Agenda Item	6.12
Report No	PLN/021/25

#### **HIGHLAND COUNCIL**

**Committee:** North Planning Applications Committee

**Date:** 12 March 2025

Report Title: 23/00969/FUL: Mrs Michelle Schofield

Land 30M East Of Willofield, Woodlands, Dingwall

**Report By:** Area Planning Manager North

**Purpose/Executive Summary** 

**Description:** Siting of 6 modular buildings for workers accommodation

(retrospective)

**Ward:** 6 – Cromarty Firth

**Development category:** Local

Reason referred to Committee: More than five third party representations

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

#### Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

#### 1. PROPOSED DEVELOPMENT

- 1.1 This application is for retrospective planning permission for the siting of 6 modular portacabin units to provide short term residential workers accommodation for up to 6 people, and parking for 6 vehicles.
- 1.2 The portacabin units have been on site since August 2022. The applicant has been advised not to undertake any further works until such times as this planning application is determined. The layout currently on site varies from that submitted on the drawings.
- 1.3 The submitted drawings show the 6 cabins laid out in a C shape. It is proposed to clad the cabins vertical timber. The portacabins are self-contained units containing basic kitchen and bathroom facilities.
- 1.4 Access to the site is take from the public road and it is proposed to upgrade the existing access to SDB2 standard.
- 1.5 Variations: Layout and access amended and details of vertical timber cladding submitted.

#### 2. SITE DESCRIPTION

- 2.1 The site is accessed from the U2007 Woodlands-Pelaig Culbin Road which has a junction with the C1023 Dingwall to Evanton Road. The C1023 also forms part of the National Cycle Network. The submitted drawings show an upgraded access to SDB2 standard.
- Supporting Information: The applicant states that the cabins will be rented to contractors working in the area on medium to long term contracts. With the prospect of Cromarty Firth Freeport bringing a significant number of workers to the local area, there will be a requirement for basic accommodation nearby. There is also a need for dedicated accommodation for vital infrastructure workers, particularly during the tourist season when accommodation is at a premium. It is expected that contractors will be staying in the cabins Monday to Friday and going home at weekends, though this might vary. It is expected that the cabins will be rented out as a group to one contractor at any one time. This should mean that there will be vehicle-sharing where possible, thus minimising traffic and vehicles on site. Interest has been expressed by the likes of Keltbray, GCU, Europlan & QTS. This is not a development targeting the tourist market and will not impact negatively on local tourism accommodation providers. This development will bring business to the local area in the way of people requiring food and supplies.

#### 3. PLANNING HISTORY

3.1 16/00581/FUL Erection of house and garage and temporary Permitted siting of caravan 15.06.2016

The site is on land associated with the house "Willofield" and on land granted permission for a flat roofed double garage (with a footprint of 6m x 10m) and parking and turning for three vehicles as part of the original house application (16/00581/FUL). The garage was never built. The application form states that separate access, services, drainage, SUDS and parking are all in place as part of the permission for the garage. It is a level site, at a substantially lower level than the house. The applicant states that it is not suitable for garden ground due to the level difference and was previously waste ground used for storage of containers, logs, stones etc.

#### 4. PUBLIC PARTICIPATION

4.1 Advertised: Unknown neighbour

Date Advertised: 8th March 2024 and 11th April 2023

Representation deadline: 23rd October 2024

Timeous representations: 5

Late representations: 0

- 4.2 Material considerations raised are summarised as follows:
  - a) Countryside location unsuitable for workers accommodation
  - b) Visual impact of metal portacabins in this location
  - c) Appearance of an industrial estate
  - d) Tree felling without permission
  - e) Noise pollution from trucks and lorries reversing and revving
  - f) There is a drop in land behind the cabins
  - g) Pollution of the river from tar and foul drainage
  - h) Impacts on residential amenity
- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet <a href="https://www.wam.highland.gov.uk/wam">www.wam.highland.gov.uk/wam</a>.

