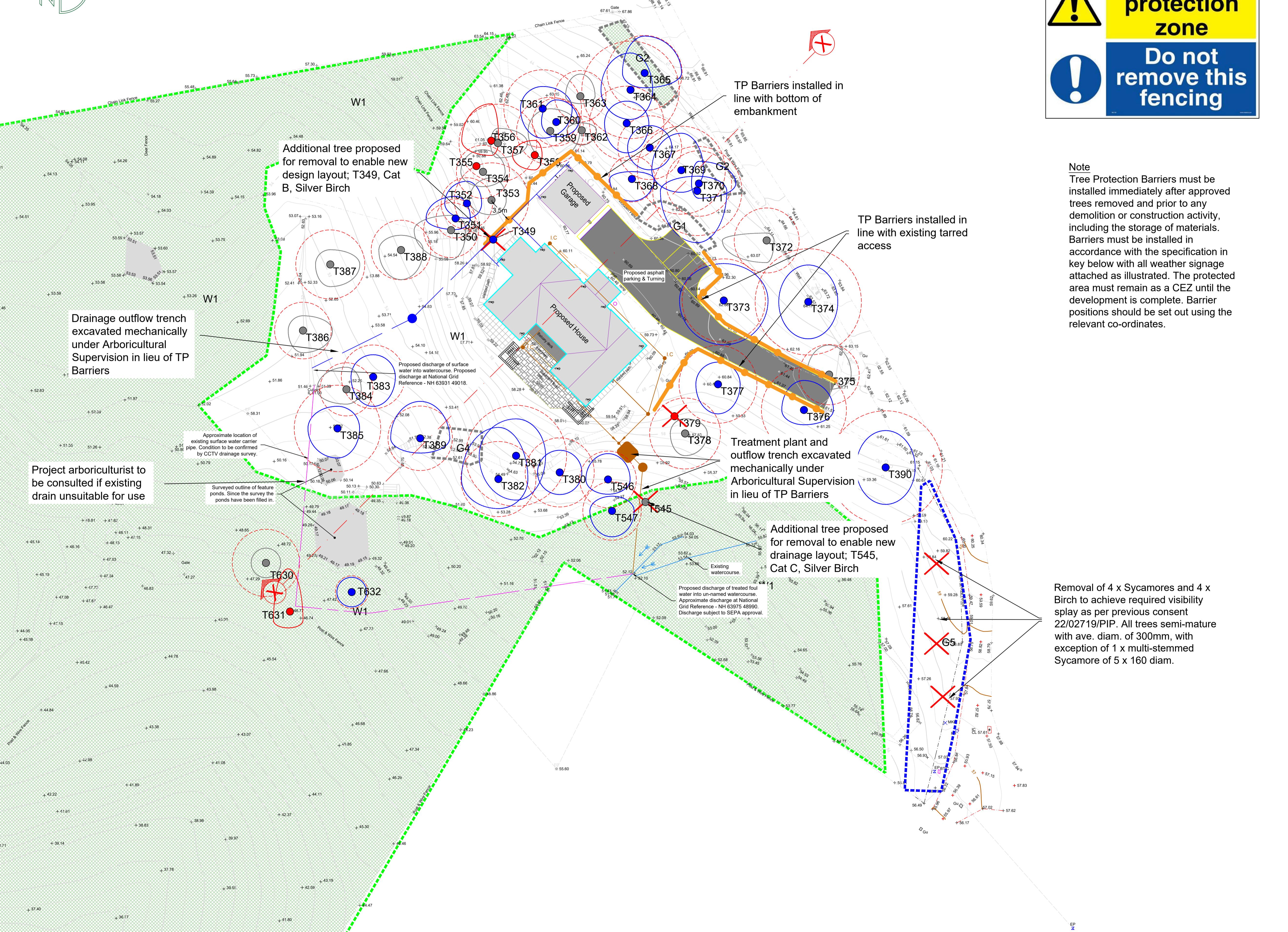
Client
Gary Robinson

Project
Inchdairnie, Coldwell

Drawing Title
Tree Protection Plan

Scale: 1:250@ A1 **Date:** 23rd April 2024 **DB:** LM

Drawing Number: TPP_GR_160424 **Rev:** **Sheet:** 1 of 1



Additional tree proposed for removal to enable new design layout; T349, Cat B, Silver Birch

TP Barriers installed in line with bottom of embankment

TP Barriers installed in line with existing tarred access

Drainage outflow trench excavated mechanically under Arboricultural Supervision in lieu of TP Barriers

Project arboriculturist to be consulted if existing drain unsuitable for use

Approximate location of existing surface water carrier pipe. Condition to be confirmed by CCTV drainage survey.

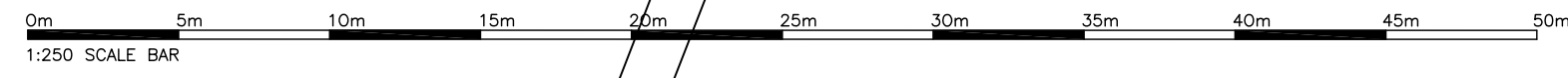
Surveyed outline of feature ponds. Since the survey the ponds have been filled in.

Treatment plant and outflow trench excavated mechanically under Arboricultural Supervision in lieu of TP Barriers

Additional tree proposed for removal to enable new drainage layout; T545, Cat C, Silver Birch

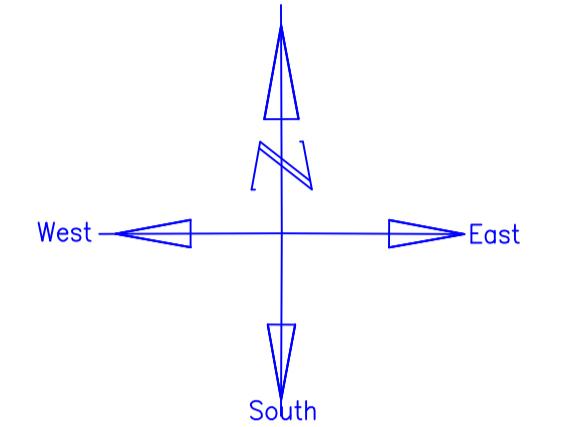
Proposed discharge of treated foul water into un-named watercourse. Approximate discharge at National Grid Reference - NH 63975 48990. Discharge subject to SEPA approval.