#### 5. CONSULTATIONS

5.1 **Forestry Officer:** It would appear that most of the units and hardstanding are already in place. In terms of trees, the large roadside ash tree will need to be felled in order to accommodate the visibility splays. From the 2021 Streetview images, this tree does not appear to be in good condition and may well have declined further over the last 3 years. Ash Dieback is also likely to become an issue, if not already infected. I am unlikely to have any objection to the removal of this tree, if required. The other trees along the burn should be unaffected by the development due to the steep topography. The site does not appear on the Ancient Woodland Inventory, but it is included in the Native Woodland Survey of Scotland. There is evidence of historic tree removal and if you are minded to support this application, I would recommend that enrichment tree planting is required as a condition of any consent.

- 5.2 **Transport Planning:** The submitted drawing shows visibility splays of 2.4 metres by 40 metres. It is noted that the splay to the east is drawn incorrectly to the offside carriageway. The Transport Planning Team have consulted with colleagues in the Local Area Roads Office and are satisfied that the visibility from the access is sufficient for the geometry and traffic volume of the U2007 road. The drawing provides a detail from Council guidance for an SDB2 service bay which is acceptable. The drawing also shows a detail from SDB4 showing that the access will be profiled so that surface water will be directed into the service bay to a 500mm square soakaway. No part of the soakaway must be located within the adopted road boundary. The Transport Planning Team have no objection to this application subject to suitably worded conditions for: The installation of an SDB2 service bay where the access meets the U2007 public road; No water shall discharge onto the public road; No part of any private soakaway must be located within the public road boundary; Bituminous surfacing to extend a minimum of 6 metres from the edge of the public road; The provision of an area for bins awaiting collection outwith the visibility splays
- 5.3 **Enforcement Team:** Confirmed the site is the subject of an enforcement case.

#### 6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

## 6.1 National Planning Framework 4 (2023) (NPF4)

- Policy 1 Tackling the Climate and Nature Crises
- Policy 2 Climate Mitigation and Adaptation
- Policy 3 Biodiversity
- Policy 5 Soils
- Policy 6 Forestry, Woodland and Trees
- Policy 13 Sustainable Transport
- Policy 14 Design Quality and Place
- Policy 15 Local Living and 20 Minute Neighbourhoods
- Policy 17 Rural Homes
- Policy 22 Flood Risk and Water Management
- Policy 29 Rural Development

## 6.2 Highland Wide Local Development Plan 2012 (HwLDP)

- 28 Sustainable Design
- 29 Design Quality and Place-making
- 35 Housing in the Countryside (Hinterland Areas)
- 51 Trees and Development
- 55 Peat and Soils
- 56 Travel
- 57 Natural, Built and Cultural Heritage
- 64 Flood Risk
- 65 Waste Water Treatment
- 66 Surface Water Drainage

## 6.3 Inner Moray Firth Local Development Plan 2 (2024) (IMFLDP2)

- 2 Nature Protection, Restoration and Enhancement
- 14 Transport

## 6.4 Highland Council Supplementary Planning Policy Guidance

Access to Single Houses and Small Housing Developments (May 2011) Trees, Woodlands and Development (Jan 2013)

#### 7. OTHER MATERIAL POLICY CONSIDERATIONS

## 7.1 Scottish Government Planning Policy and Guidance

None

#### 8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

## **Determining Issues**

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

## **Planning Considerations**

- 8.3 The key considerations in this case are:
  - a) Compliance with the development plan and other planning policy
  - b) Siting, design and external appearance
  - c) Impact on community and residential amenity
  - d) Access and transport
  - e) Biodiversity enhancement
  - f) Any other material considerations

#### Development plan/other planning policy

- All planning applications must now be determined in accordance with the provisions of NPF 4 and the existing Local Development Plan, unless material considerations provide justification otherwise. If there is an inconsistency between NPF4 policies and an LDP which was adopted before 13 February 2023, the NPF prevails under Section 24(3) of the 1997 Town and Country Planning (Scotland) Act 1997 (as amended).
- The site is located within an area identified as Remote Rural in terms of the Scottish Government's 6 Fold Urban Rural Classification and within Hinterland as identified by the IMFLDP. This application is for the siting of 6 modular portacabin units to provide workers accommodation for contractors working in the local area. Although

these are self-contained units, they will not be a principal home for any of the occupants and are viewed as being ancillary to the house on site. Policy 17 (Rural Homes) and Policy 29 (Rural Development) of NPF 4 do not specially provide for workers accommodation in the rural area, likewise with Policy 35 of the adopted Highland wide Local Development Plan. Policy 29 of NPF 4 does state that development proposals in rural areas should be suitably scaled, sited and designed to be in keeping with the character of the area. They should also consider how the development will contribute towards local living and take into account the transport needs of the development as appropriate for the rural location. Policy 14 (Design, Quality and Place) of NPF 4 seeks to ensure that proposals are appropriately designed and compatible with the amenity of the area and in line with the qualities of successful places. Policy 13 (Sustainable Transport) of NPF 4, Policy 14 of IMFLDP 2 and Policy 56 of HWDLP support development where it can be demonstrated that transport requirements generated have been considered in line with sustainable Policy 15 (Local Living and 20 Minute Neighbourhoods) promotes development which supports local living. Policy 28 of the adopted HWLDP Design sets out criteria for the assessment of proposals including: compatibility with service provision; accessibility; energy efficiency; impact on individual and community residential amenity; impact on environment; demonstrate sensitive siting and high quality design in keeping with local character and environment. NPF4 Policies 1-3 apply to all development proposals nationwide. When considering all development proposals, significant weight will be given to the global climate and nature crises. Development proposals will be sited and designed to minimise lifecycle greenhouse gas emissions as far as possible. Development proposals will contribute to the enhancement of biodiversity, including where relevant, restoring degraded habitats and building and strengthening nature networks and the connections between them. Proposals should also integrate nature-based solutions, where possible. This is also echoed in IMFLP 2 Policy 2. and Policy 51 of HWLDP. Policy 65 (Waste Water Treatment) and Policy 66 (Surface Water Drainage) require proposals to be adequately drained. All of these considerations form the basis for the assessment of the proposal along with material planning considerations raised by third parties and consultees.

- 8.6 The immediate surrounding area is rural in character with houses in large plots, predominantly along the north side of the road, and open fields. The houses mostly incorporate traditional design features and proportions. The site is located part way up the hill to the north side of the public road. The site has been levelled and is at a lower level than the house to which it is related. The land falls away steeply to the north of the site where there is Clyne Burn (the site is not identified as being at risk of flooding) a band of trees and, these are unaffected by the development. The land also falls away from the site to the east, alongside the public road.
- 8.7 Historic aerial photos show that the site previously had tree cover. The loss of trees was accepted when planning permission was granted for the house and garage and parking (16/00581/FUL). The roadside ash tree is to be removed to accommodate the visibility splays. The Forestry Officer has no objections but has recommended that planting would be appropriate, and would provide biodiversity enhancement, this is secured by condition.
- The cabins in their current condition are industrial in nature and their appearance is not considered suitable for this rural location. The applicant has agreed to clad these in timber which will significantly alter their appearance, to cabins are closer in

appearance to short term let pods commonly found in garden ground through the Highland area in both rural and suburban settings. This is secured by condition to be completed within 2 months of the date of the decision. With these changes it is considered that the siting, design and external appearance are acceptable in this rural location, related to an existing house and would bring about a partial improvement to the state of the site. The site is of a size that can accommodate the scale of development proposed.