Removal of 4 x Sycamores and 4 x Birch to achieve required visibility splay as per previous consent 22/02719/PIP. All trees semi-mature with ave. diam. of 300mm, with exception of 1 x multi-stemmed Sycamore of 5 x 160 diam.



Refer to Cairtechs drainage design drawing CTDH-2566-001 for full extent of drainage layout and further notes

Visibility looking left achieves 64.5m
The assessed speed is 10-15mph with the road serving this property
Due to the slow speed and reduced traffic the reduced visibility 'Y' distance looking left is deemed acceptable



Tree 349 to be removed - Refer to Treestek drawing TPP_GR_160424 for full extent of info on existing trees

Tree 379 to be removed - Refer to Treestek drawing TPP_GR_160424 for full extent of info on existing trees

Tree 545 to be removed - Refer to Treestek drawing TPP_GR_160424 for full extent of info on existing trees

A selection of trees to be removed to aid visibility - Refer to Treestek drawing TPP_GR_160424 for full extent of info on existing trees

Refer to Cairtechs drainage design drawing CTDH-2566-001 for full extent of drainage layout and further notes

Refer to Cairtechs drainage design drawing CTDH-2566-001 for full extent of drainage layout and further notes

Shared wayleave area as per disposition plan

Tarmac area to be increased to form service bay to comply with TEC services drawing ref. SDB1 drawing ref. SDB1
hatch depicts new tarmac
Bin refuse collection point serving all new house plots

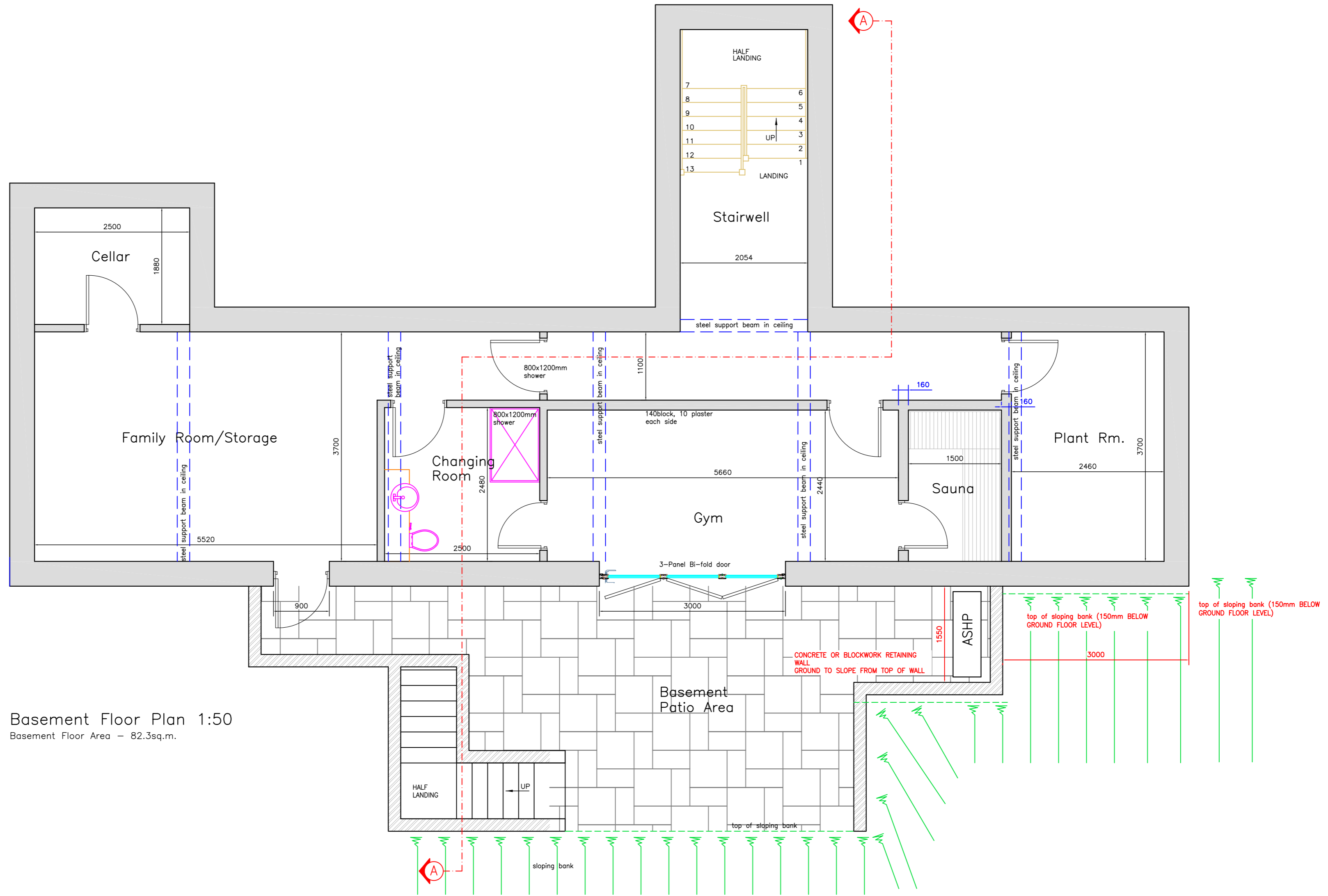
TREE PLANTING SCHEDULE			
SPECIES	SIZE (height)	QUANTITIES	NAME TAG (PLAN ID)
Holly (Ilex Aquifolium)	1.25 - 1.75m	3	[HOL]
Beech (Fagus sylvatica)	1.25 - 1.75m	3	[BEE]

- REVISION & NOTES
- STEPS TO EAST REMOVED, SLOPING BANK INTRODUCED
 - BASINMENT PAVED AREA REDUCED AND HIDDEN FROM EAST AND WEST
 - ROOF PLAN AMENDED - BOOT ROOM CHANGED TO PITCHED ROOF
 - TREE PLANTING TO SOUTH EAST BOUNDARY AND ASSOCIATED SCHEDULE ADDED