- In terms of visual impact, the site is fairly well contained being at a lower level than the house and with the existing tree screening along the burn. It only becomes visually prominent when from the road at the immediate approach to the site when travelling up the hill north. It is visible from the house to which it is related and its garden ground. The development is also visually contained viewed from the public road travelling south. The closest neighbouring houses are Woodside Farmhouse to the South West on the opposite side of the road which is approx. 100m from the site, and The Croft, also approx. 100m to the East. This distance refers to the houses rather than the wider land associated with the houses. Neither of these houses directly overlook the site. It is visible from the private driveway to the house and wider land that is approx. 100m away to the south west. Overall it is not considered that the site is unduly visually prominent.
- 8.10 The potential for impacts on residential amenity require to be assessed. This, along with visual impact and road safety, is a key concern raised by third parties. A condition is attached to ensure that the modular units remain ancillary to the house on site and it is expected that the site will be managed responsibly. It is expected that the units will mainly only be occupied in evenings, outwith the working day on site. Conditions are attached to restrict the maximum number of occupants in the site to a maximum of 6 people at any one time. Given these conditions and the separation distance from the site to neighbouring houses (specifically houses rather than neighbouring land) it is not considered that the amenity/privacy impacts are likely to be unreasonable. A higher occupancy than this however would give rise to greater concerns in terms of impact on surrounding amenity though increased vehicular traffic and disturbance. A condition is also attached to ensure that any lighting within the site is contained within the site.
- 8.11 It is proposed to upgrade the existing access to SB2 standard and to provide parking and turning. It is noted that third parties raised concerns about road safety. The proposed improved arrangements are accepted by Transport Planning and would require to be completed to the appropriate standard within 2 months from the date of this decision. A condition is attached restricting the number of vehicles on site to a maximum of 6 and prohibits the site from being used for the parking of trailers/plant/site equipment in the in terms of road safety and amenity. NPF 4 and the local development plans place a heavy emphasis on sustainable travel. These units are workers accommodation and in reality will be reliant on vehicle based travel to specific sites remote from the site. As it is not a principal residence, the occupiers are likely to rely on local living amenities in the same way a permanently occupied house would.
- 8.12 The site will is connected to the existing drainage and water supply and a condition is attached to ensure that surface water drainage is managed in accordance with the principles of SUDS.

8.13 Given the temporary nature of modular units, it is recommended that planning permission be granted on a temporary basis only. The structures have been in situ since 2022 and accordingly it is only proposed to permit their siting for a further two years. This will allow the planning authority the opportunity to review the position at that time.

#### Non-material considerations

8.12 The issue of antisocial behaviour is not a material planning consideration. It is expected that the onsite presence of the operator of the development will manage it appropriately, any other matters would require to be reported to Police Scotland.

## Matters to be secured by Legal Agreement / Upfront Payment

8.13 None

#### 9. CONCLUSION

- 9.1 This retrospective application for the siting of 6 modular portacabin units in the rural area has been assessed in terms of relevant planning policy and material considerations. These units are assessed as being in association with the house on site currently known as Willofield and will be managed and operated by its occupiers. Planning conditions are used to restrict the number of occupants and vehicles on site. The current state of the site is not appropriate and conditions are attached (with the applicant's agreement for the units to be clad with vertical timber within 2 months of the date of the decision, this will be a significant visual improvement. The separation distance from neighbouring houses is such that it is not expected that the site will result in significant disturbance to privacy/amenity of neighbours. The proposal is functional and does not contribute positively to the area and can only be supported on a temporary basis only
- 9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

#### 10. IMPLICATIONS

10.1 Resource: Not applicable

10.2 Legal: Not applicable

10.3 Community (Equality, Poverty and Rural): Not applicable

10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

#### 11. RECOMMENDATION

#### Action required before decision issued N

**Subject to the above actions,** it is recommended to **GRANT** the application subject to the following conditions and reasons

1. Within 2 months of the date of this decision, or as agreed otherwise in writing with the Planning Authority, the site access shall be upgraded by the formation of a SDB2 service bay where the access meets the U2007 public road with bituminous surfacing to extending a minimum of 6 metres from the edge of the public road into the site. No water shall discharge onto the public road from the site and no part of any private soakaway shall be located within the public road boundary. Provision shall be made for of an area for bins awaiting collection outwith the visibility splays, which shall be maintained in perpetuity. All of the above shall be in accordance with the Council's Roads Guidelines and to the satisfaction of the Planning Authority in consultation with the Roads Authority.

Reason: In the interests of road and public safety.

2. The self-contained units hereby approved shall be used solely as workers accommodation. There shall be a maximum of 6 persons occupying the site at any one time. The self-contained units shall not be used as holiday accommodation or a principal private residence, or be occupied by any family, group or individual for more than six months (cumulative) in any one calendar year.

**Reason**: In accordance with the use applied for and in the interests of residential amenity.

4. Within 1 month of the date of this decision notice, a scheme of biodiversity enhancement planting for the site shall be submitted to and approved in writing by the Planning Authority. Thereafter, this shall be carried out in accordance with the approved details within the 2025 planting and seeding season and thereafter maintained.

**Reason**: To secure biodiversity enhancement and in the interests of visual amenity.

5. Planning permission is hereby granted for a temporary period only and shall cease to have effect on 19 March 2027 (the 'cessation date'). Prior to the cessation date, the application site shall be cleared of all development approved under the terms of this permission (including any subsequent ancillary works, infrastructure, fixtures, fittings and any temporary developments permitted under Class 14 of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended)) and reinstated to garden ground.

**Reason**: In recognition of the temporary nature of modular portacabin units and to enable the Planning Authority to reassess the impact of the development after a given period of time and secure removal and restoration.

6. The workers accommodation hereby approved shall remain ancillary to the house on site, currently known as Willofield, and shall not be severed from the house on site to form a separate a planning unit/s. The units shall remain to be managed and operated by the occupiers of the house Willofield in perpetuity.

**Reason:** In the interests of residential amenity and in accordance with the use applied for.

7. Within 2 months of the date of this decision, or as agreed otherwise in writing with the Planning Authority, all of the modular portacabin buildings shall be clad in vertical timber cladding. Any colour or stain to be applied shall be agreed in writing in advance by the Planning Authority and thereafter the development shall be completed and maintained in accordance with the approved details.

**Reason**: To improve the visual appearance of the units to be more in keeping with the character of the rural area.

8. Within 2 months of the date of this decision notice, formal parking and turning within the curtilage of the site to enable vehicles to exit the site in a forward gear, shall be formed in accordance with the approved drawings to the satisfaction of the Planning Authority and the Roads Authority and thereafter maintained for this purpose.

**Reason**: In the interest of road and public safety

9. The hardstanding and parking/turning area within the site shall be used solely for the parking of a maximum of 6 vehicles and not for the parking/storage of trailers/HGVs/plant/site/industrial equipment/materials.

**Reason:** In the interests of road and public safety and residential amenity.

10. Any external lighting within the site shall be positioned and angled to prevent any direct illumination, glare or light spillage outwith the site boundary.

**Reason:** In the interests of amenity.

11. Surface water drainage provision within the site shall accord with the principles of Sustainable Urban Drainage Systems (SUDS) and be designed to the standards outlined in Sewers for Scotland Second Edition (or any superseding guidance prevailing at the time).

**Reason**: To ensure the site is appropriately drained.

Within 2 months of the date of this decision, the modular portabin units shall be sited as exactly detailed on the approved site layout drawing.

**Reason**: in accordance with the details applied for.

#### REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## **INFORMATIVES**

## **Initiation and Completion Notices**

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

#### Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

#### **Scottish Water**

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

#### **Septic Tanks and Soakaways**

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

#### **Local Roads Authority Consent**

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <a href="http://www.highland.gov.uk/yourenvironment/roadsandtransport">http://www.highland.gov.uk/yourenvironment/roadsandtransport</a>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads and pavements/101/permits for wor king on public roads/2

#### Mud and Debris on Road

Please note that it an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

## **Construction Hours and Noise-Generating Activities**

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact <a href="mailto:env.health@highland.gov.uk">env.health@highland.gov.uk</a> for more information.

## Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not

previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <a href="https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species">https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species</a>

Signature:

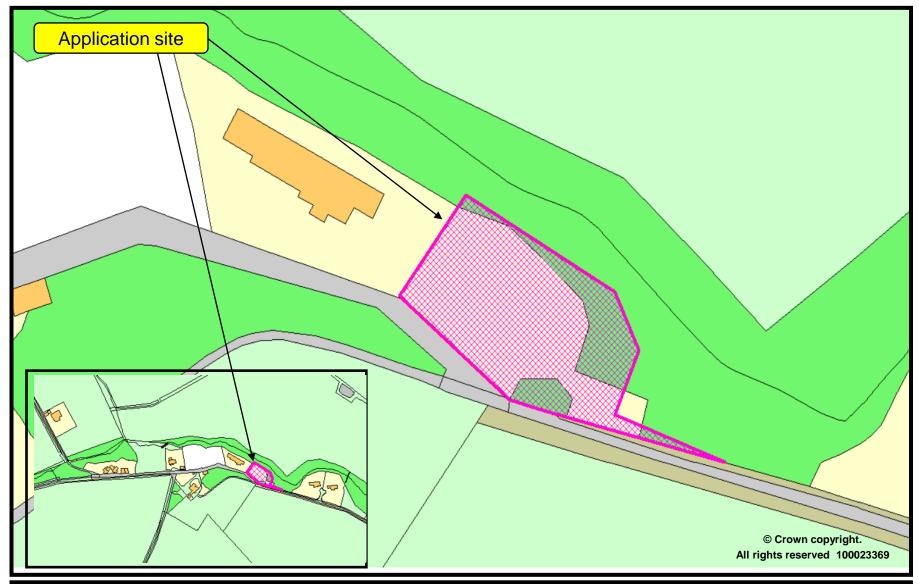
Designation: Area Planning Manager – North

Author: Emma Forbes

Background Papers: Documents referred to in report and in case file.

Relevant Plans: Plan 1 - Site and location 2017 029-100

Plan 2 - Visualisations of cabins – render 2





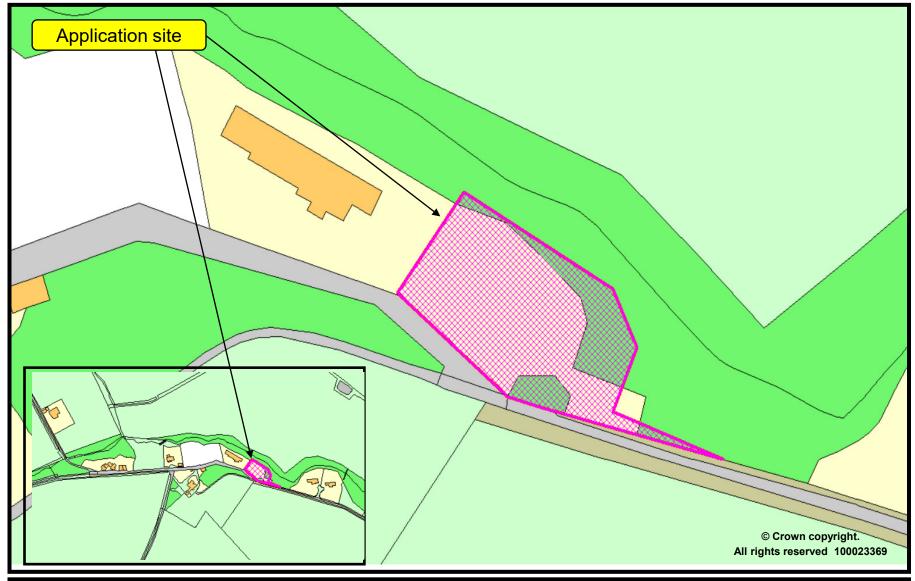
Planning and Development Service

## 23/00969/FUL

Siting of 6 modular buildings for workers accommodation (retrospective)