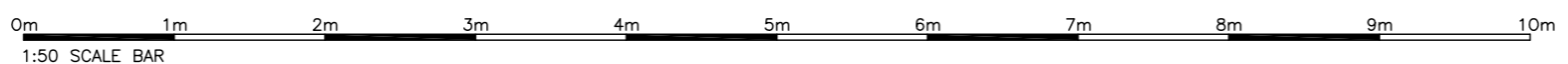
PLANNING APPLICATION DRAWING

PROJECT	Erection Of House And Garage AT Inchisdrine, Coldwell, North Kessock, W1 3XG
DRAWING	Proposed Site Plan
CLIENT	Mr. G. Robinson, 22 Westfield Way, Westhill, Inverness, W2 5AL
Dwg. no.	1373/MSC/02
Scale	as shown
Revision	A
Date	Sept 2024

MKE ARCHITECTURAL SERVICES
THE OLD POSTBOX, MILLDALE ROAD, MALCOLM, ROSS-SHIRE AB 9L
Tel / Fax 01463 811700
Email = mka.architect@btconnect.com



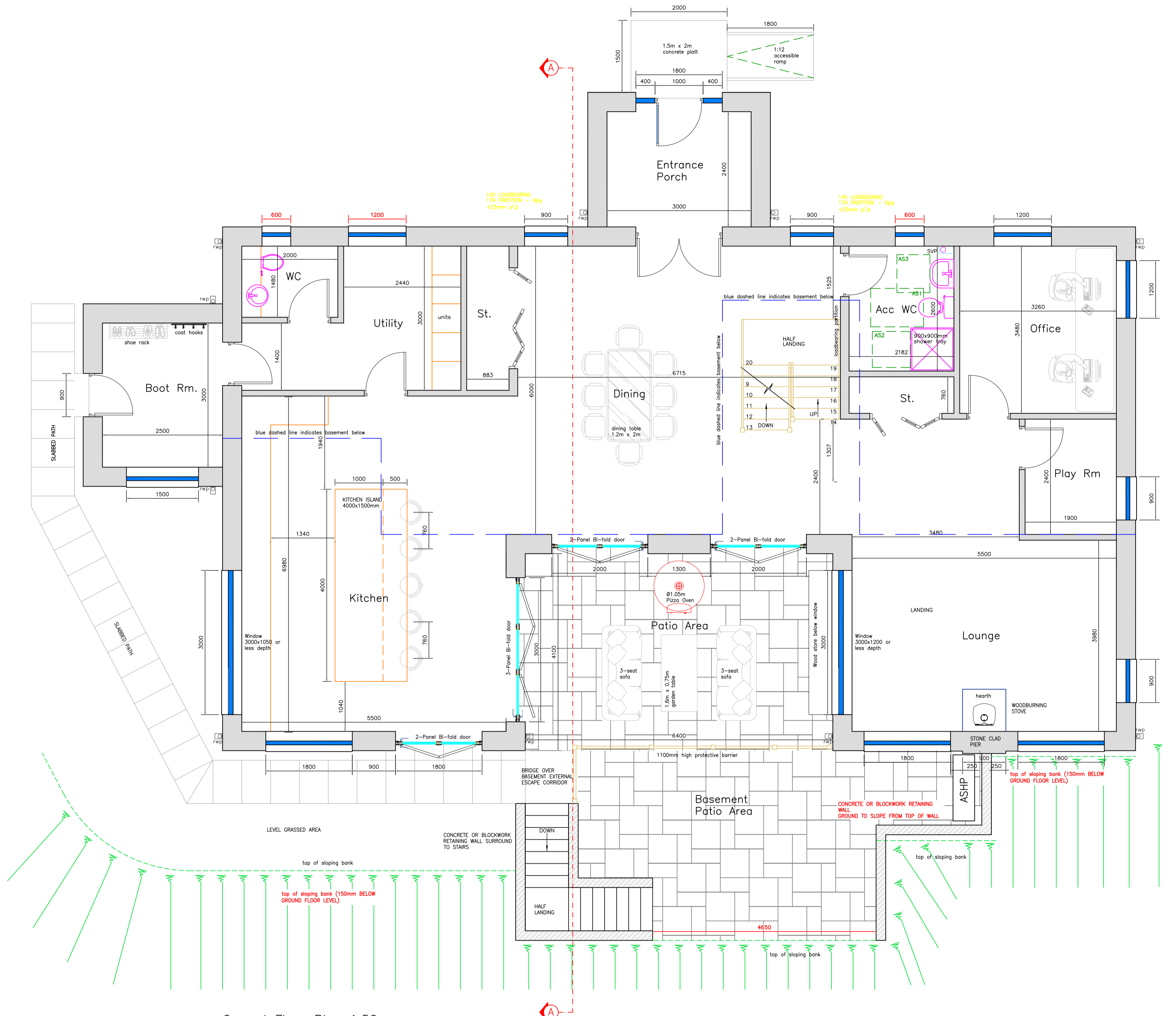
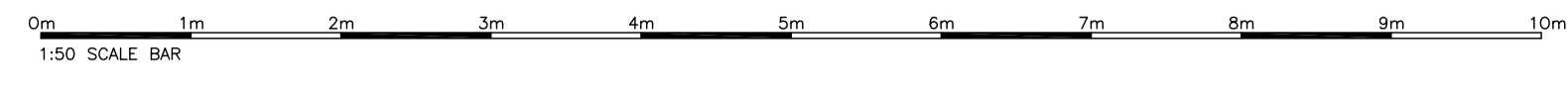
Basement Floor Plan 1:50
Basement Floor Area - 82.3sq.m.