At

Land 30M East Of Willofield. Woodlands, Dingwall



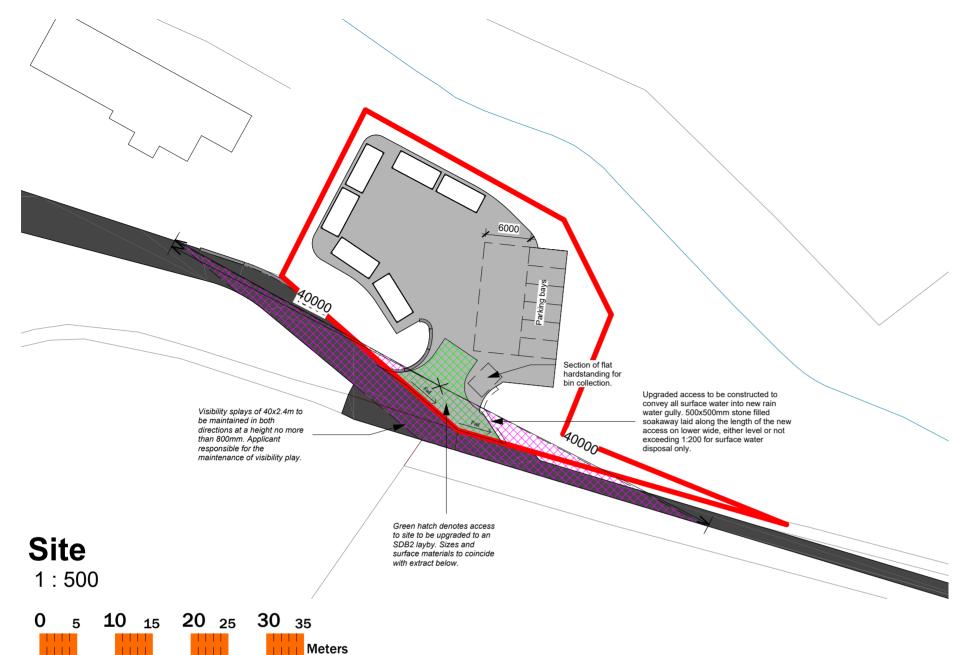


Planning and Development Service 23/00969/FUL

Siting of 6 modular buildings for workers accommodation (retrospective)

At

Land 30M East Of Willofield. Woodlands, Dingwall





# Location

1:2000

0 20 40 60 80 Meters Scale 1:2000 @ A3

PLANNING ISSUE Description Rev Date

North

## Paul Scholfield

Willow Pods

## Site & Location

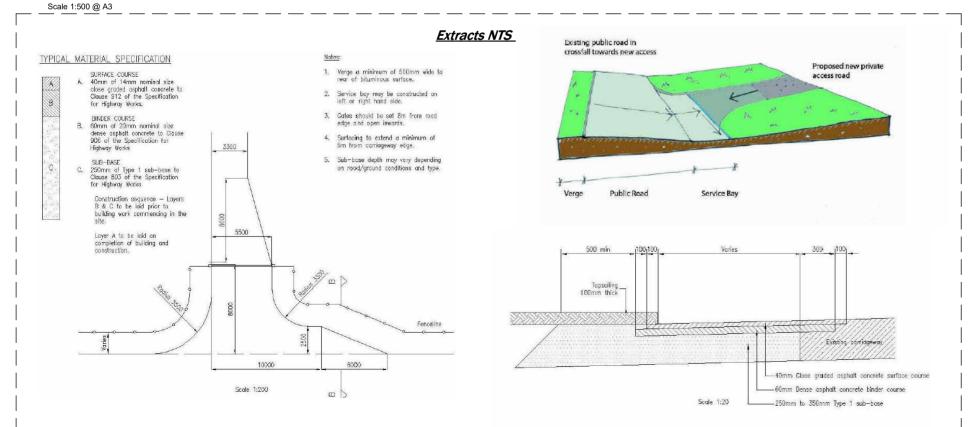
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## 2017 029 - 100

- Protected by copyright, no reproduction without express permission from architect.
   Contractor is responsible for checking all dimensions prior to construction.
   Subscrepancies to be referred to architect for decision.
   Must be read in conjunction with written spec and engineers/sub-contractors construction information.



1 tulloch street dingwall IV15 9JY te. 01349 867766





Visual render 2 shows the cabins when viewed from the entrance to the site, facing North.

P. Schofield

Visual Render 2