REVISION A NOTES
 1. STEPS TO EAST REMOVED; SLOPING BANK INTRODUCED
 2. ADDITIONAL SLOPING BANKING ADDED

PLANNING APPLICATION DRAWING	
PROJECT	Erection Of House And Garage AT Inchdairnie, Coldwell, North Kessock, IV1 3XQ
DRAWING	Basement Floor Plan
CLIENT	Mr. G. Robinson, 22 Westfield Way Westhill, Inverness, IV2 5AL
Drq. no.	1373/MSC/03
Scale	as shown
Revision	A
Date	Sept 2024

MIKE MACBETH MCIQB Ltd
 MICMAC ARCHITECTURAL SERVICES
 THE OLD POTTERY, MILLBANK ROAD,
 MUNLOCHY, ROSS-SHIRE IV8 8NL
 Tel / Fax 01463 811799
 Email - mika.macbeth@iscat.co.uk

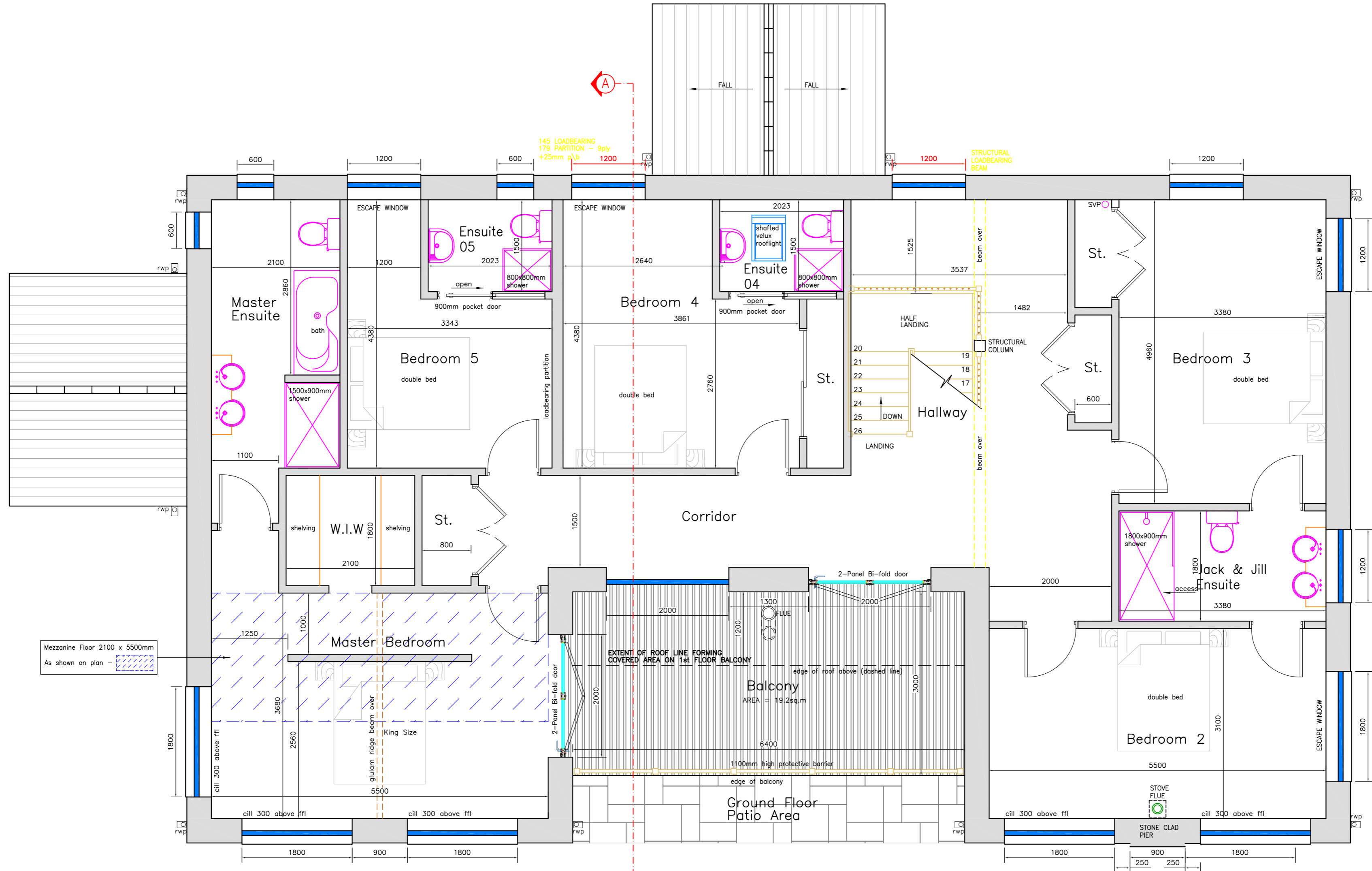
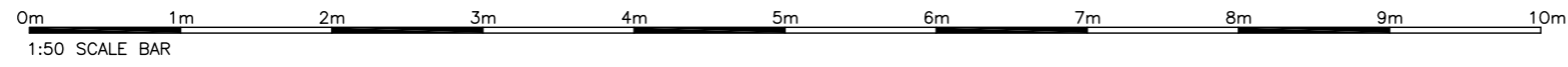


Ground Floor Plan 1:50
 Ground Floor Area - 169sq.m.
 Total Floor Area - 405.6sq.m.

REVISION A NOTES
 CHG. WINDOWS DIMENSIONED IN RED HAVE BEEN REPOSITIONED
 1. STEPS TO EAST REMOVED, SLOPING BANK INTRODUCED
 2. WC & UTILITY WINDOWS REPOSITIONED - NE ELEVATION

PLANNING APPLICATION DRAWING	
PROJECT	Erection Of House And Garage At Inchdairnie, Coldwell, North Kessock, IV1 3XQ
DRAWING	Ground Floor Plan
CLIENT	Mr. G. Robinson, 22 Westfield Way, Westhill, Inverness, IV2 5AL
Dwg. no.	1373/MSC/04
Scale	as shown
Revision	A
Date	Sept 2024

MRS MACBETH MOB (VA)
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 Email - mba.mcbeth@mcocal.co.uk



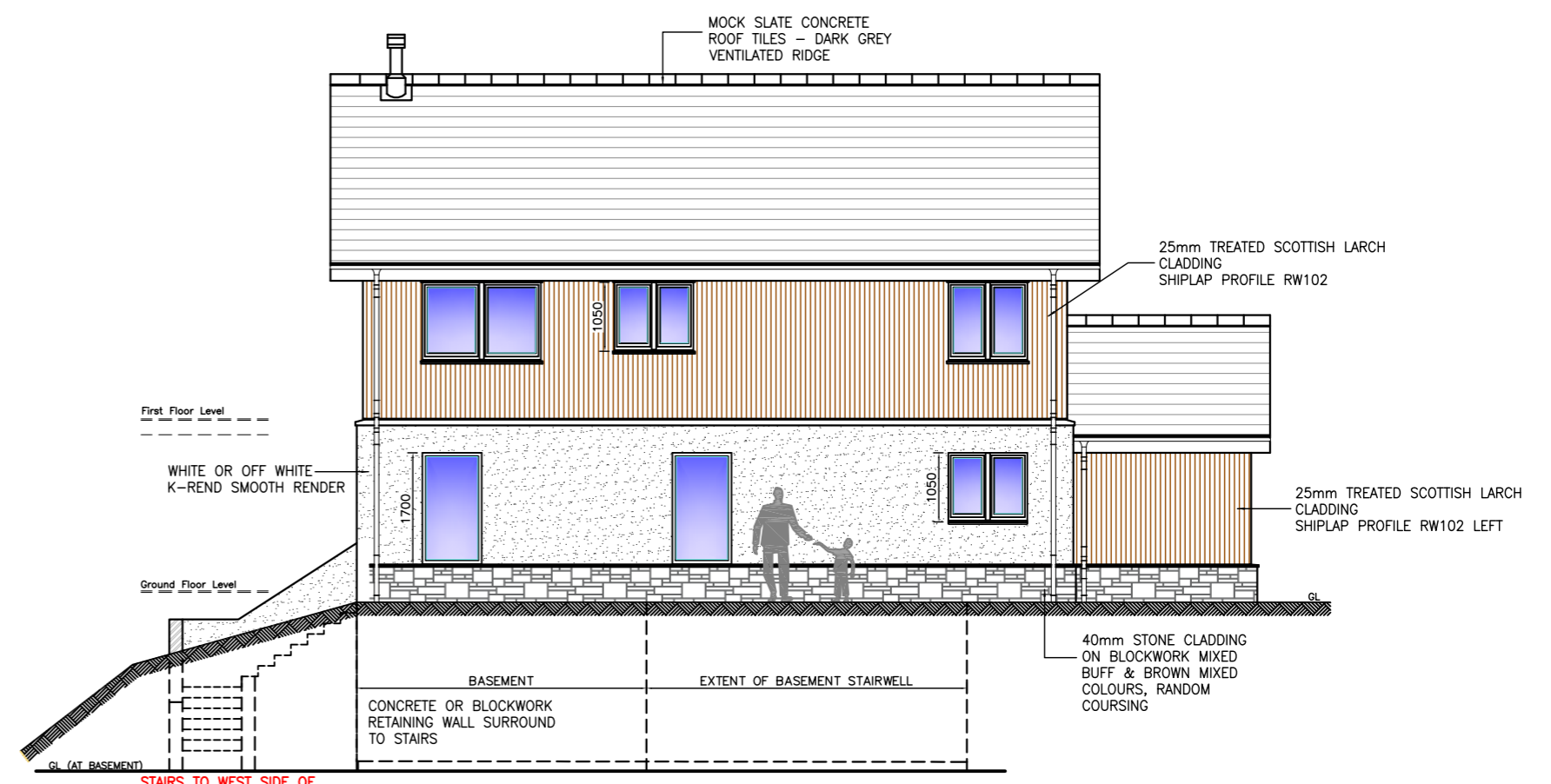
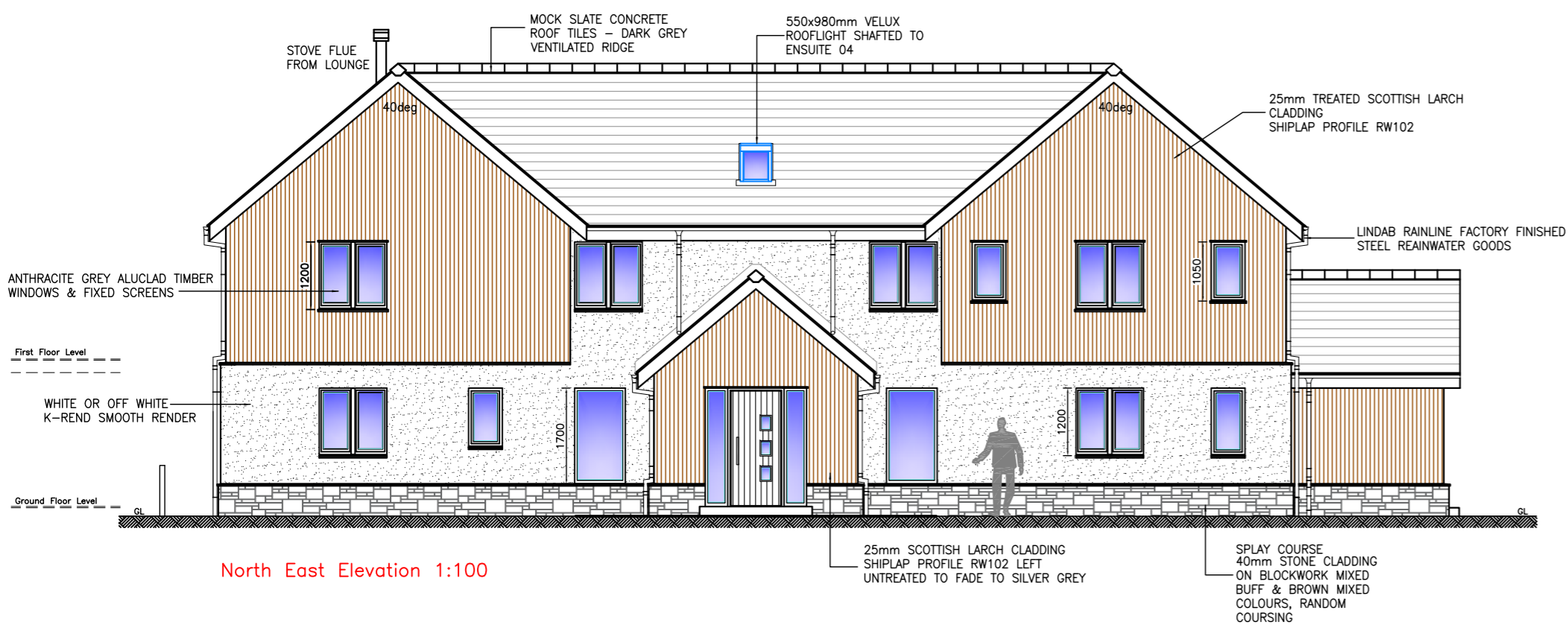
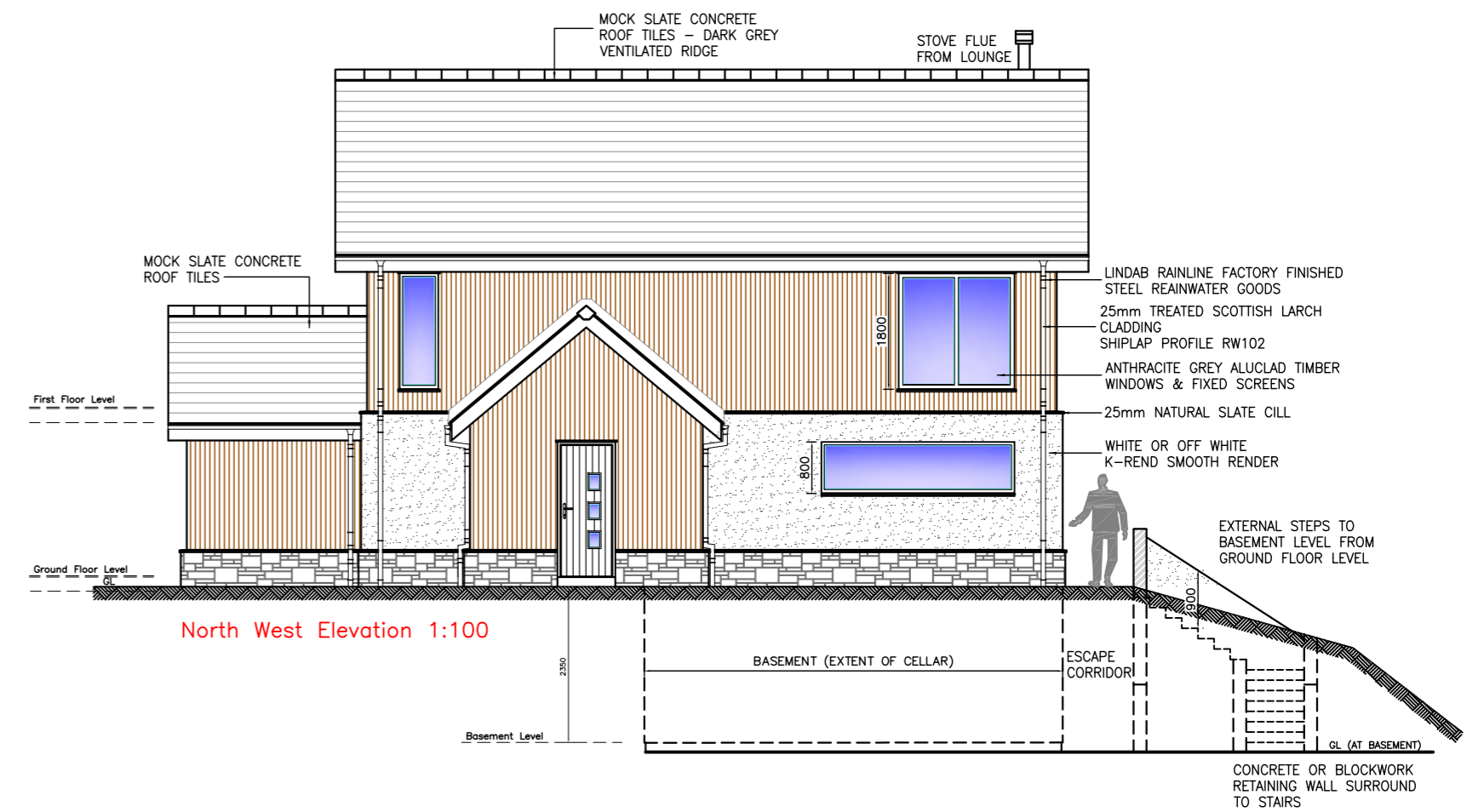
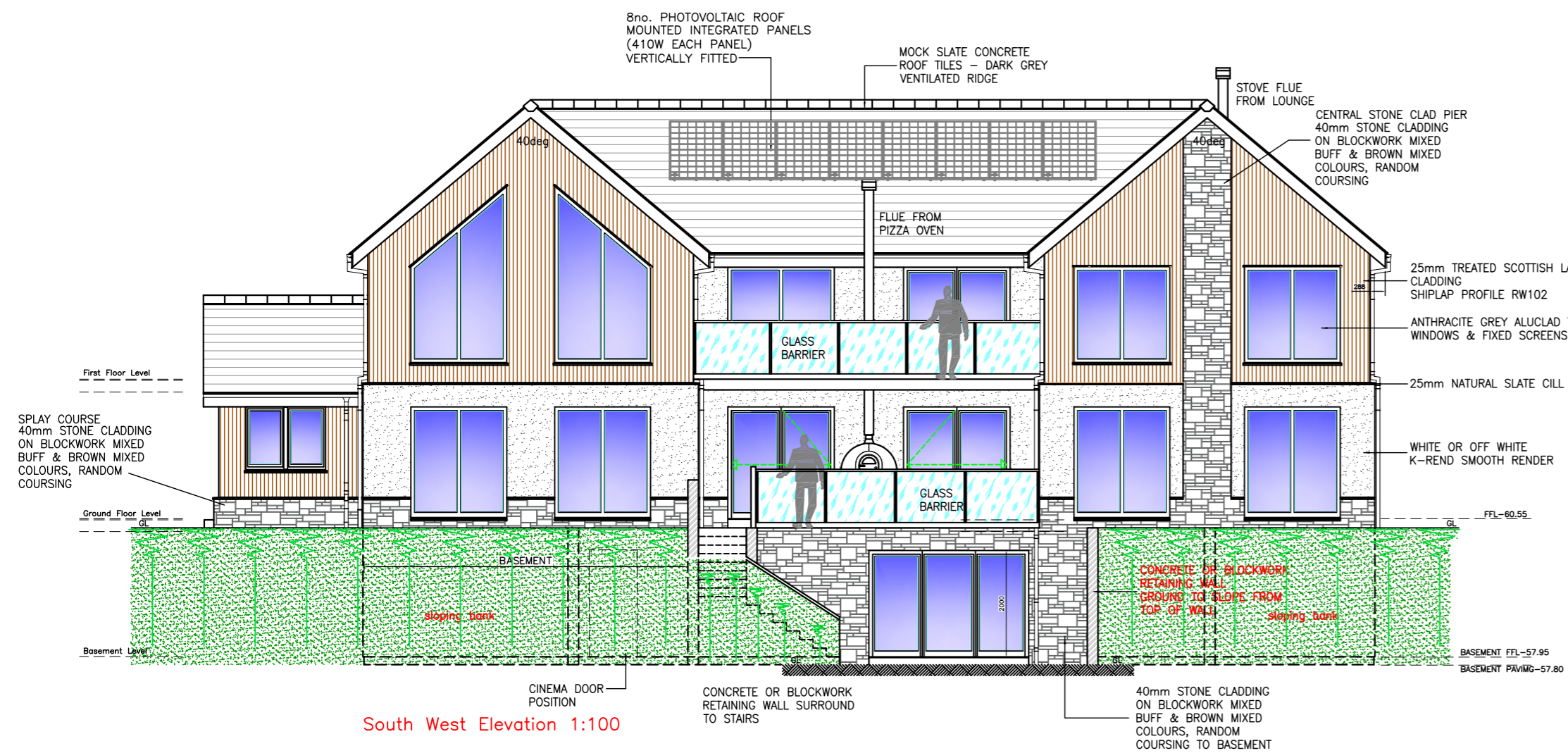
Mezzanine Floor 2100 x 5500mm
As shown on plan - [hatched box]

First Floor Plan 1:50
First Floor Area - 154.3sq.m.

REVISION A NOTES
Gen. WINDOWS DIMENSIONED IN RED HAVE BEEN REPOSITIONED
1. 1no. WINDOW REPOSITIONED TO HALLWAY - NE ELEVATION
2. 1no. WINDOW TO HALLWAY REMOVED - NE ELEVATION
3. ROOF PLAN AMENDED - BOOT ROOM CHANGED TO PITCHED ROOF

PLANNING APPLICATION DRAWING	
PROJECT	Erection Of House And Garage AT Inchdairnie, Coldwell, North Kessock, IV1 3XQ
DRAWING	First Floor Plan
CLIENT	Mr. G. Robinson, 22 Westfield Way Westhill, Inverness, IV2 5AL
Org. no.	1373/MSC/05
Scale	as shown
Revision	A
Date	Sept 2024

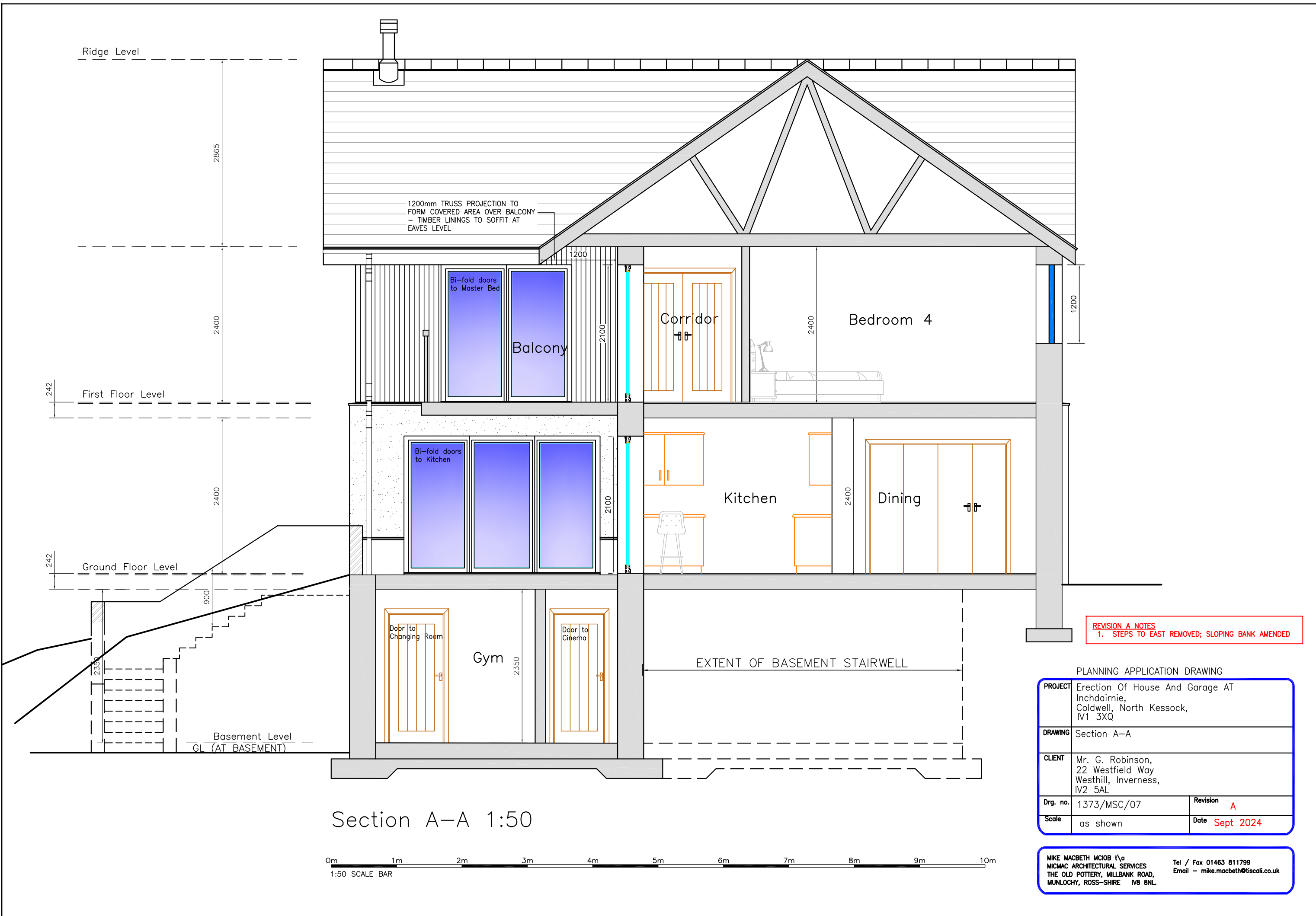
MIKE MACBETH MOIB 1/3
MICMAC ARCHITECTURAL SERVICES
THE OLD POTTERY, MILLBANK ROAD,
MUNLOCHY, ROSS-SHIRE IV8 5NL
Tel / Fax 01463 811799
Email - mike.macbeth@tiscali.co.uk



- REVISION A NOTES**
1. BOOT ROOM ROOF CHANGED TO PITCHED ROOF
 2. WINDOWS TO NORTH EAST ELEVATION REPOSITIONED
 3. ADDITIONAL SLOPING BANKING ADDED

PLANNING APPLICATION DRAWING	
PROJECT	Erection Of House And Garage At Inchairstie, Coldwell, North Kessock, IV1 3XQ
DRAWING	Elevations
CLIENT	Mr. G. Robinson, 22 Westfield Way, Westhill, Inverness, IV2 5AL
Drw. no.	1373/MSC/06
Scale	as shown
Revision	A
Date	Sept 2024

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MUNLOCHY, ROSS-SHIRE IV8 8NL



1200mm TRUSS PROJECTION TO FORM COVERED AREA OVER BALCONY - TIMBER LININGS TO SOFFIT AT EAVES LEVEL

Bi-fold doors to Master Bed

Balcony

Corridor

Bedroom 4

Bi-fold doors to Kitchen

Kitchen

Dining

Door to Changing Room

Gym

Door to Cinema

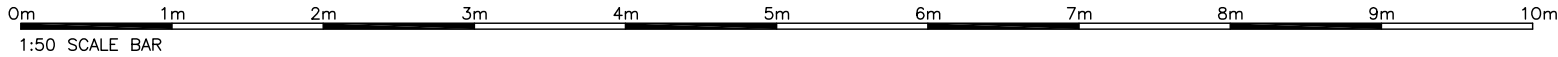
EXTENT OF BASEMENT STAIRWELL

REVISION A NOTES
1. STEPS TO EAST REMOVED; SLOPING BANK AMENDED

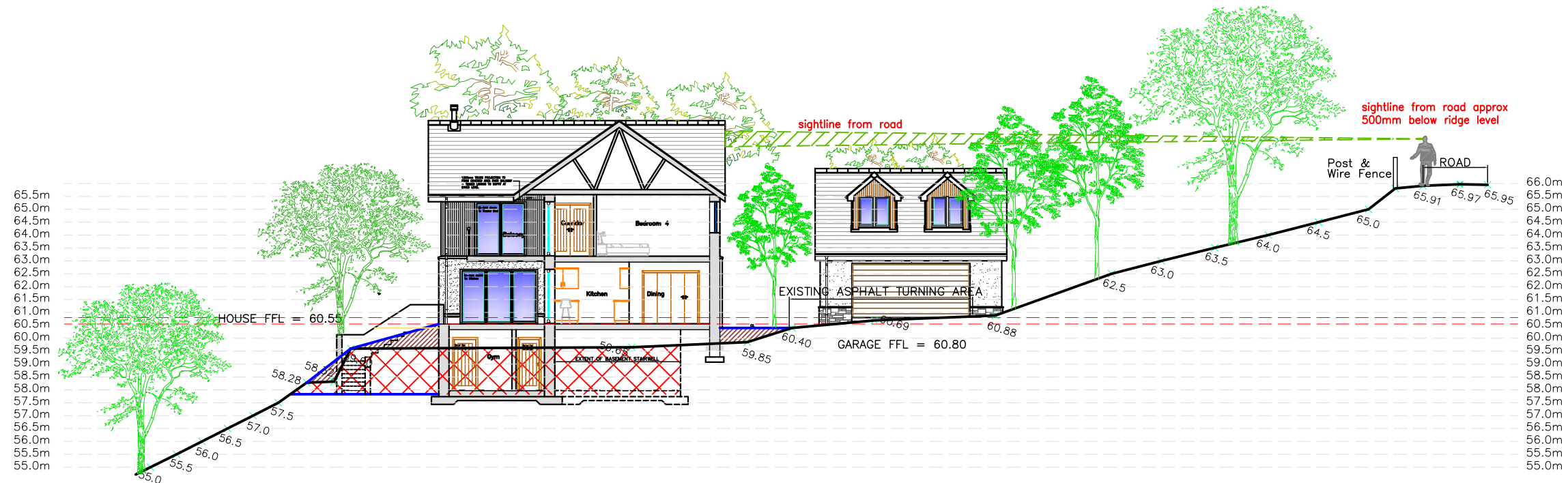
PLANNING APPLICATION DRAWING

PROJECT	Erection Of House And Garage AT Inchdairnie, Coldwell, North Kessock, IV1 3XQ	
DRAWING	Section A-A	
CLIENT	Mr. G. Robinson, 22 Westfield Way Westhill, Inverness, IV2 5AL	
Drg. no.	1373/MSC/07	Revision A
Scale	as shown	Date Sept 2024

Section A-A 1:50



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Site Cross Section X-X 1:200

KEY - Site Cross Section X-X	
	EXISTING SPOT LEVEL POSITION
	EXISTING GROUND LEVEL
	PROPOSED GROUND LEVEL
	EXCAVATED GROUND
	INFILL (COMPACTED) GROUND

REVISION A NOTES
1. STEPS TO EAST REMOVED; SLOPING BANK INTRODUCED

PLANNING APPLICATION DRAWING

PROJECT	Erection Of House And Garage AT Inchdairnie, Coldwell, North Kessock, IV1 3XQ	
DRAWING	Site Cross Section X-X	
CLIENT	Mr. G. Robinson, 22 Westfield Way, Westhill, Inverness, IV2 5AL	
Drg. no.	1373/MSC/08	Revision A
Scale	as shown	Date Sept 2024

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